

*“Down To
The Last
Doorknob”*



PROPERTY INSPECTION REPORT

12345 Main Street, Anytown, CA 90001

INSPECTION PREPARED FOR: John Doe

AGENT: Jane Doe - Realtor

DATE OF INSPECTION: 12/9/2022

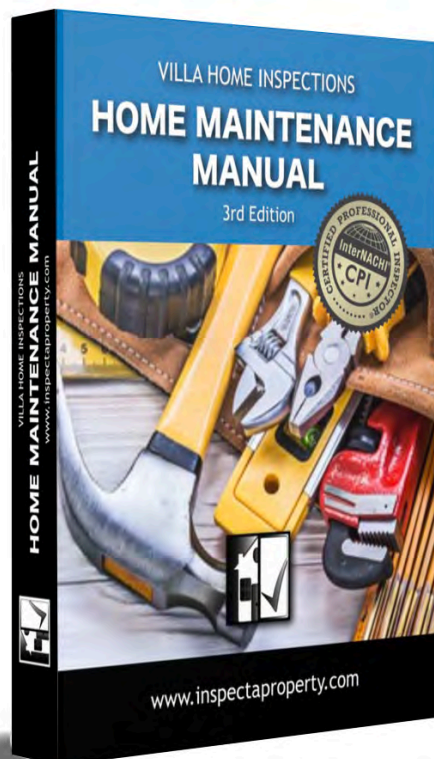


VILLA HOME INSPECTIONS

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Warmest Wishes,

Tony Escamilla
Owner/Inspector



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ABOUT YOUR INSPECTION - PLEASE READ ALL OF THE INFORMATION WE PROVIDE BELOW

In order for you to receive the full value of this inspection, please read all of the information we have provided.

ALL ITEMS IN BLUE PRINT ARE OF IMMEDIATE CONCERN TO THIS STRUCTURE AND SHOULD BE FURTHER EVALUATED BEFORE THE CLOSE IN ESCROW. HOWEVER, THE ENTIRE REPORT MUST BE READ FOR FULL DISCLOSURE, AS OTHER ITEMS WRITTEN IN THE REPORT MAY REQUIRE FURTHER EVALUATION AS DEEMED BY THE OPINION OF THE READER. IF A FURTHER EVALUATION IS NOT PERFORMED AND ADDITIONAL DEFECTS ARE FOUND AFTER THE CLOSE OF ESCROW, THEN ANY DISPUTES OR CLAIMS AGAINST THE INSPECTION COMPANY WILL BE DENIED. SIMPLY PUT, IF YOU DO NOT FOLLOW THE ADVICE IN THIS REPORT, THEN YOU CANNOT HOLD THE INSPECTOR OR THE INSPECTION REPORT LIABLE AFTER YOU MOVE INTO THE INSPECTED STRUCTURE OR PROPERTY.

THIS IS A LIMITED INSPECTION: It is impossible to inspect every square inch of every area of a home in a limited time frame. A home inspection is designed to reflect, as accurately as possible, the visible condition of the home at the time of the inspection only and does NOT reflect, anticipate or predict future conditions. Conditions at a home for sale can change radically in only a day or two, so a home inspection is not meant to guarantee what condition a home will be in when the transaction closes. It's not uncommon for conditions to change between the time of the inspection and the closing date. During this inspection your inspector did not dismantle equipment, dismantle any structural items, apply stress or destructive testing. Areas that are hidden, painted over, disguised and/or not readily visible are not covered in this report. Our report is not a guarantee or warranty on the condition of your property or its contents. This report provides an unbiased visual inspection only. Villa Home Inspections inspections are performed with consideration given to the age of the structure. Defects will be indicated and marked as such, even though the condition may be normal for the age, and should be inspected by the appropriate licensed contractor. Opinions vary from person to person and this report is the opinion of the inspector and must be considered as such. The Inspector does not determine the age or remaining life of any system or building material during this inspection. Cosmetic items are considered obvious and are often not included in your report. Your report does not include all items covered in the REAL ESTATE TRANSFER DISCLOSURE FORM. We recommend that you read the Disclaimers page in complete detail to understand the limitations of a Home Inspection.

An attorney and/or real estate broker should be consulted on additional items not included in this report.

ENVIRONMENTAL DISCLAIMER: Mold spores, asbestos, formaldehyde, radon, lead paint, Chinese drywall, poria and all other toxic items of concern cannot be identified as toxic and/or dangerous with this inspection report. Your inspector is not certified to identify any of these toxic or dangerous items and will not include any information on them in this report. It's recommended the client have the property tested by a certified expert in these areas, in all cases.

Houses/structures built between 1965 and 1974 have the possibility of aluminum wiring present throughout structure. It is recommended that a licensed electrician further evaluate houses built in this era for aluminum wiring. Houses/structures with galvanized or cast iron plumbing present are highly recommended to be further evaluated by a plumbing contractor regardless of the age of the plumbing.*

Houses/structures built prior to 1978 can contain asbestos materials. It is recommended that a licensed asbestos contractor/inspector further evaluate houses/structures built in this era for asbestos materials. The Home Inspector will not determine or include in the report if asbestos is present at any structure or in any materials at a structure. Houses/structures built prior to 1978 can contain lead paint. It is recommended that a licensed lead inspector further evaluate houses/structures built in this era for lead paint materials.*

*Villa Home Inspections will not engage in any claims regarding aluminum wiring, asbestos or lead paint.

PHOTO DOCUMENTATION: Your report may include digitally imaged photos of certain problem areas (should they exist). Also included are pictures (General Views) to establish location and identification. It is not a requirement that your Home Inspector photograph every area or defect of the home; additional photos may be taken and included in your report as a courtesy. The Inspector CANNOT use photos provided by anyone else for the inspection report. Any photos included in the report must be taken by the Inspector only, with the Inspector's camera only.

Please carefully read your entire Inspection Report. Call your inspector after you have reviewed your report, so we can go over any questions you may have. Remember, when the inspection is completed and the report is delivered, we are



still available to you for any questions you may have, throughout the entire closing process.

Properties being inspected do not "Pass" or "Fail." - The following report is based on an inspection of the visible areas of the structure; inspection may be limited by vegetation, height restrictions, weather and possessions. Depending on the age of the structure, some items like GFCI outlets may not be installed; this report will focus on safety and function, not current building codes. This report identifies specific non-building code, non-cosmetic concerns that the inspector feels may need further investigation or repair. It is NOT a requirement that a home being sold be brought up to today's building code standards.

We advise you to check all building permits for all areas of the structures present, a home inspection is NOT a building code violation inspection. If the proper building permits have not been obtained and/or do not have final building inspection signatures, then you cannot assume that these areas were installed to applicable building codes. Further investigation beyond the scope of the home inspection may be needed.

For your safety and liability purposes, we recommend that licensed contractors further evaluate and repair any and all concerns and defects noted in the report, prior to the close of your transaction.

Lateral Sewer Line Camera Inspection: Underground drains cannot be viewed by the Inspector and can often have internal issues that do not reveal themselves during the home inspection. We highly advise you to have a sewer camera inspection prior to the release of inspection contingencies.

Every home or structure is different, therefore may be inspected in various formats. Inspections can take anywhere from 1 to hours depending on the size of the structure or the age of the structure being inspected. The condition of the home or structure being inspected may also play a role in the time it takes for the inspection; the more defects there are to document, the longer the inspection will take. Inspection methods are generally the same among all inspectors, however experience and inspector's personal preferences may differ between Inspectors. This is the same for report writing. While Inspectors are provided with common statements to use in their report, they are also given the freedom to narrate or edit comments as they see fit for each inspection.

The Inspector cannot predict or find every defect in a structure being inspected. The time frame for an inspection only allows the Inspector to examine areas in a location by location order. If a defect arises in another area of the structure (including the exterior) for which this defect was not present or visible at the time of the inspection, then the Inspector cannot be liable for notifying you of the defect. For example: The inspector evaluates the exterior of the home first and finds no defects...but later runs the water at the kitchen sink and the water is not visibly leaking under the kitchen sink, but somehow is leaking through the exterior wall to the exterior, the Inspector will not back-track and re-inspect the exterior and will likely not see this or note the defect.

During the inspection, the water is turned on at all visible and/or accessible fixtures at the structure. In most cases, no water fixtures should be left unattended while turned on. There is no set standard time frame for how long each fixture should be operated. The Inspector will operate the water fixtures as long as is needed to determine if both the hot and/or cold water is operating at the designated fixture. Leaks can only be documented if they are visible at the time of operating the designated fixture. Future leaks cannot be predicted! A home inspector cannot determine if there are plumbing leaks inside walls or ceilings unless visible moisture or explicit signs of moisture are present and visible at the time of the inspection. This inspection does not include confirmation of water conservation devices at any fixture.

Note that this report is a snapshot in time and not a prediction of future conditions. We recommend that you or your representative carry out a final walk-through inspection immediately before closing escrow to check the condition of the property, using this report as a guide. Conditions can change at any time during escrow time periods. You are 100% responsible for verifying all conditions prior to close of escrow.

THIS REPORT IS NON-TRANSFERABLE TO ANOTHER PARTY, NO EXCEPTIONS.

THANK YOU FOR USING VILLA HOME INSPECTIONS



Report Summary

The summary below consists of potentially significant findings. These findings can be a safety hazard, a deficiency requiring a major expense to correct or items I would like to draw extra attention to. The summary is not a complete listing of all the findings in the report, and reflects the opinion of the inspector. Please review all pages of the report as the summary alone does not explain all of the issues. All repairs should be done by a licensed & bonded tradesman or qualified professional. I recommend obtaining a copy of all receipts, warranties and permits for the work done.

Inspection Details		
Page 31 Item: 11	Other Information	<ul style="list-style-type: none"> • STORAGE SHED: Observed one or more storage sheds on the property. Storage sheds and detached structures (other than the garage) are not inspected and are not part of this inspection. Further evaluation may be needed.
Exterior Areas		
Page 33 Item: 2	Fence & Walls Condition	<ul style="list-style-type: none"> • Fence is leaning or falling. Repair or replacement is recommended. • Paint finish is deteriorated or flaking. Repainting is recommended to prevent moisture damage. • See photos.
Page 34 Item: 3	Grading & Site Drainage	<ul style="list-style-type: none"> • Planter areas near the house do not have a drainage system installed and retain water when it rains. This excess moisture, near the foundation of the house, can cause damage. Installation of a drainage system is recommended. • Signs of poor drainage observed at the North, North East side of the property. • Evidence of pooling water was observed at time of inspection. • Floor drains are filled with debris and may not allow adequate drainage. Further evaluation on clearing off all underground drains is recommended. • See photos.
Page 37 Item: 4	Retaining Wall Observations	<ul style="list-style-type: none"> • No drainage weep holes are installed at the bottom of the wall. Improper drainage behind the wall can cause damage and eventual failure. Installation of a drainage system is recommended. • See photos.



Page 38 Item: 5	Landscaping Observations	<ul style="list-style-type: none"> • Trimming plants away from the structure is recommended to prevent damage and rodent infestation. • Trees are within 6 feet of foundation. Monitor for potential root damage. • Trees or other vegetation are touching or overhanging the roof. Damage is possible. Vegetation on the roof is also a source for rodent activity on the roof and the attic. Recommend trimming all vegetation or trees away from the roof structure. • Brush growth is too close to the structure (under 100 ft.). Removal is recommended for fire safety. • Tree branches overhanging roof and/or against siding. Trim trees that are in contact or proximity to home, as branches can abrade siding and damage roofing. • See photos.
Page 39 Item: 6	Exterior Stairs & Steps	<ul style="list-style-type: none"> • Moisture and rot damage observed on more than one of the landings at top of the stairs. Tenant informed Inspector that new artificial turf was installed recently and the condition of the decks was not good. Further evaluation is recommended. Removal of the artificial turf may be necessary.
Page 40 Item: 9	Doors & Windows Observations	<ul style="list-style-type: none"> • Glass is cracked or broken. Replacement is required. • Some windows are hard to operate or painted closed. • One or more doors are delaminated or have moisture damage. Repair or replacement is recommended. • Exterior door is improper type. All exterior doors must be solid type. • See photos.
Porch, Patios & Decks		
Page 42 Item: 2	Decks & Balconies Observations	<ul style="list-style-type: none"> • Carpet restricts viewing and inspection of the balconies, stair landings and patio floors. See exterior stairs comments and photos. Further evaluation is recommended, and may necessitate the removal of the carpet. • Wood beams on some of the decks appear to have some rot/termite damage and moderate size cracking. See photos. • Most decks and porches have been covered with synthetic turf material which holds moisture and causes significant amount of rot damage underneath. See photos. • See photos.
Garage, Carport & Parking		
Page 44 Item: 2	Fire Separation Wall	<ul style="list-style-type: none"> • A breach (holes) in the fire separation wall between the dwelling and garage was observed at the walls. In the event of a fire, flames and smoke could spread rapidly inside and up the wall, into the attic and across the dwelling. This is a hazard. The fire separation wall between the garage and dwelling cannot have any holes and must be covered with approved fire rated materials, like Type X drywall or stucco. Repairs are required to re-establish the fire rating of the wall. • See Photos.
Page 45 Item: 3	Walls & Ceiling	<ul style="list-style-type: none"> • Moisture stains or damage observed on the garage ceiling. • Possible plumbing leak. Further evaluation by a plumbing contractor is recommended. • See photos.



Page 46 Item: 5	Carport Condition	<ul style="list-style-type: none"> • Moisture, rot or termite damage observed at the East fascia boards. • Fascia boards are twisted and loose. See photo. Repair or replacement is recommended. • Further evaluation by licensed termite inspector is recommended. • Paint finish is deteriorated or flaking. Repainting is recommended to prevent moisture penetration and damage. • Moisture penetration and or damage observed on the roof structure. Further evaluation by roofing contractor is recommended. • See photos. • Improper slope or low areas in carport causing in adequate drainage noted. See photos. • Some damaged drywall inside carport area noted. See photos.
Roof		
Page 50 Item: 4	Covering Condition	<ul style="list-style-type: none"> • Moderate deterioration of the roofing material was noted at time of inspection. • Moderate to significant cracking and clawing of the roofing shingles observed throughout the roofs at time of inspection. Cracking and clawing of shingles are the result of long term weathering and an advanced shingle age. • A licensed roofing contractor should be called to make further evaluation and repairs as needed. • See photos.
Page 55 Item: 5	Roof Eaves Condition	<ul style="list-style-type: none"> • Moisture, rot or termite-like damage observed at the roof eave boards. • Moisture, rot or termite-like damage observed on the fascia boards (roof edge board). • Further evaluation by a licensed termite inspector is recommended. • See photos.
Page 56 Item: 6	Flashings Condition	<ul style="list-style-type: none"> • Flashings do not appear to be properly sealed at the wall junctions. • Flashings do not appear to be properly sealed at the vent pipes. • Flashings do not appear to be properly sealed at the HVAC systems throughout the roofs. • Typical maintenance is recommended. • See photos.
Page 57 Item: 7	Gutters & Downspouts	<ul style="list-style-type: none"> • Gutters are loose or improperly installed. • Repair or replacement is recommended. • Consider installing additional gutters and downspouts to help with site drainage. • Recommend re-routing the downspouts to drain away from the building. Excess moisture near the foundation may cause settlement and foundation problems. • Some downspouts were damage throughout the complex. See photos.



Plumbing		
Page 60 Item: 6	Main Line Condition	<ul style="list-style-type: none"> Excessive corrosion is observed on or near the main water shut off valve. Meter box was flooded at time of inspection. Unable to determine which side of the meter is leaking. Further evaluation by plumbing contractor is recommended. A licensed plumbing contractor should be called for further evaluation and repairs. See photos.
Page 61 Item: 9	Fuel System Condition	<ul style="list-style-type: none"> Automatic gas seismic shut off valve not present. Installation may be required by your fire insurance company and or may save you money on your premium if installed. Please contact your insurance agent for more information.
Page 62 Item: 11	Sewer Inspection Observations	<ul style="list-style-type: none"> Grease buildup observed inside the drain line. The grease can eventually lead to blockages if not cleaned out. Other materials traveling down the pipe can get caught up on these build-ups and inhibit the flow of waste. Hyro-jetting should be considered to clear the grease. Offset pipes observed. An offset is where two sections of pipes meet but do not line up correctly. The offsets observed appear minimal and do not require immediate action.
Water Heater		
Page 65 Item: 3	Condition	<ul style="list-style-type: none"> Rust and corrosion was noted on the water lines. Leaks noted at the water supply lines. Gas line does not have the required sediment trap installed. Moisture stains and damage observed on the ceiling surrounding the vent pipe. Possible roof leak. Further evaluation by a roofing contractor is recommended. Further evaluation and repairs by a plumbing contractor is recommended. See photo.
Electrical		
Page 68 Item: 1	Main Shut Off Condition	<ul style="list-style-type: none"> Unable to access several of the main electrical shut off closets throughout the property. See photos. Several were padlocked shut and one door was stuck and would not open. Moisture damage observed at more than one electrical closet doors and door jambs. Repair or replacement is recommended. See photos. Exposed and unsafe wiring observed inside the electrical shut off closet at the West building. There is also an unsafe installation of an electrical outlet. See photos. Further evaluation by a licensed electrical contractor is recommended.
Page 70 Item: 4	Sub Panel 1 Condition	<ul style="list-style-type: none"> Panel was blocked by occupants belongings at time of inspection. A minimum clearance of 36 inches in front and 30 inches on each side is required. Removal of any obstructions is required. See photos.



Air Conditioning System		
Page 71 Item: 1	System Condition	<ul style="list-style-type: none"> • Condenser units are dirty throughout the property and in need of cleaning and maintenance. • Insulation on the refrigeration lines of the condensers is deteriorated or missing throughout the property. Repair or replacement is recommended. • A licensed HVAC contractor should be called to make further evaluation and repairs as needed. • See photos.
Laundry Room		
Page 76 Item: 6	Electrical Condition	<ul style="list-style-type: none"> • Improperly installed, exposed and unsafe romex wiring observed in the laundry room. See photos. Proper Installation or removal is necessary.
Fire Safety		
Page 77 Item: 1	Smoke Alarms	<ul style="list-style-type: none"> • No smoke alarm was installed inside one or more bedrooms at time of inspection. A smoke alarm is required inside each bedroom.
Attic		
Page 79 Item: 2	Condition	<ul style="list-style-type: none"> • Only a couple attic entrances were found but we're unable to access at time of inspection. Attic entrances were completely sealed shut and unable to access. See photo. • See photos.
Pool & Spa		
Page 82 Item: 4	Decking Condition	<ul style="list-style-type: none"> • Coping is not sealed properly. Application of sealant is recommended to prevent moisture penetration behind pool walls. • Cracks observed on the coping around the pool. This is an indication of rusted steel reinforcement (rebar) inside the bond beam (structural support around the top of the pool walls) and may be a structural concern in the future if not repaired. • Concrete deck has moderate cracks and may need further evaluation by a masonry or pool contractor. • North west corner of the pool decking appears to have been lifted up and is no longer level with the pool. See photos • See photos.
Page 88 Item: 8	Skimmer Basket	<ul style="list-style-type: none"> • Skimmer body is cracked or damaged and may leak under the pool deck. Repair or replacement is necessary. • See photos.
Page 92 Item: 13	Heater Condition	<ul style="list-style-type: none"> • Heater is dirty and should be cleaned thoroughly prior to use. • See photos.
Unit 1		
Page 94 Item: 1	Living & Dining Room	<ul style="list-style-type: none"> • Sliding glass door screen is damaged or missing. Repair or replacement is recommended
Page 94 Item: 4	Bedrooms	<ul style="list-style-type: none"> • Smoke detector is not installed. A smoke detector is required in every bedroom, adjacent hallway and every level of the dwelling prior to the close of escrow.



Page 94 Item: 5	Bathrooms	<ul style="list-style-type: none"> Leaks noted at the supply lines under the sink at time of inspection. Exhaust fan is significantly noisy when operated. Repair or replacement is needed. Floor tiles are damaged or loose. Repair or replacement is recommended.
Page 95 Item: 8	Decks & Balconies Observations	<ul style="list-style-type: none"> Carpet restricts viewing. Unable to fully view the balcony/ patio due to occupants belongings. See photos.
Unit 2		
Page 96 Item: 2	Kitchen	<ul style="list-style-type: none"> Leaks noted at the supply lines under the sink at time of inspection. Garbage disposal did not operate at time of inspection. A licensed plumbing contractor should be called to make necessary repairs.
Page 96 Item: 4	Bedrooms	<ul style="list-style-type: none"> Smoke detector is not installed. A smoke detector is required in every bedroom, adjacent hallway and every level of the dwelling prior to the close of escrow.
Page 96 Item: 5	Bathrooms	<ul style="list-style-type: none"> Leaks observed at the toilet shut off valve. Leaks observed at the toilet shut off valve. Further evaluation and repairs as needed by a plumbing contractor is recommended.
Page 97 Item: 8	Decks & Balconies Observations	<ul style="list-style-type: none"> Carpet restricts viewing.
Page 97 Item: 9	Attic Observations	<ul style="list-style-type: none"> Unable to enter attic at time of inspection. Attic entrance was sealed shut. Further evaluation is recommended.
Unit 3		
Page 98 Item: 1	Living & Dining Room	<ul style="list-style-type: none"> Evidence of moisture penetration observed at the window. Window may need caulking or sealant application on the exterior. Window is difficult to operate. Repair or replacement is recommended. Sliding glass door screen is damaged or missing. Repair or replacement is recommended See photos. Sliding glass door is difficult to operate
Page 99 Item: 4	Bedrooms	<ul style="list-style-type: none"> Smoke detector is not installed. A smoke detector is required in every bedroom, adjacent hallway and every level of the dwelling prior to the close of escrow.



Page 99 Item: 5	Bathrooms	<ul style="list-style-type: none"> • Toilet does not flush properly. Minor repairs are needed. • Repair or replacement is recommended. • See photos. • Vanity door or drawer is damaged or broken. Repair or replacement is recommended. • Caulking is recommended at the tub or shower areas to prevent moisture penetration and damage behind the walls. • Exhaust fan did operated noisily at time of inspection. Repair or replacement is necessary. • See photos. • Bathroom faucet has considerable amount of corrosion and needs to be replaced • Toilet handle is broken
Page 100 Item: 6	Electrical Panel Condition	<ul style="list-style-type: none"> • Unable to remove electrical panel cover. Panel cover has been painted/sealed to the wall and removal would cause damage to the surrounding wall. Access to the interior of the panel is required. • See photos. • Electrical panel is inside bedroom closet which is not allowed. See photos.
Unit 4		
Page 101 Item: 4	Bathrooms	<ul style="list-style-type: none"> • GFCI outlet did not operate properly at time of inspection. Repair or replacement is recommended.
Page 101 Item: 7	Decks & Balconies Observations	<ul style="list-style-type: none"> • Carpet restricts viewing.
Unit 5		
Page 102 Item: 1	Living & Dining Room	<ul style="list-style-type: none"> • Flooring is damaged or deteriorated. Repair or replacement is recommended.
Page 103 Item: 4	Bedrooms	<ul style="list-style-type: none"> • Smoke detector is not installed. A smoke detector is required in every bedroom, adjacent hallway and every level of the dwelling prior to the close of escrow. • Moisture stains and/or damage viewed on the walls.
Page 104 Item: 6	Electrical Panel Condition	<ul style="list-style-type: none"> • Unable to remove electrical panel cover. Panel cover has been painted/sealed to the wall and removal would cause damage to the surrounding wall. Access to the interior of the panel is required. • See photos. • Electrical panel is located in bedroom closet which is not allowed
Page 104 Item: 8	Decks & Balconies Observations	<ul style="list-style-type: none"> • Carpet restricts viewing. • Rot, termite or moisture damage observed. • See photos. • Balcony is covered with turf which holds moisture and causes rot damage underneath



Unit 6		
Page 106 Item: 1	General Notes	<ul style="list-style-type: none"> • Smoke detector is not installed in the required locations. A smoke detector is required in every bedroom, adjacent hallway and every level of the dwelling prior to the close of escrow. • No carbon monoxide alarm installed in the dwelling. Installation is required near the sleeping rooms when any gas burning appliance is present.
Page 106 Item: 2	Living & Dining Room	<ul style="list-style-type: none"> • Moisture stains and/or damage viewed on the ceiling. • Possible roof leak. Further evaluation by a roofing contractor is recommended. • See photos.
Page 107 Item: 7	Electrical Panel Condition	<ul style="list-style-type: none"> • Unable to remove electrical panel cover. Panel cover has been painted/sealed to the wall and removal would cause damage to the surrounding wall. Access to the interior of the panel is required.
Page 107 Item: 9	Decks & Balconies Observations	<ul style="list-style-type: none"> • Carpet restricts viewing.
Unit 7		
Page 108 Item: 2	Kitchen	<ul style="list-style-type: none"> • Moisture damage noted on the cabinets. Repair or replacement is recommended.
Page 109 Item: 4	Bedrooms	<ul style="list-style-type: none"> • Smoke detector is not installed. A smoke detector is required in every bedroom, adjacent hallway and every level of the dwelling prior to the close of escrow. • See photos. • Closet doors are fallen off the tracks. Proper installation is recommended. • See photos. • Closet doors do not operate properly in and falling off tracks. • Bedroom door is damaged and missing hardware
Page 110 Item: 5	Bathrooms	<ul style="list-style-type: none"> • Rust and corrosion observed on the water supply valves under the sink. • Water supply valve for toilet is older valve, has significant amount of corrosion around valve and water line. Needs to be replaced
Page 110 Item: 6	Electrical Panel Condition	<ul style="list-style-type: none"> • Electrical panel is located in bedroom closet which is not allowed
Unit 8		
Page 112 Item: 1	Living & Dining Room	<ul style="list-style-type: none"> • Moisture stains and/or damage viewed on the walls.
Page 112 Item: 2	Kitchen	<ul style="list-style-type: none"> • Rust and corrosion observed on the water supply valves under the sink.
Page 113 Item: 3	Hallway	<ul style="list-style-type: none"> • Smoke detector is not installed. A smoke detector is required in every bedroom, adjacent hallway and every level of the dwelling prior to the close of escrow. • Moisture stains and/or damage viewed on the walls.



Page 113 Item: 4	Bedrooms	<ul style="list-style-type: none"> • Smoke detector is not installed. A smoke detector is required in every bedroom, adjacent hallway and every level of the dwelling prior to the close of escrow. • Evidence of moisture penetration observed at the window. Window may need caulking or sealant application on the exterior.
Page 114 Item: 5	Bathrooms	<ul style="list-style-type: none"> • Rust and corrosion observed on the water supply valves • Exhaust fan did operated noisily at time of inspection. Repair or replacement is necessary.
Page 115 Item: 6	Electrical Panel Condition	<ul style="list-style-type: none"> • Electrical panel located in bedroom closet which is not allowed
Page 115 Item: 8	Decks & Balconies Observations	<ul style="list-style-type: none"> • Carpet restricts viewing.
Unit 9		
Page 116 Item: 2	Kitchen	<ul style="list-style-type: none"> • Unable to inspect the dishwasher at time of inspection. It was filled with occupants belongings. Further evaluation is recommended. • Moisture damage noted on the cabinets. Repair or replacement is recommended.
Page 116 Item: 3	Hallway	<ul style="list-style-type: none"> • Flooring is damaged or deteriorated. Repair or replacement is recommended.
Page 116 Item: 4	Bedrooms	<ul style="list-style-type: none"> • Door has a large hole and falling off the hinges. Repair or replacement is recommended. • Closet doors are fallen off the tracks. Proper installation is recommended.
Page 116 Item: 5	Bathrooms	<ul style="list-style-type: none"> • Leaks noted at the faucet at time of inspection. • Repair or replacement is recommended. • Vanity door or drawer is damaged or broken. Repair or replacement is recommended. • Repair or replacement is recommended. • Moisture stains and/or damage viewed on the ceiling. • Possible roof leak. Further evaluation by a roofing contractor is recommended. • See photos.
Page 117 Item: 8	Decks & Balconies Observations	<ul style="list-style-type: none"> • Unable to inspect the balcony/patio due to occupants belongings. See photo.
Unit 10		
Page 118 Item: 2	Kitchen	<ul style="list-style-type: none"> • Leaks noted at the supply lines under the sink at time of inspection. • Evidence of moisture penetration observed at the window. Window may need caulking or sealant application on the exterior. • Window is difficult to operate. Repair or replacement is recommended. • See photos.
Page 119 Item: 3	Hallway	<ul style="list-style-type: none"> • Smoke detector is not installed. A smoke detector is required in every bedroom, adjacent hallway and every level of the dwelling prior to the close of escrow.



Page 119 Item: 4	Bedrooms	<ul style="list-style-type: none"> • Smoke detector is not installed. A smoke detector is required in every bedroom, adjacent hallway and every level of the dwelling prior to the close of escrow.
Page 120 Item: 5	Bathrooms	<ul style="list-style-type: none"> • Moisture stains and/or damage viewed on the walls. • See photos. • Ground Fault Circuit Interrupter (GFCI) outlets are recommended for installation. • See photos.
Page 120 Item: 6	Electrical Panel Condition	<ul style="list-style-type: none"> • Electrical panel is located in bedroom closet which is not allowed
Page 120 Item: 8	Decks & Balconies Observations	<ul style="list-style-type: none"> • Carpet restricts viewing.
Unit 11		
Page 121 Item: 1	Kitchen	<ul style="list-style-type: none"> • Leaks noted at the faucet at time of inspection. • A licensed plumbing contractor should be called to make necessary repairs. • See photos.
Page 121 Item: 3	Bedrooms	<ul style="list-style-type: none"> • Smoke detector is not installed. A smoke detector is required in every bedroom, adjacent hallway and every level of the dwelling prior to the close of escrow.
Page 121 Item: 6	HVAC System Condition	<ul style="list-style-type: none"> • System did not respond to normal controls. Further evaluation by a licensed HVAC contractor is recommended. • Further evaluation and repairs as needed by a licensed HVAC contractor is recommended.
Page 121 Item: 7	Decks & Balconies Observations	<ul style="list-style-type: none"> • Unable to fully view the balcony/ patio due to occupants belongings. See photos.
Unit 12		
Page 122 Item: 2	Kitchen	<ul style="list-style-type: none"> • Low water pressure was noted at the faucet. • Dishwasher did not operate at time of inspection. • Sink surface is damaged or worn. Repair or resurfacing is recommended. • Moisture damage noted on the cabinets. Repair or replacement is recommended. • See photos. • Dishwasher is original older appliance needs to be replaced. • Range fan is original and his damaged and needs to be replaced
Page 123 Item: 4	Bedrooms	<ul style="list-style-type: none"> • Smoke detector is not installed. A smoke detector is required in every bedroom, adjacent hallway and every level of the dwelling prior to the close of escrow. • Closet doors are fallen off the tracks. Proper installation is recommended.



Page 124 Item: 5	Bathrooms	<ul style="list-style-type: none"> • Leaks noted at the faucet at time of inspection. • Leaks observed under the sink. • Rust and corrosion observed on the faucet • Sink does not drain properly. • See photos. • Sink surface is damaged. Resurfacing or replacement is recommended. • Sink has rust damage. This model of sink was manufactured defectively by welding the overflow channel to the bottom of the sink. This causes rapid rusting under the sink, which then protrudes to the top and generally causes leaks. Replacement of the sink is necessary. • Repair or replacement is recommended. • Tub surface is damaged. Repair and or resurfacing is recommended. • Caulking is recommended at the tub or shower areas to prevent moisture penetration and damage behind the walls. • Ground Fault Circuit Interrupter (GFCI) outlets are recommended for installation.
Page 126 Item: 6	Electrical Panel Condition	<ul style="list-style-type: none"> • Electrical panel is located in bedroom closet which is not allowed
Page 127 Item: 8	Decks & Balconies Observations	<ul style="list-style-type: none"> • Carpet restricts viewing.
Unit 13		
Page 128 Item: 2	Kitchen	<ul style="list-style-type: none"> • Moisture damage noted on the cabinets. Repair or replacement is recommended. • Evidence of moisture penetration observed at the window. Window may need caulking or sealant application on the exterior.
Unit 14		
Page 129 Item: 1	General Notes	<ul style="list-style-type: none"> • A roach infestation was observed throughout the dwelling at time of inspection. Fumigation is necessary.
Page 129 Item: 2	Living & Dining Room	<ul style="list-style-type: none"> • Sliding glass door screen is damaged or missing. Repair or replacement is recommended
Page 129 Item: 3	Kitchen	<ul style="list-style-type: none"> • Laminate countertop is swelled at the seam from moisture penetration. Repair or replacement is recommended. • Evidence of moisture penetration observed at the window. Window may need caulking or sealant application on the exterior.
Page 129 Item: 5	Bedrooms	<ul style="list-style-type: none"> • Evidence of moisture penetration observed at the window. Window may need caulking or sealant application on the exterior.
Page 129 Item: 6	Bathrooms	<ul style="list-style-type: none"> • Flooring is damaged or deteriorated. Repair or replacement is recommended.
Page 129 Item: 8	Decks & Balconies Observations	<ul style="list-style-type: none"> • Carpet restricts viewing. • Unable to fully view the balcony/ patio due to occupants belongings. See photos.



Unit 15		
Page 131 Item: 1	General Notes	<ul style="list-style-type: none"> • Dwelling was not accessible at time of inspection and was not inspected. Further evaluation is recommended prior to the close of your transaction.
Unit 16		
Page 132 Item: 2	Kitchen	<ul style="list-style-type: none"> • Evidence of moisture penetration observed at the window. Window may need caulking or sealant application on the exterior. • See photos.
Page 132 Item: 3	Hallway	<ul style="list-style-type: none"> • No carbon monoxide alarm installed in the dwelling. Installation is required near the sleeping rooms when any gas burning appliance is present. • Moisture stains and/or damage viewed on the walls.
Page 133 Item: 4	Bedrooms	<ul style="list-style-type: none"> • Smoke detector is not installed. A smoke detector is required in every bedroom, adjacent hallway and every level of the dwelling prior to the close of escrow.
Page 133 Item: 5	Bathrooms	<ul style="list-style-type: none"> • Sink does not drain properly. • Tub surface is damaged. Repair and or resurfacing is recommended. • Caulking is recommended at the tub or shower areas to prevent moisture penetration and damage behind the walls. • Exhaust fan did operated noisily at time of inspection. Repair or replacement is necessary. • Ground Fault Circuit Interrupter (GFCI) outlets are recommended for installation.
Page 134 Item: 6	Electrical Panel Condition	<ul style="list-style-type: none"> • Electrical panel is located in bedroom closet which is not allowed
Page 135 Item: 8	Decks & Balconies Observations	<ul style="list-style-type: none"> • Carpet restricts viewing.
Unit 17		
Page 136 Item: 1	General Notes	<ul style="list-style-type: none"> • A roach infestation was observed throughout the dwelling at time of inspection. Fumigation is necessary. • See photos.
Page 136 Item: 3	Kitchen	<ul style="list-style-type: none"> • Moisture damage noted on the cabinets. Repair or replacement is recommended. • Evidence of moisture penetration observed at the window. Window may need caulking or sealant application on the exterior.
Page 137 Item: 4	Bedrooms	<ul style="list-style-type: none"> • Closet doors are fallen off the tracks. Proper installation is recommended. • Smoke detector is not installed. A smoke detector is required in every bedroom, adjacent hallway and every level of the dwelling prior to the close of escrow.
Page 137 Item: 7	HVAC System Condition	<ul style="list-style-type: none"> • Unit produced warm air only during inspection. • Further evaluation and repairs as needed by a licensed HVAC contractor is recommended.



Unit 18		
Page 138 Item: 4	Bedrooms	<ul style="list-style-type: none"> Smoke detector is not installed. A smoke detector is required in every bedroom, adjacent hallway and every level of the dwelling prior to the close of escrow.
Page 139 Item: 5	Bathrooms	<ul style="list-style-type: none"> Repair or replacement is recommended. See photos. Vanity door or drawer is damaged or broken. Repair or replacement is recommended. Repair or replacement is recommended. Caulking is recommended at the tub or shower areas to prevent moisture penetration and damage behind the walls. Moisture stains and/or damage viewed on the ceiling. Moisture stains and/or damage viewed on the walls. See photos.
Page 139 Item: 6	Electrical Panel Condition	<ul style="list-style-type: none"> Electrical panel is located in bedroom closet which is not allowed
Page 140 Item: 8	Decks & Balconies Observations	<ul style="list-style-type: none"> Carpet restricts viewing.
Unit 19		
Page 141 Item: 2	Kitchen	<ul style="list-style-type: none"> See photos. Kitchen sink surface is damaged
Page 142 Item: 4	Bedrooms	<ul style="list-style-type: none"> Smoke detector is not installed. A smoke detector is required in every bedroom, adjacent hallway and every level of the dwelling prior to the close of escrow.
Page 142 Item: 5	Bathrooms	<ul style="list-style-type: none"> Sink does not drain properly. See photos. See photos. Bathroom sink surface is damaged Bathroom faucet has corrosion and is damaged Supply valve is older style has significant amount of corrosion and does not work properly.
Page 143 Item: 6	Electrical Panel Condition	<ul style="list-style-type: none"> See photos. Electrical panel located in bedroom closet which is not allowed
Unit 20		
Page 145 Item: 2	Kitchen	<ul style="list-style-type: none"> Moisture damage and mold observed on the cabinet under the kitchen sink. See photos.
Page 145 Item: 3	Hallway	<ul style="list-style-type: none"> Smoke detector is not installed. A smoke detector is required in every bedroom, adjacent hallway and every level of the dwelling prior to the close of escrow. No carbon monoxide alarm installed in the dwelling. Installation is required near the sleeping rooms when any gas burning appliance is present.
Page 145 Item: 4	Bathrooms	<ul style="list-style-type: none"> Tub faucet leaks when operated. Further evaluation and repairs as needed by a plumbing contractor is recommended. See photos.



Page 145 Item: 7	Decks & Balconies Observations	<ul style="list-style-type: none"> • Carpet restricts viewing.
Unit 21		
Page 146 Item: 1	General Notes	<ul style="list-style-type: none"> • A roach infestation was observed throughout the dwelling at time of inspection. Fumigation is necessary.
Page 146 Item: 3	Kitchen	<ul style="list-style-type: none"> • Leaks noted at the supply lines under the sink at time of inspection. • Moisture damage noted on the cabinets. Repair or replacement is recommended. • A licensed plumbing contractor should be called to make necessary repairs.
Page 146 Item: 5	Bedrooms	<ul style="list-style-type: none"> • Smoke detector is not installed. A smoke detector is required in every bedroom, adjacent hallway and every level of the dwelling prior to the close of escrow.
Page 146 Item: 6	Bathrooms	<ul style="list-style-type: none"> • Leaks noted at the supply lines under the sink at time of inspection. • Further evaluation and repairs as needed by a plumbing contractor is recommended. • See photos.
Page 146 Item: 7	Electrical Panel Condition	<ul style="list-style-type: none"> • Panel was blocked by occupants belongings at time of inspection. A minimum clearance of 36 inches in front and 30 inches on each side is required. Removal of any obstructions is required.
Page 147 Item: 9	Decks & Balconies Observations	<ul style="list-style-type: none"> • Carpet restricts viewing.
Unit 22		
Page 148 Item: 4	Bedrooms	<ul style="list-style-type: none"> • Smoke detector is not installed. A smoke detector is required in every bedroom, adjacent hallway and every level of the dwelling prior to the close of escrow.
Page 148 Item: 5	Bathrooms	<ul style="list-style-type: none"> • Sink does not drain properly. • See photos. • Ground Fault Circuit Interrupter (GFCI) outlets are recommended for installation. • See photos.
Page 149 Item: 6	Electrical Panel Condition	<ul style="list-style-type: none"> • Have a licensed electrician make further evaluation and corrections as needed. • See photos. • Neutral wire connected where service wires connect. See photo. • Electrical panel located in bedroom closet which is not allowed
Page 151 Item: 8	Decks & Balconies Observations	<ul style="list-style-type: none"> • Carpet restricts viewing.
Page 151 Item: 9	Attic Observations	<ul style="list-style-type: none"> • Attic entrance has been completely sealed and is unable to enter at time of inspection



Unit 23		
Page 152 Item: 2	Kitchen	<ul style="list-style-type: none"> • Sink surface is damaged or worn. Repair or resurfacing is recommended. • Moisture damage noted on the cabinets. Repair or replacement is recommended. • Evidence of moisture penetration observed at the window. Window may need caulking or sealant application on the exterior. • Window is difficult to operate. Repair or replacement is recommended.
Page 153 Item: 4	Bedrooms	<ul style="list-style-type: none"> • Smoke detector is not installed. A smoke detector is required in every bedroom, adjacent hallway and every level of the dwelling prior to the close of escrow.
Page 153 Item: 5	Bathrooms	<ul style="list-style-type: none"> • Rust and corrosion observed on the water supply valves under the sink. • Tub faucet leaks when operated. • See photos. • Exhaust fan did operated noisily at time of inspection. Repair or replacement is necessary. • Ground Fault Circuit Interrupter (GFCI) outlets are recommended for installation. • See photos.
Page 154 Item: 6	Electrical Panel Condition	<ul style="list-style-type: none"> • Electrical panel located in bedroom closet which is not allowed
Page 155 Item: 8	Decks & Balconies Observations	<ul style="list-style-type: none"> • Carpet restricts viewing.
Unit 24		
Page 156 Item: 1	Living & Dining Room	<ul style="list-style-type: none"> • Window glass is cracked or broken. Replacement is required.
Page 156 Item: 4	Bedrooms	<ul style="list-style-type: none"> • Window glass is cracked or broken. Replacement is required.
Page 156 Item: 5	Bathrooms	<ul style="list-style-type: none"> • Leaks noted at the supply lines under the sink at time of inspection. • Further evaluation and repairs as needed by a plumbing contractor is recommended. • See photos.
Page 157 Item: 9	Decks & Balconies Observations	<ul style="list-style-type: none"> • Carpet restricts viewing.
Unit 25		
Page 158 Item: 1	Living & Dining Room	<ul style="list-style-type: none"> • Moisture stains and/or damage viewed on the ceiling. • Moisture stains and/or damage viewed on the walls. • Flooring is damaged or deteriorated. Repair or replacement is recommended.
Page 159 Item: 2	Kitchen	<ul style="list-style-type: none"> • Low water pressure was noted at the faucet. • See photos. • Little to no flow on hot water side in kitchen • Supply line valves underneath kitchen sink are old and frozen I need to be replaced



Page 160 Item: 3	Hallway	<ul style="list-style-type: none"> • Flooring is damaged or deteriorated. Repair or replacement is recommended. • See photos. • Hallway closet is missing carpet and has no finish the flooring installed
Page 161 Item: 4	Bedrooms	<ul style="list-style-type: none"> • Smoke detector is not installed. A smoke detector is required in every bedroom, adjacent hallway and every level of the dwelling prior to the close of escrow.
Page 161 Item: 5	Bathrooms	<ul style="list-style-type: none"> • Leaks noted at the faucet at time of inspection. • Toilet is broken and does not flush properly. Minor repairs are needed. • Repair or replacement is recommended. • Vanity door or drawer is damaged or broken. Repair or replacement is recommended. • Caulking is recommended at the tub or shower areas to prevent moisture penetration and damage behind the walls. • Moisture stains and/or damage viewed on the walls. • See photos. • Exhaust fan did operated noisily at time of inspection. Repair or replacement is necessary.
Page 162 Item: 6	Electrical Panel Condition	<ul style="list-style-type: none"> • Electrical panel is located in bedroom closet which is not allowed
Unit 26		
Page 164 Item: 1	Living & Dining Room	<ul style="list-style-type: none"> • Flooring is damaged or deteriorated. Repair or replacement is recommended. • See photos.
Page 164 Item: 2	Kitchen	<ul style="list-style-type: none"> • Minor to moderate wear and or damage observed on the kitchen counter top. Repair or replacement is recommended. • Moisture damage noted on the cabinets. Repair or replacement is recommended. • Flooring is damaged or deteriorated. Repair or replacement is recommended. • See photos.
Page 166 Item: 4	Bedrooms	<ul style="list-style-type: none"> • Smoke detector is not installed. A smoke detector is required in every bedroom, adjacent hallway and every level of the dwelling prior to the close of escrow. • See photos. • Bedroom window is cracked and broken. • Could not access closet due to personal belongings blocking entrance.
Page 166 Item: 5	Bathrooms	<ul style="list-style-type: none"> • Ground Fault Circuit Interrupter (GFCI) outlets are recommended for installation.
Page 167 Item: 6	Electrical Panel Condition	<ul style="list-style-type: none"> • Electrical panel is inside bedroom closet which is not allowed • Closet in which electrical panel was inside could not be accessed due to personal belongings blocking entrance.
Page 167 Item: 8	Other Interior	<ul style="list-style-type: none"> • Hand railing is loose or damaged. Repair or replacement is required. • See photos.



Page 168 Item: 9	Decks & Balconies Observations	<ul style="list-style-type: none"> • Carpet restricts viewing.
Unit 27		
Page 169 Item: 1	Living & Dining Room	<ul style="list-style-type: none"> • Sliding glass door screen is damaged or missing. Repair or replacement is recommended
Unit 28		
Page 170 Item: 1	Living & Dining Room	<ul style="list-style-type: none"> • Moisture stains and/or damage viewed on the ceiling. • Flooring is damaged or deteriorated. Repair or replacement is recommended.
Page 170 Item: 2	Kitchen	<ul style="list-style-type: none"> • Leaks noted at the faucet at time of inspection. • Rust and corrosion observed on the water supply valves under the sink. • Moisture damage noted on the cabinets. Repair or replacement is recommended.
Page 171 Item: 4	Bedrooms	<ul style="list-style-type: none"> • Smoke detector is not installed. A smoke detector is required in every bedroom, adjacent hallway and every level of the dwelling prior to the close of escrow.
Page 171 Item: 5	Bathrooms	<ul style="list-style-type: none"> • Rust and corrosion observed on the water supply valves • Faucet has corrosion and is damaged • Repair or replacement is recommended. • See photos. • Moisture stains and/or damage viewed on the ceiling. • Moisture stains and/or damage viewed on the walls. • See photos. • Ground Fault Circuit Interrupter (GFCI) outlets are recommended for installation.
Page 172 Item: 6	Electrical Panel Condition	<ul style="list-style-type: none"> • Electrical panel is located in bedroom closet which is not allowed
Page 173 Item: 8	Decks & Balconies Observations	<ul style="list-style-type: none"> • Carpet restricts viewing.
Unit 29		
Page 174 Item: 1	Kitchen	<ul style="list-style-type: none"> • Unable to inspect the dishwasher at time of the inspection. Unit was filled with occupants belongings. • Exhaust fan did not operate.
Page 174 Item: 3	Bedrooms	<ul style="list-style-type: none"> • Window glass is cracked or broken. Replacement is required. • Door hinges are loose or falling off and do not allow the door to close properly. Repair or replacement. • Closet doors are fallen off the tracks. Proper installation is recommended.
Page 175 Item: 7	Decks & Balconies Observations	<ul style="list-style-type: none"> • Unable to inspect patio/balcony due to occupants belongings. See photos.
Unit 30		
Page 176 Item: 2	Kitchen	<ul style="list-style-type: none"> • Moderate wear and or damage observed on the kitchen cabinet surface. Repair or replacement is recommended.
Page 176 Item: 4	Bedrooms	<ul style="list-style-type: none"> • Smoke detector is not installed. A smoke detector is required in every bedroom, adjacent hallway and every level of the dwelling prior to the close of escrow.



Page 176 Item: 5	Bathrooms	<ul style="list-style-type: none"> • Leaks noted at the faucet at time of inspection. • Leaks noted at the supply lines under the sink at time of inspection. • Further evaluation and repairs as needed by a plumbing contractor is recommended. • See photos.
Unit 31		
Page 177 Item: 1	Living & Dining Room	<ul style="list-style-type: none"> • Broken electrical outlet observed. See photo. Replacement is necessary for safety.
Page 177 Item: 2	Kitchen	<ul style="list-style-type: none"> • Caulking is recommended at the sink and backsplash areas to prevent moisture penetration and damage.
Page 177 Item: 3	Hallway	<ul style="list-style-type: none"> • Broken electrical light fixture observed. See photo. Replacement is necessary.
Page 177 Item: 4	Bedrooms	<ul style="list-style-type: none"> • Bedroom door is broken. Replacement is necessary.
Page 178 Item: 8	Other Interior	<ul style="list-style-type: none"> • Carpet throughout the stairs is torn and poses a trip and fall hazard. See photos.
Page 178 Item: 9	Decks & Balconies Observations	<ul style="list-style-type: none"> • Unable to fully view the balcony/ patio due to occupants belongings. See photos.
Unit 32		
Page 179 Item: 2	Kitchen	<ul style="list-style-type: none"> • Sink surface is damaged or worn. Repair or resurfacing is recommended. • Caulking is recommended at the sink and backsplash areas to prevent moisture penetration and damage.
Page 179 Item: 4	Bedrooms	<ul style="list-style-type: none"> • Moisture stains and/or damage viewed on the ceiling. • Possible roof leak. Further evaluation by a roofing contractor is recommended.
Page 179 Item: 5	Bathrooms	<ul style="list-style-type: none"> • Sink has rust damage. This model of sink was manufactured defectively by welding the overflow channel to the bottom of the sink. This causes rapid rusting under the sink, which then protrudes to the top and generally causes leaks. Replacement of the sink is necessary. • Repair or replacement is recommended. • Flooring is damaged or deteriorated. Repair or replacement is recommended. • Exhaust fan did not operate at time of inspection. Repair or replacement is necessary.
Page 180 Item: 9	Decks & Balconies Observations	<ul style="list-style-type: none"> • Carpet restricts viewing. • Unable to fully view the balcony/ patio due to occupants belongings. See photos.
Unit 33		
Page 181 Item: 4	Bedrooms	<ul style="list-style-type: none"> • Smoke detector is not installed. A smoke detector is required in every bedroom, adjacent hallway and every level of the dwelling prior to the close of escrow.
Page 181 Item: 8	Decks & Balconies Observations	<ul style="list-style-type: none"> • Carpet restricts viewing. Unable to inspect patio/balcony due to occupants belongings. See photos.



Unit 34		
Page 182 Item: 1	Living & Dining Room	<ul style="list-style-type: none"> • Moisture stains and/or damage viewed on the walls. • See photos. • Minor damage and patchwork noted in the living room on walls near hallway
Page 183 Item: 4	Bedrooms	<ul style="list-style-type: none"> • Smoke detector is not installed. A smoke detector is required in every bedroom, adjacent hallway and every level of the dwelling prior to the close of escrow.
Page 183 Item: 5	Bathrooms	<ul style="list-style-type: none"> • Rust and corrosion observed on the water supply valves • Vanity door or drawer is damaged or broken. Repair or replacement is recommended. • Caulking is recommended at the tub or shower areas to prevent moisture penetration and damage behind the walls. • Moisture stains and/or damage viewed on the walls. • Ground Fault Circuit Interrupter (GFCI) outlets are recommended for installation.
Page 184 Item: 6	Electrical Panel Condition	<ul style="list-style-type: none"> • Electrical panel is located in bedroom closet which is not allowed
Page 185 Item: 8	Other Interior	<ul style="list-style-type: none"> • See photos. • Carpet on stairs is deteriorated and damaged
Page 185 Item: 9	Decks & Balconies Observations	<ul style="list-style-type: none"> • Carpet restricts viewing.
Unit 35		
Page 186 Item: 4	Bedrooms	<ul style="list-style-type: none"> • Window is difficult to operate. Repair or replacement is recommended.
Page 186 Item: 6	HVAC System Condition	<ul style="list-style-type: none"> • Unable to inspect. See Heating comments and photos section earlier in the report for more information
Unit 36		
Page 187 Item: 2	Kitchen	<ul style="list-style-type: none"> • Ground Fault Circuit Interrupter (GFCI) outlets are recommended for installation. • See photos.
Page 188 Item: 4	Bedrooms	<ul style="list-style-type: none"> • Smoke detector is not installed. A smoke detector is required in every bedroom, adjacent hallway and every level of the dwelling prior to the close of escrow.
Page 188 Item: 5	Bathrooms	<ul style="list-style-type: none"> • Rust and corrosion observed on the faucet • Shower head leaks when operated. • See photos. • Caulking is recommended at the tub or shower areas to prevent moisture penetration and damage behind the walls. • Ground Fault Circuit Interrupter (GFCI) outlets are recommended for installation. • See photos.
Page 189 Item: 6	Electrical Panel Condition	<ul style="list-style-type: none"> • Electrical panel installed in bedroom closet which is not allowed
Page 189 Item: 8	Decks & Balconies Observations	<ul style="list-style-type: none"> • Carpet restricts viewing.



Unit 37		
Page 190 Item: 2	Kitchen	<ul style="list-style-type: none"> • Caulking is recommended at the sink and backsplash areas to prevent moisture penetration and damage.
Page 190 Item: 3	Hallway	<ul style="list-style-type: none"> • No carbon monoxide alarm installed in the dwelling. Installation is required near the sleeping rooms when any gas burning appliance is present.
Page 190 Item: 5	Bathrooms	<ul style="list-style-type: none"> • Moisture stains and/or damage viewed on the ceiling. • Possible plumbing leak from dwelling above. Further evaluation by a plumbing contractor is recommended. • See photos.
Page 191 Item: 8	Decks & Balconies Observations	<ul style="list-style-type: none"> • Unable to inspect patio/balcony due to occupants belongings. See photos.
Unit 38		
Page 192 Item: 1	Kitchen	<ul style="list-style-type: none"> • Drawers are damaged or difficult to operate. • Evidence of moisture penetration observed at the window. Window may need caulking or sealant application on the exterior.
Page 192 Item: 3	Bedrooms	<ul style="list-style-type: none"> • Window is difficult to operate. Repair or replacement is recommended.
Page 192 Item: 4	Bathrooms	<ul style="list-style-type: none"> • Vanity door or drawer is damaged or broken. Repair or replacement is recommended. • Tub surface is damaged. Repair and or resurfacing is recommended. • Moisture stains and/or damage viewed on the walls. • Floor tiles are damaged or loose. Repair or replacement is recommended. • Repair or replacement is recommended. • See photos.
Page 193 Item: 7	Decks & Balconies Observations	<ul style="list-style-type: none"> • Floor Condition: • Carpet restricts viewing of the floor. Further evaluation is recommended.
Page 194 Item: 8	Attic Observations	<ul style="list-style-type: none"> • Unable to enter attic at time of inspection. Attic entrance was sealed. See photo.
Unit 39		
Page 195 Item: 4	Bedrooms	<ul style="list-style-type: none"> • Smoke detector is not installed. A smoke detector is required in every bedroom, adjacent hallway and every level of the dwelling prior to the close of escrow.
Page 196 Item: 5	Bathrooms	<ul style="list-style-type: none"> • Tub surface is damaged. Repair and or resurfacing is recommended. • Caulking is recommended at the tub or shower areas to prevent moisture penetration and damage behind the walls. • Floor tiles are damaged or loose. Repair or replacement is recommended. • See photos. • Ground Fault Circuit Interrupter (GFCI) outlets are recommended for installation. • See photos.
Page 196 Item: 6	Electrical Panel Condition	<ul style="list-style-type: none"> • Electrical panel located in bedroom closet which is not allowed



Page 197 Item: 8	Decks & Balconies Observations	<ul style="list-style-type: none"> • Carpet restricts viewing.
Unit 40		
Page 198 Item: 4	Bedrooms	<ul style="list-style-type: none"> • Smoke detector is not installed. A smoke detector is required in every bedroom, adjacent hallway and every level of the dwelling prior to the close of escrow.
Page 199 Item: 5	Bathrooms	<ul style="list-style-type: none"> • Tub faucet leaks when operated. • See photos. • Vanity door or drawer is damaged or broken. Repair or replacement is recommended. • Ground Fault Circuit Interrupter (GFCI) outlets are recommended for installation. • See photos.
Page 199 Item: 6	Electrical Panel Condition	<ul style="list-style-type: none"> • Unable to remove electrical panel cover. Panel cover has been painted/sealed to the wall and removal would cause damage to the surrounding wall. Access to the interior of the panel is required. • Electrical panel located inside bedroom closet which is not allowed
Page 200 Item: 8	Decks & Balconies Observations	<ul style="list-style-type: none"> • Carpet restricts viewing.
Unit 41		
Page 201 Item: 2	Bathrooms	<ul style="list-style-type: none"> • Leaks noted at the supply lines under the sink at time of inspection. • Leaks observed at the drain lines under the sink. • Tub faucet leaks when operated. • Moisture stains and/or damage viewed on the ceiling. • Moisture stains and/or damage viewed on the walls. • GFCI outlet did not operate properly at time of inspection. Repair or replacement is recommended. • Significant damage observed at the floor surrounding the toilet. Subfloor appears soft and damaged. See photos. Further evaluation by a licensed contractor is recommended. • Further evaluation and repairs as needed by a plumbing contractor is recommended. • See photos.
Unit 42		
Page 203 Item: 3	Bedrooms	<ul style="list-style-type: none"> • Evidence of moisture penetration observed at the window. Window may need caulking or sealant application on the exterior.
Page 203 Item: 4	Bathrooms	<ul style="list-style-type: none"> • Exhaust fan did operated noisily at time of inspection. Repair or replacement is necessary.
Page 203 Item: 5	Electrical Panel Condition	<ul style="list-style-type: none"> • Unable to remove electrical panel cover. Panel cover has been painted/sealed to the wall and removal would cause damage to the surrounding wall. Access to the interior of the panel is required.
Page 203 Item: 6	HVAC System Condition	<ul style="list-style-type: none"> • System did not respond to normal controls. Further evaluation by a licensed HVAC contractor is recommended.
Page 203 Item: 7	Decks & Balconies Observations	<ul style="list-style-type: none"> • Carpet restricts viewing of the floor. Further evaluation is recommended.



Unit 43		
Page 204 Item: 1	Living & Dining Room	<ul style="list-style-type: none"> • Sliding glass door screen is damaged or missing. Repair or replacement is recommended • Window is difficult to operate. Repair or replacement is recommended.
Page 204 Item: 2	Kitchen	<ul style="list-style-type: none"> • Minor to moderate wear and or damage observed on the kitchen counter top. Repair or replacement is recommended. • Laminate countertop is swelled at the seam from moisture penetration. Repair or replacement is recommended. • Repair or replacement is recommended.
Page 204 Item: 3	Hallway	<ul style="list-style-type: none"> • Smoke detector is not installed. A smoke detector is required in every bedroom, adjacent hallway and every level of the dwelling prior to the close of escrow.
Page 204 Item: 4	Bedrooms	<ul style="list-style-type: none"> • Window glass is cracked or broken. Replacement is required. • Moisture stains and/or damage viewed on the ceiling. • Possible roof leak. Further evaluation by a roofing contractor is recommended. • Closet doors are fallen off the tracks. Proper installation is recommended. • See photos.
Page 205 Item: 5	Bathrooms	<ul style="list-style-type: none"> • Significant moisture damage observed under the sink. • Sink has rust damage. This model of sink was manufactured defectively by welding the overflow channel to the bottom of the sink. This causes rapid rusting under the sink, which then protrudes to the top and generally causes leaks. Replacement of the sink is necessary. • Tub faucet is not sealed at the wall and will allow moisture penetration. • Mirror is damaged. Medicine cabinet mirror is missing. Replacement of both is recommended.
Page 206 Item: 9	Miscellaneous	<ul style="list-style-type: none"> • Main water shut off located at the patio is leaking. See photo. Repairs by a plumbing contractor are recommended.
Unit 44		
Page 207 Item: 1	Kitchen	<ul style="list-style-type: none"> • Moisture damage noted on the cabinets. Repair or replacement is recommended. • Evidence of moisture penetration observed at the window. Window may need caulking or sealant application on the exterior. • See photos. • Kitchen stove is damaged and needs to be repaired or replaced
Page 208 Item: 2	Hallway	<ul style="list-style-type: none"> • Moisture stains and/or damage viewed on the walls. • See photos.
Page 208 Item: 3	Bedrooms	<ul style="list-style-type: none"> • Smoke detector is not installed. A smoke detector is required in every bedroom, adjacent hallway and every level of the dwelling prior to the close of escrow.



Page 208 Item: 4	Bathrooms	<ul style="list-style-type: none"> • Vanity door or drawer is damaged or broken. Repair or replacement is recommended. • Caulking is recommended at the tub or shower areas to prevent moisture penetration and damage behind the walls. • Moisture stains and/or damage viewed on the ceiling. • Moisture stains and/or damage viewed on the walls. • See photos. • Ground Fault Circuit Interrupter (GFCI) outlets are recommended for installation. • See photos.
Page 209 Item: 5	Electrical Panel Condition	<ul style="list-style-type: none"> • Electrical panel is installed in bedroom closet which is not allowed
Page 210 Item: 7	Other Interior	<ul style="list-style-type: none"> • Hand railing is loose or damaged. Repair or replacement is required. • See photos.



IMPORTANT INFORMATION - PLEASE READ CAREFULLY

VILLA HOME INSPECTIONS REQUIRES AN INSPECTION AGREEMENT TO BE SIGNED BY THE CLIENT PRIOR TO PERFORMING AN INSPECTION. IF YOU WERE NOT PRESENT AT THE INSPECTION OR DID NOT SIGN THE INSPECTION AGREEMENT YOU, BY ACCEPTING, PAYING FOR, AND/OR USING THE INSPECTION REPORT YOU ACKNOWLEDGE AND AGREE TO BE BOUND BY THE TERMS AND CONDITIONS OF THE INSPECTION AGREEMENT AND FURTHER AGREE THAT THE INSPECTION AGREEMENT WILL FORM A PART OF THE INSPECTION REPORT. A COPY OF THE INSPECTION AGREEMENT IS INCLUDED WITH THIS REPORT. IF YOU HAVE NOT DONE SO, PLEASE SIGN IT AND RETURN IT TO VILLA HOME INSPECTIONS.



Inspection Details

1. Your Inspector

Inspector: Tony Escamilla • Loren McClanahan

2. Weather Conditions

Materials: 60-70 Degrees.

Observations:

- Cloudy.
- Raining at time of inspection.

3. Parties Present

In Attendance: Buyer present. • Buyer Agent present. • Manager present. • Tenants were present.

4. Occupied?

Occupancy: Yes.

5. Building Faces

Materials: West

6. Building Type

Home Type: Multi Family Residence or Apartment • Number of Units: 44

7. Stories

Materials: Two

8. Space Below Grade

Materials: Concrete slab floor/foundation. No crawlspace. • Garage

9. Utilities Status

Materials: All the utilities were on at time of inspection.

10. Pool/Spa Present

Materials: Pool was present. • Spa was present.

11. Other Information

Observations:

- **STORAGE SHED:** Observed one or more storage sheds on the property. Storage sheds and detached structures (other than the garage) are not inspected and are not part of this inspection. Further evaluation may be needed.





Exterior Areas

1. Driveway and Walkway Condition

Materials: Concrete driveway noted. • Asphalt driveway noted.

Observations:

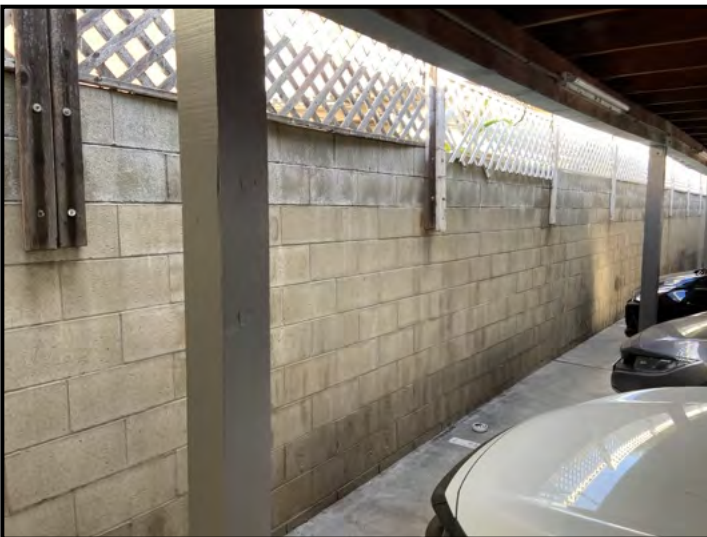
- No visible problems noted at time of inspection.
- Minor cracks noted on the driveway at time of inspection.

2. Fence & Walls Condition

Materials: Wood • Chain link • Block wall • Iron

Observations:

- Fencing appears functional.
- Common cracks noted on the block walls.
- See photos.
- Fence is leaning or falling. Repair or replacement is recommended.
- Paint finish is deteriorated or flaking. Repainting is recommended to prevent moisture damage.
- See photos.





3. Grading & Site Drainage

Materials: Site is primarily flat.

Observations:

- Planter areas near the house do not have a drainage system installed and retain water when it rains. This excess moisture, near the foundation of the house, can cause damage. Installation of a drainage system is recommended.
- Signs of poor drainage observed at the North, North East side of the property.
- Evidence of pooling water was observed at time of inspection.
- Floor drains are filled with debris and may not allow adequate drainage. Further evaluation on clearing off all underground drains is recommended.
- See photos.







4. Retaining Wall Observations

Materials: Location: East • Retaining walls are concrete block.

Observations:

- Common cracks were noted at time of the inspection.
- No drainage weep holes are installed at the bottom of the wall. Improper drainage behind the wall can cause damage and eventual failure. Installation of a drainage system is recommended.
- See photos.



5. Landscaping Observations

Observations:

- Landscaping appears adequately maintained.
- Trimming plants away from the structure is recommended to prevent damage and rodent infestation.
- Trees are within 6 feet of foundation. Monitor for potential root damage.
- Trees or other vegetation are touching or overhanging the roof. Damage is possible. Vegetation on the roof is also a source for rodent activity on the roof and the attic. Recommend trimming all vegetation or trees away from the roof structure.
- Brush growth is too close to the structure (under 100 ft.). Removal is recommended for fire safety.
- Tree branches overhanging roof and/or against siding. Trim trees that are in contact or proximity to home, as branches can abrade siding and damage roofing.
- See photos.



6. Exterior Stairs & Steps

Materials: Concrete. • Steel framed. • Location: Throughout entire complex for each building

Observations:

- No visible problems noted at time of inspection.
- Hand railing is functional.
- See photos.
- **Moisture and rot damage observed on more than one of the landings at top of the stairs. Tenant informed Inspector that new artificial turf was installed recently and the condition of the decks was not good. Further evaluation is recommended. Removal of the artificial turf may be necessary.**



7. Exterior Wall Condition

Materials: Wood frame.

Materials: Stucco. • Wood siding.

Observations:

- No visible problems were noted during the inspection.
- Cracks are typical and not structurally significant.
- See photos.





8. Wall Trim Condition

Materials: Wood.

Observations:

- No visible problems were noted during the inspection.

9. Doors & Windows Observations

Materials: Aluminum. • Sliding.

Observations:

- Glass is cracked or broken. Replacement is required.
- Some windows are hard to operate or painted closed.
- One or more doors are delaminated or have moisture damage. Repair or replacement is recommended.
- Exterior door is improper type. All exterior doors must be solid type.
- See photos.





Porch, Patios & Decks

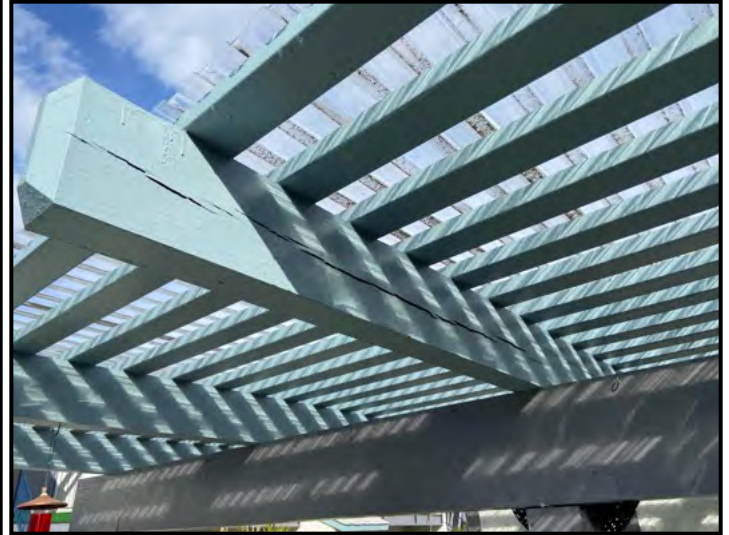
1. Patios Observations

Materials: Concrete.

Materials: Wood

Observations:

- Floor Condition:
 - No visible problems observed at time of inspection.
 - Cracks noted are typical.
- Cover Condition:
 - No visible problems observed at time of inspection.



2. Decks & Balconies Observations

Floor Materials: Wood

Observations:

- Deck underside is not accessible for inspection. Further evaluation may be necessary.
- Balcony underside is covered with wood or stucco and is not accessible for inspection. Further evaluation may be necessary.
- Carpet restricts viewing and inspection of the balconies, stair landings and patio floors. See exterior stairs comments and photos. Further evaluation is recommended, and may necessitate the removal of the carpet.
- Wood beams on some of the decks appear to have some rot/termite damage and moderate size cracking. See photos.
- Most decks and porches have been covered with synthetic turf material which holds moisture and causes significant amount of rock damage underneath. See photos.
- See photos.



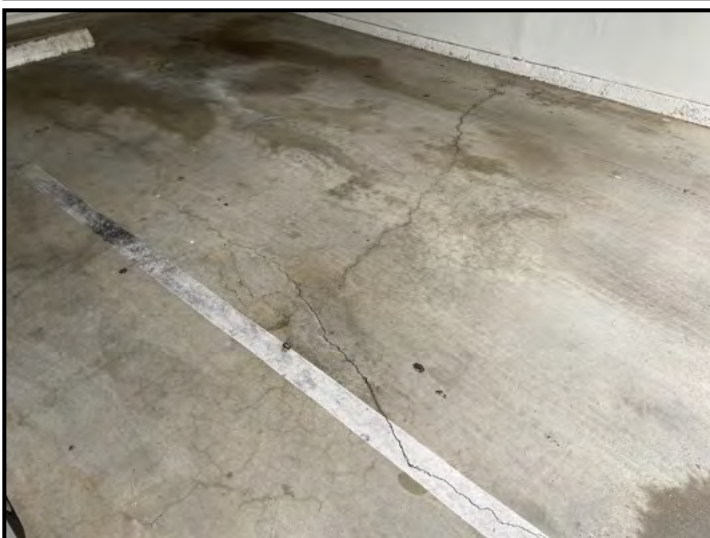
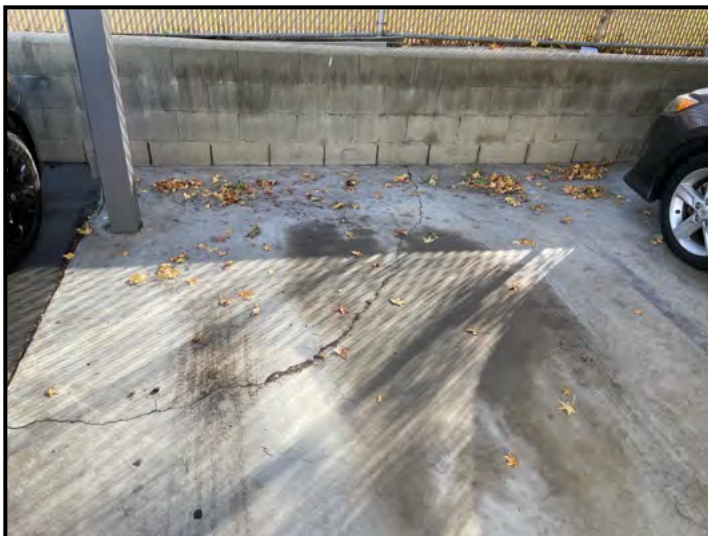
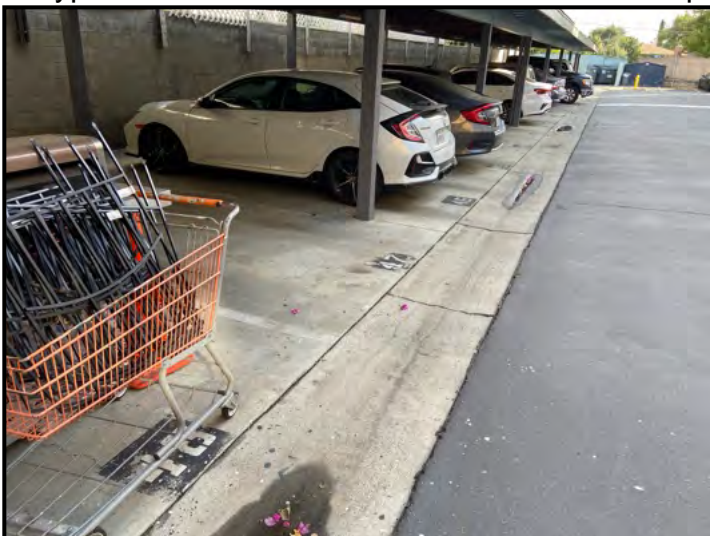


Garage, Carport & Parking

1. Floor Condition

Observations:

- Typical cracks noted on the floor at time of inspection.



2. Fire Separation Wall

Observations:

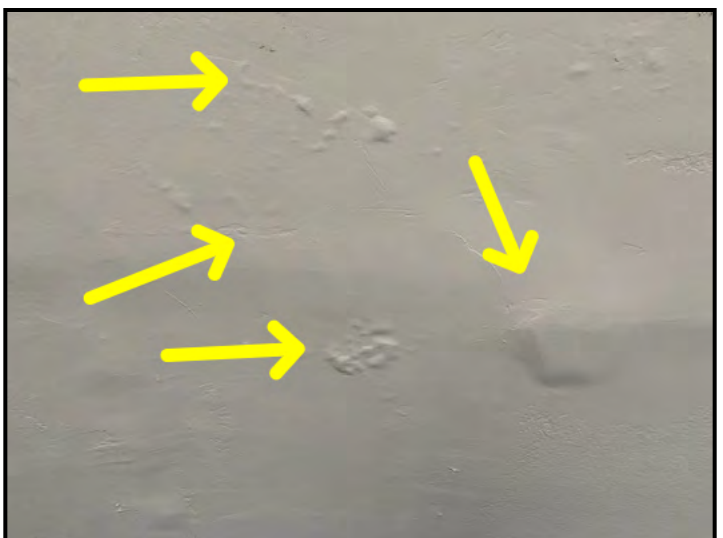
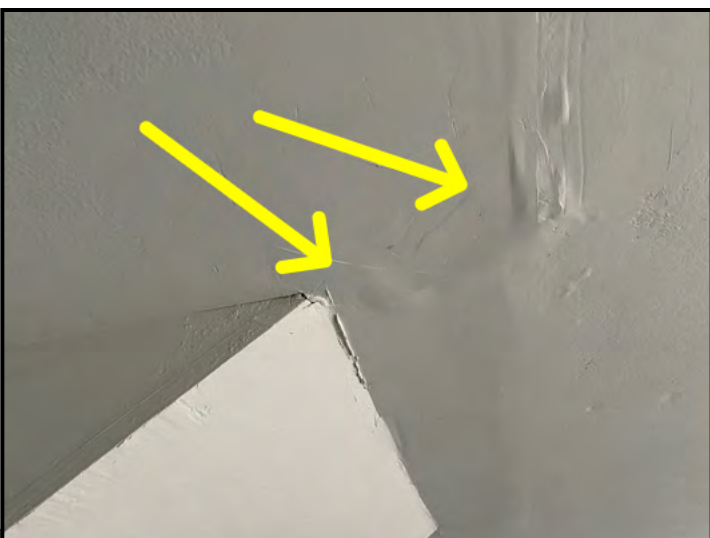
- A breach (holes) in the fire separation wall between the dwelling and garage was observed at the walls. In the event of a fire, flames and smoke could spread rapidly inside and up the wall, into the attic and across the dwelling. This is a hazard. The fire separation wall between the garage and dwelling cannot have any holes and must be covered with approved fire rated materials, like Type X drywall or stucco. Repairs are required to re-establish the fire rating of the wall.
- See Photos.

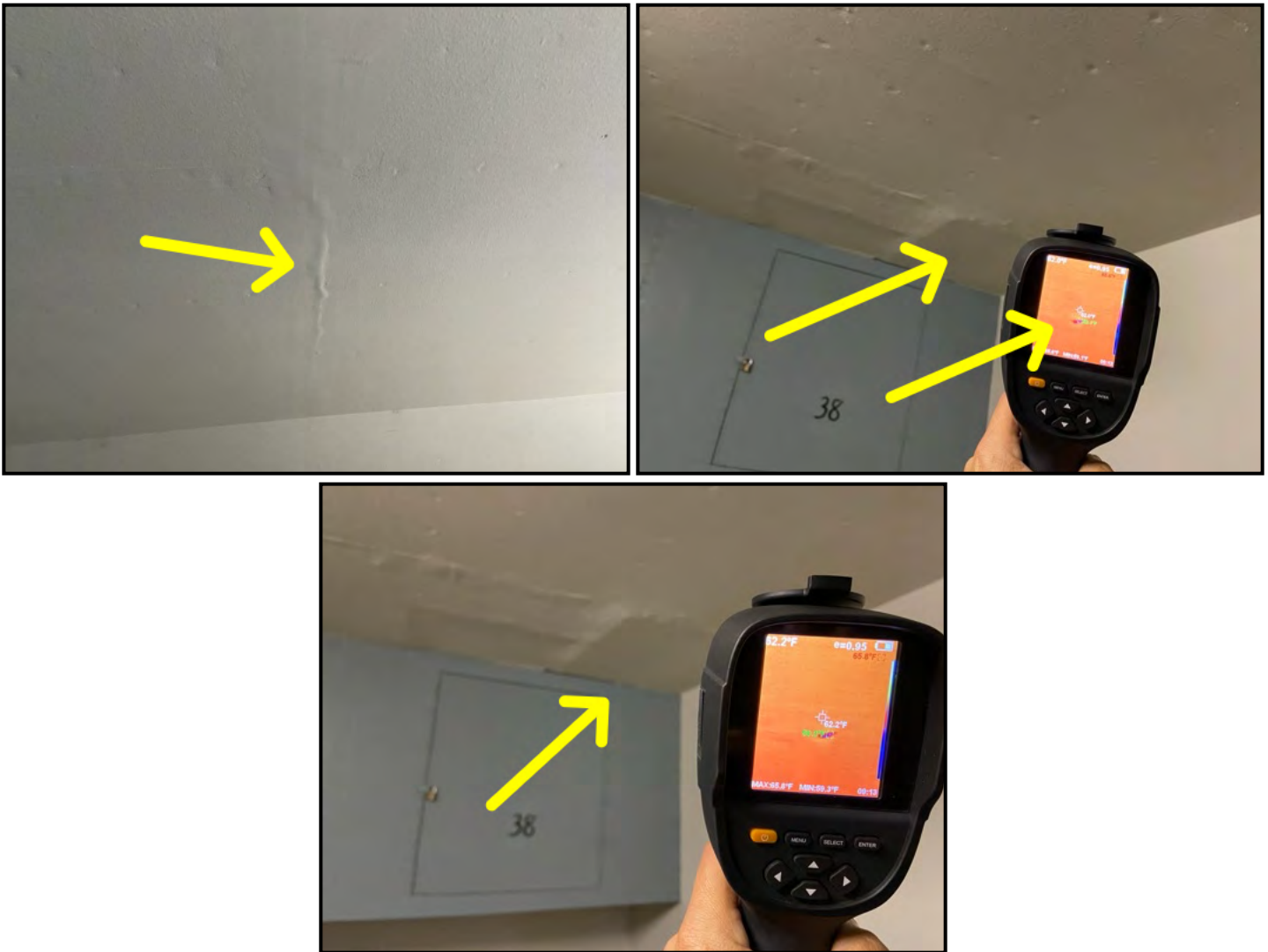


3. Walls & Ceiling

Observations:

- Moisture stains or damage observed on the garage ceiling.
- Possible plumbing leak. Further evaluation by a plumbing contractor is recommended.
- See photos.





4. Electrical Condition

Observations:

- A representative number of outlets, switches and fixtures was operated and found to be in operable condition at time of inspection.

5. Carport Condition

Materials: Wood. • Steel. • Stucco.

Observations:

- Moisture, rot or termite damage observed at the East fascia boards.
- Fascia boards are twisted and loose. See photo. Repair or replacement is recommended.
- Further evaluation by licensed termite inspector is recommended.
- Paint finish is deteriorated or flaking. Repainting is recommended to prevent moisture penetration and damage.
- Moisture penetration and or damage observed on the roof structure. Further evaluation by roofing contractor is recommended.
- See photos.
- Improper slope or low areas in carport causing in adequate drainage noted. See photos.
- Some damaged drywall inside carport area noted. See photos.





The foregoing is an opinion of the general quality and condition of the roofing material. The inspector cannot and does not offer an opinion or warranty as to whether the roof leaks or may be subject to future leakage. This report is issued in consideration of the foregoing disclaimer. The only way to determine whether a roof is absolutely water tight is to observe it during a prolonged rainfall. Many times, this situation is not present during the inspection.



Roof

1. Style

Observations:

- Gable.

2. Material

Observations:

- Composition shingles.

3. Layers

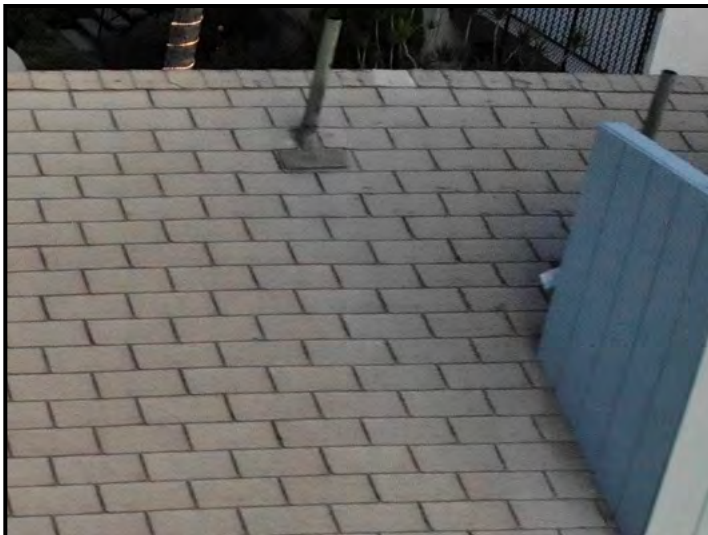
Materials: Undetermined.

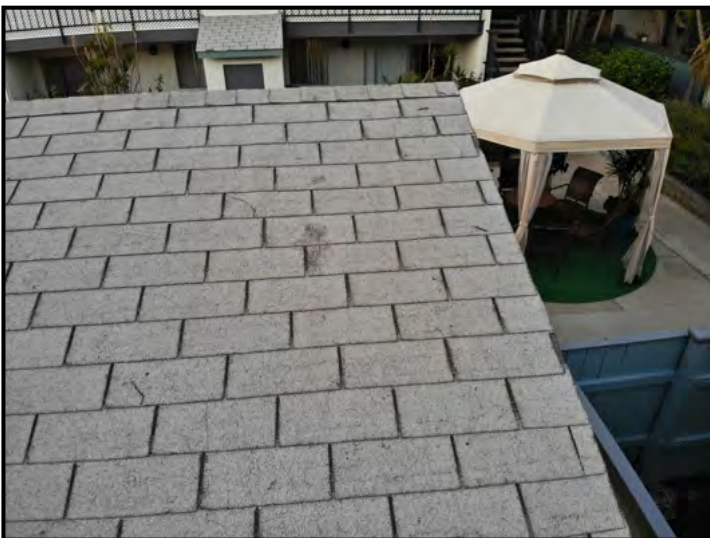
Materials: Roof inspected by drone.

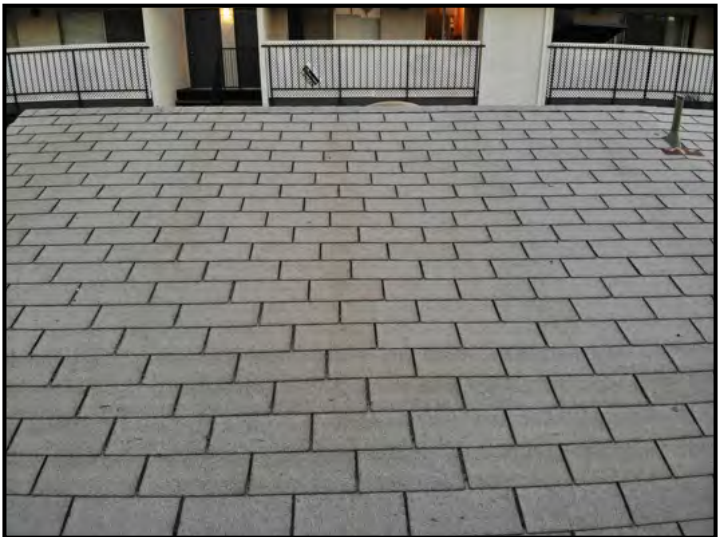
4. Covering Condition

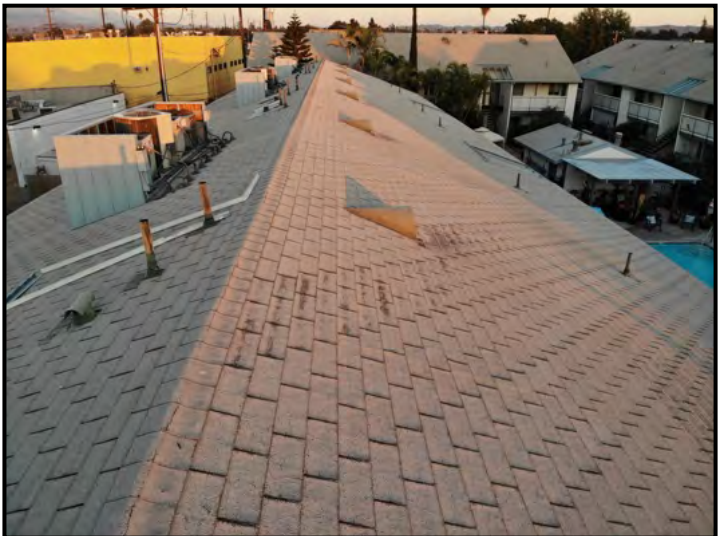
Observations:

- Moderate deterioration of the roofing material was noted at time of inspection.
- Moderate to significant cracking and clawing of the roofing shingles observed throughout the roofs at time of inspection. Cracking and clawing of shingles are the result of long term weathering and an advanced shingle age.
- A licensed roofing contractor should be called to make further evaluation and repairs as needed.
- See photos.













5. Roof Eaves Condition

Materials: Wood

Observations:

- No visible problems observed at time of inspection.
- Moisture, rot or termite-like damage observed at the roof eave boards.
- Moisture, rot or termite-like damage observed on the fascia boards (roof edge board).
- Further evaluation by a licensed termite inspector is recommended.
- See photos.



6. Flashings Condition

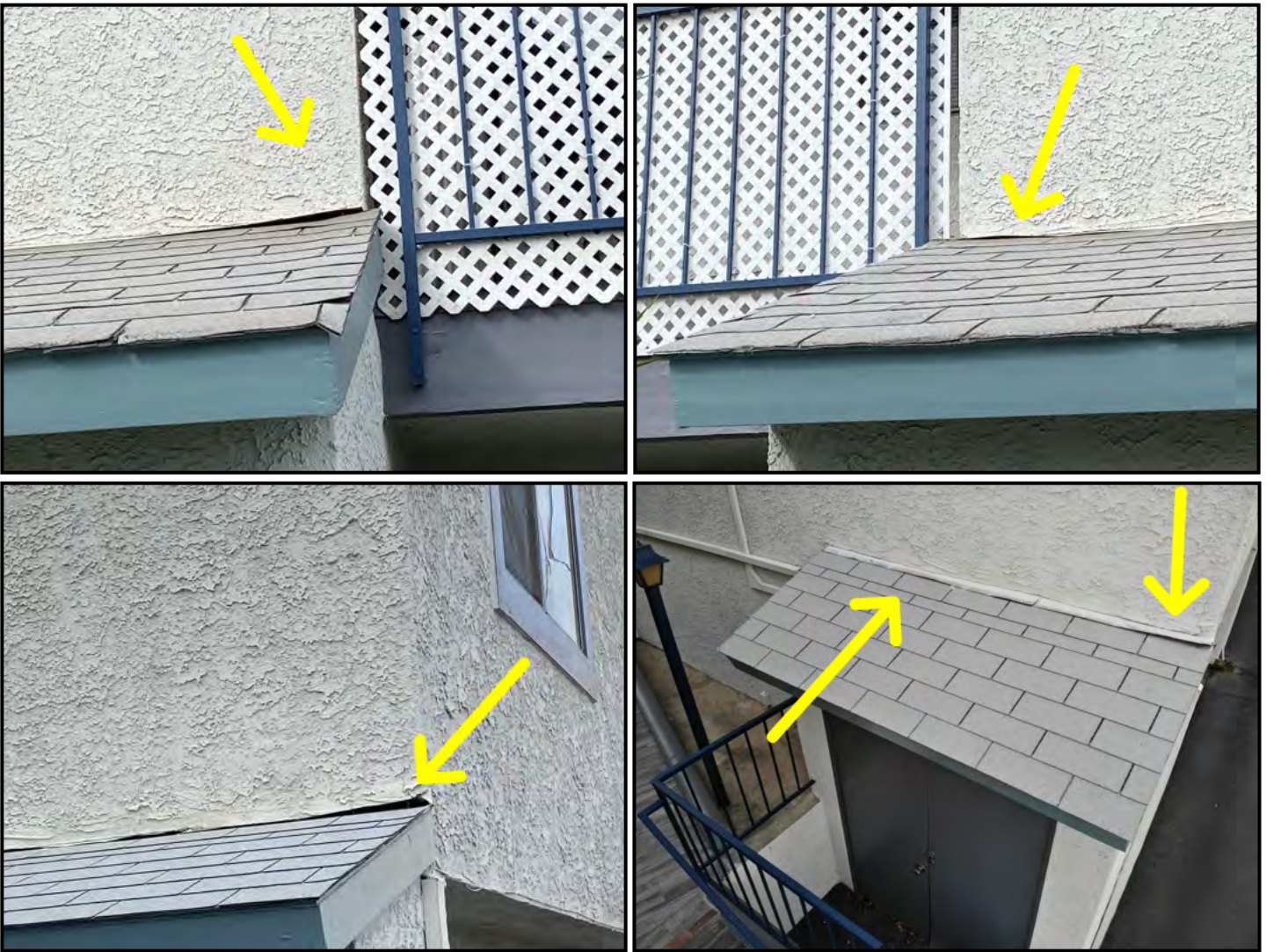
Materials: Metal.

Observations:

• NOTE: Roof flashing is typically a sheet metal installed at the junction between plumbing ventilation pipes and the roof, or wall junctions to the roof. Flashings are installed in order to prevent moisture penetration and are typically sealed with roofing tar. Regular maintenance of these flashings consists of re-sealing each flashing periodically (prior to the rainy season) to prevent roof leaks.

- Flashings do not appear to be properly sealed at the wall junctions.
- Flashings do not appear to be properly sealed at the vent pipes.
- Flashings do not appear to be properly sealed at the HVAC systems throughout the roofs.
- Typical maintenance is recommended.
- See photos.





7. Gutters & Downspouts

Materials: Metal.

Observations:

- Gutters are loose or improperly installed.
- Repair or replacement is recommended.
- Consider installing additional gutters and downspouts to help with site drainage.
- Recommend re-routing the downspouts to drain away from the building. Excess moisture near the foundation may cause settlement and foundation problems.
- Some downspouts were damaged throughout the complex. See photos.





Water quality or hazardous materials (lead) testing is available from local testing labs. All underground piping related to water supply, waste, or sprinkler use are excluded from this inspection. Leakage or corrosion in underground piping cannot be detected by a visual inspection.

Many cities (including Los Angeles & West Hollywood) require the installation of a automatic seismic gas shut off valve prior to the close of escrow. Determining which other cities may or may not is beyond the scope of this inspection. It is recommended that you consult your real estate agent or city building department to determine if it is required



Plumbing

1. Utilities

Materials: Water supply is from a public service company. • Sewer service appears to be connected to a public service.

2. Main Line Type

Materials: Galvanized.
Materials: 1 1/2 Inch.

3. Pressure

Observations:

- Water pressure appears adequate.
- No pressure regulating valve is installed. Installation is recommended.

4. Shut Off Location

Materials: South

5. Meter Location

Materials: Curbside.

6. Main Line Condition

Observations:

- Excessive corrosion is observed on or near the main water shut off valve.
- Meter box was flooded at time of inspection. Unable to determine which side of the meter is leaking. Further evaluation by plumbing contractor is recommended.
- A licensed plumbing contractor should be called for further evaluation and repairs.
- See photos.





7. Supply Lines Condition

Materials: Mostly copper.

Observations:

- Water lines appear to be within their useful life.
- Water lines were not fully visible at time of inspection or underground. Only the visible portions of the plumbing system are inspected and a part of this report.

8. Waste Lines Condition

Materials: Mostly cast iron. • Some cast iron. • Some **ABS**.

Observations:

- No visible problems noted at time of inspection.
- Waste lines not fully visible at time of inspection or underground. Only the visible portions of the plumbing system are inspected and a part of this report.

9. Fuel System Condition

Materials: Natural gas.

Materials: Above ground.

Observations:

- Meter appears functional at time of inspection.
- **Automatic gas seismic shut off valve not present. Installation may be required by your fire insurance company and or may save you money on your premium if installed. Please contact your insurance agent for more information.**



10. Clean Outs

Materials: Front Yard

11. Sewer Inspection Observations

Materials: 4 inch line • Cast Iron

Materials: Front Yard

Observations:

- The sewer lines appeared to be in satisfactory condition and generally in good condition at time of inspection. No immediate action is recommended at this point.
- Grease buildup observed inside the drain line. The grease can eventually lead to blockages if not cleaned out. Other materials traveling down the pipe can get caught up on these build-ups and inhibit the flow of waste. Hyro-jetting should be considered to clear the grease.
- Offset pipes observed. An offset is where two sections of pipes meet but do not line up correctly.
- The offsets observed appear minimal and do not require immediate action.







Water Heater

1. Type

Materials: Gas.
Materials: Pool utility room

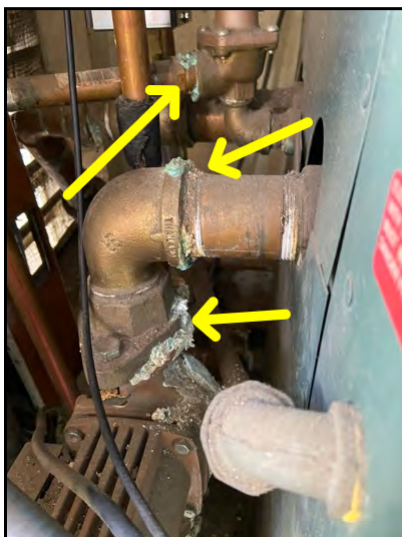
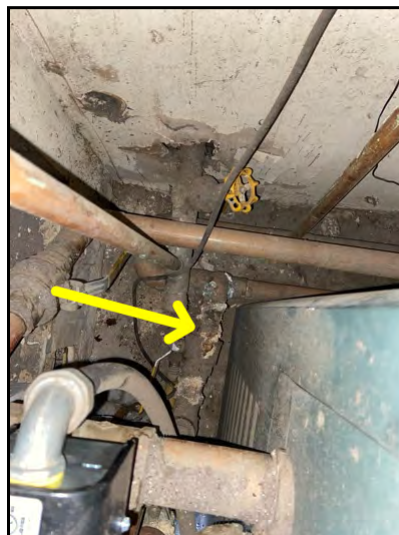
2. Age

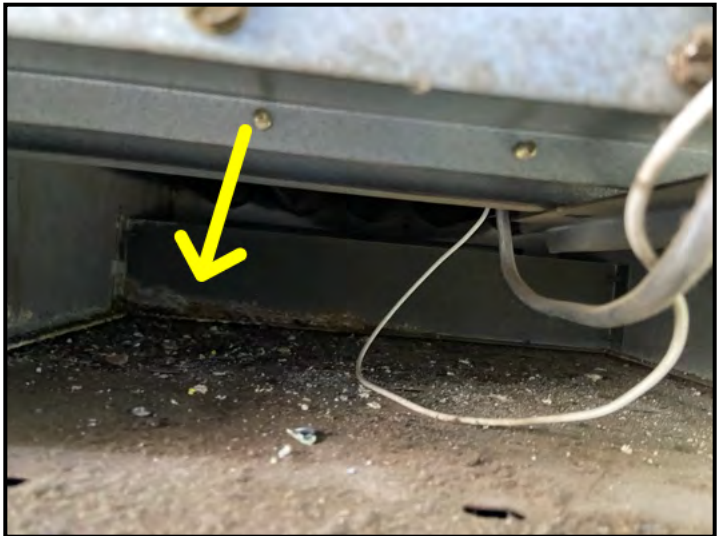
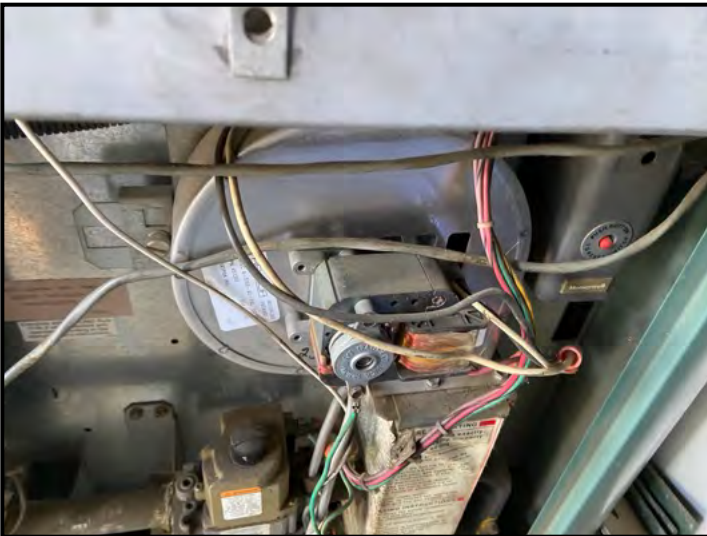
Observations:
• Undetermined.

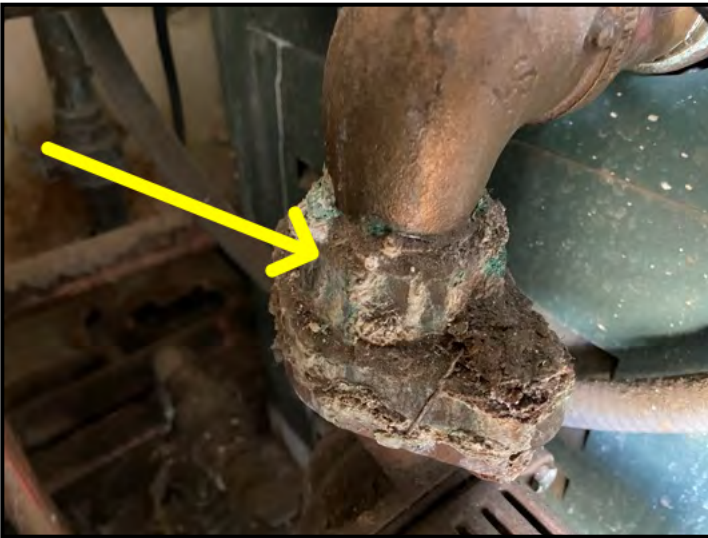
3. Condition

Observations:

- Rust and corrosion was noted on the water lines.
- Leaks noted at the water supply lines.
- Gas line does not have the required sediment trap installed.
- Moisture stains and damage observed on the ceiling surrounding the vent pipe. Possible roof leak. Further evaluation by a roofing contractor is recommended.
- Further evaluation and repairs by a plumbing contractor is recommended.
- See photo.







Electrical

1. Main Shut Off Condition

Materials: TYPE: • Breakers.

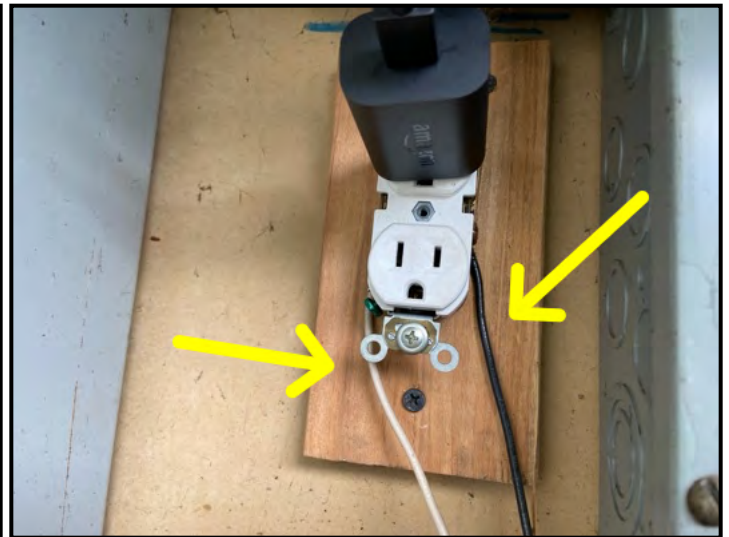
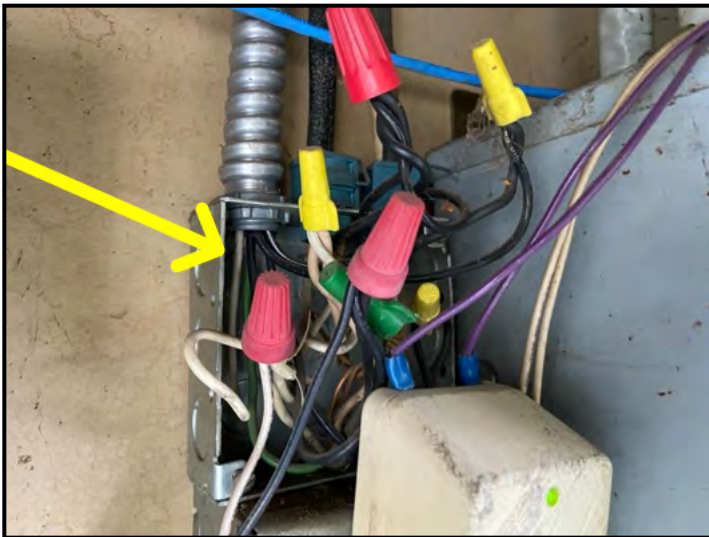
Materials: 70 amps.

Observations:

- Unable to access several of the main electrical shut off closets throughout the property. See photos. Several were padlocked shut and one door was stuck and would not open.
- Moisture damage observed at more than one electrical closet doors and door jambs. Repair or replacement is recommended. See photos.
- Exposed and unsafe wiring observed inside the electrical shut off closet at the West building. There is also an unsafe installation of an electrical outlet. See photos. Further evaluation by a licensed electrical contractor is recommended.







2. Wiring Type

Materials: Flexible metal conduit.

3. Branch Wiring Condition

Materials: Copper.

Observations:

- No visible problems observed at time of inspection.

4. Sub Panel 1 Condition

Materials: LOCATION: • Pool equipment utility room

Materials: Undetermined.

Observations:

- Panel was blocked by occupants belongings at time of inspection. A minimum clearance of 36 inches in front and 30 inches on each side is required. Removal of any obstructions is required.
- See photos.

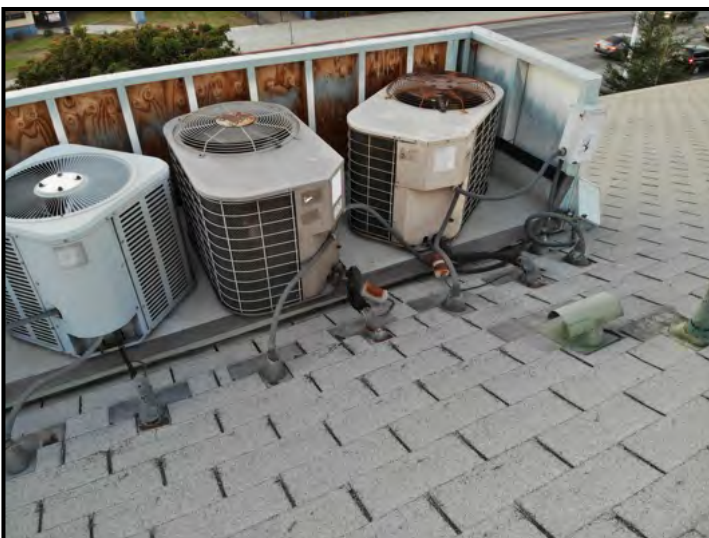


Air Conditioning System

1. System Condition

Observations:

- Condenser units are dirty throughout the property and in need of cleaning and maintenance.
- Insulation on the refrigeration lines of the condensers is deteriorated or missing throughout the property. Repair or replacement is recommended.
- A licensed HVAC contractor should be called to make further evaluation and repairs as needed.
- See photos.









Foundation & Crawlspace

1. Type of Foundation

Materials: Poured Concrete. • Concrete block. • Concrete slab on grade (soil). No crawlspace.

2. Slab Foundation Condition

Observations:

- Foundation perimeter is not fully visible for inspection due to the type of construction and or vegetation near the foundation.
- No visible problems were noted at time of inspection.



Laundry Room

1. Location

Materials: Location: Pool area

2. Plumbing Condition

Observations:

- Gas service pipe is provided.
- Plumbing appears serviceable.
- Dryer venting is provided.

3. Doors & Windows Condition

Observations:

- Doors operate properly.

4. Walls & Ceilings Condition

Observations:

- Walls and ceiling appeared functional at time of inspection.

5. Floor Condition

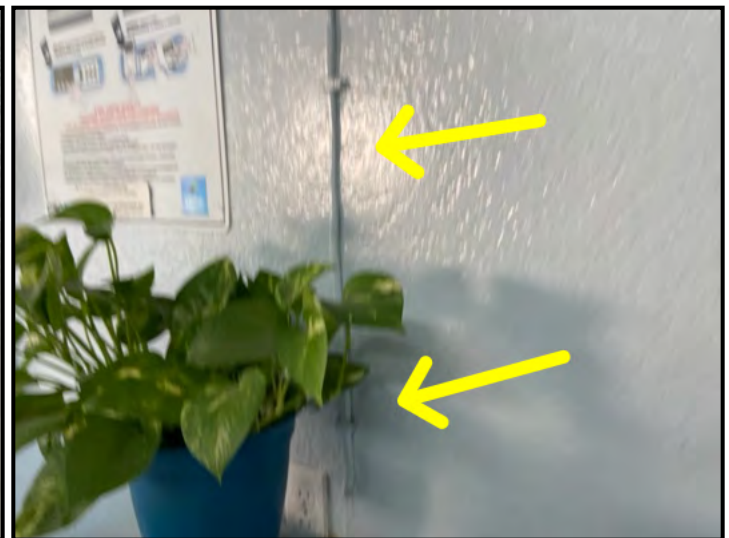
Observations:

- No visible problems noted at time of inspection.

6. Electrical Condition

Observations:

- A representative number of outlets, switches and fixtures was operated and found to be in operable condition at time of inspection.
- Improperly installed, exposed and unsafe romex wiring observed in the laundry room. See photos. Proper Installation or removal is necessary.



Fire Safety

1. Smoke Alarms

Observations:

- No smoke alarm was installed inside one or more bedrooms at time of inspection. A smoke alarm is required inside each bedroom.

2. Carbon Monoxide

Observations:

- Carbon Monoxide alarm was installed at time of inspection.



Areas hidden from view by finished walls or stored items can not be judged and are not a part of this inspection. Minor cracks are typical in many foundations and most do not represent a structural problem. If major cracks are present along with bowing, we routinely recommend further evaluation be made by a qualified structural engineer. All exterior grades should allow for surface and roof water to flow away from the foundation. All concrete floor slabs experience some degree of cracking due to shrinkage in the drying process. In most instances floor coverings prevent recognition of cracks or settlement in all but the most severe cases. Where carpeting and other floor coverings are installed, the materials and condition of the flooring underneath cannot be determined.



Attic

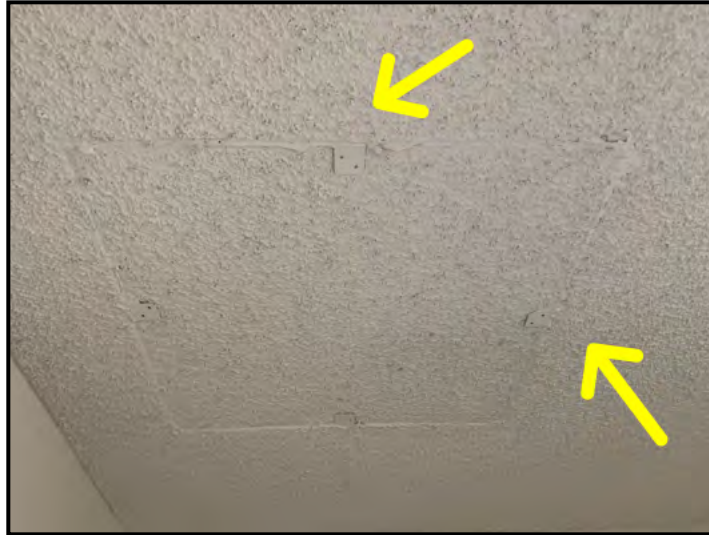
1. Type

Materials: Most units did not have an attic access. A couple attic entrances were completely sealed shut and unable to open at time of inspection. See photo.

2. Condition

Observations:

- Only a couple attic entrances were found but we're unable to access at time of inspection. Attic entrances were completely sealed shut and unable to access. See photo.
- See photos.



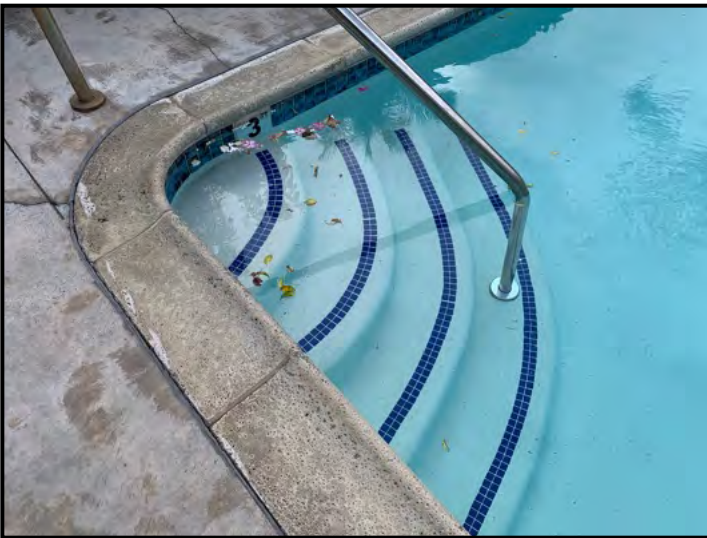
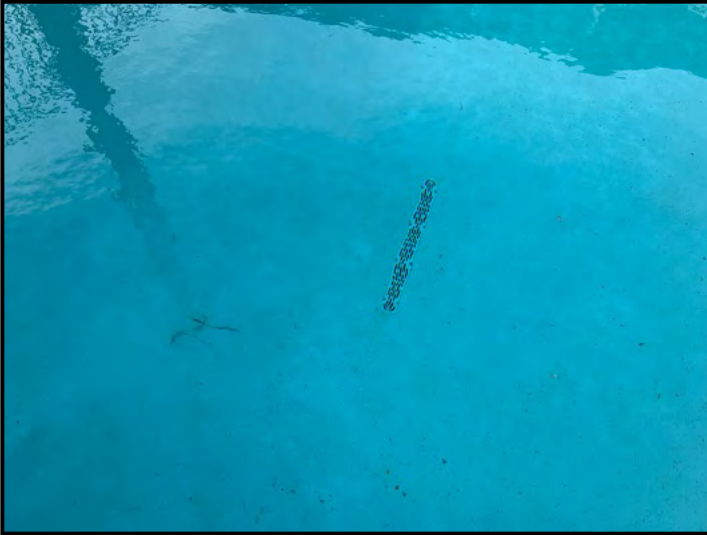
Pool & Spa

1. Pool Surface

Materials: Concrete and plaster.

Observations:

- Pool surface appears to be within its useful life, with no significant damage or deterioration.
- See photos.





2. Spa/Hot Tub Condition

Observations:

- Spa surface appears to be within its useful life, with no significant damage or deterioration.
- All controls operated properly at time of inspection.
- See photos.



3. Fencing & Safety

Observations:

- Fencing appears functional at time of inspection.
- Self closing gate mechanism is present and operable.
- Fencing is present and properly installed.





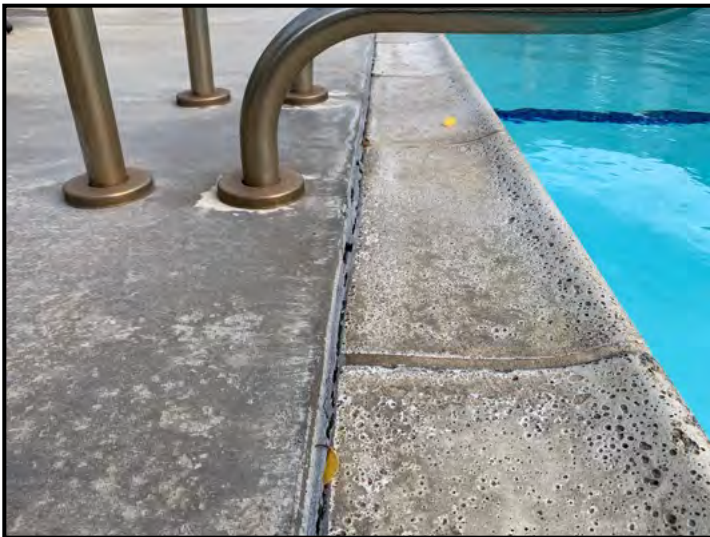
4. Decking Condition

Materials: Concrete.

Observations:

- Coping is not sealed properly. Application of sealant is recommended to prevent moisture penetration behind pool walls.
- Cracks observed on the coping around the pool. This is an indication of rusted steel reinforcement (rebar) inside the bond beam (structural support around the top of the pool walls) and may be a structural concern in the future if not repaired.
- Concrete deck has moderate cracks and may need further evaluation by a masonry or pool contractor.
- North west corner of the pool decking appears to have been lifted up and is no longer level with the pool. See photos
- See photos.











5. Accessories

Observations:

- Handrailings are serviceable.

6. Pool & Spa Lights

Observations:

- Pool light is installed and operable.

7. Pumping Equipment

Observations:

- Pumping equipment operated properly at time of inspection.
- See photos.







8. Skimmer Basket

Observations:

- Skimmer body is cracked or damaged and may leak under the pool deck. Repair or replacement is necessary.
- See photos.





9. Strainer

Observations:

- No visible problems observed at time of inspection.
- See photos.



10. Filter Condition

Materials: Diatomaceous earth.

Observations:

- Filter appeared to operate properly at time of inspection.
- See photos.



11. Drain Cover

Observations:

- Drain cover is present and properly installed.

12. Plumbing Line Condition

Materials: **PVC**

Observations:

- No visible problems observed at time of inspection.
- Some patching or prior replacement of piping is noted.
- See photos.





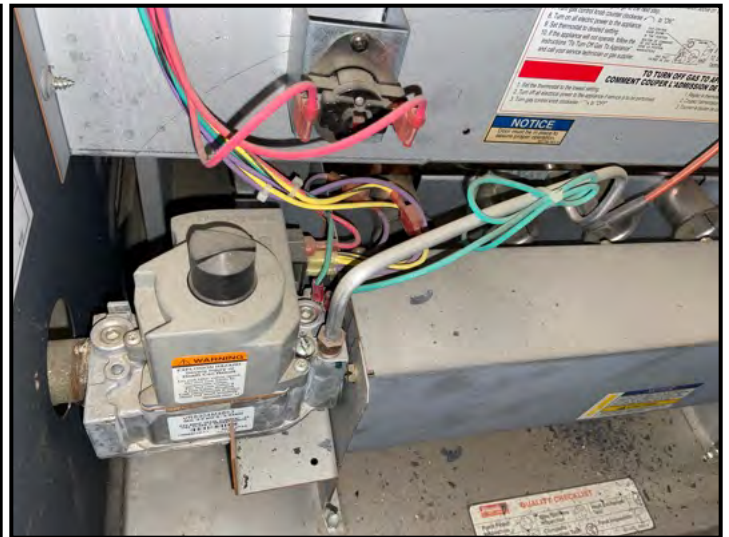
13. Heater Condition

Materials: Natural gas.

Observations:

- Heater operated properly at time of inspection.
- Heater operated properly at time of inspection.
- **Heater is dirty and should be cleaned thoroughly prior to use.**
- **See photos.**





14. Electronic Controls

Observations:

- Timer appeared to operate properly at time of inspection. Inspector does not change timing or programming during inspection.
- See photos.



15. Water

Observations:

- Water chemical levels appear to be properly balanced at time of inspection.

Unit 1

1. Living & Dining Room

Observations:

- Sliding glass door screen is damaged or missing. Repair or replacement is recommended

2. Kitchen

Observations:

- No visible plumbing problems noted at time of inspection.
- No visible problems noted at time of inspection.

3. Hallway

Observations:

- Smoke detector is installed.
- Carbon monoxide alarm is installed in the dwelling.
- No visible problems noted at time of inspection.

4. Bedrooms

Observations:

- Smoke detector is not installed. A smoke detector is required in every bedroom, adjacent hallway and every level of the dwelling prior to the close of escrow.

5. Bathrooms

Observations:

- Leaks noted at the supply lines under the sink at time of inspection.
- Exhaust fan is significantly noisy when operated. Repair or replacement is needed.
- Floor tiles are damaged or loose. Repair or replacement is recommended.



6. Electrical Panel Condition

Observations:

- Panel was blocked by occupants belongings at time of inspection. A minimum clearance of 36 inches in front and 30 inches on each side is required. Removal of any obstructions is required.

7. HVAC System Condition

Observations:

- Heating system operated properly at time of inspection.



8. Decks & Balconies Observations

Floor Materials: Wood

Observations:

- Carpet restricts viewing.
- Unable to fully view the balcony/ patio due to occupants belongings. See photos.



Unit 2

1. Living & Dining Room

Observations:

- No visible problems noted at time of inspection.

2. Kitchen

Observations:

- Leaks noted at the supply lines under the sink at time of inspection.
- Garbage disposal did not operate at time of inspection.
- A licensed plumbing contractor should be called to make necessary repairs.

3. Hallway

Observations:

- No visible problems noted at time of inspection.
- Smoke detector is installed.
- Carbon monoxide alarm is installed in the dwelling.

4. Bedrooms

Observations:

- No visible problems noted at time of inspection.
- Smoke detector is not installed. A smoke detector is required in every bedroom, adjacent hallway and every level of the dwelling prior to the close of escrow.

5. Bathrooms

Observations:

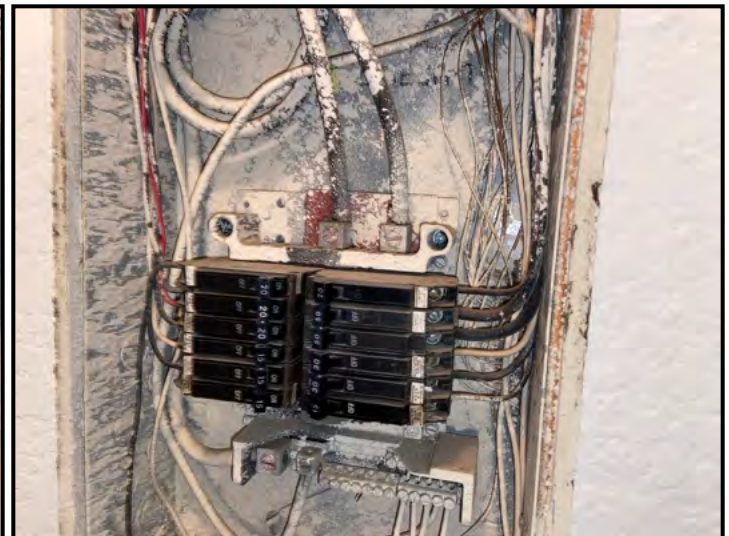
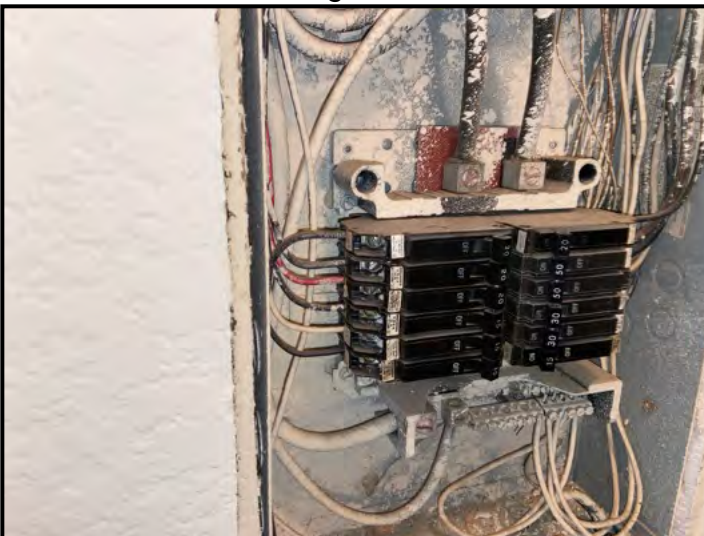
- Leaks observed at the toilet shut off valve.
- Leaks observed at the toilet shut off valve.
- Further evaluation and repairs as needed by a plumbing contractor is recommended.

6. Electrical Panel Condition

Materials: Bedroom.

Observations:

- Circuit and wire sizing correct so far as visible.



7. HVAC System Condition

Observations:

- Heating system operated properly at time of inspection.

8. Decks & Balconies Observations

Floor Materials: Concrete
Observations:

- Carpet restricts viewing.



9. Attic Observations

Observations:

- Unable to enter attic at time of inspection. Attic entrance was sealed shut. Further evaluation is recommended.

Unit 3

1. Living & Dining Room

Observations:

- Walls and ceiling appeared functional at time of inspection.
- No visible problems noted at the closet at time of inspection.
- No visible problems noted at the floor at time of inspection.
- A representative number of outlets, switches and fixtures was operated and found to be in operable condition at time of inspection.
- Evidence of moisture penetration observed at the window. Window may need caulking or sealant application on the exterior.
- Window is difficult to operate. Repair or replacement is recommended.
- Sliding glass door screen is damaged or missing. Repair or replacement is recommended
- See photos.
- Sliding glass door is difficult to operate



2. Kitchen

Observations:

- No visible plumbing problems noted at time of inspection.
- No visible problems noted at the counters and cabinets at time of inspection.
- Windows and doors operated properly at time of inspection.
- Walls and ceiling appeared functional at time of inspection.
- No visible problems noted at the floor at time of inspection.
- A representative number of outlets, switches and fixtures was operated and found to be in operable condition at time of inspection.

3. Hallway

Observations:

- No visible problems noted at time of inspection.
- Smoke detector is installed.
- Carbon monoxide alarm is installed in the dwelling.
- Walls and ceiling appeared functional at time of inspection.
- No visible problems noted at the closet at time of inspection.
- No visible problems noted at the floor at time of inspection.
- A representative number of outlets, switches and fixtures was operated and found to be in operable condition at time of inspection.



4. Bedrooms

Observations:

- Windows and doors operated properly at time of inspection.
- Walls and ceiling appeared functional at time of inspection.
- No visible problems noted at the closet at time of inspection.
- No visible problems noted at the floor at time of inspection.
- A representative number of outlets, switches and fixtures was operated and found to be in operable condition at time of inspection.
- **Smoke detector is not installed. A smoke detector is required in every bedroom, adjacent hallway and every level of the dwelling prior to the close of escrow.**

5. Bathrooms

Observations:

- No visible problems observed at the doors and windows at time of inspection.
- Walls and ceiling appeared functional at time of inspection.
- No visible floor problems noted at time of inspection.
- **Toilet does not flush properly. Minor repairs are needed.**
- **Repair or replacement is recommended.**
- **See photos.**
- **Vanity door or drawer is damaged or broken. Repair or replacement is recommended.**
- **Caulking is recommended at the tub or shower areas to prevent moisture penetration and damage behind the walls.**
- **Exhaust fan did not operate noisily at time of inspection. Repair or replacement is necessary.**
- **See photos.**
- **Bathroom faucet has considerable amount of corrosion and needs to be replaced**
- **Toilet handle is broken**





6. Electrical Panel Condition

Materials: Bedroom Closet

Observations:

- Unable to remove electrical panel cover. Panel cover has been painted/sealed to the wall and removal would cause damage to the surrounding wall. Access to the interior of the panel is required.
- See photos.
- Electrical panel is inside bedroom closet which is not allowed. See photos.

7. HVAC System Condition

Observations:

- No visible problems noted at time of inspection.
- Air conditioning system operated properly at time of inspection.

8. Decks & Balconies Observations

Floor Materials: Floor covered with turf material and could not be fully inspected.

Cover Materials: Stucco

Observations:

- Deck underside is not accessible for inspection. Further evaluation may be necessary.
- Balcony underside is covered with wood or stucco and is not accessible for inspection. Further evaluation may be necessary.
- No visible problems observed at time of inspection.
- No visible problems observed at time of inspection.



Unit 4

1. Kitchen

Observations:

- No visible plumbing problems noted at time of inspection.

2. Hallway

Observations:

- No visible problems noted at time of inspection.

3. Bedrooms

Observations:

- No visible problems noted at time of inspection.

4. Bathrooms

Observations:

- No visible problems noted at time of inspection.
- No visible plumbing problems noted at time of inspection.
- **GFCI** outlet did not operate properly at time of inspection. Repair or replacement is recommended.

5. Electrical Panel Condition

Materials: Bedroom.

Observations:

- Unable to remove electrical panel cover. Panel cover has been painted/sealed to the wall and removal would cause damage to the surrounding wall. Access to the interior of the panel is required.

6. HVAC System Condition

Observations:

- Heating system operated properly at time of inspection.

7. Decks & Balconies Observations

Observations:

- Carpet restricts viewing.



Unit 5

1. Living & Dining Room

Observations:

- Windows and doors operated properly at time of inspection.
- Walls and ceiling appeared functional at time of inspection.
- A representative number of outlets, switches and fixtures was operated and found to be in operable condition at time of inspection.
- **Flooring is damaged or deteriorated. Repair or replacement is recommended.**



2. Kitchen

Observations:

- No visible plumbing problems noted at time of inspection.
- No visible problems noted at the counters and cabinets at time of inspection.
- Windows and doors operated properly at time of inspection.
- Walls and ceiling appeared functional at time of inspection.
- No visible problems noted at the floor at time of inspection.
- A representative number of outlets, switches and fixtures was operated and found to be in operable condition at time of inspection.

3. Hallway

Observations:

- No visible problems noted at time of inspection.
- Smoke detector is installed.
- Carbon monoxide alarm is installed in the dwelling.
- Walls and ceiling appeared functional at time of inspection.
- No visible problems noted at the closet at time of inspection.
- No visible problems noted at the floor at time of inspection.
- A representative number of outlets, switches and fixtures was operated and found to be in operable condition at time of inspection.



4. Bedrooms

Observations:

- Windows and doors operated properly at time of inspection.
- No visible problems noted at the closet at time of inspection.
- No visible problems noted at the floor at time of inspection.
- A representative number of outlets, switches and fixtures was operated and found to be in operable condition at time of inspection.
- **Smoke detector is not installed. A smoke detector is required in every bedroom, adjacent hallway and every level of the dwelling prior to the close of escrow.**
- **Moisture stains and/or damage viewed on the walls.**



5. Bathrooms

Observations:

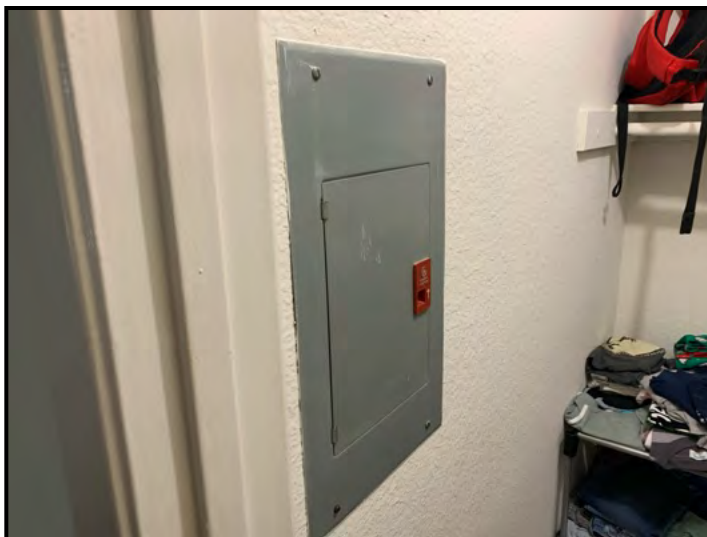
- Sink does not drain properly.
- No visible problems noted at the sink and vanity at time of inspection.
- No visible problems noted at the tub/shower area at time of inspection.
- No visible problems observed at the doors and windows at time of inspection.
- Walls and ceiling appeared functional at time of inspection.
- No visible floor problems noted at time of inspection.
- No visible electrical problems observed at time of inspection.



6. Electrical Panel Condition

Observations:

- Unable to remove electrical panel cover. Panel cover has been painted/sealed to the wall and removal would cause damage to the surrounding wall. Access to the interior of the panel is required.
- See photos.
- Electrical panel is located in bedroom closet which is not allowed



7. HVAC System Condition

Observations:

- No visible problems noted at time of inspection.
- Air conditioning system operated properly at time of inspection.
- No visible problems noted at time of inspection.

8. Decks & Balconies Observations

Floor Materials: Wood

Cover Materials: Stucco

Observations:

- Deck underside is not accessible for inspection. Further evaluation may be necessary.
- Balcony underside is covered with wood or stucco and is not accessible for inspection. Further evaluation may be necessary.
- No visible problems observed at time of inspection.
- Carpet restricts viewing.
- Rot, termite or moisture damage observed.
- See photos.
- Balcony is covered with turf which holds moisture and causes rot damage underneath





Unit 6

1. General Notes

Observations:

- Smoke detector is not installed in the required locations. A smoke detector is required in every bedroom, adjacent hallway and every level of the dwelling prior to the close of escrow.
- No carbon monoxide alarm installed in the dwelling. Installation is required near the sleeping rooms when any gas burning appliance is present.

2. Living & Dining Room

Observations:

- Moisture stains and/or damage viewed on the ceiling.
- Possible roof leak. Further evaluation by a roofing contractor is recommended.
- See photos.



3. Kitchen

Observations:

- No visible problems noted at time of inspection.
- No visible plumbing problems noted at time of inspection.

4. Hallway

Observations:

- Smoke detector is installed.
- Carbon monoxide alarm is installed in the dwelling.

5. Bedrooms

Observations:

- No visible problems noted at time of inspection.

6. Bathrooms

Observations:

- No visible problems noted at time of inspection.
- No visible plumbing problems noted at time of inspection.

7. Electrical Panel Condition

Observations:

- Unable to remove electrical panel cover. Panel cover has been painted/sealed to the wall and removal would cause damage to the surrounding wall. Access to the interior of the panel is required.

8. HVAC System Condition

Observations:

- Heating system operated properly at time of inspection.

9. Decks & Balconies Observations

Observations:

- Carpet restricts viewing.



Unit 7

1. Living & Dining Room

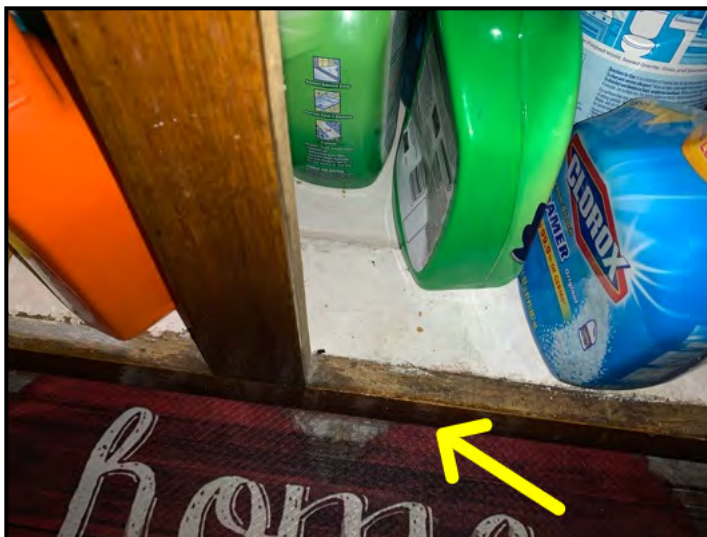
Observations:

- Windows and doors operated properly at time of inspection.
- Walls and ceiling appeared functional at time of inspection.
- No visible problems noted at the floor at time of inspection.
- A representative number of outlets, switches and fixtures was operated and found to be in operable condition at time of inspection.

2. Kitchen

Observations:

- No visible plumbing problems noted at time of inspection.
- Windows and doors operated properly at time of inspection.
- Walls and ceiling appeared functional at time of inspection.
- No visible problems noted at the floor at time of inspection.
- A representative number of outlets, switches and fixtures was operated and found to be in operable condition at time of inspection.
- **Moisture damage noted on the cabinets. Repair or replacement is recommended.**



3. Hallway

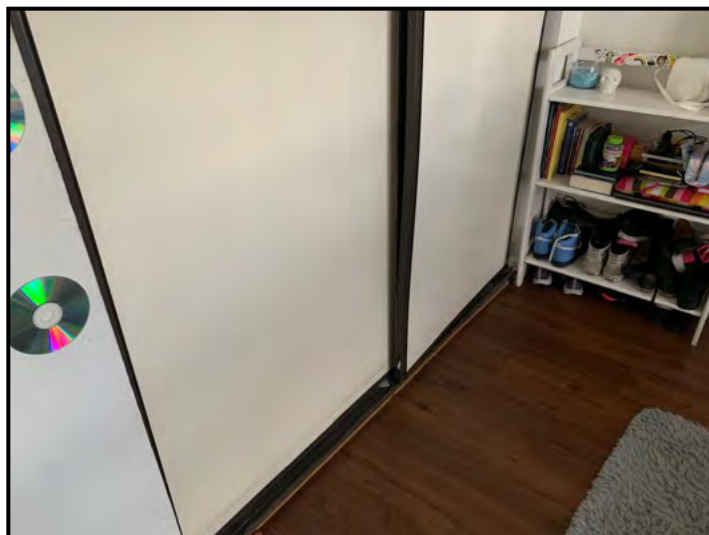
Observations:

- Smoke detector is installed.
- Carbon monoxide alarm is installed in the dwelling.
- Windows and doors operated properly at time of inspection.
- Walls and ceiling appeared functional at time of inspection.
- No visible problems noted at the closet at time of inspection.
- No visible problems noted at the floor at time of inspection.
- A representative number of outlets, switches and fixtures was operated and found to be in operable condition at time of inspection.

4. Bedrooms

Observations:

- Walls and ceiling appeared functional at time of inspection.
- No visible problems noted at the floor at time of inspection.
- A representative number of outlets, switches and fixtures was operated and found to be in operable condition at time of inspection.
- **Smoke detector is not installed. A smoke detector is required in every bedroom, adjacent hallway and every level of the dwelling prior to the close of escrow.**
- **See photos.**
- **Closet doors are fallen off the tracks. Proper installation is recommended.**
- **See photos.**
- **Closet doors do not operate properly in and falling off tracks.**
- **Bedroom door is damaged and missing hardware**



5. Bathrooms

Observations:

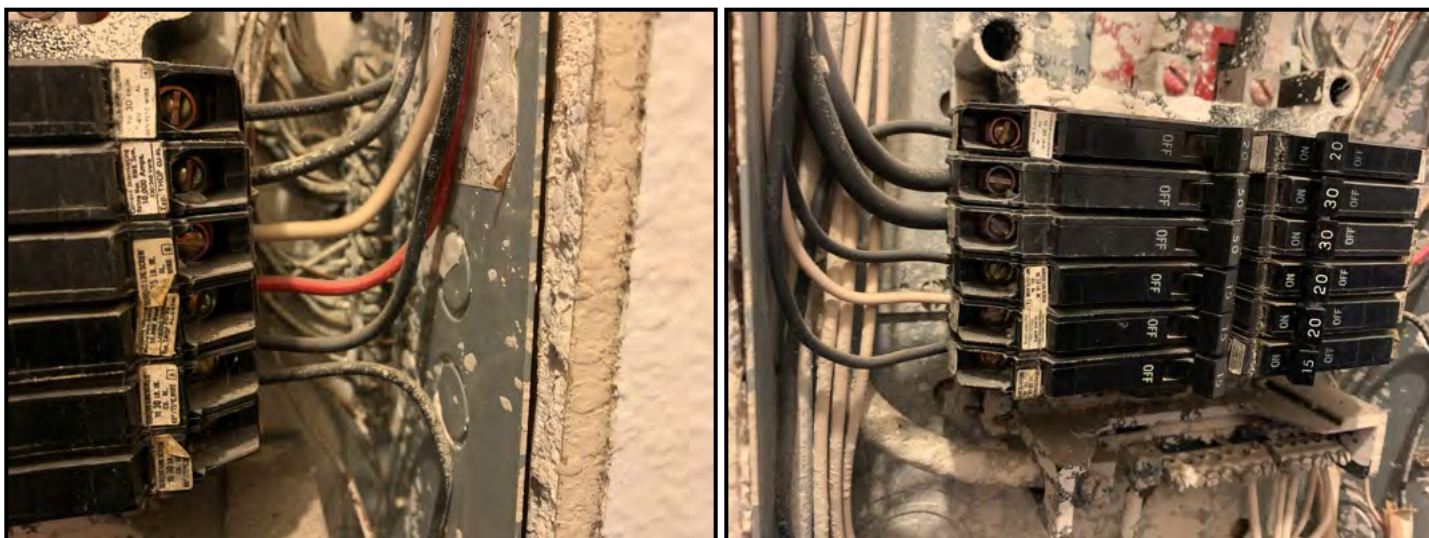
- No visible problems noted at the sink and vanity at time of inspection.
- No visible problems noted at the tub/shower area at time of inspection.
- No visible problems observed at the doors and windows at time of inspection.
- Walls and ceiling appeared functional at time of inspection.
- No visible floor problems noted at time of inspection.
- No visible electrical problems observed at time of inspection.
- **Rust and corrosion observed on the water supply valves under the sink.**
- **Water supply valve for toilet is older valve, has significant amount of corrosion around valve and water line. Needs to be replaced**



6. Electrical Panel Condition

Observations:

- Circuit and wire sizing correct so far as visible.
- Grounding system is present.
- See photos.
- **Electrical panel is located in bedroom closet which is not allowed**



7. HVAC System Condition

Observations:

- No visible problems noted at time of inspection.
- Air conditioning system operated properly at time of inspection.
- No visible problems noted at time of inspection.

8. Decks & Balconies Observations

Floor Materials: Concrete • Floor viewing restricted Due to turf material covering and could not be fully inspected

Cover Materials: Stucco

Observations:

- Deck underside is not accessible for inspection. Further evaluation may be necessary.
- Balcony underside is covered with wood or stucco and is not accessible for inspection. Further evaluation may be necessary.
- No visible problems observed at time of inspection.
- No visible problems observed at time of inspection.

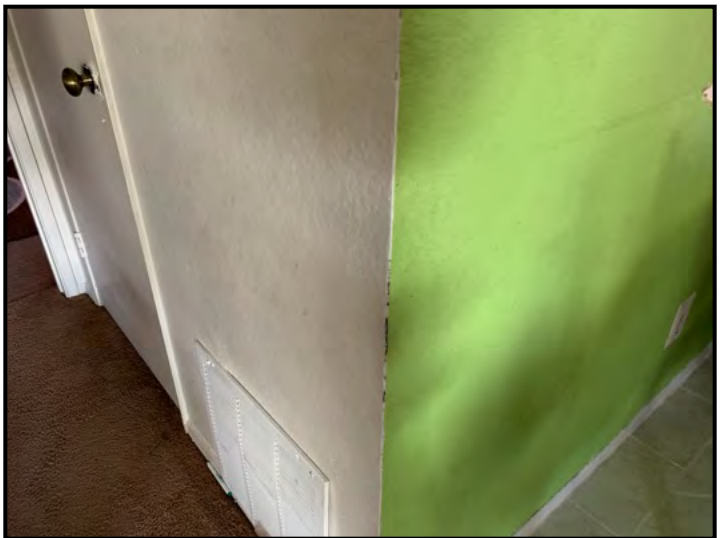


Unit 8

1. Living & Dining Room

Observations:

- Windows and doors operated properly at time of inspection.
- No visible problems noted at the floor at time of inspection.
- A representative number of outlets, switches and fixtures was operated and found to be in operable condition at time of inspection.
- **Moisture stains and/or damage viewed on the walls.**



2. Kitchen

Observations:

- No visible problems noted at the counters and cabinets at time of inspection.
- Windows and doors operated properly at time of inspection.
- Walls and ceiling appeared functional at time of inspection.
- No visible problems noted at the floor at time of inspection.
- A representative number of outlets, switches and fixtures was operated and found to be in operable condition at time of inspection.
- **Rust and corrosion observed on the water supply valves under the sink.**



3. Hallway

Observations:

- Carbon monoxide alarm is installed in the dwelling.
- No visible problems noted at the closet at time of inspection.
- No visible problems noted at the floor at time of inspection.
- A representative number of outlets, switches and fixtures was operated and found to be in operable condition at time of inspection.
- **Smoke detector is not installed. A smoke detector is required in every bedroom, adjacent hallway and every level of the dwelling prior to the close of escrow.**
- **Moisture stains and/or damage viewed on the walls.**



4. Bedrooms

Observations:

- Windows and doors operated properly at time of inspection.
- Walls and ceiling appeared functional at time of inspection.
- No visible problems noted at the closet at time of inspection.
- No visible problems noted at the floor at time of inspection.
- A representative number of outlets, switches and fixtures was operated and found to be in operable condition at time of inspection.
- **Smoke detector is not installed. A smoke detector is required in every bedroom, adjacent hallway and every level of the dwelling prior to the close of escrow.**
- **Evidence of moisture penetration observed at the window. Window may need caulking or sealant application on the exterior.**

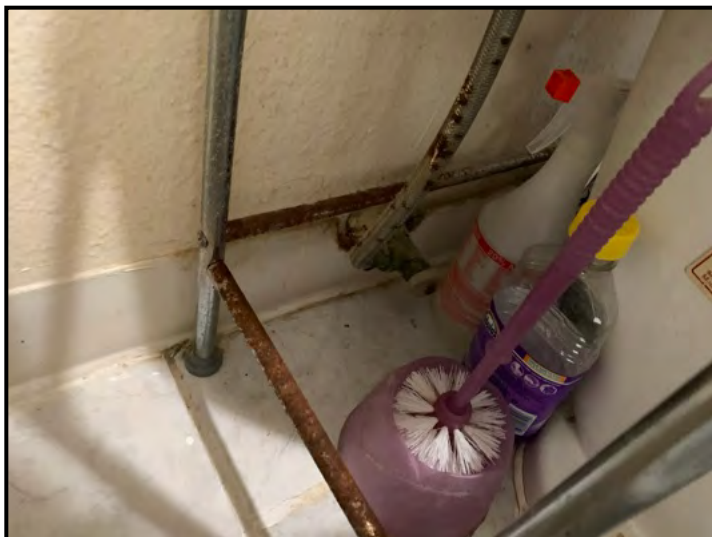




5. Bathrooms

Observations:

- No visible problems noted at the sink and vanity at time of inspection.
- No visible problems noted at the tub/shower area at time of inspection.
- No visible problems observed at the doors and windows at time of inspection.
- Walls and ceiling appeared functional at time of inspection.
- No visible floor problems noted at time of inspection.
- **Rust and corrosion observed on the water supply valves**
- **Exhaust fan did not operate at time of inspection. Repair or replacement is necessary.**



6. Electrical Panel Condition

Observations:

- Circuit and wire sizing correct so far as visible.
- Grounding system is present.
- **Electrical panel located in bedroom closet which is not allowed**

7. HVAC System Condition

Observations:

- No visible problems noted at time of inspection.
- Air conditioning system operated properly at time of inspection.
- No visible problems noted at time of inspection.

8. Decks & Balconies Observations

Floor Materials: Wood

Cover Materials: Stucco

Observations:

- Deck underside is not accessible for inspection. Further evaluation may be necessary.
- Balcony underside is covered with wood or stucco and is not accessible for inspection. Further evaluation may be necessary.
- No visible problems observed at time of inspection.
- **Carpet restricts viewing.**

Unit 9

1. Living & Dining Room

Observations:

- No visible problems noted at time of inspection.

2. Kitchen

Observations:

- No visible plumbing problems noted at time of inspection.
- Unable to inspect the dishwasher at time of inspection. It was filled with occupants belongings. Further evaluation is recommended.
- Moisture damage noted on the cabinets. Repair or replacement is recommended.

3. Hallway

Observations:

- No visible problems noted at time of inspection.
- Flooring is damaged or deteriorated. Repair or replacement is recommended.

4. Bedrooms

Observations:

- Door has a large hole and falling off the hinges. Repair or replacement is recommended.
- Closet doors are fallen off the tracks. Proper installation is recommended.

5. Bathrooms

Observations:

- Leaks noted at the faucet at time of inspection.
- Repair or replacement is recommended.
- Vanity door or drawer is damaged or broken. Repair or replacement is recommended.
- Repair or replacement is recommended.
- Moisture stains and/or damage viewed on the ceiling.
- Possible roof leak. Further evaluation by a roofing contractor is recommended.
- See photos.



6. Electrical Panel Condition

Observations:

- Panel was blocked by occupants belongings at time of inspection. A minimum clearance of 36 inches in front and 30 inches on each side is required. Removal of any obstructions is required.



7. HVAC System Condition

Observations:

- Heating system operated properly at time of inspection.

8. Decks & Balconies Observations

Observations:

- **Unable to inspect the balcony/patio due to occupants belongings. See photo.**



Unit 10

1. Living & Dining Room

Observations:

- Windows and doors operated properly at time of inspection.
- Walls and ceiling appeared functional at time of inspection.
- No visible problems noted at the floor at time of inspection.
- A representative number of outlets, switches and fixtures was operated and found to be in operable condition at time of inspection.

2. Kitchen

Observations:

- No visible problems noted at the counters and cabinets at time of inspection.
- Walls and ceiling appeared functional at time of inspection.
- No visible problems noted at the floor at time of inspection.
- A representative number of outlets, switches and fixtures was operated and found to be in operable condition at time of inspection.
- Leaks noted at the supply lines under the sink at time of inspection.
- Evidence of moisture penetration observed at the window. Window may need caulking or sealant application on the exterior.
- Window is difficult to operate. Repair or replacement is recommended.
- See photos.





3. Hallway

Observations:

- Carbon monoxide alarm is installed in the dwelling.
- Walls and ceiling appeared functional at time of inspection.
- No visible problems noted at the closet at time of inspection.
- No visible problems noted at the floor at time of inspection.
- A representative number of outlets, switches and fixtures was operated and found to be in operable condition at time of inspection.
- **Smoke detector is not installed. A smoke detector is required in every bedroom, adjacent hallway and every level of the dwelling prior to the close of escrow.**



4. Bedrooms

Observations:

- Windows and doors operated properly at time of inspection.
- Walls and ceiling appeared functional at time of inspection.
- No visible problems noted at the closet at time of inspection.
- No visible problems noted at the floor at time of inspection.
- A representative number of outlets, switches and fixtures was operated and found to be in operable condition at time of inspection.
- **Smoke detector is not installed. A smoke detector is required in every bedroom, adjacent hallway and every level of the dwelling prior to the close of escrow.**



5. Bathrooms

Observations:

- No visible plumbing problems noted at time of inspection.
- No visible problems noted at the sink and vanity at time of inspection.
- No visible problems noted at the tub/shower area at time of inspection.
- No visible problems observed at the doors and windows at time of inspection.
- No visible floor problems noted at time of inspection.
- **Moisture stains and/or damage viewed on the walls.**
- **See photos.**
- **Ground Fault Circuit Interrupter (GFCI) outlets are recommended for installation.**
- **See photos.**



6. Electrical Panel Condition

Observations:

- Circuit and wire sizing correct so far as visible.
- Grounding system is present.
- **Electrical panel is located in bedroom closet which is not allowed**

7. HVAC System Condition

Observations:

- No visible problems noted at time of inspection.
- Air conditioning system operated properly at time of inspection.
- No visible problems noted at time of inspection.

8. Decks & Balconies Observations

Floor Materials: Wood

Cover Materials: Stucco

Observations:

- Deck underside is not accessible for inspection. Further evaluation may be necessary.
- Balcony underside is covered with wood or stucco and is not accessible for inspection. Further evaluation may be necessary.
- No visible problems observed at time of inspection.
- **Carpet restricts viewing.**



Unit 11

1. Kitchen

Observations:

- Leaks noted at the faucet at time of inspection.
- A licensed plumbing contractor should be called to make necessary repairs.
- See photos.



2. Hallway

Observations:

- No visible problems noted at time of inspection.

3. Bedrooms

Observations:

- No visible problems noted at time of inspection.
- Smoke detector is not installed. A smoke detector is required in every bedroom, adjacent hallway and every level of the dwelling prior to the close of escrow.

4. Bathrooms

Observations:

- No visible plumbing problems noted at time of inspection.
- No visible problems noted at time of inspection.

5. Electrical Panel Condition

Observations:

- Panel was blocked by occupants belongings at time of inspection. A minimum clearance of 36 inches in front and 30 inches on each side is required. Removal of any obstructions is required.

6. HVAC System Condition

Observations:

- System did not respond to normal controls. Further evaluation by a licensed HVAC contractor is recommended.
- Further evaluation and repairs as needed by a licensed HVAC contractor is recommended.

7. Decks & Balconies Observations

Observations:

- Unable to fully view the balcony/ patio due to occupants belongings. See photos.



Unit 12

1. Living & Dining Room

Observations:

- Windows and doors operated properly at time of inspection.
- Walls and ceiling appeared functional at time of inspection.
- No visible problems noted at the floor at time of inspection.
- A representative number of outlets, switches and fixtures was operated and found to be in operable condition at time of inspection.

2. Kitchen

Observations:

- Windows and doors operated properly at time of inspection.
- Walls and ceiling appeared functional at time of inspection.
- No visible problems noted at the floor at time of inspection.
- A representative number of outlets, switches and fixtures was operated and found to be in operable condition at time of inspection.
- Low water pressure was noted at the faucet.
- Dishwasher did not operate at time of inspection.
- Sink surface is damaged or worn. Repair or resurfacing is recommended.
- Moisture damage noted on the cabinets. Repair or replacement is recommended.
- See photos.
- Dishwasher is original older appliance needs to be replaced.
- Range fan is original and his damaged and needs to be replaced





3. Hallway

Observations:

- Smoke detector is installed.
- Carbon monoxide alarm is installed in the dwelling.
- Walls and ceiling appeared functional at time of inspection.
- No visible problems noted at the closet at time of inspection.
- No visible problems noted at the floor at time of inspection.
- A representative number of outlets, switches and fixtures was operated and found to be in operable condition at time of inspection.

4. Bedrooms

Observations:

- Windows and doors operated properly at time of inspection.
- Walls and ceiling appeared functional at time of inspection.
- No visible problems noted at the floor at time of inspection.
- A representative number of outlets, switches and fixtures was operated and found to be in operable condition at time of inspection.
- **Smoke detector is not installed. A smoke detector is required in every bedroom, adjacent hallway and every level of the dwelling prior to the close of escrow.**
- **Closet doors are fallen off the tracks. Proper installation is recommended.**



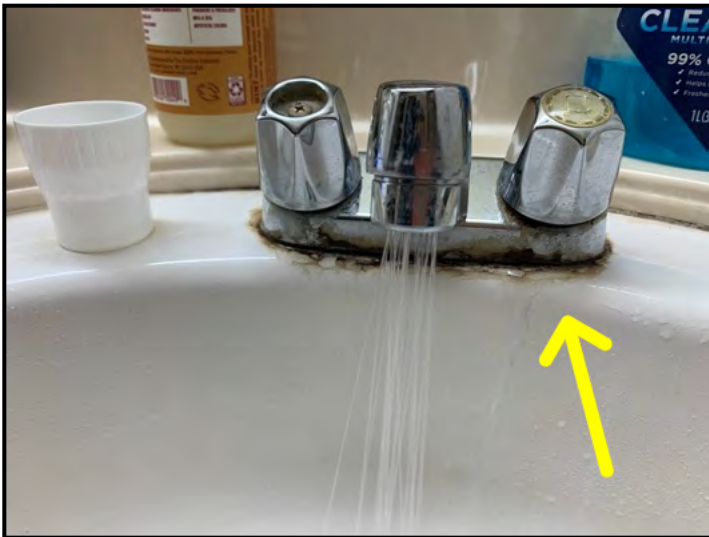


5. Bathrooms

Observations:

- No visible problems observed at the doors and windows at time of inspection.
- Walls and ceiling appeared functional at time of inspection.
- No visible floor problems noted at time of inspection.
- Leaks noted at the faucet at time of inspection.
- Leaks observed under the sink.
- Rust and corrosion observed on the faucet
- Sink does not drain properly.
- See photos.
- Sink surface is damaged. Resurfacing or replacement is recommended.
- Sink has rust damage. This model of sink was manufactured defectively by welding the overflow channel to the bottom of the sink. This causes rapid rusting under the sink, which then protrudes to the top and generally causes leaks. Replacement of the sink is necessary.
- Repair or replacement is recommended.
- Tub surface is damaged. Repair and or resurfacing is recommended.
- Caulking is recommended at the tub or shower areas to prevent moisture penetration and damage behind the walls.
- Ground Fault Circuit Interrupter (GFCI) outlets are recommended for installation.

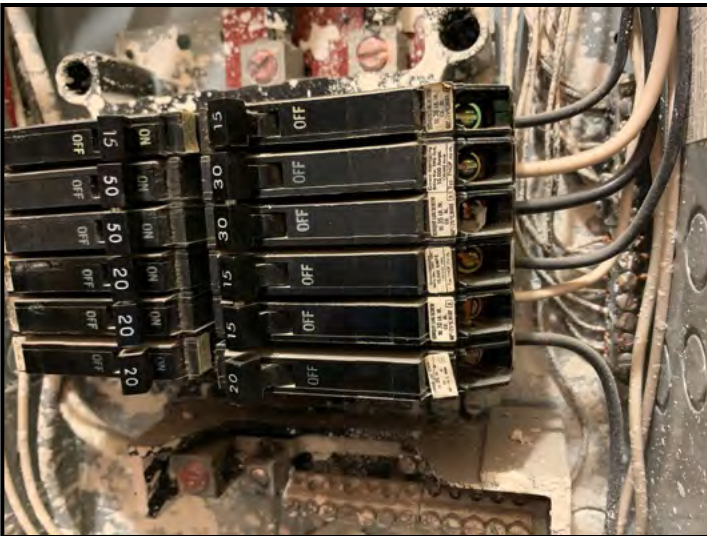




6. Electrical Panel Condition

Observations:

- Circuit and wire sizing correct so far as visible.
- Grounding system is present.
- See photos.
- **Electrical panel is located in bedroom closet which is not allowed**





7. HVAC System Condition

Observations:

- No visible problems noted at time of inspection.
- Air conditioning system operated properly at time of inspection.
- No visible problems noted at time of inspection.

8. Decks & Balconies Observations

Floor Materials: Wood

Cover Materials: Stucco

Observations:

- Deck underside is not accessible for inspection. Further evaluation may be necessary.
- Balcony underside is covered with wood or stucco and is not accessible for inspection. Further evaluation may be necessary.
- No visible problems observed at time of inspection.
- **Carpet restricts viewing.**



Unit 13

1. Living & Dining Room

Observations:

- No visible problems noted at time of inspection.

2. Kitchen

Observations:

- **Moisture damage noted on the cabinets. Repair or replacement is recommended.**
- **Evidence of moisture penetration observed at the window. Window may need caulking or sealant application on the exterior.**

3. Hallway

Observations:

- No visible problems noted at time of inspection.

4. Bedrooms

Observations:

- No visible problems noted at time of inspection.

5. Bathrooms

Observations:

- No visible problems noted at time of inspection.
- No visible plumbing problems noted at time of inspection.

6. Electrical Panel Condition

Materials: Bedroom.

Observations:

- Circuit and wire sizing correct so far as visible.

7. HVAC System Condition

Observations:

- Heating system operated properly at time of inspection.

8. Decks & Balconies Observations

Observations:

- No visible structural problems observed at time of inspection.
- No visible problems observed at time of inspection.



Unit 14

1. General Notes

Observations:

- A roach infestation was observed throughout the dwelling at time of inspection. Fumigation is necessary.

2. Living & Dining Room

Observations:

- Sliding glass door screen is damaged or missing. Repair or replacement is recommended

3. Kitchen

Observations:

- Laminate countertop is swelled at the seam from moisture penetration. Repair or replacement is recommended.
- Evidence of moisture penetration observed at the window. Window may need caulking or sealant application on the exterior.

4. Hallway

Observations:

- No visible problems noted at time of inspection.

5. Bedrooms

Observations:

- Evidence of moisture penetration observed at the window. Window may need caulking or sealant application on the exterior.

6. Bathrooms

Observations:

- Flooring is damaged or deteriorated. Repair or replacement is recommended.

7. HVAC System Condition

Observations:

- Heating system operated properly at time of inspection.

8. Decks & Balconies Observations

Observations:

- Carpet restricts viewing.
- Unable to fully view the balcony/ patio due to occupants belongings. See photos.





Unit 15

1. General Notes

Observations:

- Dwelling was not accessible at time of inspection and was not inspected. Further evaluation is recommended prior to the close of your transaction.



Unit 16

1. Living & Dining Room

Observations:

- Windows and doors operated properly at time of inspection.
- Walls and ceiling appeared functional at time of inspection.
- No visible problems noted at the floor at time of inspection.
- A representative number of outlets, switches and fixtures was operated and found to be in operable condition at time of inspection.

2. Kitchen

Observations:

- No visible plumbing problems noted at time of inspection.
- No visible problems noted at the counters and cabinets at time of inspection.
- Walls and ceiling appeared functional at time of inspection.
- No visible problems noted at the floor at time of inspection.
- A representative number of outlets, switches and fixtures was operated and found to be in operable condition at time of inspection.
- Evidence of moisture penetration observed at the window. Window may need caulking or sealant application on the exterior.
- See photos.



3. Hallway

Observations:

- Smoke detector is installed.
- Windows and doors operated properly at time of inspection.
- No visible problems noted at the closet at time of inspection.
- No visible problems noted at the floor at time of inspection.
- A representative number of outlets, switches and fixtures was operated and found to be in operable condition at time of inspection.
- No carbon monoxide alarm installed in the dwelling. Installation is required near the sleeping rooms when any gas burning appliance is present.
- Moisture stains and/or damage viewed on the walls.





No carbon

4. Bedrooms

Observations:

- Windows and doors operated properly at time of inspection.
- Walls and ceiling appeared functional at time of inspection.
- No visible problems noted at the closet at time of inspection.
- No visible problems noted at the floor at time of inspection.
- A representative number of outlets, switches and fixtures was operated and found to be in operable condition at time of inspection.
- **Smoke detector is not installed. A smoke detector is required in every bedroom, adjacent hallway and every level of the dwelling prior to the close of escrow.**

5. Bathrooms

Observations:

- No visible problems noted at the sink and vanity at time of inspection.
- No visible problems observed at the doors and windows at time of inspection.
- Walls and ceiling appeared functional at time of inspection.
- No visible floor problems noted at time of inspection.
- **Sink does not drain properly.**
- **Tub surface is damaged. Repair and or resurfacing is recommended.**
- **Caulking is recommended at the tub or shower areas to prevent moisture penetration and damage behind the walls.**
- **Exhaust fan did not operate noisily at time of inspection. Repair or replacement is necessary.**
- **Ground Fault Circuit Interrupter (GFCI) outlets are recommended for installation.**





6. Electrical Panel Condition

Observations:

- Circuit and wire sizing correct so far as visible.
- Grounding system is present.
- **Electrical panel is located in bedroom closet which is not allowed**



7. HVAC System Condition

Observations:

- No visible problems noted at time of inspection.
- Air conditioning system operated properly at time of inspection.
- No visible problems noted at time of inspection.

8. Decks & Balconies Observations

Floor Materials: Wood

Cover Materials: Stucco

Observations:

- Deck underside is not accessible for inspection. Further evaluation may be necessary.
- Balcony underside is covered with wood or stucco and is not accessible for inspection. Further evaluation may be necessary.
- No visible problems observed at time of inspection.
- **Carpet restricts viewing.**



Unit 17

1. General Notes

Observations:

- A roach infestation was observed throughout the dwelling at time of inspection. Fumigation is necessary.
- See photos.



2. Living & Dining Room

Observations:

- No visible problems noted at time of inspection.

3. Kitchen

Observations:

- No visible plumbing problems noted at time of inspection.
- Moisture damage noted on the cabinets. Repair or replacement is recommended.
- Evidence of moisture penetration observed at the window. Window may need caulking or sealant application on the exterior.



4. Bedrooms

Observations:

- Closet doors are fallen off the tracks. Proper installation is recommended.
- Smoke detector is not installed. A smoke detector is required in every bedroom, adjacent hallway and every level of the dwelling prior to the close of escrow.

5. Bathrooms

Observations:

- No visible plumbing problems noted at time of inspection.

6. Electrical Panel Condition

Materials: Bedroom.

Observations:

- Panel was blocked by occupants belongings at time of inspection. A minimum clearance of 36 inches in front and 30 inches on each side is required. Removal of any obstructions is required.

7. HVAC System Condition

Observations:

- Unit produced warm air only during inspection.
- Further evaluation and repairs as needed by a licensed HVAC contractor is recommended.

8. Decks & Balconies Observations

Observations:

- Carpet restricts viewing.



Unit 18

1. Living & Dining Room

Observations:

- Windows and doors operated properly at time of inspection.
- Walls and ceiling appeared functional at time of inspection.
- No visible problems noted at the floor at time of inspection.
- A representative number of outlets, switches and fixtures was operated and found to be in operable condition at time of inspection.

2. Kitchen

Observations:

- No visible plumbing problems noted at time of inspection.
- No visible problems noted at the counters and cabinets at time of inspection.
- Windows and doors operated properly at time of inspection.
- Walls and ceiling appeared functional at time of inspection.
- No visible problems noted at the floor at time of inspection.
- A representative number of outlets, switches and fixtures was operated and found to be in operable condition at time of inspection.

3. Hallway

Observations:

- Smoke detector is installed.
- Carbon monoxide alarm is installed in the dwelling.
- Walls and ceiling appeared functional at time of inspection.
- No visible problems noted at the closet at time of inspection.
- No visible problems noted at the floor at time of inspection.
- A representative number of outlets, switches and fixtures was operated and found to be in operable condition at time of inspection.

4. Bedrooms

Observations:

- Windows and doors operated properly at time of inspection.
- Walls and ceiling appeared functional at time of inspection.
- No visible problems noted at the closet at time of inspection.
- No visible problems noted at the floor at time of inspection.
- A representative number of outlets, switches and fixtures was operated and found to be in operable condition at time of inspection.
- **Smoke detector is not installed. A smoke detector is required in every bedroom, adjacent hallway and every level of the dwelling prior to the close of escrow.**



5. Bathrooms

Observations:

- No visible problems observed at the doors and windows at time of inspection.
- No visible floor problems noted at time of inspection.
- No visible electrical problems observed at time of inspection.
- **Repair or replacement is recommended.**
- **See photos.**
- **Vanity door or drawer is damaged or broken. Repair or replacement is recommended.**
- **Repair or replacement is recommended.**
- **Caulking is recommended at the tub or shower areas to prevent moisture penetration and damage behind the walls.**
- **Moisture stains and/or damage viewed on the ceiling.**
- **Moisture stains and/or damage viewed on the walls.**
- **See photos.**



6. Electrical Panel Condition

Observations:

- Circuit and wire sizing correct so far as visible.
- Grounding system is present.
- **Electrical panel is located in bedroom closet which is not allowed**



7. HVAC System Condition

Observations:

- No visible problems noted at time of inspection.
- Air conditioning system operated properly at time of inspection.
- No visible problems noted at time of inspection.

8. Decks & Balconies Observations

Floor Materials: Wood

Cover Materials: Stucco

Observations:

- Deck underside is not accessible for inspection. Further evaluation may be necessary.
- Balcony underside is covered with wood or stucco and is not accessible for inspection. Further evaluation may be necessary.
- No visible problems observed at time of inspection.
- **Carpet restricts viewing.**



Unit 19

1. Living & Dining Room

Observations:

- Windows and doors operated properly at time of inspection.
- Walls and ceiling appeared functional at time of inspection.
- No visible problems noted at the floor at time of inspection.
- A representative number of outlets, switches and fixtures was operated and found to be in operable condition at time of inspection.

2. Kitchen

Observations:

- No visible plumbing problems noted at time of inspection.
- No visible problems noted at the counters and cabinets at time of inspection.
- Windows and doors operated properly at time of inspection.
- Walls and ceiling appeared functional at time of inspection.
- No visible problems noted at the floor at time of inspection.
- A representative number of outlets, switches and fixtures was operated and found to be in operable condition at time of inspection.
- See photos.
- Kitchen sink surface is damaged



3. Hallway

Observations:

- Smoke detector is installed.
- Carbon monoxide alarm is installed in the dwelling.
- Walls and ceiling appeared functional at time of inspection.
- No visible problems noted at the closet at time of inspection.
- No visible problems noted at the floor at time of inspection.
- A representative number of outlets, switches and fixtures was operated and found to be in operable condition at time of inspection.

4. Bedrooms

Observations:

- Windows and doors operated properly at time of inspection.
- Walls and ceiling appeared functional at time of inspection.
- No visible problems noted at the closet at time of inspection.
- No visible problems noted at the floor at time of inspection.
- A representative number of outlets, switches and fixtures was operated and found to be in operable condition at time of inspection.
- **Smoke detector is not installed. A smoke detector is required in every bedroom, adjacent hallway and every level of the dwelling prior to the close of escrow.**

5. Bathrooms

Observations:

- No visible problems noted at the sink and vanity at time of inspection.
- No visible problems noted at the tub/shower area at time of inspection.
- No visible problems observed at the doors and windows at time of inspection.
- Walls and ceiling appeared functional at time of inspection.
- No visible floor problems noted at time of inspection.
- No visible electrical problems observed at time of inspection.
- **Sink does not drain properly.**
- **See photos.**
- **See photos.**
- **Bathroom sink surface is damaged**
- **Bathroom faucet has corrosion and is damaged**
- **Supply valve is older style has significant amount of corrosion and does not work properly.**





6. Electrical Panel Condition

Observations:

- Circuit and wire sizing correct so far as visible.
- Grounding system is present.
- See photos.
- Electrical panel located in bedroom closet which is not allowed



7. HVAC System Condition

Observations:

- No visible problems noted at time of inspection.
- Air conditioning system operated properly at time of inspection.
- No visible problems noted at time of inspection.

8. Decks & Balconies Observations

Floor Materials: Concrete

Cover Materials: Stucco

Observations:

- Deck underside is not accessible for inspection. Further evaluation may be necessary.
- Balcony underside is covered with wood or stucco and is not accessible for inspection. Further evaluation may be necessary.
- No visible problems observed at time of inspection.
- No visible problems observed at time of inspection.
- See photos.



Unit 20

1. Living & Dining Room

Observations:

- No visible problems noted at time of inspection.

2. Kitchen

Observations:

- No visible plumbing problems noted at time of inspection.
- No visible problems noted at time of inspection.
- **Moisture damage and mold observed on the cabinet under the kitchen sink. See photos.**



3. Hallway

Observations:

- **Smoke detector is not installed. A smoke detector is required in every bedroom, adjacent hallway and every level of the dwelling prior to the close of escrow.**
- **No carbon monoxide alarm installed in the dwelling. Installation is required near the sleeping rooms when any gas burning appliance is present.**

4. Bathrooms

Observations:

- **Tub faucet leaks when operated.**
- **Further evaluation and repairs as needed by a plumbing contractor is recommended.**
- **See photos.**

5. Electrical Panel Condition

Observations:

- **Unable to remove electrical panel cover. Panel cover has been painted/sealed to the wall and removal would cause damage to the surrounding wall. Access to the interior of the panel is required.**

6. HVAC System Condition

Observations:

- Heating system operated properly at time of inspection.

7. Decks & Balconies Observations

Observations:

- **Carpet restricts viewing.**



Unit 21

1. General Notes

Observations:

- A roach infestation was observed throughout the dwelling at time of inspection. Fumigation is necessary.

2. Living & Dining Room

Observations:

- No visible problems noted at time of inspection.

3. Kitchen

Observations:

- Leaks noted at the supply lines under the sink at time of inspection.
- Moisture damage noted on the cabinets. Repair or replacement is recommended.
- A licensed plumbing contractor should be called to make necessary repairs.

4. Hallway

Observations:

- No visible problems noted at time of inspection.

5. Bedrooms

Observations:

- Smoke detector is not installed. A smoke detector is required in every bedroom, adjacent hallway and every level of the dwelling prior to the close of escrow.

6. Bathrooms

Observations:

- Leaks noted at the supply lines under the sink at time of inspection.
- Further evaluation and repairs as needed by a plumbing contractor is recommended.
- See photos.



7. Electrical Panel Condition

Materials: Bedroom.

Observations:

- Panel was blocked by occupants belongings at time of inspection. A minimum clearance of 36 inches in front and 30 inches on each side is required. Removal of any obstructions is required.



8. HVAC System Condition

Observations:

- Heating system operated properly at time of inspection.

9. Decks & Balconies Observations

Observations:

- Carpet restricts viewing.



Unit 22

1. Living & Dining Room

Observations:

- Windows and doors operated properly at time of inspection.
- Walls and ceiling appeared functional at time of inspection.
- No visible problems noted at the floor at time of inspection.
- A representative number of outlets, switches and fixtures was operated and found to be in operable condition at time of inspection.

2. Kitchen

Observations:

- No visible plumbing problems noted at time of inspection.
- No visible problems noted at the counters and cabinets at time of inspection.
- Windows and doors operated properly at time of inspection.
- Walls and ceiling appeared functional at time of inspection.
- No visible problems noted at the floor at time of inspection.
- A representative number of outlets, switches and fixtures was operated and found to be in operable condition at time of inspection.

3. Hallway

Observations:

- Smoke detector is installed.
- Carbon monoxide alarm is installed in the dwelling.
- Walls and ceiling appeared functional at time of inspection.
- No visible problems noted at the closet at time of inspection.
- No visible problems noted at the floor at time of inspection.
- A representative number of outlets, switches and fixtures was operated and found to be in operable condition at time of inspection.

4. Bedrooms

Observations:

- Windows and doors operated properly at time of inspection.
- Walls and ceiling appeared functional at time of inspection.
- No visible problems noted at the closet at time of inspection.
- No visible problems noted at the floor at time of inspection.
- A representative number of outlets, switches and fixtures was operated and found to be in operable condition at time of inspection.
- **Smoke detector is not installed. A smoke detector is required in every bedroom, adjacent hallway and every level of the dwelling prior to the close of escrow.**

5. Bathrooms

Observations:

- No visible problems noted at the sink and vanity at time of inspection.
- No visible problems noted at the tub/shower area at time of inspection.
- No visible problems observed at the doors and windows at time of inspection.
- Walls and ceiling appeared functional at time of inspection.
- No visible floor problems noted at time of inspection.
- **Sink does not drain properly.**
- **See photos.**
- **Ground Fault Circuit Interrupter (GFCI) outlets are recommended for installation.**
- **See photos.**



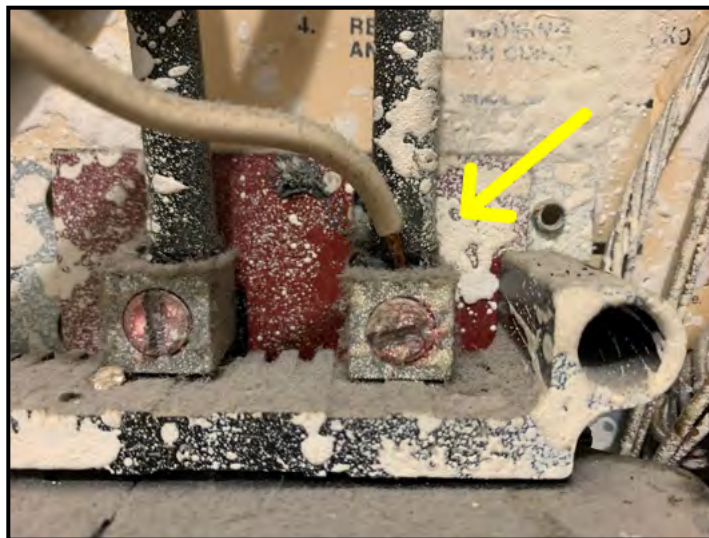
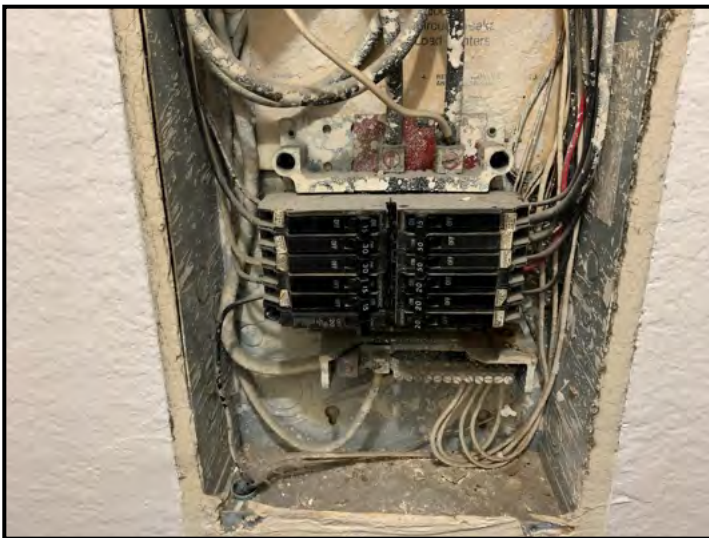
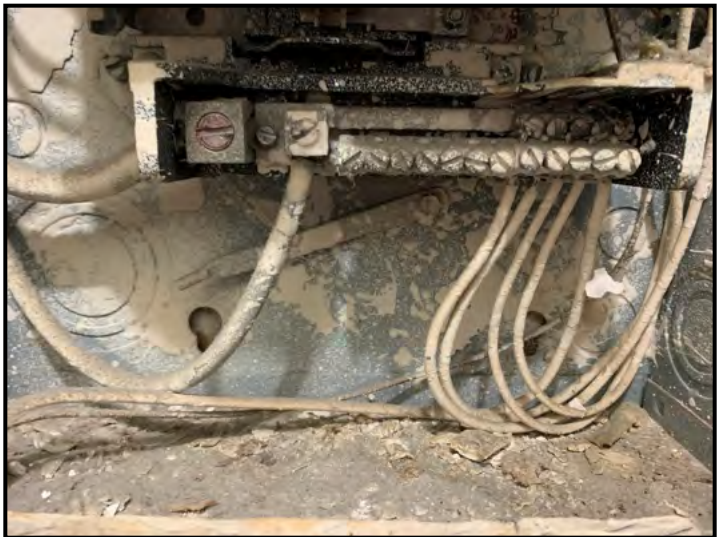
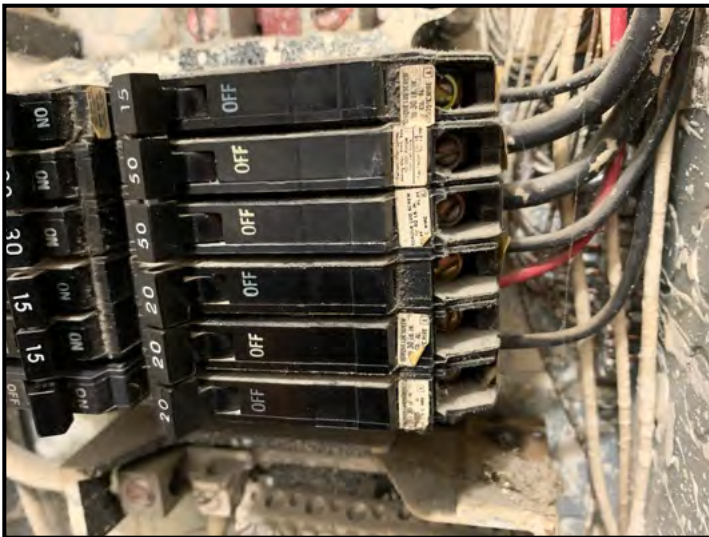


6. Electrical Panel Condition

Observations:

- Circuit and wire sizing correct so far as visible.
- Grounding system is present.
- Have a licensed electrician make further evaluation and corrections as needed.
- See photos.
- Neutral wire connected where service wires connect. See photo.
- Electrical panel located in bedroom closet which is not allowed





7. HVAC System Condition

Observations:

- No visible problems noted at time of inspection.
- Air conditioning system operated properly at time of inspection.
- No visible problems noted at time of inspection.



8. Decks & Balconies Observations

Floor Materials: Wood

Cover Materials: Stucco

Observations:

- Deck underside is not accessible for inspection. Further evaluation may be necessary.
- Balcony underside is covered with wood or stucco and is not accessible for inspection. Further evaluation may be necessary.
- No visible problems observed at time of inspection.
- **Carpet restricts viewing.**

9. Attic Observations

Observations:

- **Attic entrance has been completely sealed and is unable to enter at time of inspection**



Unit 23

1. Living & Dining Room

Observations:

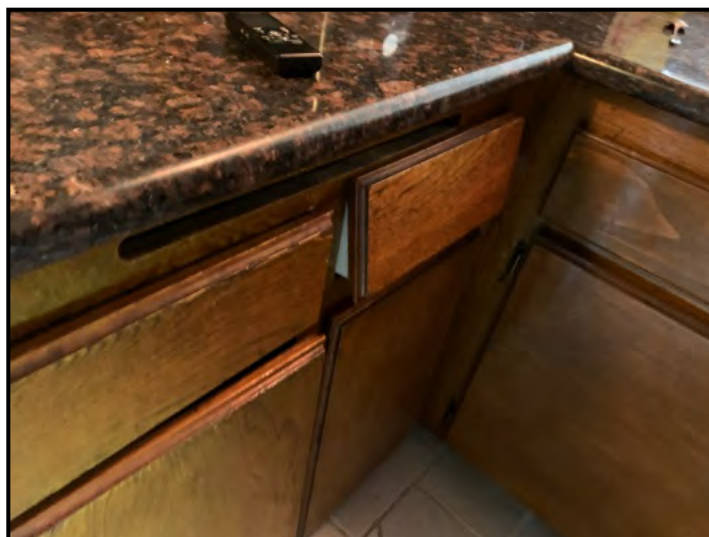
- Windows and doors operated properly at time of inspection.
- Walls and ceiling appeared functional at time of inspection.
- No visible problems noted at the floor at time of inspection.
- A representative number of outlets, switches and fixtures was operated and found to be in operable condition at time of inspection.

2. Kitchen

Observations:

- No visible plumbing problems noted at time of inspection.
- Walls and ceiling appeared functional at time of inspection.
- No visible problems noted at the floor at time of inspection.
- A representative number of outlets, switches and fixtures was operated and found to be in operable condition at time of inspection.
- Sink surface is damaged or worn. Repair or resurfacing is recommended.
- Moisture damage noted on the cabinets. Repair or replacement is recommended.
- Evidence of moisture penetration observed at the window. Window may need caulking or sealant application on the exterior.
- Window is difficult to operate. Repair or replacement is recommended.





3. Hallway

Observations:

- Smoke detector is installed.
- Carbon monoxide alarm is installed in the dwelling.
- Windows and doors operated properly at time of inspection.
- Walls and ceiling appeared functional at time of inspection.
- No visible problems noted at the closet at time of inspection.
- No visible problems noted at the floor at time of inspection.
- A representative number of outlets, switches and fixtures was operated and found to be in operable condition at time of inspection.

4. Bedrooms

Observations:

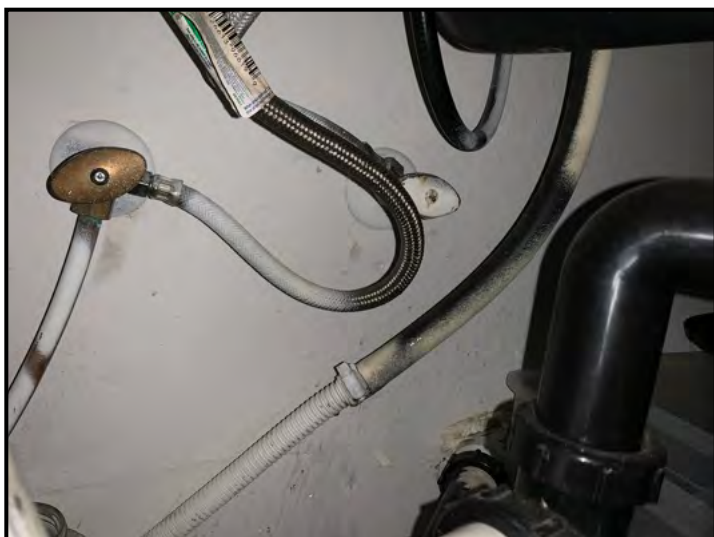
- Windows and doors operated properly at time of inspection.
- Walls and ceiling appeared functional at time of inspection.
- No visible problems noted at the closet at time of inspection.
- No visible problems noted at the floor at time of inspection.
- A representative number of outlets, switches and fixtures was operated and found to be in operable condition at time of inspection.
- **Smoke detector is not installed. A smoke detector is required in every bedroom, adjacent hallway and every level of the dwelling prior to the close of escrow.**

5. Bathrooms

Observations:

- No visible problems noted at the sink and vanity at time of inspection.
- No visible problems noted at the tub/shower area at time of inspection.
- No visible problems observed at the doors and windows at time of inspection.
- Walls and ceiling appeared functional at time of inspection.
- No visible floor problems noted at time of inspection.
- **Rust and corrosion observed on the water supply valves under the sink.**
- **Tub faucet leaks when operated.**
- **See photos.**
- **Exhaust fan did not operate noisily at time of inspection. Repair or replacement is necessary.**
- **Ground Fault Circuit Interrupter (GFCI) outlets are recommended for installation.**
- **See photos.**





6. Electrical Panel Condition

Observations:

- Circuit and wire sizing correct so far as visible.
- Grounding system is present.
- **Electrical panel located in bedroom closet which is not allowed**

7. HVAC System Condition

Observations:

- No visible problems noted at time of inspection.
- Air conditioning system operated properly at time of inspection.
- No visible problems noted at time of inspection.

8. Decks & Balconies Observations

Floor Materials: Concrete

Cover Materials: Stucco

Observations:

- No visible structural problems observed at time of inspection.
- Deck underside is not accessible for inspection. Further evaluation may be necessary.
- Balcony underside is covered with wood or stucco and is not accessible for inspection. Further evaluation may be necessary.
- No visible problems observed at time of inspection.
- **Carpet restricts viewing.**



Unit 24

1. Living & Dining Room

Observations:

- Window glass is cracked or broken. Replacement is required.

2. Kitchen

Observations:

- No visible problems noted at time of inspection.
- No visible plumbing problems noted at time of inspection.

3. Hallway

Observations:

- No visible problems noted at time of inspection.

4. Bedrooms

Observations:

- Window glass is cracked or broken. Replacement is required.

5. Bathrooms

Observations:

- Leaks noted at the supply lines under the sink at time of inspection.
- Further evaluation and repairs as needed by a plumbing contractor is recommended.
- See photos.

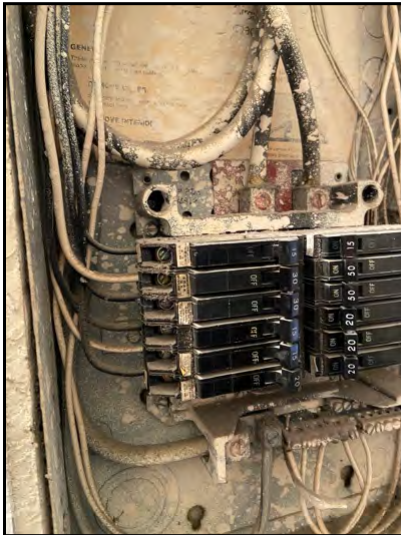


6. Electrical Panel Condition

Materials: Bedroom.

Observations:

- Circuit and wire sizing correct so far as visible.



7. HVAC System Condition

Observations:

- Heating system operated properly at time of inspection.

8. Other Interior

Observations:

- No visible problems noted at the stairs at time of inspection.

9. Decks & Balconies Observations

Observations:

- Carpet restricts viewing.



Unit 25

1. Living & Dining Room

Observations:

- Windows and doors operated properly at time of inspection.
- A representative number of outlets, switches and fixtures was operated and found to be in operable condition at time of inspection.
- **Moisture stains and/or damage viewed on the ceiling.**
- **Moisture stains and/or damage viewed on the walls.**
- **Flooring is damaged or deteriorated. Repair or replacement is recommended.**





2. Kitchen

Observations:

- No visible problems noted at the counters and cabinets at time of inspection.
- Windows and doors operated properly at time of inspection.
- Walls and ceiling appeared functional at time of inspection.
- No visible problems noted at the floor at time of inspection.
- A representative number of outlets, switches and fixtures was operated and found to be in operable condition at time of inspection.
- **Low water pressure was noted at the faucet.**
- **See photos.**
- **Little to no flow on hot water side in kitchen**
- **Supply line valves underneath kitchen sink are old and frozen I need to be replaced**



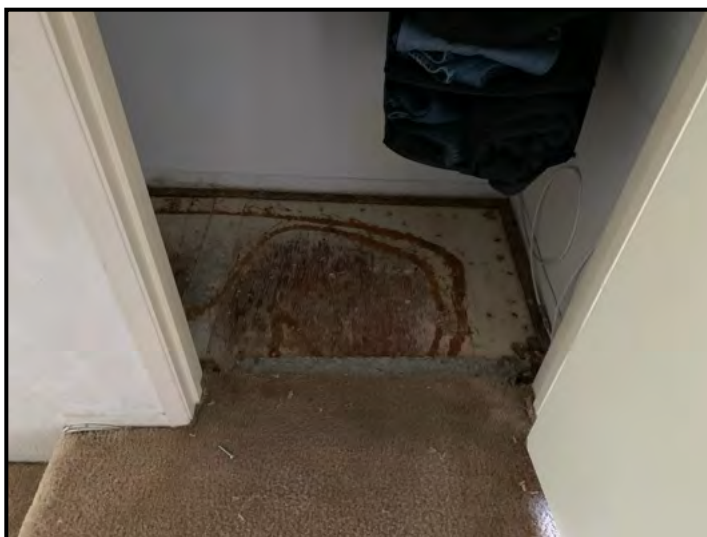


3. Hallway

Observations:

- Smoke detector is installed.
- Carbon monoxide alarm is installed in the dwelling.
- Walls and ceiling appeared functional at time of inspection.
- A representative number of outlets, switches and fixtures was operated and found to be in operable condition at time of inspection.
- **Flooring is damaged or deteriorated. Repair or replacement is recommended.**
- **See photos.**
- **Hallway closet is missing carpet and has no finish the flooring installed**





4. Bedrooms

Observations:

- Windows and doors operated properly at time of inspection.
- Walls and ceiling appeared functional at time of inspection.
- No visible problems noted at the closet at time of inspection.
- No visible problems noted at the floor at time of inspection.
- A representative number of outlets, switches and fixtures was operated and found to be in operable condition at time of inspection.
- **Smoke detector is not installed. A smoke detector is required in every bedroom, adjacent hallway and every level of the dwelling prior to the close of escrow.**

5. Bathrooms

Observations:

- No visible problems noted at the tub/shower area at time of inspection.
- No visible problems observed at the doors and windows at time of inspection.
- No visible floor problems noted at time of inspection.
- **Leaks noted at the faucet at time of inspection.**
- **Toilet is broken and does not flush properly. Minor repairs are needed.**
- **Repair or replacement is recommended.**
- **Vanity door or drawer is damaged or broken. Repair or replacement is recommended.**
- **Caulking is recommended at the tub or shower areas to prevent moisture penetration and damage behind the walls.**
- **Moisture stains and/or damage viewed on the walls.**
- **See photos.**
- **Exhaust fan did operated noisily at time of inspection. Repair or replacement is necessary.**





6. Electrical Panel Condition

Observations:

- Circuit and wire sizing correct so far as visible.
- Grounding system is present.
- **Electrical panel is located in bedroom closet which is not allowed**



7. HVAC System Condition

Observations:

- No visible problems noted at time of inspection.
- Air conditioning system operated properly at time of inspection.
- No visible problems noted at time of inspection.

8. Decks & Balconies Observations

Floor Materials: Concrete

Cover Materials: Stucco

Observations:

- No visible structural problems observed at time of inspection.
- Deck underside is not accessible for inspection. Further evaluation may be necessary.
- Balcony underside is covered with wood or stucco and is not accessible for inspection. Further evaluation may be necessary.
- No visible problems observed at time of inspection.
- No visible problems observed at time of inspection.



Unit 26

1. Living & Dining Room

Observations:

- Windows and doors operated properly at time of inspection.
- Walls and ceiling appeared functional at time of inspection.
- A representative number of outlets, switches and fixtures was operated and found to be in operable condition at time of inspection.
- **Flooring is damaged or deteriorated. Repair or replacement is recommended.**
- **See photos.**



2. Kitchen

Observations:

- No visible plumbing problems noted at time of inspection.
- Windows and doors operated properly at time of inspection.
- Walls and ceiling appeared functional at time of inspection.
- A representative number of outlets, switches and fixtures was operated and found to be in operable condition at time of inspection.
- **Minor to moderate wear and or damage observed on the kitchen counter top. Repair or replacement is recommended.**
- **Moisture damage noted on the cabinets. Repair or replacement is recommended.**
- **Flooring is damaged or deteriorated. Repair or replacement is recommended.**
- **See photos.**





3. Hallway

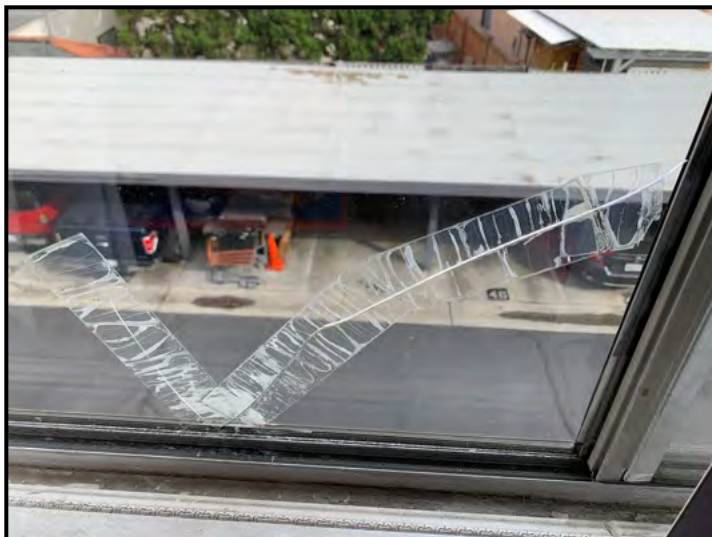
Observations:

- Smoke detector is installed.
- Carbon monoxide alarm is installed in the dwelling.
- Walls and ceiling appeared functional at time of inspection.
- No visible problems noted at the closet at time of inspection.
- No visible problems noted at the floor at time of inspection.
- A representative number of outlets, switches and fixtures was operated and found to be in operable condition at time of inspection.

4. Bedrooms

Observations:

- Windows and doors operated properly at time of inspection.
- Walls and ceiling appeared functional at time of inspection.
- No visible problems noted at the closet at time of inspection.
- No visible problems noted at the floor at time of inspection.
- A representative number of outlets, switches and fixtures was operated and found to be in operable condition at time of inspection.
- **Smoke detector is not installed. A smoke detector is required in every bedroom, adjacent hallway and every level of the dwelling prior to the close of escrow.**
- **See photos.**
- **Bedroom window is cracked and broken.**
- **Could not access closet due to personal belongings blocking entrance.**



5. Bathrooms

Observations:

- No visible plumbing problems noted at time of inspection.
- No visible problems noted at the sink and vanity at time of inspection.
- No visible problems noted at the tub/shower area at time of inspection.
- No visible problems observed at the doors and windows at time of inspection.
- Walls and ceiling appeared functional at time of inspection.
- No visible floor problems noted at time of inspection.
- **Ground Fault Circuit Interrupter (GFCI) outlets are recommended for installation.**





6. Electrical Panel Condition

Observations:

- Electrical panel is inside bedroom closet which is not allowed
- Closet in which electrical panel was inside could not be accessed due to personal belongings blocking entrance.



7. HVAC System Condition

Observations:

- No visible problems noted at time of inspection.
- Air conditioning system operated properly at time of inspection.
- No visible problems noted at time of inspection.

8. Other Interior

Observations:

- Hand railing is loose or damaged. Repair or replacement is required.
- See photos.





9. Decks & Balconies Observations

Floor Materials: Wood • Turf covering floor

Cover Materials: Stucco

Observations:

- Deck underside is not accessible for inspection. Further evaluation may be necessary.
- Balcony underside is covered with wood or stucco and is not accessible for inspection. Further evaluation may be necessary.
- No visible problems observed at time of inspection.
- **Carpet restricts viewing.**

Unit 27

1. Living & Dining Room

Observations:

- Sliding glass door screen is damaged or missing. Repair or replacement is recommended

2. Kitchen

Observations:

- No visible problems noted at time of inspection.
- No visible plumbing problems noted at time of inspection.

3. Hallway

Observations:

- No visible problems noted at time of inspection.

4. Bedrooms

Observations:

- No visible problems noted at time of inspection.

5. Bathrooms

Observations:

- No visible problems noted at time of inspection.
- No visible plumbing problems noted at time of inspection.

6. Electrical Panel Condition

Materials: Bedroom.

Observations:

- Panel was blocked by occupants belongings at time of inspection. A minimum clearance of 36 inches in front and 30 inches on each side is required. Removal of any obstructions is required.

7. HVAC System Condition

Observations:

- Heating system operated properly at time of inspection.

8. Decks & Balconies Observations

Observations:

- Carpet restricts viewing.



Unit 28

1. Living & Dining Room

Observations:

- Windows and doors operated properly at time of inspection.
- A representative number of outlets, switches and fixtures was operated and found to be in operable condition at time of inspection.
- **Moisture stains and/or damage viewed on the ceiling.**
- **Flooring is damaged or deteriorated. Repair or replacement is recommended.**



2. Kitchen

Observations:

- Windows and doors operated properly at time of inspection.
- Walls and ceiling appeared functional at time of inspection.
- No visible problems noted at the floor at time of inspection.
- A representative number of outlets, switches and fixtures was operated and found to be in operable condition at time of inspection.
- **Leaks noted at the faucet at time of inspection.**
- **Rust and corrosion observed on the water supply valves under the sink.**
- **Moisture damage noted on the cabinets. Repair or replacement is recommended.**





3. Hallway

Observations:

- Smoke detector is installed.
- Carbon monoxide alarm is installed in the dwelling.
- Walls and ceiling appeared functional at time of inspection.
- No visible problems noted at the closet at time of inspection.
- No visible problems noted at the floor at time of inspection.
- A representative number of outlets, switches and fixtures was operated and found to be in operable condition at time of inspection.

4. Bedrooms

Observations:

- Windows and doors operated properly at time of inspection.
- Walls and ceiling appeared functional at time of inspection.
- No visible problems noted at the closet at time of inspection.
- No visible problems noted at the floor at time of inspection.
- A representative number of outlets, switches and fixtures was operated and found to be in operable condition at time of inspection.
- **Smoke detector is not installed. A smoke detector is required in every bedroom, adjacent hallway and every level of the dwelling prior to the close of escrow.**

5. Bathrooms

Observations:

- No visible problems noted at the sink and vanity at time of inspection.
- No visible problems noted at the tub/shower area at time of inspection.
- No visible problems observed at the doors and windows at time of inspection.
- No visible floor problems noted at time of inspection.
- **Rust and corrosion observed on the water supply valves**
- **Faucet has corrosion and is damaged**
- **Repair or replacement is recommended.**
- **See photos.**
- **Moisture stains and/or damage viewed on the ceiling.**
- **Moisture stains and/or damage viewed on the walls.**
- **See photos.**
- **Ground Fault Circuit Interrupter (GFCI) outlets are recommended for installation.**





6. Electrical Panel Condition

Observations:

- Circuit and wire sizing correct so far as visible.
- Grounding system is present.
- **Electrical panel is located in bedroom closet which is not allowed**



7. HVAC System Condition

Observations:

- No visible problems noted at time of inspection.
- Air conditioning system operated properly at time of inspection.
- No visible problems noted at time of inspection.

8. Decks & Balconies Observations

Floor Materials: Wood

Cover Materials: Stucco

Observations:

- Deck underside is not accessible for inspection. Further evaluation may be necessary.
- Balcony underside is covered with wood or stucco and is not accessible for inspection. Further evaluation may be necessary.
- No visible problems observed at time of inspection.
- **Carpet restricts viewing.**



Unit 29

1. Kitchen

Observations:

- No visible plumbing problems noted at time of inspection.
- Unable to inspect the dishwasher at time of the inspection. Unit was filled with occupants belongings.
- Exhaust fan did not operate.

2. Hallway

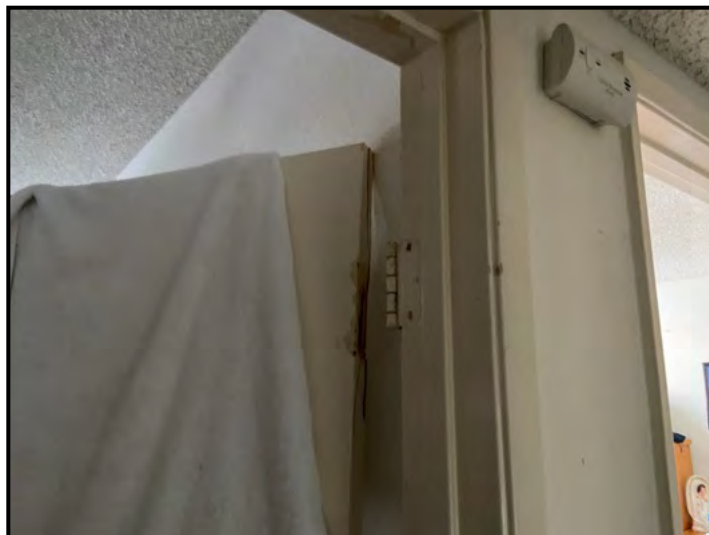
Observations:

- No visible problems noted at time of inspection.

3. Bedrooms

Observations:

- Window glass is cracked or broken. Replacement is required.
- Door hinges are loose or falling off and do not allow the door to close properly. Repair or replacement.
- Closet doors are fallen off the tracks. Proper installation is recommended.



4. Bathrooms

Observations:

- No visible problems noted at time of inspection.
- No visible plumbing problems noted at time of inspection.

5. Electrical Panel Condition

Materials: Bedroom.

Observations:

- Panel was blocked by occupants belongings at time of inspection. A minimum clearance of 36 inches in front and 30 inches on each side is required. Removal of any obstructions is required.

6. HVAC System Condition

Observations:

- Heating system operated properly at time of inspection.

7. Decks & Balconies Observations

Observations:

- **Unable to inspect patio/balcony due to occupants belongings. See photos.**



Unit 30

1. Living & Dining Room

Observations:

- No visible problems noted at time of inspection.

2. Kitchen

Observations:

- No visible plumbing problems noted at time of inspection.
- **Moderate wear and or damage observed on the kitchen cabinet surface. Repair or replacement is recommended.**

3. Hallway

Observations:

- No visible problems noted at time of inspection.

4. Bedrooms

Observations:

- No visible problems noted at time of inspection.
- **Smoke detector is not installed. A smoke detector is required in every bedroom, adjacent hallway and every level of the dwelling prior to the close of escrow.**

5. Bathrooms

Observations:

- **Leaks noted at the faucet at time of inspection.**
- **Leaks noted at the supply lines under the sink at time of inspection.**
- **Further evaluation and repairs as needed by a plumbing contractor is recommended.**
- **See photos.**



6. Electrical Panel Condition

Materials: Bedroom.

Observations:

- Circuit and wire sizing correct so far as visible.

7. HVAC System Condition

Observations:

- Heating system operated properly at time of inspection.



Unit 31

1. Living & Dining Room

Observations:

- Broken electrical outlet observed. See photo. Replacement is necessary for safety.



2. Kitchen

Observations:

- No visible plumbing problems noted at time of inspection.
- Caulking is recommended at the sink and backsplash areas to prevent moisture penetration and damage.

3. Hallway

Observations:

- Broken electrical light fixture observed. See photo. Replacement is necessary.



4. Bedrooms

Observations:

- Bedroom door is broken. Replacement is necessary.

5. Bathrooms

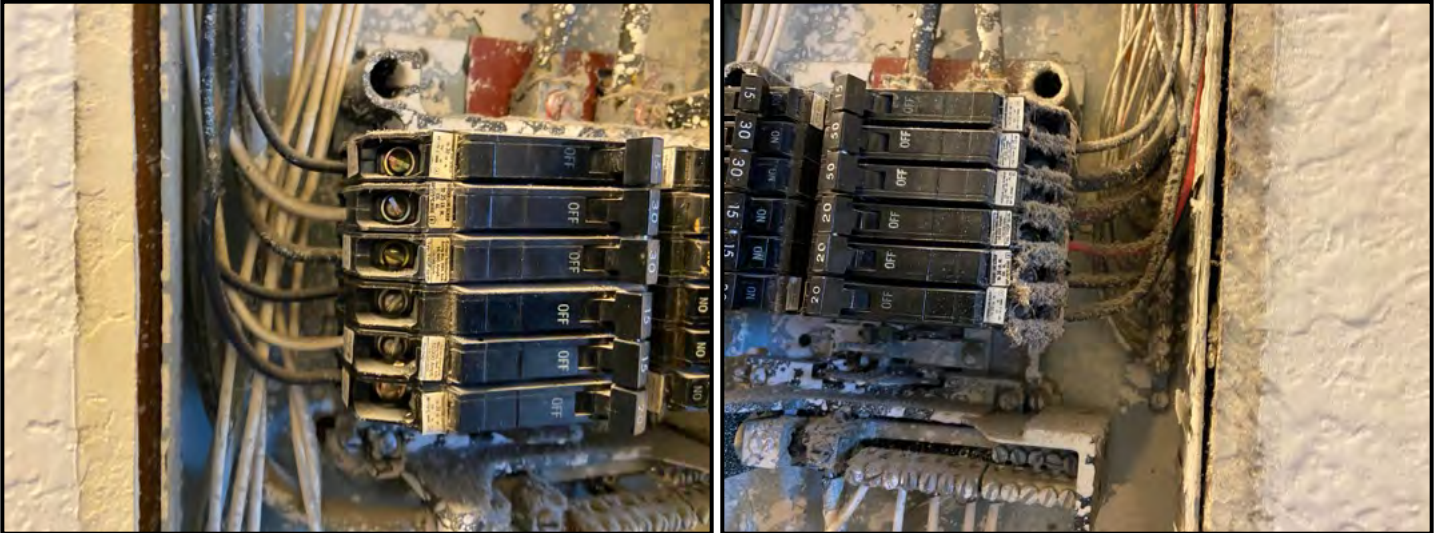
Observations:

- No visible plumbing problems noted at time of inspection.

6. Electrical Panel Condition

Observations:

- Circuit and wire sizing correct so far as visible.



7. HVAC System Condition

Observations:

- Heating system operated properly at time of inspection.

8. Other Interior

Observations:

- Carpet throughout the stairs is torn and poses a trip and fall hazard. See photos.



9. Decks & Balconies Observations

Observations:

- Unable to fully view the balcony/ patio due to occupants belongings. See photos.

Unit 32

1. Living & Dining Room

Observations:

- No visible problems noted at time of inspection.

2. Kitchen

Observations:

- No visible plumbing problems noted at time of inspection.
- Sink surface is damaged or worn. Repair or resurfacing is recommended.
- Caulking is recommended at the sink and backsplash areas to prevent moisture penetration and damage.

3. Hallway

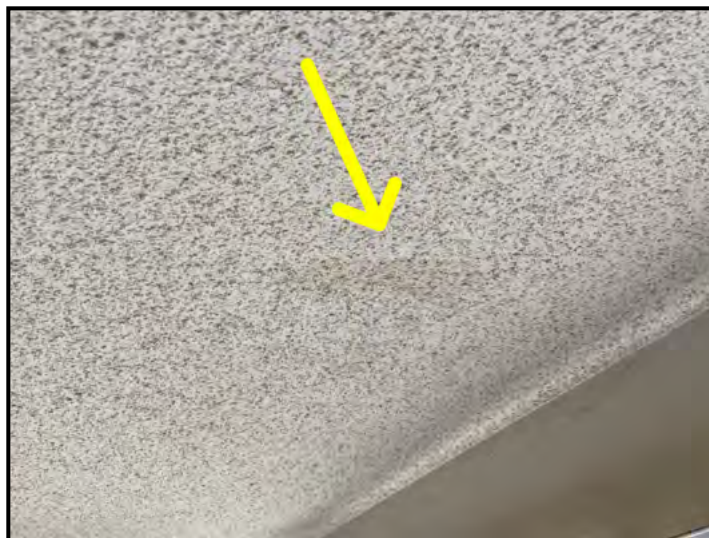
Observations:

- No visible problems noted at time of inspection.

4. Bedrooms

Observations:

- Moisture stains and/or damage viewed on the ceiling.
- Possible roof leak. Further evaluation by a roofing contractor is recommended.



5. Bathrooms

Observations:

- No visible plumbing problems noted at time of inspection.
- Sink has rust damage. This model of sink was manufactured defectively by welding the overflow channel to the bottom of the sink. This causes rapid rusting under the sink, which then protrudes to the top and generally causes leaks. Replacement of the sink is necessary.
- Repair or replacement is recommended.
- Flooring is damaged or deteriorated. Repair or replacement is recommended.
- Exhaust fan did not operate at time of inspection. Repair or replacement is necessary.

6. Electrical Panel Condition

Observations:

- Panel was blocked by occupants belongings at time of inspection. A minimum clearance of 36 inches in front and 30 inches on each side is required. Removal of any obstructions is required.



7. HVAC System Condition

Observations:

- Heating system operated properly at time of inspection.

8. Other Interior

Observations:

- No visible problems noted at the stairs at time of inspection.

9. Decks & Balconies Observations

Observations:

- Carpet restricts viewing.
- Unable to fully view the balcony/ patio due to occupants belongings. See photos.



Unit 33

1. Living & Dining Room

Observations:

- No visible problems noted at time of inspection.

2. Kitchen

Observations:

- No visible plumbing problems noted at time of inspection.

3. Hallway

Observations:

- No visible problems noted at time of inspection.

4. Bedrooms

Observations:

- No visible problems noted at time of inspection.
- **Smoke detector is not installed. A smoke detector is required in every bedroom, adjacent hallway and every level of the dwelling prior to the close of escrow.**

5. Bathrooms

Observations:

- No visible problems noted at time of inspection.
- No visible plumbing problems noted at time of inspection.

6. Electrical Panel Condition

Materials: Bedroom.

Observations:

- Panel was blocked by occupants belongings at time of inspection. A minimum clearance of 36 inches in front and 30 inches on each side is required. Removal of any obstructions is required.

7. HVAC System Condition

Observations:

- Heating system operated properly at time of inspection.

8. Decks & Balconies Observations

Observations:

- **Carpet restricts viewing. Unable to inspect patio/balcony due to occupants belongings. See photos.**



Unit 34

1. Living & Dining Room

Observations:

- Windows and doors operated properly at time of inspection.
- No visible problems noted at the floor at time of inspection.
- A representative number of outlets, switches and fixtures was operated and found to be in operable condition at time of inspection.
- **Moisture stains and/or damage viewed on the walls.**
- **See photos.**
- **Minor damage and patchwork noted in the living room on walls near hallway**



2. Kitchen

Observations:

- No visible plumbing problems noted at time of inspection.
- No visible problems noted at the counters and cabinets at time of inspection.
- Windows and doors operated properly at time of inspection.
- Walls and ceiling appeared functional at time of inspection.
- No visible problems noted at the floor at time of inspection.
- A representative number of outlets, switches and fixtures was operated and found to be in operable condition at time of inspection.



3. Hallway

Observations:

- Smoke detector is installed.
- Carbon monoxide alarm is installed in the dwelling.
- Walls and ceiling appeared functional at time of inspection.
- No visible problems noted at the closet at time of inspection.
- No visible problems noted at the floor at time of inspection.
- A representative number of outlets, switches and fixtures was operated and found to be in operable condition at time of inspection.

4. Bedrooms

Observations:

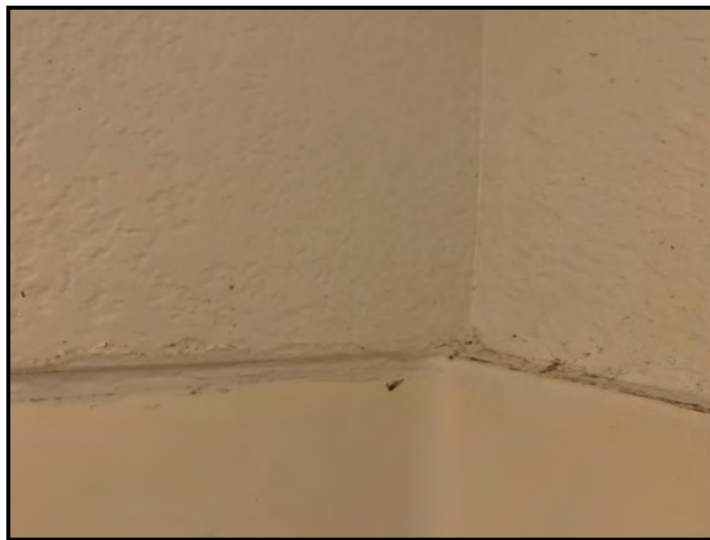
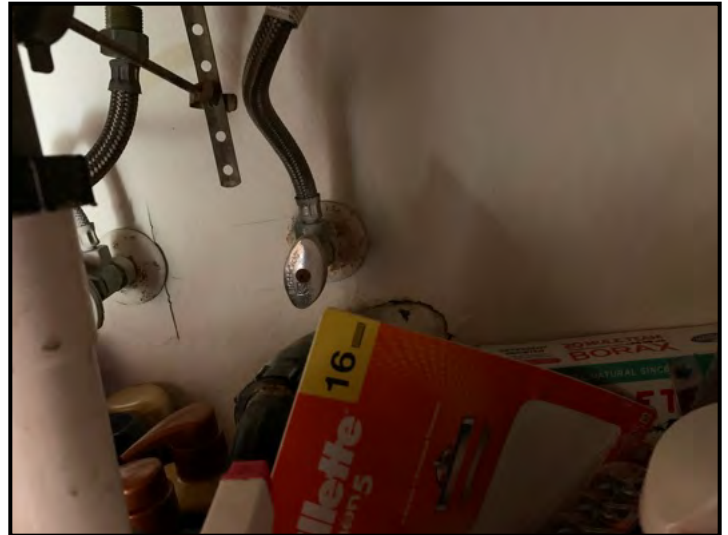
- Windows and doors operated properly at time of inspection.
- Walls and ceiling appeared functional at time of inspection.
- No visible problems noted at the closet at time of inspection.
- No visible problems noted at the floor at time of inspection.
- A representative number of outlets, switches and fixtures was operated and found to be in operable condition at time of inspection.
- **Smoke detector is not installed. A smoke detector is required in every bedroom, adjacent hallway and every level of the dwelling prior to the close of escrow.**

5. Bathrooms

Observations:

- No visible plumbing problems noted at time of inspection.
- No visible problems observed at the doors and windows at time of inspection.
- No visible floor problems noted at time of inspection.
- **Rust and corrosion observed on the water supply valves**
- **Vanity door or drawer is damaged or broken. Repair or replacement is recommended.**
- **Caulking is recommended at the tub or shower areas to prevent moisture penetration and damage behind the walls.**
- **Moisture stains and/or damage viewed on the walls.**
- **Ground Fault Circuit Interrupter (GFCI) outlets are recommended for installation.**





6. Electrical Panel Condition

Observations:

- Circuit and wire sizing correct so far as visible.
- Grounding system is present.
- Electrical panel is located in bedroom closet which is not allowed



7. HVAC System Condition

Observations:

- No visible problems noted at time of inspection.
- Air conditioning system operated properly at time of inspection.
- No visible problems noted at time of inspection.

8. Other Interior

Observations:

- See photos.
- Carpet on stairs is deteriorated and damaged



9. Decks & Balconies Observations

Floor Materials: Wood

Cover Materials: Stucco

Observations:

- Deck underside is not accessible for inspection. Further evaluation may be necessary.
- Balcony underside is covered with wood or stucco and is not accessible for inspection. Further evaluation may be necessary.
- No visible problems observed at time of inspection.
- Carpet restricts viewing.



Unit 35

1. Living & Dining Room

Observations:

- No visible problems noted at time of inspection.

2. Kitchen

Observations:

- No visible problems noted at time of inspection.
- No visible plumbing problems noted at time of inspection.

3. Hallway

Observations:

- No visible problems noted at time of inspection.

4. Bedrooms

Observations:

- **Window is difficult to operate. Repair or replacement is recommended.**

5. Electrical Panel Condition

Materials: Bedroom.

Observations:

- Circuit and wire sizing correct so far as visible.

6. HVAC System Condition

Observations:

- Heating system operated properly at time of inspection.
- **Unable to inspect. See Heating comments and photos section earlier in the report for more information**

7. Decks & Balconies Observations

Observations:

- No visible structural problems observed at time of inspection.



Unit 36

1. Living & Dining Room

Observations:

- Windows and doors operated properly at time of inspection.
- Walls and ceiling appeared functional at time of inspection.
- No visible problems noted at the floor at time of inspection.
- A representative number of outlets, switches and fixtures was operated and found to be in operable condition at time of inspection.

2. Kitchen

Observations:

- No visible plumbing problems noted at time of inspection.
- No visible problems noted at the counters and cabinets at time of inspection.
- Windows and doors operated properly at time of inspection.
- Walls and ceiling appeared functional at time of inspection.
- No visible problems noted at the floor at time of inspection.
- **Ground Fault Circuit Interrupter (GFCI) outlets are recommended for installation.**
- **See photos.**



3. Hallway

Observations:

- Smoke detector is installed.
- Carbon monoxide alarm is installed in the dwelling.
- Walls and ceiling appeared functional at time of inspection.
- No visible problems noted at the closet at time of inspection.
- No visible problems noted at the floor at time of inspection.
- A representative number of outlets, switches and fixtures was operated and found to be in operable condition at time of inspection.



4. Bedrooms

Observations:

- Windows and doors operated properly at time of inspection.
- Walls and ceiling appeared functional at time of inspection.
- No visible problems noted at the closet at time of inspection.
- No visible problems noted at the floor at time of inspection.
- A representative number of outlets, switches and fixtures was operated and found to be in operable condition at time of inspection.
- **Smoke detector is not installed. A smoke detector is required in every bedroom, adjacent hallway and every level of the dwelling prior to the close of escrow.**

5. Bathrooms

Observations:

- No visible problems noted at the sink and vanity at time of inspection.
- No visible problems observed at the doors and windows at time of inspection.
- Walls and ceiling appeared functional at time of inspection.
- No visible floor problems noted at time of inspection.
- **Rust and corrosion observed on the faucet**
- **Shower head leaks when operated.**
- **See photos.**
- **Caulking is recommended at the tub or shower areas to prevent moisture penetration and damage behind the walls.**
- **Ground Fault Circuit Interrupter (GFCI) outlets are recommended for installation.**
- **See photos.**





6. Electrical Panel Condition

Observations:

- Circuit and wire sizing correct so far as visible.
- Grounding system is present.
- **Electrical panel installed in bedroom closet which is not allowed**

7. HVAC System Condition

Observations:

- No visible problems noted at time of inspection.
- Air conditioning system operated properly at time of inspection.
- No visible problems noted at time of inspection.

8. Decks & Balconies Observations

Floor Materials: Wood

Cover Materials: Stucco

Observations:

- Deck underside is not accessible for inspection. Further evaluation may be necessary.
- Balcony underside is covered with wood or stucco and is not accessible for inspection. Further evaluation may be necessary.
- No visible problems observed at time of inspection.
- **Carpet restricts viewing.**



Unit 37

1. Living & Dining Room

Observations:

- No visible problems noted at time of inspection.

2. Kitchen

Observations:

- No visible plumbing problems noted at time of inspection.
- No visible problems noted at time of inspection.
- **Caulking is recommended at the sink and backsplash areas to prevent moisture penetration and damage.**

3. Hallway

Observations:

- **No carbon monoxide alarm installed in the dwelling. Installation is required near the sleeping rooms when any gas burning appliance is present.**

4. Bedrooms

Observations:

- No visible problems noted at time of inspection.

5. Bathrooms

Observations:

- No visible plumbing problems noted at time of inspection.
- **Moisture stains and/or damage viewed on the ceiling.**
- **Possible plumbing leak from dwelling above. Further evaluation by a plumbing contractor is recommended.**
- **See photos.**



6. Electrical Panel Condition

Materials: Bedroom.

Observations:

- Circuit and wire sizing correct so far as visible.

7. HVAC System Condition

Observations:

- Heating system operated properly at time of inspection.



8. Decks & Balconies Observations

Observations:

- Unable to inspect patio/balcony due to occupants belongings. See photos.



Unit 38

1. Kitchen

Observations:

- No visible plumbing problems noted at time of inspection.
- Drawers are damaged or difficult to operate.
- Evidence of moisture penetration observed at the window. Window may need caulking or sealant application on the exterior.

2. Hallway

Observations:

- No visible problems noted at time of inspection.

3. Bedrooms

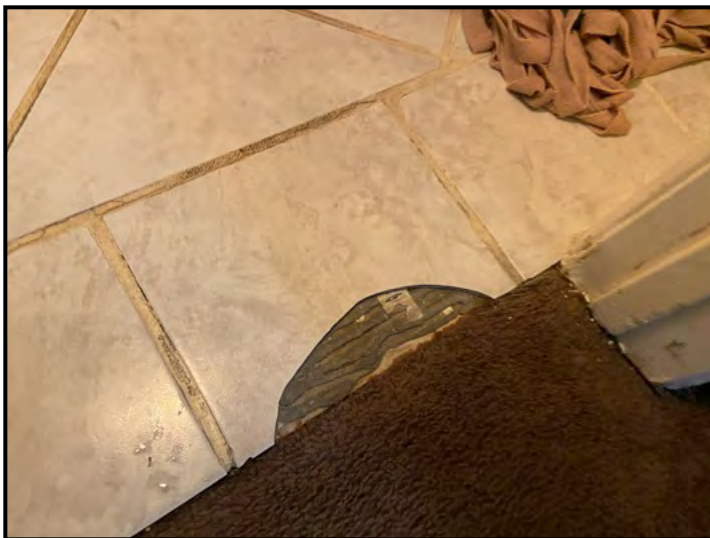
Observations:

- No visible problems noted at time of inspection.
- Window is difficult to operate. Repair or replacement is recommended.

4. Bathrooms

Observations:

- Vanity door or drawer is damaged or broken. Repair or replacement is recommended.
- Tub surface is damaged. Repair and or resurfacing is recommended.
- Moisture stains and/or damage viewed on the walls.
- Floor tiles are damaged or loose. Repair or replacement is recommended.
- Repair or replacement is recommended.
- See photos.



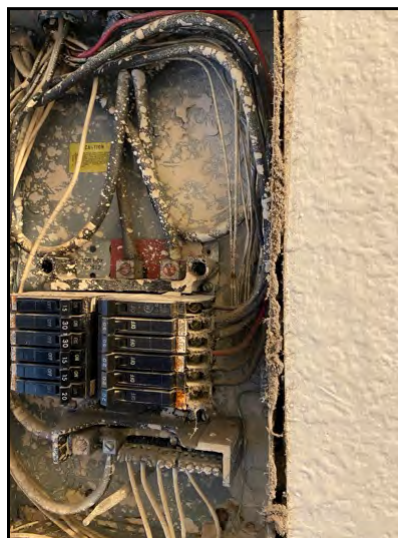
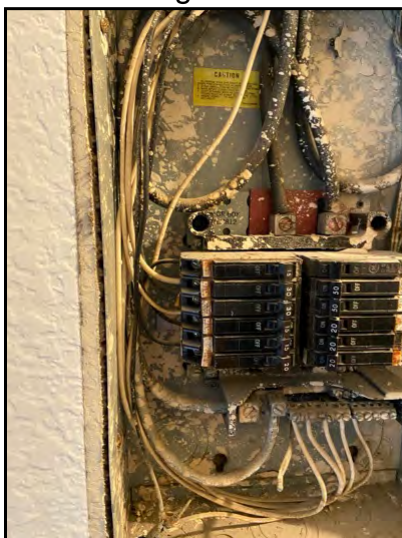


5. Electrical Panel Condition

Materials: Bedroom.

Observations:

- Circuit and wire sizing correct so far as visible.



6. HVAC System Condition

Observations:

- Heating system operated properly at time of inspection.
- Recommend cleaning the system thoroughly before using.

7. Decks & Balconies Observations

Floor Materials: Wood

Observations:

- **Floor Condition:**
- **Carpet restricts viewing of the floor. Further evaluation is recommended.**





8. Attic Observations

Observations:

- Unable to enter attic at time of inspection. Attic entrance was sealed. See photo.



Unit 39

1. Living & Dining Room

Observations:

- Windows and doors operated properly at time of inspection.
- Walls and ceiling appeared functional at time of inspection.
- No visible problems noted at the floor at time of inspection.
- A representative number of outlets, switches and fixtures was operated and found to be in operable condition at time of inspection.

2. Kitchen

Observations:

- No visible plumbing problems noted at time of inspection.
- No visible problems noted at the counters and cabinets at time of inspection.
- Windows and doors operated properly at time of inspection.
- Walls and ceiling appeared functional at time of inspection.
- No visible problems noted at the floor at time of inspection.
- A representative number of outlets, switches and fixtures was operated and found to be in operable condition at time of inspection.

3. Hallway

Observations:

- Smoke detector is installed.
- Carbon monoxide alarm is installed in the dwelling.
- Walls and ceiling appeared functional at time of inspection.
- No visible problems noted at the closet at time of inspection.
- No visible problems noted at the floor at time of inspection.
- A representative number of outlets, switches and fixtures was operated and found to be in operable condition at time of inspection.

4. Bedrooms

Observations:

- Windows and doors operated properly at time of inspection.
- Walls and ceiling appeared functional at time of inspection.
- No visible problems noted at the closet at time of inspection.
- No visible problems noted at the floor at time of inspection.
- A representative number of outlets, switches and fixtures was operated and found to be in operable condition at time of inspection.
- **Smoke detector is not installed. A smoke detector is required in every bedroom, adjacent hallway and every level of the dwelling prior to the close of escrow.**



5. Bathrooms

Observations:

- No visible plumbing problems noted at time of inspection.
- No visible problems noted at the sink and vanity at time of inspection.
- No visible problems observed at the doors and windows at time of inspection.
- Walls and ceiling appeared functional at time of inspection.
- **Tub surface is damaged. Repair and or resurfacing is recommended.**
- **Caulking is recommended at the tub or shower areas to prevent moisture penetration and damage behind the walls.**
- **Floor tiles are damaged or loose. Repair or replacement is recommended.**
- See photos.
- **Ground Fault Circuit Interrupter (GFCI) outlets are recommended for installation.**
- See photos.



6. Electrical Panel Condition

Observations:

- Circuit and wire sizing correct so far as visible.
- Grounding system is present.
- **Electrical panel located in bedroom closet which is not allowed**



7. HVAC System Condition

Observations:

- No visible problems noted at time of inspection.
- Air conditioning system operated properly at time of inspection.
- No visible problems noted at time of inspection.

8. Decks & Balconies Observations

Floor Materials: Concrete

Cover Materials: Stucco

Observations:

- Deck underside is not accessible for inspection. Further evaluation may be necessary.
- Balcony underside is covered with wood or stucco and is not accessible for inspection. Further evaluation may be necessary.
- No visible problems observed at time of inspection.
- No visible problems observed at time of inspection.
- **Carpet restricts viewing.**



Unit 40

1. Living & Dining Room

Observations:

- Windows and doors operated properly at time of inspection.
- Walls and ceiling appeared functional at time of inspection.
- No visible problems noted at the closet at time of inspection.
- No visible problems noted at the floor at time of inspection.
- A representative number of outlets, switches and fixtures was operated and found to be in operable condition at time of inspection.

2. Kitchen

Observations:

- No visible plumbing problems noted at time of inspection.
- No visible problems noted at the counters and cabinets at time of inspection.
- Windows and doors operated properly at time of inspection.
- Walls and ceiling appeared functional at time of inspection.
- No visible problems noted at the floor at time of inspection.
- A representative number of outlets, switches and fixtures was operated and found to be in operable condition at time of inspection.

3. Hallway

Observations:

- Smoke detector is installed.
- Carbon monoxide alarm is installed in the dwelling.
- Walls and ceiling appeared functional at time of inspection.
- No visible problems noted at the closet at time of inspection.
- No visible problems noted at the floor at time of inspection.
- A representative number of outlets, switches and fixtures was operated and found to be in operable condition at time of inspection.

4. Bedrooms

Observations:

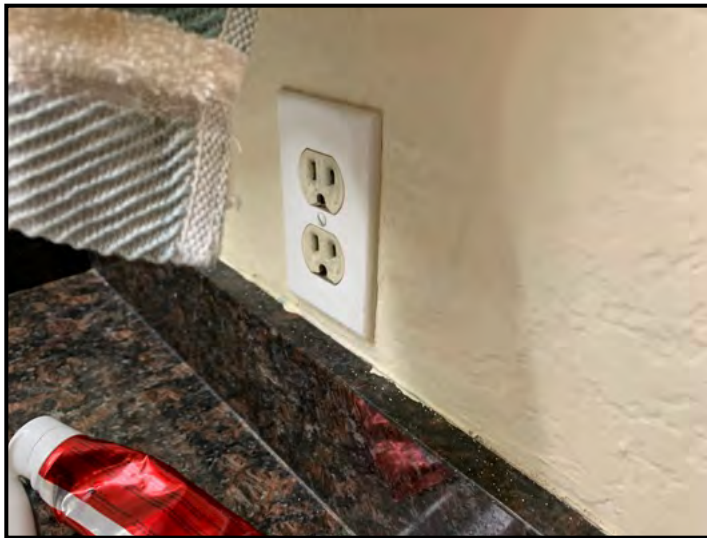
- Windows and doors operated properly at time of inspection.
- Walls and ceiling appeared functional at time of inspection.
- No visible problems noted at the closet at time of inspection.
- No visible problems noted at the floor at time of inspection.
- A representative number of outlets, switches and fixtures was operated and found to be in operable condition at time of inspection.
- **Smoke detector is not installed. A smoke detector is required in every bedroom, adjacent hallway and every level of the dwelling prior to the close of escrow.**



5. Bathrooms

Observations:

- No visible problems noted at the tub/shower area at time of inspection.
- No visible problems observed at the doors and windows at time of inspection.
- Walls and ceiling appeared functional at time of inspection.
- No visible floor problems noted at time of inspection.
- **Tub faucet leaks when operated.**
- **See photos.**
- **Vanity door or drawer is damaged or broken. Repair or replacement is recommended.**
- **Ground Fault Circuit Interrupter (GFCI) outlets are recommended for installation.**
- **See photos.**



6. Electrical Panel Condition

Observations:

- **Unable to remove electrical panel cover. Panel cover has been painted/sealed to the wall and removal would cause damage to the surrounding wall. Access to the interior of the panel is required.**
- **Electrical panel located inside bedroom closet which is not allowed**



7. HVAC System Condition

Observations:

- No visible problems noted at time of inspection.
- Air conditioning system operated properly at time of inspection.
- No visible problems noted at time of inspection.

8. Decks & Balconies Observations

Floor Materials: Wood

Cover Materials: Stucco

Observations:

- Deck underside is not accessible for inspection. Further evaluation may be necessary.
- Balcony underside is covered with wood or stucco and is not accessible for inspection. Further evaluation may be necessary.
- No visible problems observed at time of inspection.
- **Carpet restricts viewing.**



Unit 41

1. Living & Dining Room

Observations:

- No visible problems noted at time of inspection.
- Windows and doors operated properly at time of inspection.

2. Bathrooms

Observations:

- Leaks noted at the supply lines under the sink at time of inspection.
- Leaks observed at the drain lines under the sink.
- Tub faucet leaks when operated.
- Moisture stains and/or damage viewed on the ceiling.
- Moisture stains and/or damage viewed on the walls.
- GFCI outlet did not operate properly at time of inspection. Repair or replacement is recommended.
- Significant damage observed at the floor surrounding the toilet. Subfloor appears soft and damaged. See photos. Further evaluation by a licensed contractor is recommended.
- Further evaluation and repairs as needed by a plumbing contractor is recommended.
- See photos.





3. Electrical Panel Condition

Materials: Bedroom.

Observations:

- Panel was blocked by occupants belongings at time of inspection. A minimum clearance of 36 inches in front and 30 inches on each side is required. Removal of any obstructions is required.

4. HVAC System Condition

Observations:

- Heating system operated properly at time of inspection.
- Recommend cleaning the system thoroughly before using.

5. Other Interior

Observations:

- No visible problems noted at the stairs at time of inspection.

6. Decks & Balconies Observations

Observations:

- No visible structural problems observed at time of inspection.

Unit 42

1. Living & Dining Room

Observations:

- No visible problems noted at time of inspection.
- Windows and doors operated properly at time of inspection.

2. Kitchen

Observations:

- No visible problems noted at time of inspection.
- No visible plumbing problems noted at time of inspection.

3. Bedrooms

Observations:

- Evidence of moisture penetration observed at the window. Window may need caulking or sealant application on the exterior.

4. Bathrooms

Observations:

- No visible plumbing problems noted at time of inspection.
- Exhaust fan did operated noisily at time of inspection. Repair or replacement is necessary.

5. Electrical Panel Condition

Materials: Bedroom.

Observations:

- Unable to remove electrical panel cover. Panel cover has been painted/sealed to the wall and removal would cause damage to the surrounding wall. Access to the interior of the panel is required.

6. HVAC System Condition

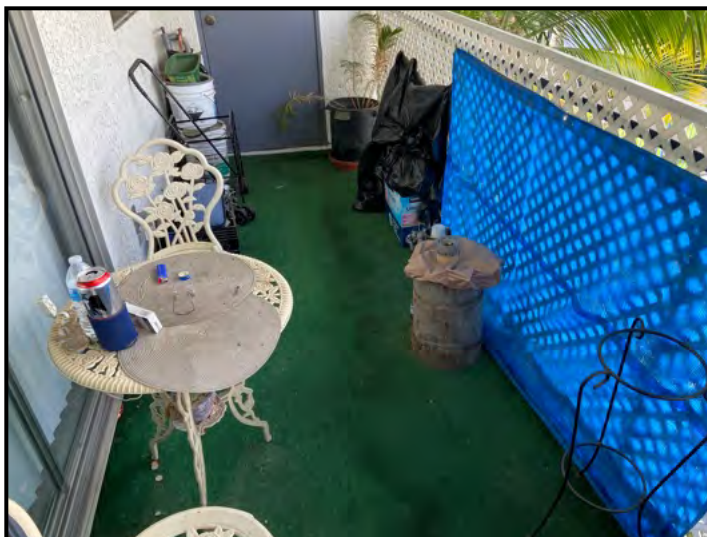
Observations:

- System did not respond to normal controls. Further evaluation by a licensed HVAC contractor is recommended.

7. Decks & Balconies Observations

Observations:

- Carpet restricts viewing of the floor. Further evaluation is recommended.



Unit 43

1. Living & Dining Room

Observations:

- Sliding glass door screen is damaged or missing. Repair or replacement is recommended
- Window is difficult to operate. Repair or replacement is recommended.

2. Kitchen

Observations:

- No visible plumbing problems noted at time of inspection.
- Minor to moderate wear and or damage observed on the kitchen counter top. Repair or replacement is recommended.
- Laminate countertop is swelled at the seam from moisture penetration. Repair or replacement is recommended.
- Repair or replacement is recommended.

3. Hallway

Observations:

- No visible problems noted at time of inspection.
- Smoke detector is not installed. A smoke detector is required in every bedroom, adjacent hallway and every level of the dwelling prior to the close of escrow.

4. Bedrooms

Observations:

- Window glass is cracked or broken. Replacement is required.
- Moisture stains and/or damage viewed on the ceiling.
- Possible roof leak. Further evaluation by a roofing contractor is recommended.
- Closet doors are fallen off the tracks. Proper installation is recommended.
- See photos.

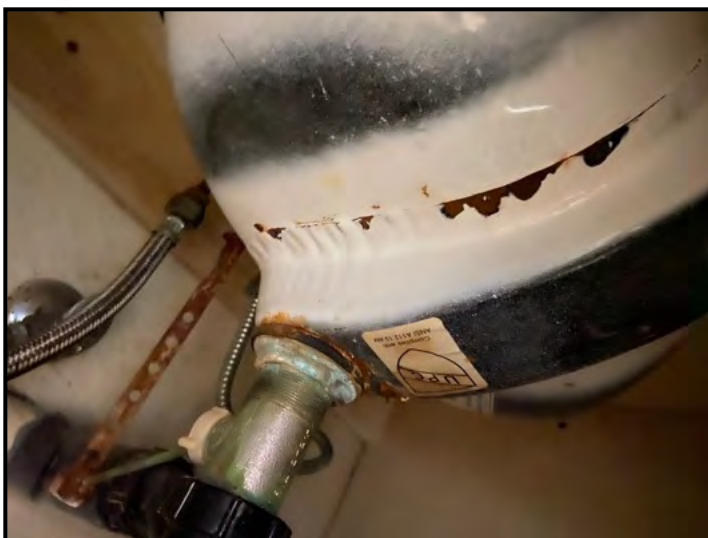
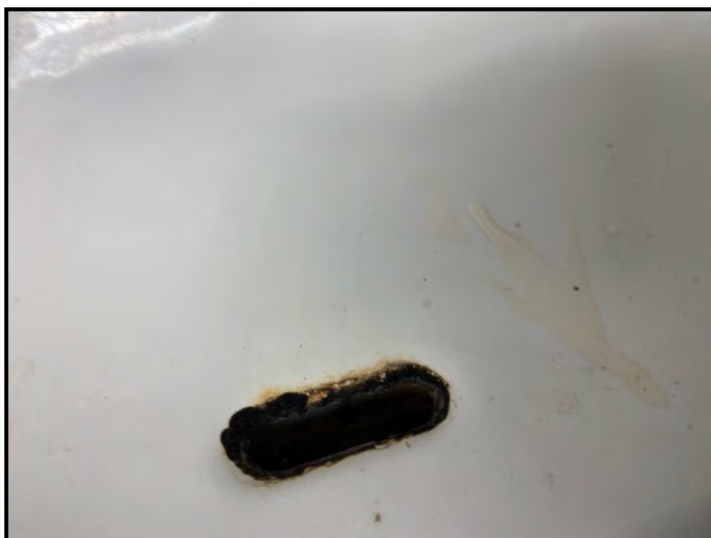




5. Bathrooms

Observations:

- Significant moisture damage observed under the sink.
- Sink has rust damage. This model of sink was manufactured defectively by welding the overflow channel to the bottom of the sink. This causes rapid rusting under the sink, which then protrudes to the top and generally causes leaks. Replacement of the sink is necessary.
- Tub faucet is not sealed at the wall and will allow moisture penetration.
- Mirror is damaged. Medicine cabinet mirror is missing. Replacement of both is recommended.



6. Electrical Panel Condition

Materials: Bedroom.

Observations:

- Circuit and wire sizing correct so far as visible.

7. HVAC System Condition

Observations:

- Heating system operated properly at time of inspection.



8. Decks & Balconies Observations

Floor Materials: Concrete

Observations:

- Floor Condition:
- No visible problems observed at time of inspection.

9. Miscellaneous

Observations:

- Main water shut off located at the patio is leaking. See photo. Repairs by a plumbing contractor are recommended.



Unit 44

1. Kitchen

Observations:

- No visible plumbing problems noted at time of inspection.
- Windows and doors operated properly at time of inspection.
- Walls and ceiling appeared functional at time of inspection.
- No visible problems noted at the floor at time of inspection.
- A representative number of outlets, switches and fixtures was operated and found to be in operable condition at time of inspection.
- **Moisture damage noted on the cabinets. Repair or replacement is recommended.**
- **Evidence of moisture penetration observed at the window. Window may need caulking or sealant application on the exterior.**
- **See photos.**
- **Kitchen stove is damaged and needs to be repaired or replaced**



2. Hallway

Observations:

- Smoke detector is installed.
- Carbon monoxide alarm is installed in the dwelling.
- No visible problems noted at the closet at time of inspection.
- No visible problems noted at the floor at time of inspection.
- A representative number of outlets, switches and fixtures was operated and found to be in operable condition at time of inspection.
- **Moisture stains and/or damage viewed on the walls.**
- **See photos.**



3. Bedrooms

Observations:

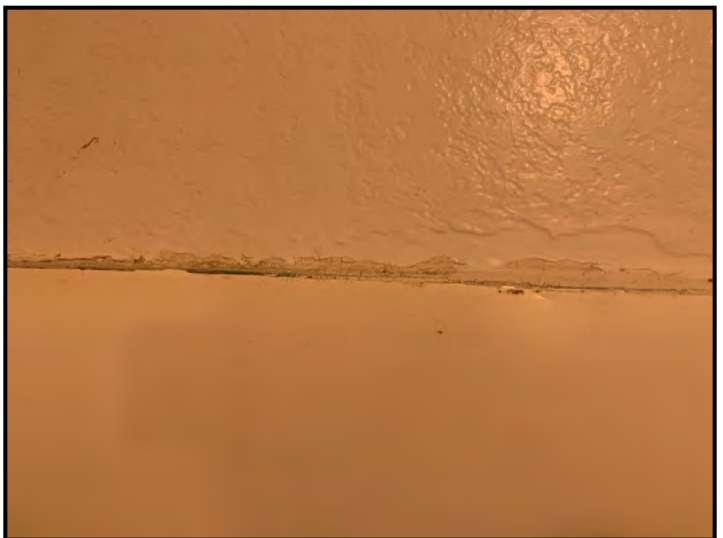
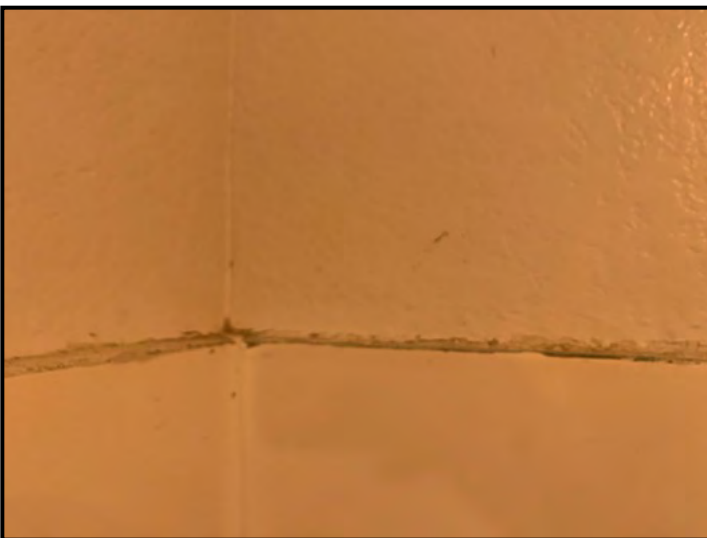
- Windows and doors operated properly at time of inspection.
- Walls and ceiling appeared functional at time of inspection.
- No visible problems noted at the closet at time of inspection.
- No visible problems noted at the floor at time of inspection.
- A representative number of outlets, switches and fixtures was operated and found to be in operable condition at time of inspection.
- **Smoke detector is not installed. A smoke detector is required in every bedroom, adjacent hallway and every level of the dwelling prior to the close of escrow.**

4. Bathrooms

Observations:

- No visible plumbing problems noted at time of inspection.
- No visible problems observed at the doors and windows at time of inspection.
- No visible floor problems noted at time of inspection.
- **Vanity door or drawer is damaged or broken. Repair or replacement is recommended.**
- **Caulking is recommended at the tub or shower areas to prevent moisture penetration and damage behind the walls.**
- **Moisture stains and/or damage viewed on the ceiling.**
- **Moisture stains and/or damage viewed on the walls.**
- **See photos.**
- **Ground Fault Circuit Interrupter (GFCI) outlets are recommended for installation.**
- **See photos.**





5. Electrical Panel Condition

Observations:

- Electrical panel is installed in bedroom closet which is not allowed



6. HVAC System Condition

Observations:

- No visible problems noted at time of inspection.
- Air conditioning system operated properly at time of inspection.
- No visible problems noted at time of inspection.

7. Other Interior

Observations:

- Hand railing is loose or damaged. Repair or replacement is required.
- See photos.



Glossary

Term	Definition
ABS	Acronym for acrylonitrile butadiene styrene; rigid black plastic pipe used only for drain lines.
Eave	The part of a roof that extends beyond the side wall.
Fascia	The band running horizontally and positioned vertically under a roof edge, or that which forms the outer surface of a cornice. Fascia board caps the rafter ends of a roof structure and may be used to hold a gutter. The area below the fascia may be referred to as the eave.
GFCI	A special device that is intended for the protection of personnel by de-energizing a circuit, capable of opening the circuit when even a small amount of current is flowing through the grounding system.
PVC	Polyvinyl chloride, which is used in the manufacture of white plastic pipe typically used for water supply lines.

