

*“Down To
The Last
Doorknob”*



PROPERTY INSPECTION REPORT

1234 Sunny Lane, Anytown, CA 91001

INSPECTION PREPARED FOR: Jane Smith

INSPECTOR: Tony Escamilla

AGENT: John Doe - Keller Williams

DATE OF INSPECTION: 3/15/2020



VILLA HOME INSPECTIONS

www.inspectaproperty.com

ABOUT YOUR INSPECTION - PLEASE READ ALL OF THE INFORMATION WE PROVIDE BELOW

In order for you to receive the full value of this inspection, please read all of the information we have provided.

ALL ITEMS IN RED PRINT ARE OF IMMEDIATE CONCERN TO THIS STRUCTURE AND SHOULD BE FURTHER EVALUATED BEFORE THE CLOSE IN ESCROW. HOWEVER, THE ENTIRE REPORT MUST BE READ FOR FULL DISCLOSURE, AS OTHER ITEMS WRITTEN IN THE REPORT MAY REQUIRE FURTHER EVALUATION AS DEEMED BY THE OPINION OF THE READER. IF A FURTHER EVALUATION IS NOT PERFORMED AND ADDITIONAL DEFECTS ARE FOUND AFTER THE CONTINGENCY PERIOD HAS EXPIRED, THEN ANY DISPUTES OR CLAIMS AGAINST THE INSPECTION WILL BE DENIED. SIMPLY PUT, IF YOU DO NOT FOLLOW THE ADVICE IN THIS REPORT, THEN YOU CANNOT HOLD THE INSPECTOR OR THE INSPECTION REPORT LIABLE AFTER YOU MOVE INTO THE INSPECTED STRUCTURE OR PROPERTY.

THIS IS A LIMITED INSPECTION: It is impossible to inspect every square inch of every area of a home in a limited time frame. A home inspection is designed to reflect, as accurately as possible, the visible condition of the home at the time of the inspection only and does NOT reflect, anticipate or predict future conditions. Conditions at a home for sale can change radically in only a day or two, so a home inspection is not meant to guarantee what condition a home will be in when the transaction closes. It's not uncommon for conditions to change between the time of the inspection and the closing date. During this inspection your inspector did not dismantle equipment, dismantle any structural items, apply stress or destructive testing. Areas that are hidden, painted over, disguised and/or not readily visible are not covered in this report. Our report is not a guarantee or warranty on the condition of your property or its contents. This report provides an unbiased visual inspection only. Villa Home Inspections inspections are performed with consideration given to the age of the structure. Defects will be indicated and marked as such, even though the condition may be normal for the age, and should be inspected by the appropriate licensed contractor. Opinions vary from person to person and this report is the opinion of the inspector and must be considered as such. The Inspector does not determine the age or remaining life of any system or building material during this inspection. Cosmetic items are considered obvious and are often not included in your report. Your report does not include all items covered in the REAL ESTATE TRANSFER DISCLOSURE FORM. We recommend that you read the Disclaimers page in complete detail to understand the limitations of a Home Inspection.

An attorney and/or real estate broker should be consulted on additional items not included in this report.

ENVIRONMENTAL DISCLAIMER: Mold spores, asbestos, formaldehyde, radon, lead paint, Chinese drywall, poria and all other toxic items of concern cannot be identified as toxic and/or dangerous with this inspection report. Your inspector is not certified to identify any of these toxic or dangerous items and will not include any information on them in this report. It's recommended the client have the property tested by a certified expert in these areas, in all cases.

Houses/structures built between 1965 and 1974 have the possibility of aluminum wiring present throughout structure. It is recommended that a licensed electrician further evaluate houses built in this era for aluminum wiring. Houses/structures with galvanized or cast iron plumbing present are highly recommended to be further evaluated by a plumbing contractor regardless of the age of the plumbing.*

Houses/structures built prior to 1978 can contain asbestos materials. It is recommended that a licensed asbestos contractor/inspector further evaluate houses/structures built in this era for asbestos materials. The Home Inspector will not determine or include in the report if asbestos is present at any structure or in any materials at a structure. Houses/structures built prior to 1978 can contain lead paint. It is recommended that a licensed lead inspector further evaluate houses/structures built in this era for lead paint materials.*

*Villa Home Inspections will not engage in any claims regarding aluminum wiring, asbestos or lead paint.

PHOTO DOCUMENTATION: Your report may include digitally imaged photos of certain problem areas (should they exist). Also included are pictures (General Views) to establish location and identification. It is not a requirement that your Home Inspector photograph every area or defect of the home; additional photos may be taken and included in your report as a courtesy. The Inspector CANNOT use photos provided by anyone else for the inspection report. Any photos included in the report must be taken by the Inspector only, with the Inspector's camera only.

Please carefully read your entire Inspection Report. Call your inspector after you have reviewed your report, so we can go over any questions you may have. Remember, when the inspection is completed and the report is delivered, we are



still available to you for any questions you may have, throughout the entire closing process.

Properties being inspected do not "Pass" or "Fail." - The following report is based on an inspection of the visible areas of the structure; inspection may be limited by vegetation, height restrictions, weather and possessions. Depending on the age of the structure, some items like GFCI outlets may not be installed; this report will focus on safety and function, not current building codes. This report identifies specific non-building code, non-cosmetic concerns that the inspector feels may need further investigation or repair. It is NOT a requirement that a home being sold be brought up to today's building code standards.

We advise you to check all building permits for all areas of the structures present, a home inspection is NOT a building code violation inspection. If the proper building permits have not been obtained and/or do not have final building inspection signatures, then you cannot assume that these areas were installed to applicable building codes. Further investigation beyond the scope of the home inspection may be needed.

For your safety and liability purposes, we recommend that licensed contractors further evaluate and repair any and all concerns and defects noted in the report, prior to the close of your transaction.

Lateral Sewer Line Camera Inspection: Underground drains cannot be viewed by the Inspector and can often have internal issues that do not reveal themselves during the home inspection. We highly advise you to have a sewer camera inspection prior to the release of inspection contingencies.

Every home or structure is different, therefore may be inspected in various formats. Inspections can take anywhere from 1 to hours depending on the size of the structure or the age of the structure being inspected. The condition of the home or structure being inspected may also play a role in the time it takes for the inspection; the more defects there are to document, the longer the inspection will take. Inspection methods are generally the same among all inspectors, however experience and inspector's personal preferences may differ between Inspectors. This is the same for report writing. While Inspectors are provided with common statements to use in their report, they are also given the freedom to narrate or edit comments as they see fit for each inspection.

The Inspector cannot predict or find every defect in a structure being inspected. The time frame for an inspection only allows the Inspector to examine areas in a location by location order. If a defect arises in another area of the structure (including the exterior) for which this defect was not present or visible at the time of the inspection, then the Inspector cannot be liable for notifying you of the defect. For example: The inspector evaluates the exterior of the home first and finds no defects...but later runs the water at the kitchen sink and the water is not visibly leaking under the kitchen sink, but somehow is leaking through the exterior wall to the exterior, the Inspector will not back-track and re-inspect the exterior and will likely not see this or note the defect.

During the inspection, the water is turned on at all visible and/or accessible fixtures at the structure. In most cases, no water fixtures should be left unattended while turned on. There is no set standard time frame for how long each fixture should be operated. The Inspector will operate the water fixtures as long as is needed to determine if both the hot and/or cold water is operating at the designated fixture. Leaks can only be documented if they are visible at the time of operating the designated fixture. Future leaks cannot be predicted! A home inspector cannot determine if there are plumbing leaks inside walls or ceilings unless visible moisture or explicit signs of moisture are present and visible at the time of the inspection. This inspection does not include confirmation of water conservation devices at any fixture.

Note that this report is a snapshot in time and not a prediction of future conditions. We recommend that you or your representative carry out a final walk-through inspection immediately before closing escrow to check the condition of the property, using this report as a guide. Conditions can change at any time during escrow time periods. You are 100% responsible for verifying all conditions prior to close of escrow.

THIS REPORT IS NON-TRANSFERABLE TO ANOTHER PARTY, NO EXCEPTIONS.

THANK YOU FOR USING VILLA HOME INSPECTIONS



Report Summary

The summary below consists of potentially significant findings. These findings can be a safety hazard, a deficiency requiring a major expense to correct or items I would like to draw extra attention to. The summary is not a complete listing of all the findings in the report, and reflects the opinion of the inspector. Please review all pages of the report as the summary alone does not explain all of the issues. All repairs should be done by a licensed & bonded tradesman or qualified professional. I recommend obtaining a copy of all receipts, warranties and permits for the work done.

Inspection Details		
Page 8 Item: 11	Other Information	<ul style="list-style-type: none"> • FIRE SPRINKLERS: A fire suppression system (sprinklers) is installed on the premises. Testing and inspection of this system is technically exhaustive and therefore not part of this inspection. You may wish to have a fire suppression contractor test and inspect the system prior to the close of your transaction.
Roof		
Page 10 Item: 4	Covering Condition	<ul style="list-style-type: none"> • Cracked or broken tiles observed. • TYPICAL MAINTENANCE IS RECOMMENDED. This usually consists of repair or replacement of damaged or missing shingles or tiles. This maintenance should help insure the weather tightness of the building and should be performed on a regular basis. • See photos.
Page 15 Item: 5	Roof Eaves Condition	<ul style="list-style-type: none"> • Moisture, rot or termite-like damage observed on the fascia boards (roof edge board). • Damage appears to be minor and will most likely need minor repairs.
Exterior Areas		
Page 17 Item: 2	Fence & Walls Condition	<ul style="list-style-type: none"> • Gates are falling off the hinges. Repair or replacement is needed. • Earth to wood contact observed at the wood fence. A minimum 6 inch separation is recommended between the soil and the bottom of the fence to prevent moisture penetration and damage. • Repair or replacement is recommended. • See photos.
Page 17 Item: 3	Grading & Site Drainage	<ul style="list-style-type: none"> • Floor drains are filled with debris and may not allow adequate drainage. Further evaluation on clearing off all underground drains is recommended.
Page 18 Item: 4	Retaining Wall Observations	<ul style="list-style-type: none"> • No drainage weep holes are installed at the bottom of the wall. Improper drainage behind the wall can cause damage and eventual failure. Installation of a drainage system is recommended.
Page 19 Item: 6	Sprinkler System Observations	<ul style="list-style-type: none"> • Control valves leak when operated. • Damaged or missing sprinkler heads observed. • Adjust spray away from structures, sidewalks or fences to prevent moisture penetration and damage. • Repair or replacement is recommended.
Page 20 Item: 7	Exterior Wall Condition	<ul style="list-style-type: none"> • Cracks noted are moderate and may indicate foundation movement due to seismic activity or settlement.



Page 21 Item: 10	Hose faucets	<ul style="list-style-type: none"> • One or more of the hose faucets was inoperative at time of inspection. Repair or replacement is recommended. • Recommend further evaluation by a plumbing contractor. • See photos.
Plumbing		
Page 23 Item: 6	Main Line Condition	<ul style="list-style-type: none"> • Water meter cover is broken. Replacement is recommended.
Page 24 Item: 7	Supply Lines Condition	<ul style="list-style-type: none"> • One or more water shut off valves under the sinks throughout the house are frozen and do not operate in either direction. This is usually due to not being used over time. However, this is also an indication of a dry o-ring seal which will likely crack and cause a leak when operated. Replacement of the frozen shut off valves is recommended.
Page 24 Item: 8	Waste Lines Condition	<ul style="list-style-type: none"> • Clean out for the drain line at the master bathroom is blocked by the vanity cabinet. See photo.
Page 25 Item: 9	Fuel System Condition	<ul style="list-style-type: none"> • Per SB-998, known as the "Proper Bonding and Grounding of Corrugated Stainless Steel Tubing Act", because CSSI was observed in this dwelling, the following advisory is required: "Manufacturers of yellow corrugated stainless steel tubing believe that yellow corrugated stainless steel tubing is safer if properly bonded and grounded as required by the manufacturer's installation instructions. Proper bonding and grounding of this product can only be determined by a licensed electrical contractor."
Porch, Patios & Decks		
Page 26 Item: 1	Porches Observations	<ul style="list-style-type: none"> • Flashings at the porch wood columns are not sealed properly. See photos.
Electrical		
Page 27 Item: 3	Exterior Outlets & Wiring	<ul style="list-style-type: none"> • One or more exterior electrical outlets are not GFCI protected. All exterior outlets are required to be protected. Replacement of the outlet by a qualified electrician is necessary.
Garage, Carport & Parking		
Page 29 Item: 4	Walls & Ceiling	<ul style="list-style-type: none"> • Moisture stains or damage observed on the garage ceiling. • Possible plumbing leak. Further evaluation by a plumbing contractor is recommended. • See photos.
Bedrooms		
Page 31 Item: 2	Doors & Windows Condition	<ul style="list-style-type: none"> • Door handle is fallen off at the west bedroom door. See photo. Repair or replacement is recommended.
Living & Dining Room		
Page 32 Item: 1	Doors & Windows Condition	<ul style="list-style-type: none"> • Door won't latch properly and does not stay closed. Adjustments are recommended. • See photos.
Page 32 Item: 2	Walls & Ceilings Condition	<ul style="list-style-type: none"> • Moisture stains and/or damage viewed on the ceiling. No moisture was detected with a moisture meter at time of inspection. • See Photos.



Page 33 Item: 5	Smoke & Carbon Monoxide	<ul style="list-style-type: none"> • Hardwired type smoke detector has been removed from the wall or ceiling. A working smoke detector is required to be installed in every bedroom and adjacent hallway prior to the close of escrow.
Bathrooms		
Page 34 Item: 2	Sink & Vanity Condition	<ul style="list-style-type: none"> • Sink cabinet(vanity) has moisture damage. Repair or replacement is recommended.
Page 34 Item: 4	Toilet Condition	<ul style="list-style-type: none"> • Toilet does not flush properly and needs repair. • A licensed plumber should be called to make further evaluation and repairs as needed. • See photos.
Page 35 Item: 5	Tub & Shower Fixtures	<ul style="list-style-type: none"> • Leakage is noted at faucet handles. • Tub faucet handle at the first floor bathroom has fallen off. See photo. • A licensed plumber should be called to make further evaluation and repairs as needed. • See photos.
Page 35 Item: 6	Tub & Shower Walls	<ul style="list-style-type: none"> • Caulking and/or re-grouting at the tub surround walls is needed to prevent water penetration and moisture damage.
Page 36 Item: 10	Floor Condition	<ul style="list-style-type: none"> • Caulking is needed at the floor junction to the bathtub and shower. See photos.
Page 36 Item: 11	Electrical Condition	<ul style="list-style-type: none"> • Light fixture(s) were not functional at time of inspection.
Kitchen		
Page 37 Item: 1	Sink & Fixtures Condition	<ul style="list-style-type: none"> • Hand sprayer was leaking at time of inspection. Repair or replacement is needed.
Page 37 Item: 2	Garbage Disposal Condition	<ul style="list-style-type: none"> • Disposal makes unusual noises when operated. This may indicate worn or damage impeller blades inside the unit. Replacement may be necessary. • Repair or replacement is recommended.
Page 38 Item: 5	Appliance Condition	<ul style="list-style-type: none"> • One or more range burners are not functional. Further evaluation by an appliance repair technician is recommended. • Older model appliance. Unit is near the end of its useful life. • Rusting is noted inside the dishwasher. Repair or replacement is recommended. • Repair or replacement is recommended. • Electric igniter for the range would not shut off at time of inspection. Repair or replacement is necessary. • See Photos.
Page 38 Item: 6	Doors & Windows Condition	<ul style="list-style-type: none"> • Insulated window glass seal is loose or broken and has allowed moisture to penetrate between the double pane glass. This is evident by fogging or mist between the glass. Service by a window specialist is needed. • Sliding glass door screen is damaged or missing. Repair or replacement is recommended
Page 38 Item: 7	Walls & Ceilings Condition	<ul style="list-style-type: none"> • Moisture stains and/or damage viewed on the ceiling. No moisture was detected with a moisture meter at time of inspection. • Possible plumbing leak from dwelling above. Further evaluation by a plumbing contractor is recommended. • See Photos.
Laundry Room		



Page 40 Item: 2	Plumbing Condition	<ul style="list-style-type: none"> Washer and dryer were present, but not inspected as part of this inspection.
Hallway		
Page 41 Item: 5	Smoke & Carbon Monoxide	<ul style="list-style-type: none"> Carbon Monoxide alarm was not installed at the required areas at time of inspection. Installation is required. A carbon monoxide alarm should be: <ol style="list-style-type: none"> Centrally located outside of each separate sleeping area in the immediate vicinity of the bedrooms. The Alarm should be located at least 6 inches (152mm) from all exterior walls and at least 3 feet (0.9 meters) from supply or return vents. Installed outside of each separate sleeping area in the immediate vicinity of the bedroom(s) in dwelling units and on every level including basements within which fuel-fired appliances
Fire Safety		
Page 42 Item: 2	Carbon Monoxide	<ul style="list-style-type: none"> Carbon Monoxide alarm was not installed at the required areas at time of inspection. Installation is required. A carbon monoxide alarm should be: <ol style="list-style-type: none"> Centrally located outside of each separate sleeping area in the immediate vicinity of the bedrooms. The Alarm should be located at least 6 inches (152mm) from all exterior walls and at least 3 feet (0.9 meters) from supply or return vents. Installed outside of each separate sleeping area in the immediate vicinity of the bedroom(s) in dwelling units and on every level including basements within which fuel-fired appliances
Air Conditioning System		
Page 50 Item: 3	System Condition	<ul style="list-style-type: none"> Condenser units are dirty. Cleaning/maintenance is recommended. Insulation on the refrigeration lines is deteriorated or missing at the condenser unit. Repair or replacement is recommended. See photos.



IMPORTANT INFORMATION - PLEASE READ CAREFULLY

VILLA HOME INSPECTIONS REQUIRES AN INSPECTION AGREEMENT TO BE SIGNED BY THE CLIENT PRIOR TO PERFORMING AN INSPECTION. IF YOU WERE NOT PRESENT AT THE INSPECTION OR DID NOT SIGN THE INSPECTION AGREEMENT YOU, BY ACCEPTING, PAYING FOR, AND/OR USING THE INSPECTION REPORT YOU ACKNOWLEDGE AND AGREE TO BE BOUND BY THE TERMS AND CONDITIONS OF THE INSPECTION AGREEMENT AND FURTHER AGREE THAT THE INSPECTION AGREEMENT WILL FORM A PART OF THE INSPECTION REPORT. A COPY OF THE INSPECTION AGREEMENT IS INCLUDED WITH THIS REPORT. IF YOU HAVE NOT DONE SO, PLEASE SIGN IT AND RETURN IT TO VILLA HOME INSPECTIONS.



Inspection Details

1. Your Inspector

Materials: Tony Escamilla

2. Weather Conditions

Materials: 50-60 Degrees.

Observations:

- Cloudy.
- Light rain or drizzle.

3. Parties Present

In Attendance: Buyer present. • Buyer Agent present.

4. Occupied?

Occupancy: No.

5. Building Faces

Materials: North

6. Building Type

Home Type: Single Family Residence

7. Stories

Materials: Two

8. Space Below Grade

Materials: Concrete slab floor/foundation. No crawlspace.

9. Utilities Status

Materials: All the utilities were on at time of inspection.

10. Pool/Spa Present

Materials: None.

11. Other Information

Observations:

- **FIRE SPRINKLERS:** A fire suppression system (sprinklers) is installed on the premises. Testing and inspection of this system is technically exhaustive and therefore not part of this inspection. You may wish to have a fire suppression contractor test and inspect the system prior to the close of your transaction.



The foregoing is an opinion of the general quality and condition of the roofing material. The inspector cannot and does not offer an opinion or warranty as to whether the roof leaks or may be subject to future leakage. This report is issued in consideration of the foregoing disclaimer. The only way to determine whether a roof is absolutely water tight is to observe it during a prolonged rainfall. Many times, this situation is not present during the inspection.



Roof

1. Style

Observations:

- Gable.

2. Material

Observations:

- Concrete Tile

3. Layers

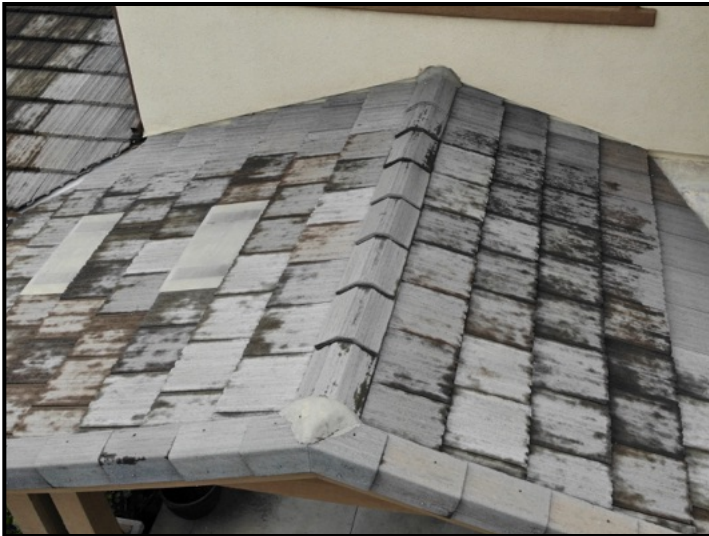
Materials: One layer.

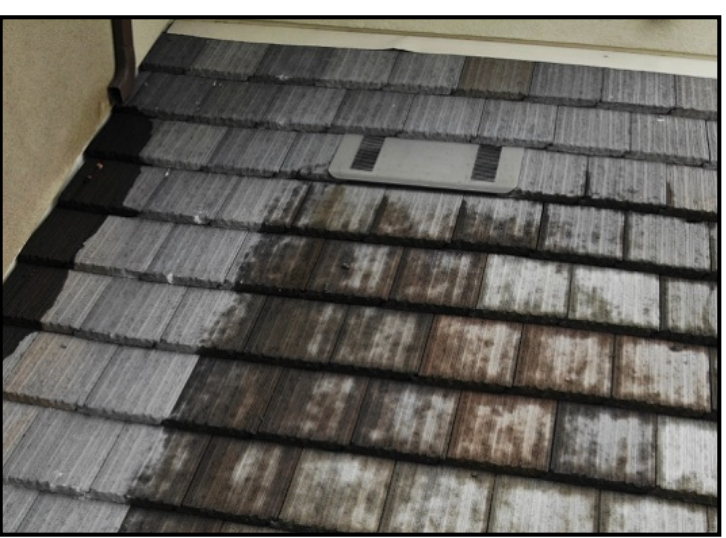
Materials: Roof inspected by drone.

4. Covering Condition

Observations:

- Roofing material appears to be within it's useful life.
- **Cracked or broken tiles observed.**
- **TYPICAL MAINTENANCE IS RECOMMENDED.** This usually consists of repair or replacement of damaged or missing shingles or tiles. This maintenance should help insure the weather tightness of the building and should be performed on a regular basis.
- See photos.













5. Roof Eaves Condition

Materials: Wood

Observations:

- Moisture, rot or termite-like damage observed on the fascia boards (roof edge board).
- Damage appears to be minor and will most likely need minor repairs.



6. Flashings Condition

Materials: Metal.

Observations:

- Flashings appear functional and satisfactory at time of inspection.

7. Gutters & Downspouts

Materials: Metal.

Observations:

- No visible problems noted at time of inspection.

Foundation & Crawlspace

1. Type of Foundation

Materials: Poured Concrete. • Concrete slab on grade (soil). No crawlspace.

2. Slab Foundation Condition

Observations:

- Foundation perimeter is not fully visible for inspection due to the type of construction and or vegetation near the foundation.
- No visible problems were noted at time of inspection.



Exterior Areas

1. Driveway and Walkway Condition

Materials: Concrete driveway noted. • Concrete sidewalk noted.

Observations:

- No visible problems noted at time of inspection.
- Minor cracks noted on the driveway at time of inspection.

2. Fence & Walls Condition

Materials: Wood • Iron

Observations:

- Fencing appears functional.
- **Gates are falling off the hinges. Repair or replacement is needed.**
- **Earth to wood contact observed at the wood fence. A minimum 6 inch separation is recommended between the soil and the bottom of the fence to prevent moisture penetration and damage.**
- **Repair or replacement is recommended.**
- **See photos.**



3. Grading & Site Drainage

Materials: Site has a gentle slope. • The area where the structures are constructed is primarily flat.

Observations:

- Site drainage throughout the property appeared adequate and functional at time of inspection.
- **Floor drains are filled with debris and may not allow adequate drainage. Further evaluation on clearing off all underground drains is recommended.**



4. Retaining Wall Observations

Materials: Location: South • Retaining walls are concrete block.

Observations:

- Retaining walls appear functional at time of inspection.
- **No drainage weep holes are installed at the bottom of the wall. Improper drainage behind the wall can cause damage and eventual failure. Installation of a drainage system is recommended.**





5. Landscaping Observations

Observations:

- Landscaping appears adequately maintained.

6. Sprinkler System Observations

Materials: Location: North • Sprinkler valves are automatic. Sprinkler system is only operated manually, at the valves, by the inspector. The timer and programming are not evaluation as part of this inspection. • Sprinkler valves are manually operated.

Observations:

- Control valves leak when operated.
- Damaged or missing sprinkler heads observed.
- Adjust spray away from structures, sidewalks or fences to prevent moisture penetration and damage.
- Repair or replacement is recommended.





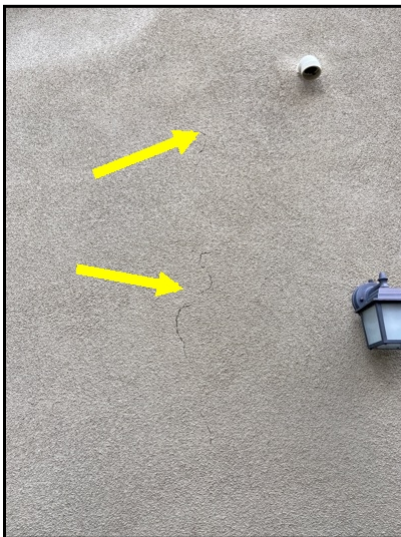
7. Exterior Wall Condition

Materials: Wood frame.

Materials: Stucco.

Observations:

- Cracks noted are moderate and may indicate foundation movement due to seismic activity or settlement.



8. Doors & Windows Observations

Materials: Vinyl. • Sliding.

Observations:

- No visible problems observed at time of inspection.

9. Chimney Condition

Materials: Wood framed. • Stucco.

Observations:

- No visible problems were found during inspection.



10. Hose faucets

Observations:

- One or more of the hose faucets was inoperative at time of inspection. Repair or replacement is recommended.
- Recommend further evaluation by a plumbing contractor.
- See photos.



Water quality or hazardous materials (lead) testing is available from local testing labs. All underground piping related to water supply, waste, or sprinkler use are excluded from this inspection. Leakage or corrosion in underground piping cannot be detected by a visual inspection.

Many cities (including Los Angeles & West Hollywood) require the installation of a automatic seismic gas shut off valve prior to the close of escrow. Determining which other cities may or may not is beyond the scope of this inspection. It is recommended that you consult your real estate agent or city building department to determine if it is required



Plumbing

1. Utilities

Materials: Water supply is from a public service company. • Sewer service appears to be connected to a public service.

2. Main Line Type

Materials: Copper
Materials: 1 inch

3. Pressure

Observations:

- Water pressure appears adequate.
- Pressure regulating valve is installed.

4. Shut Off Location

Materials: Garage

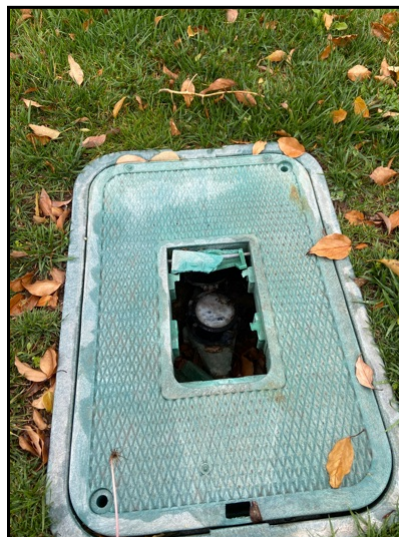
5. Meter Location

Materials: East • Curbside.

6. Main Line Condition

Observations:

- No visible problems observed at time of inspection.
- **Water meter cover is broken. Replacement is recommended.**



7. Supply Lines Condition

Materials: Mostly PEX.

Observations:

- Water lines appear to be within their useful life.
- Water lines were not fully visible at time of inspection or underground. Only the visible portions of the plumbing system are inspected and a part of this report.
- **One or more water shut off valves under the sinks throughout the house are frozen and do not operate in either direction. This is usually due to not being used over time. However, this is also an indication of a dry o-ring seal which will likely crack and cause a leak when operated. Replacement of the frozen shut off valves is recommended.**





8. Waste Lines Condition

Materials: Mostly **ABS**.

Observations:

- No visible problems noted at time of inspection.
- Waste lines not fully visible at time of inspection or underground. Only the visible portions of the plumbing system are inspected and a part of this report.
- **Clean out for the drain line at the master bathroom is blocked by the vanity cabinet. See photo.**



9. Fuel System Condition

Materials: Natural gas.

Materials: Above ground. • Meter is located at the north side of the building.

Observations:

- Meter appears functional at time of inspection.
- **Per SB-998, known as the "Proper Bonding and Grounding of Corrugated Stainless Steel Tubing Act", because **CSSI** was observed in this dwelling, the following advisory is required:**

"Manufacturers of yellow corrugated stainless steel tubing believe that yellow corrugated stainless steel tubing is safer if properly bonded and grounded as required by the manufacturer's installation instructions. Proper bonding and grounding of this product can only be determined by a licensed electrical contractor."



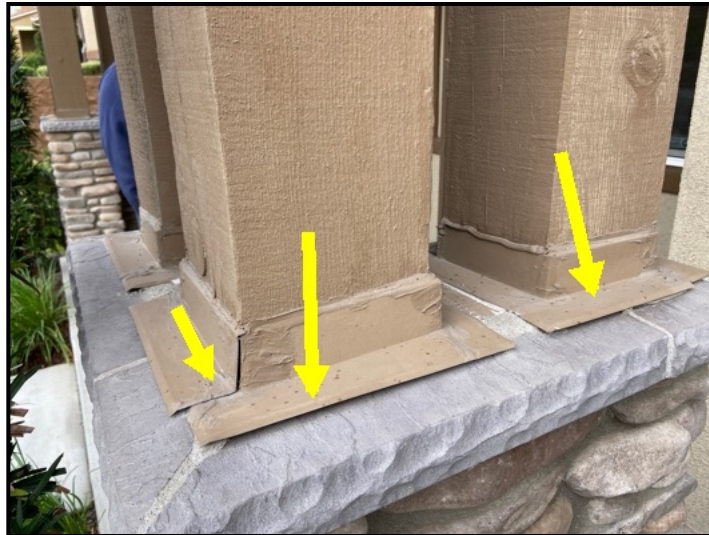


Porch, Patios & Decks

1. Porches Observations

Materials: Concrete.
Materials: Wood • Stucco
Observations:

- Flashings at the porch wood columns are not sealed properly. See photos.



Electrical

1. Service Entrance Observations

Materials: Underground. • 120/240 Volt.

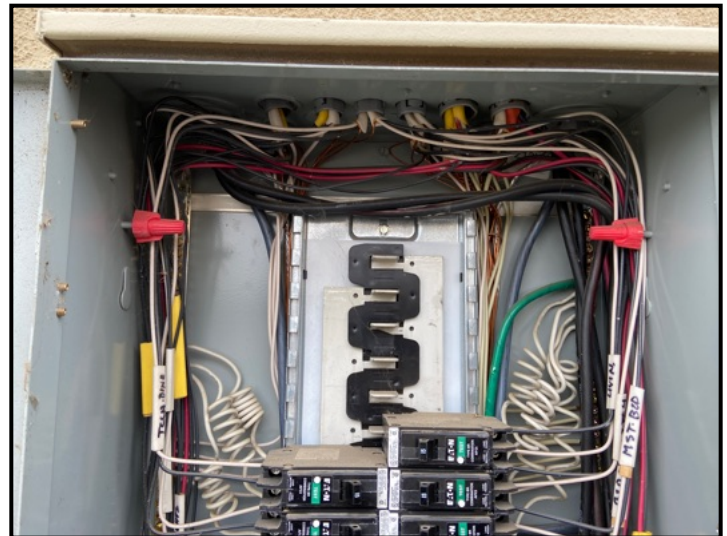
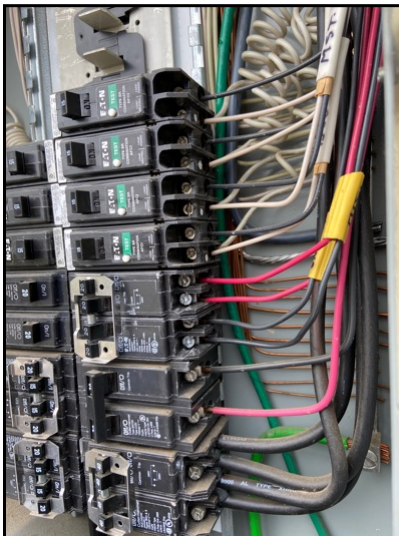
Observations:

- No visible problems observed at time of inspection.

2. Main Panel Condition

Observations:

- Grounding system is present.
- Circuit and wire sizing correct so far as visible.



3. Exterior Outlets & Wiring

Observations:

- One or more exterior electrical outlets are not **GFCI** protected. All exterior outlets are required to be protected. Replacement of the outlet by a qualified electrician is necessary.



4. Service Entrance Cables

Materials: Copper.

5. Branch Wiring Condition

Materials: Copper.

Observations:

- No visible problems observed at time of inspection.

6. Wiring Type

Materials: Romex.



Garage, Carport & Parking

1. Type

Materials: Attached.

Materials: Three.

2. Floor Condition

Observations:

- No visible problems observed at time of inspection.
- Typical cracks noted on the floor at time of inspection.

3. Fire Separation Wall

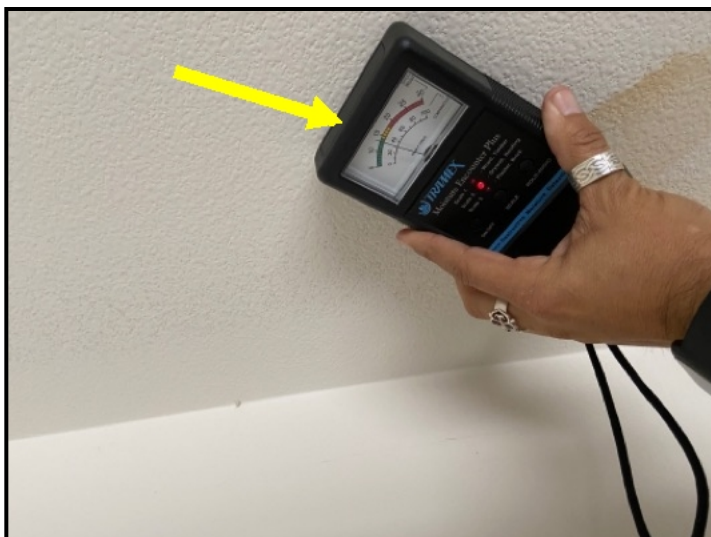
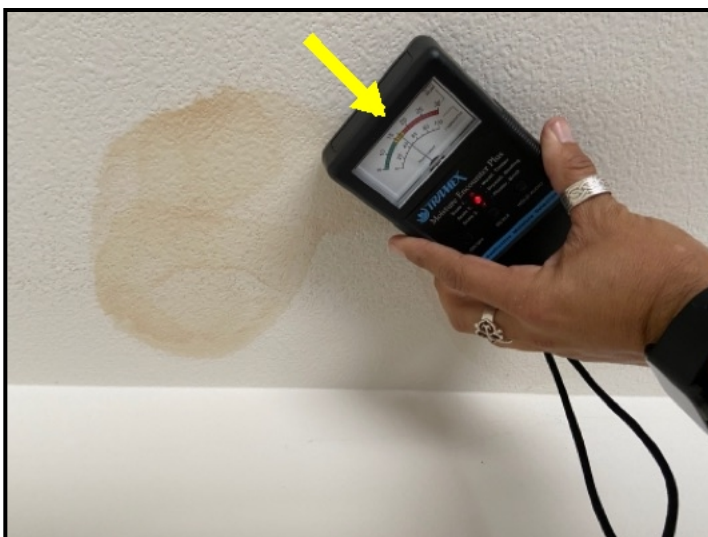
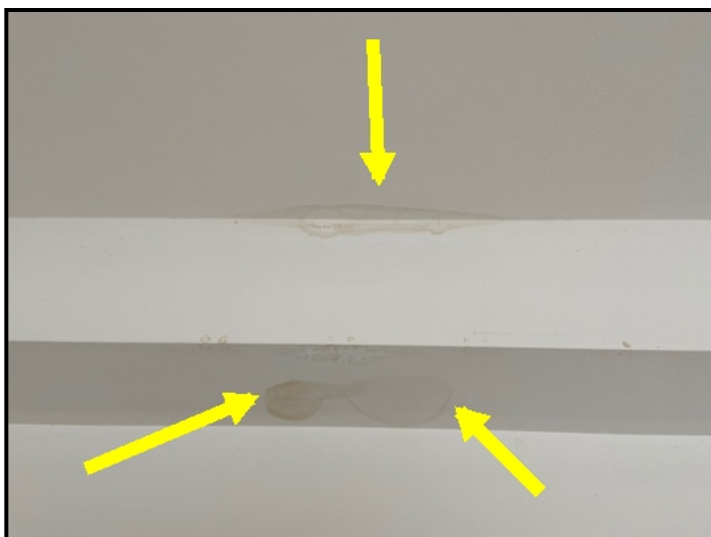
Observations:

- No visible problems observed at time of inspection.

4. Walls & Ceiling

Observations:

- **Moisture stains or damage observed on the garage ceiling.**
- **Possible plumbing leak. Further evaluation by a plumbing contractor is recommended.**
- **See photos.**





5. Interior Door Condition

Materials: Solid.

Observations:

- No visible problems noted at time of inspection.

6. Exterior Door

Observations:

- No visible problems noted at time of inspection.

7. Vehicle Door Condition

Materials: Sectional roll up. • Steel. • Non-Insulated.

Observations:

- Automatic door opener is not operational.
- Automatic door opener is operational.
- Automatic reverse feature is operational.

8. Electrical Condition

Observations:

- A representative number of outlets, switches and fixtures was operated and found to be in operable condition at time of inspection.



Bedrooms

1. Location

Materials: Location #1: Master Bedroom • Location #2: South West • Location #3: West • Location #4: North West • Location #5: First Floor, South West

2. Doors & Windows Condition

Materials: Vinyl • Sliding.

Observations:

- Windows operated properly at time of inspection.
- Doors operate properly.
- **Door handle is fallen off at the west bedroom door. See photo. Repair or replacement is recommended.**



3. Walls & Ceilings Condition

Materials: Drywall.

Observations:

- Walls and ceiling appeared functional at time of inspection.

4. Closet Condition

Observations:

- No visible problems observed at time of inspection.

5. Floor Condition

Materials: Carpet.

Observations:

- No visible problems noted at time of inspection.

6. Electrical Condition

Observations:

- A representative number of outlets, switches and fixtures was operated and found to be in operable condition at time of inspection.

7. Smoke Alarms

Observations:

- Smoke alarm was installed at time of inspection.



Living & Dining Room

1. Doors & Windows Condition

Materials: Vinyl • Sliding.

Observations:

- Windows operated properly at time of inspection.
- Door won't latch properly and does not stay closed. Adjustments are recommended.
- See photos.

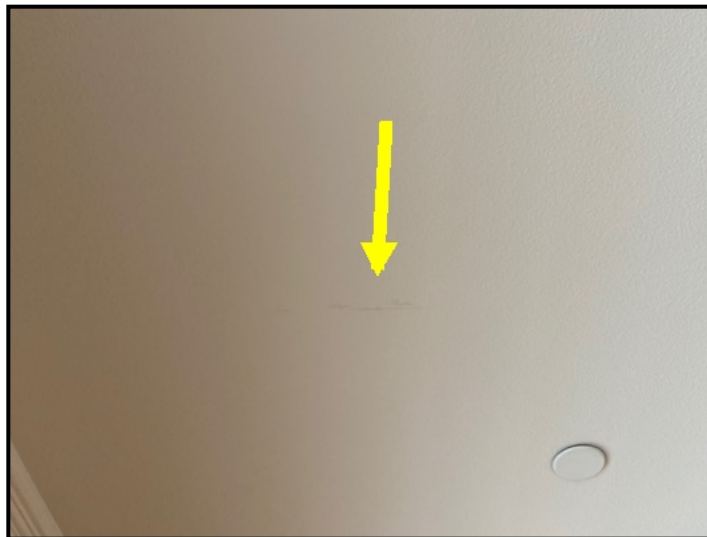


2. Walls & Ceilings Condition

Materials: Drywall.

Observations:

- Walls and ceiling appeared functional at time of inspection.
- Moisture stains and/or damage viewed on the ceiling. No moisture was detected with a moisture meter at time of inspection.
- See Photos.



3. Floor Condition

Materials: Carpet.

Observations:

- No visible problems noted at time of inspection.



4. Electrical Condition

Observations:

- A representative number of outlets, switches and fixtures was operated and found to be in operable condition at time of inspection.

5. Smoke & Carbon Monoxide

Observations:

- **Hardwired type smoke detector has been removed from the wall or ceiling. A working smoke detector is required to be installed in every bedroom and adjacent hallway prior to the close of escrow.**



Bathrooms

1. Location

Materials: Location #1: Hallway • Location #2: Master Bathroom • Location #3: First Floor, Hallway

2. Sink & Vanity Condition

Observations:

- Sink and counter areas are in functional condition.
- Counters/cabinets appear serviceable.
- Sink cabinet(vanity) has moisture damage. Repair or replacement is recommended.



3. Plumbing Condition

Observations:

- Faucet is functional condition.
- Drain lines under the sink appear functional.

4. Toilet Condition

Observations:

- Toilet is low flow type.
- Toilet does not flush properly and needs repair.
- A licensed plumber should be called to make further evaluation and repairs as needed.
- See photos.



5. Tub & Shower Fixtures

Observations:

- Plumbing fixtures operated properly at time of inspection.
- Drain appears serviceable.
- Leakage is noted at faucet handles.
- Tub faucet handle at the first floor bathroom has fallen off. See photo.
- A licensed plumber should be called to make further evaluation and repairs as needed.
- See photos.



6. Tub & Shower Walls

Observations:

- Tub and shower areas appear serviceable.
- Caulking and/or re-grouting at the tub surround walls is needed to prevent water penetration and moisture damage.



7. Ventilation Condition

Observations:

- Exhaust fan is functional and or adequate.

8. Doors & Windows Condition

Observations:

- Doors operate properly.

9. Walls & Ceilings Condition

Materials: Drywall.

Observations:

- Walls and ceiling appeared functional at time of inspection.

10. Floor Condition

Materials: Carpet. • Vinyl.

Observations:

- No visible problems noted at time of inspection.
- **Caulking is needed at the floor junction to the bathtub and shower. See photos.**



11. Electrical Condition

Observations:

- A representative number of outlets, switches and fixtures was operated and found to be in operable condition at time of inspection.
- **Light fixture(s) were not functional at time of inspection.**

Kitchen

1. Sink & Fixtures Condition

Observations:

- TYPE OF SINK:
 - Stainless Steel.
 - Faucet operated properly at time of inspection.
 - Drain lines under the sink appear functional.
 - **Hand sprayer was leaking at time of inspection. Repair or replacement is needed.**



2. Garbage Disposal Condition

Observations:

- **Disposal makes unusual noises when operated. This may indicate worn or damage impeller blades inside the unit. Replacement may be necessary.**
- **Repair or replacement is recommended.**

3. Counters & Cabinets Condition

Materials: Counters are granite or marble.

Observations:

- Counters appear functional at time of inspection.
- Cabinets appeared functional and overall good condition at time of inspection.

4. Ventilation

Observations:

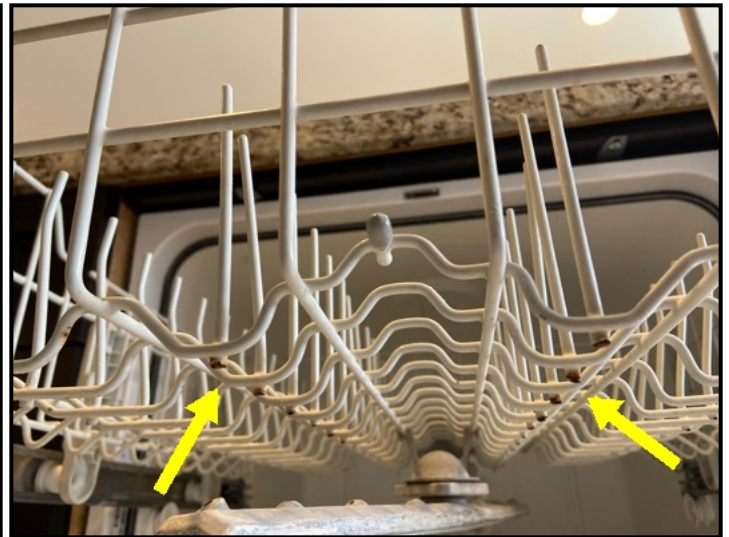
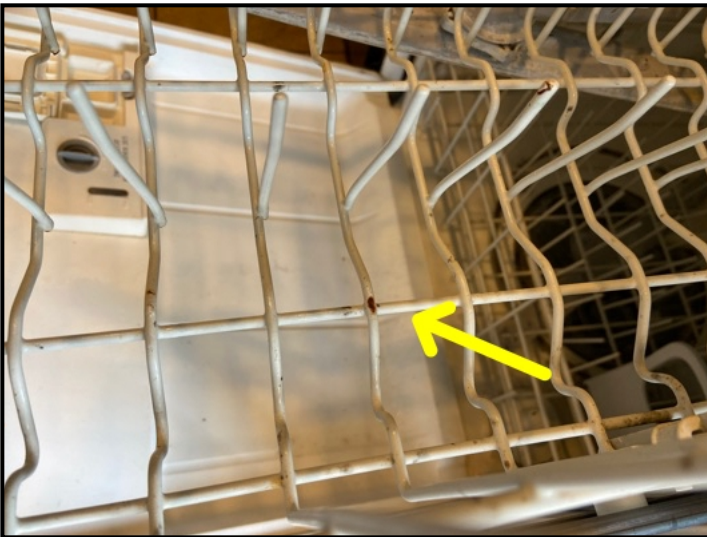
- Range fan operated properly at time of inspection.



5. Appliance Condition

Observations:

- Oven operated properly.
- Dishwasher operated properly at time of inspection.
- Microwave operated properly at time of inspection.
- One or more range burners are not functional. Further evaluation by an appliance repair technician is recommended.
- Older model appliance. Unit is near the end of its useful life.
- Rusting is noted inside the dishwasher. Repair or replacement is recommended.
- Repair or replacement is recommended.
- Electric igniter for the range would not shut off at time of inspection. Repair or replacement is necessary.
- See Photos.



6. Doors & Windows Condition

Materials: Vinyl • Sliding.

Observations:

- Windows operated properly at time of inspection.
- Doors operate properly.
- Insulated window glass seal is loose or broken and has allowed moisture to penetrate between the double pane glass. This is evident by fogging or mist between the glass. Service by a window specialist is needed.
- Sliding glass door screen is damaged or missing. Repair or replacement is recommended.

7. Walls & Ceilings Condition

Materials: Drywall.

Observations:

- Moisture stains and/or damage viewed on the ceiling. No moisture was detected with a moisture meter at time of inspection.
- Possible plumbing leak from dwelling above. Further evaluation by a plumbing contractor is recommended.
- See Photos.





8. Pantry Condition

Observations:

- No visible problems noted at time of inspection.

9. Floor Condition

Materials: Tile.

Observations:

- No visible problems noted at time of inspection.

10. Electrical Condition

Observations:

- A representative number of outlets, switches and fixtures was operated and found to be in operable condition at time of inspection.



Laundry Room

1. Location

Materials: Location: Hallway, 2nd Floor.

2. Plumbing Condition

Observations:

- Gas service pipe is provided.
- Plumbing appears serviceable.
- Dryer venting is provided.
- Washer and dryer were present, but not inspected as part of this inspection.

3. Doors & Windows Condition

Materials: Vinyl • Sliding.

Observations:

- Windows operated properly at time of inspection.
- Doors operate properly.

4. Walls & Ceilings Condition

Materials: Drywall.

Observations:

- Walls and ceiling appeared functional at time of inspection.

5. Floor Condition

Materials: Vinyl.

Observations:

- No visible problems noted at time of inspection.

6. Electrical Condition

Observations:

- A representative number of outlets, switches and fixtures was operated and found to be in operable condition at time of inspection.



Hallway

1. Walls & Ceilings Condition

Materials: Drywall.

Observations:

- Walls and ceiling appeared functional at time of inspection.

2. Closet Condition

Observations:

- No visible problems noted at time of inspection.

3. Floor Condition

Materials: Carpet.

Observations:

- No visible problems noted at time of inspection.

4. Electrical Condition

Observations:

- A representative number of outlets, switches and fixtures was operated and found to be in operable condition at time of inspection.

5. Smoke & Carbon Monoxide

Observations:

- Smoke alarm was installed at time of inspection.
- Carbon Monoxide alarm was not installed at the required areas at time of inspection. Installation is required. A carbon monoxide alarm should be:

1. Centrally located outside of each separate sleeping area in the immediate vicinity of the bedrooms.
2. The Alarm should be located at least 6 inches (152mm) from all exterior walls and at least 3 feet (0.9 meters) from supply or return vents.
3. Installed outside of each separate sleeping area in the immediate vicinity of the bedroom(s) in dwelling units and on every level including basements within which fuel-fired appliances



Fire Safety

1. Smoke Alarms

Observations:

- Smoke alarms were installed properly throughout the dwelling at time of inspection.

2. Carbon Monoxide

Observations:

- Carbon Monoxide alarm was not installed at the required areas at time of inspection. Installation is required. A carbon monoxide alarm should be:

1. Centrally located outside of each separate sleeping area in the immediate vicinity of the bedrooms.
2. The Alarm should be located at least 6 inches (152mm) from all exterior walls and at least 3 feet (0.9 meters) from supply or return vents.
3. Installed outside of each separate sleeping area in the immediate vicinity of the bedroom(s) in dwelling units and on every level including basements within which fuel-fired appliances



Areas hidden from view by finished walls or stored items can not be judged and are not a part of this inspection. Minor cracks are typical in many foundations and most do not represent a structural problem. If major cracks are present along with bowing, we routinely recommend further evaluation be made by a qualified structural engineer. All exterior grades should allow for surface and roof water to flow away from the foundation. All concrete floor slabs experience some degree of cracking due to shrinkage in the drying process. In most instances floor coverings prevent recognition of cracks or settlement in all but the most severe cases. Where carpeting and other floor coverings are installed, the materials and condition of the flooring underneath cannot be determined.



Attic

1. Type

Materials: Framing Type: Truss Framing.

Materials: Access Location: Bedroom Closet • Attic areas are accessible.

2. Condition

Observations:

- No visible structural problems noted at time of inspection.



3. Ventilation Condition

Materials: Attic ventilation is gable type.

Observations:

- Ventilation in the attic is functional and adequate.

4. Electrical

Observations:

- No visible problems noted at time of inspection.



5. Insulation Condition

Materials: **Cellulose**, Blown. • Insulation Depth is approximately: 10-13 inches.

Observations:

- No visible problems noted at time of inspection.



Water Heater

1. Type

Materials: Gas. • Tankless.
Materials: Garage.

2. Age

Materials: Tankless.
Observations:
• Year Built: 2017
• Newer unit. Appears to be recently installed.



3. Condition

Observations:
• Water heater operated properly at time of the inspection.
• No visible problems noted at time of inspection.



The inspector is not equipped to inspect furnace heat exchangers for evidence of cracks or holes, as this can only be done by dismantling the unit. This is beyond the scope of this inspection. Some furnaces are designed in such a way that inspection is almost impossible. The inspector can not light pilot lights. Safety devices are not tested by the inspector.

NOTE: Asbestos materials have been commonly used in heating systems. Determining the presence of asbestos can ONLY be preformed by laboratory testing and is beyond the scope of this inspection. Thermostats are not checked for calibration or timed functions. Adequacy, efficiency or the even distribution of air throughout a building cannot be addressed by a visual inspection. Electronic air cleaners, humidifiers and de-humidifiers are beyond the scope of this inspection. Have these systems evaluated by a qualified individual. The inspector does not perform pressure tests on coolant systems, therefore no representation is made regarding coolant charge or line integrity. Subjective judgment of system capacity is not a part of the inspection. Normal service and maintenance is recommended on a yearly basis.



Heating System

1. Location

Materials: Attic.
Materials: 2 Central air systems are installed.

2. Normal Controls

Observations:
• Location of Thermostat: Bedroom
• Normal controls operated properly.

3. System Condition

Observations:
• System operated properly at time of inspection.



4. Burners/Heat Exchanger

Observations:
• No visible problems observed at time of inspection.

5. Pump/Blower Fan

Observations:
• Operated properly at time of inspection.

6. Combustion Air

Observations:
• **Combustion air** appears adequate.

7. Venting

Observations:
• Venting appears adequate.

8. Plenum

Observations:
• Air plenum appears adequate.



9. Air Filters

Observations:

- Air filter appears to be in useful condition.

10. Ductwork Condition

Materials: Flexible Round.

Observations:

- No visible problems observed at time of inspection.



Air Conditioning System

1. Location

Materials: Attic.
Materials: 2 Central air systems are installed.

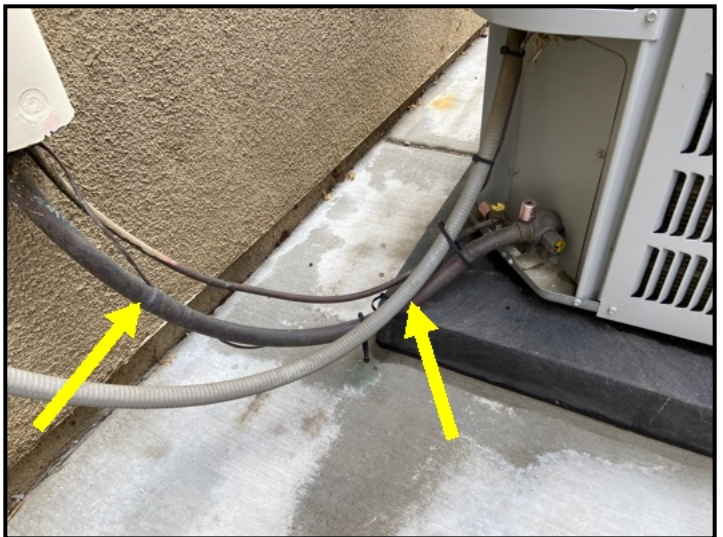
2. Power Source

Materials: 220 Volt. • Electrical disconnect present.

3. System Condition

Observations:

- Condenser units are dirty. Cleaning/maintenance is recommended.
- Insulation on the refrigeration lines is deteriorated or missing at the condenser unit. Repair or replacement is recommended.
- See photos.



4. Temperature Split

Observations:

- Normal operation.



5. Condensate System Condition

Materials: Primary and secondary condensate lines are installed • Drip pan is installed under the evaporator.

Observations:

- No visible problems noted at time of inspection.



6. Normal Controls

Observations:

- Normal controls operated properly.

Other Interior

1. Stairs & Handrailings

Observations:

- Interior stairs are in functional condition.
- Stair handrail is in functional condition.

2. Fireplace Location

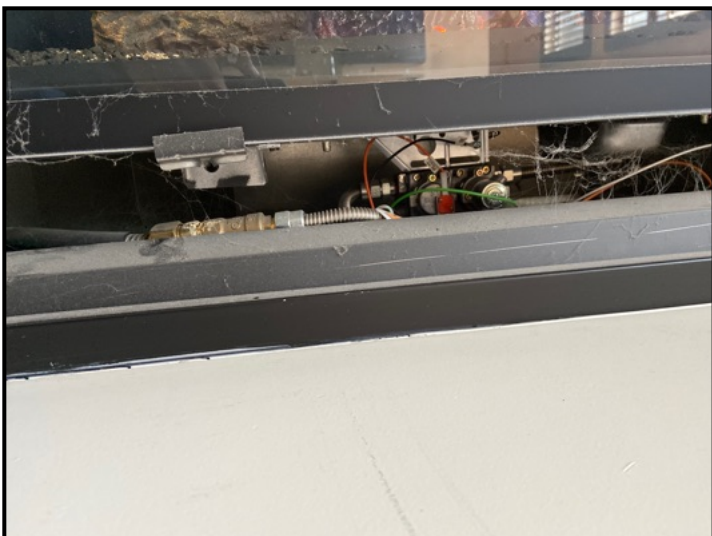
Materials: Family Room.

Materials: Gas burning.

3. Fireplace Condition

Observations:

- No visible structural problems noted at time of inspection.



Glossary

Term	Definition
ABS	Acronym for acrylonitrile butadiene styrene; rigid black plastic pipe used only for drain lines.
CSST	Corrugated Stainless Steel Tubing (CSST) is a type of conduit used for natural gas heating in homes. It was introduced in the United States in 1988. CSST consists of a continuous, flexible stainless-steel pipe with an exterior PVC covering. The piping is produced in coils that are air-tested for leaks
Cellulose	Cellulose insulation: Ground-up newspaper that is treated with fire-retardant.
Combustion Air	The ductwork installed to bring fresh outside air to the furnace and/or hot water heater. Normally, two separate supplies of air are brought in: one high and one low.
GFCI	A special device that is intended for the protection of personnel by de-energizing a circuit, capable of opening the circuit when even a small amount of current is flowing through the grounding system.

