

REVISIONS

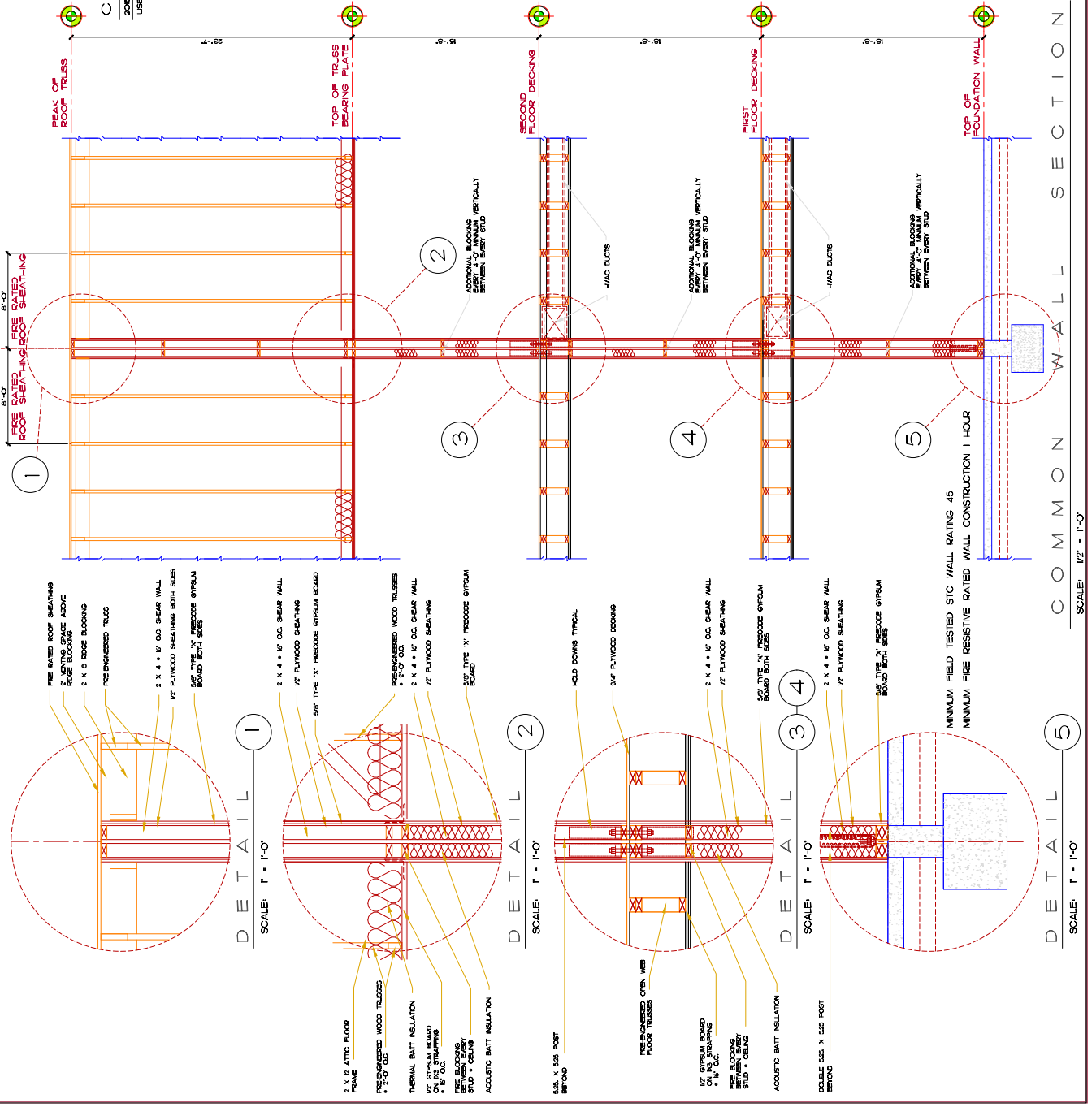


CODE REFERENCES

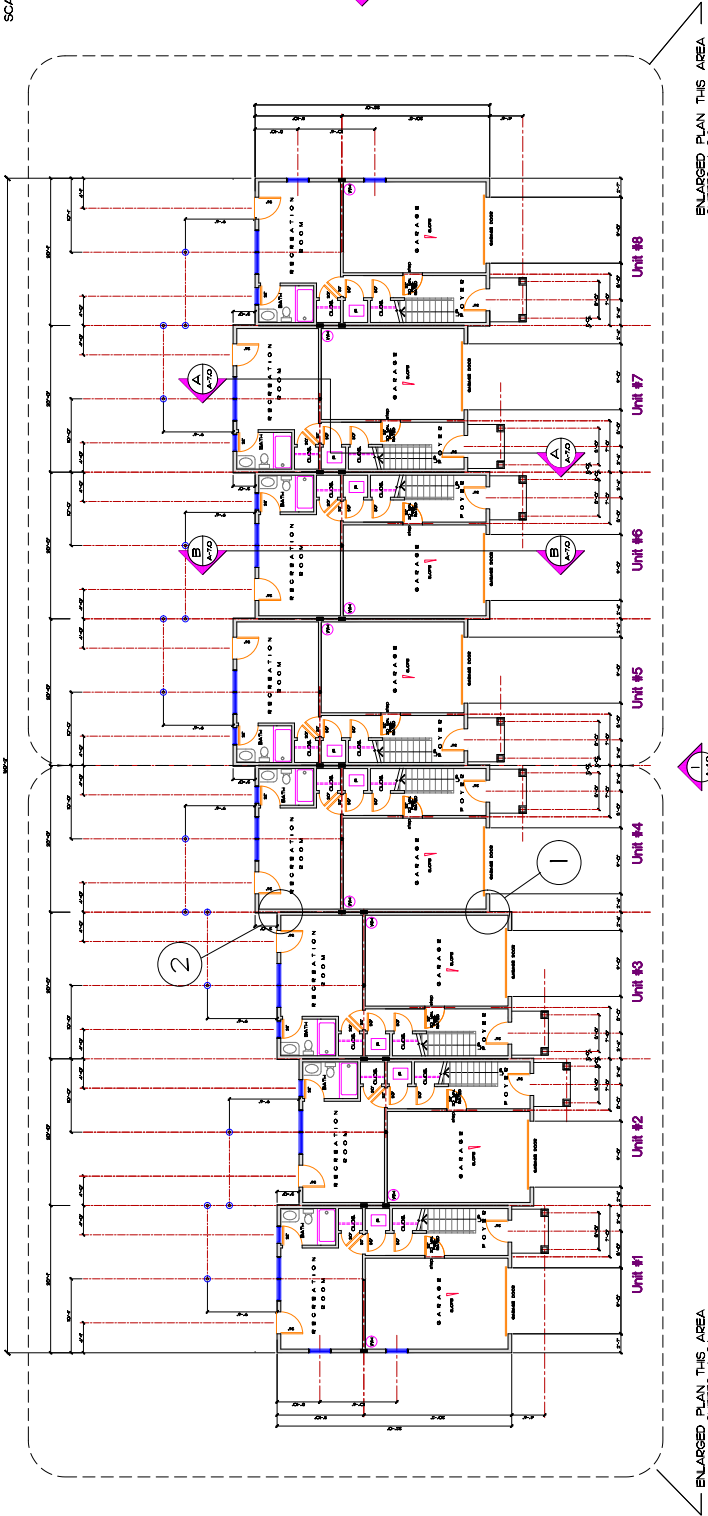
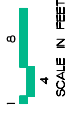
203 INTERNATIONAL RESIDENTIAL CODE	203 INTERNATIONAL RESIDENTIAL CODE
USER: RESIDENTIAL TOWNHOUSE	USER: RESIDENTIAL TOWNHOUSE
SCOPE: TOWNHOUSES	SCOPE: TOWNHOUSES
ROOFS: NON-CONVENTIONAL ELEMENTS	ROOFS: NON-CONVENTIONAL ELEMENTS
ROOFS: STORY HEADS	ROOFS: STORY HEADS
ROOFS: LIVE LOADS	ROOFS: LIVE LOADS
ROOFS: TABLE R0206	ROOFS: TABLE R0206
ROOFS: DECKS 40PSF	ROOFS: DECKS 40PSF
ROOFS: ROOMS OTHER THAN SLEEPING: 40PSF	ROOFS: ROOMS OTHER THAN SLEEPING: 40PSF
ROOFS: SLEEPING: 30PSF	ROOFS: SLEEPING: 30PSF
ROOFS: GARAGE: 50PSF	ROOFS: GARAGE: 50PSF
R0206: TABLE R0206	R0206: TABLE R0206
R0206: 50PSF GROUND SNOW LOAD	R0206: 50PSF GROUND SNOW LOAD
R0202: COMMON WALLS	R0202: COMMON WALLS
R0202: FREESTOPPING RATINGS	R0202: FREESTOPPING RATINGS
R0202: 1 HOUR FIRE RESISTIVE RATING WITH AUTOMATIC FIRE SUPPRESSION SPRINKLER SYSTEM	R0202: 1 HOUR FIRE RESISTIVE RATING WITH AUTOMATIC FIRE SUPPRESSION SPRINKLER SYSTEM
R0202: CONTINUITY	R0202: CONTINUITY
R0202: FIRE RATED COMMON WALL TO EXTEND TO UNDERSIDE OF ROOF DECK	R0202: FIRE RATED COMMON WALL TO EXTEND TO UNDERSIDE OF ROOF DECK
R0202: PARAPETS FOR TOWNHOUSES	R0202: PARAPETS FOR TOWNHOUSES
R0202: EXCEPTION: ROOF COVERING MINIMUM CLASS C RATING & ROOF SHEATHING FIRE RATED FOR 4" EITHER SIDE OF WALL	R0202: EXCEPTION: ROOF COVERING MINIMUM CLASS C RATING & ROOF SHEATHING FIRE RATED FOR 4" EITHER SIDE OF WALL
R0205: DWELLING GARAGE	R0205: DWELLING GARAGE
R0205: TABLE R0205	R0205: TABLE R0205
R0205: WALLS 1/2" GYPSUM BOARD	R0205: WALLS 1/2" GYPSUM BOARD
R0205: CEILING 5/8" TYPE X GYPSUM BOARD	R0205: CEILING 5/8" TYPE X GYPSUM BOARD
R0205: FIRESTOPPING	R0205: FIRESTOPPING
R0205: GARAGE FLOOR SLOPE TO GARAGE DOOR	R0205: GARAGE FLOOR SLOPE TO GARAGE DOOR
R0205: EMERGENCY ESCAPE OPENINGS	R0205: EMERGENCY ESCAPE OPENINGS
R0205: 5/7 SF, OPEN WINDOW AREA, 24" HIGH MIN, 20" WIDE MIN. APPLICABLE TO BEDROOMS	R0205: 5/7 SF, OPEN WINDOW AREA, 24" HIGH MIN, 20" WIDE MIN. APPLICABLE TO BEDROOMS
R0205: STAIRS	R0205: STAIRS
R0205: 7 3/4" MAX. RISE, 10" MIN. TREAD	R0205: 7 3/4" MAX. RISE, 10" MIN. TREAD
R0205: TOWNHOUSE	R0205: TOWNHOUSE
R0205: AUTOMATIC RESIDENTIAL FIRE SPRINKLER SYSTEM REQUIRED	R0205: AUTOMATIC RESIDENTIAL FIRE SPRINKLER SYSTEM REQUIRED
R0205: SMOKE ALARMS REQUIRED	R0205: SMOKE ALARMS REQUIRED
R0205: SLEEPING ROOMS	R0205: SLEEPING ROOMS
R0205: OUTSIDE SLEEPING ROOMS	R0205: OUTSIDE SLEEPING ROOMS
R0205: EACH STORY	R0205: EACH STORY
R0205: CARBON MONOXIDE DETECTORS REQUIRED WITH GARAGE	R0205: CARBON MONOXIDE DETECTORS REQUIRED WITH GARAGE
A0051: SOUND BETWEEN DWELLING UNITS	A0051: SOUND BETWEEN DWELLING UNITS
A0051: IMPACT INSULATION CLASS (IIC) OF NOT LESS THAN 45	A0051: IMPACT INSULATION CLASS (IIC) OF NOT LESS THAN 45
A0051: WHEN TESTED IN ACCORDANCE WITH ASTM #92.	A0051: WHEN TESTED IN ACCORDANCE WITH ASTM #92.

LIST OF DRAWINGS

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WALL SECTION  
SCALE: 1/2" = 1'-0"

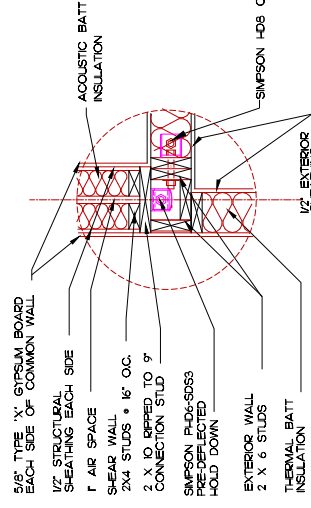


ENLARGED PLAN THIS AREA  
SHEETS A-01

ENLARGED PLAN THIS AREA  
SHEETS A-02

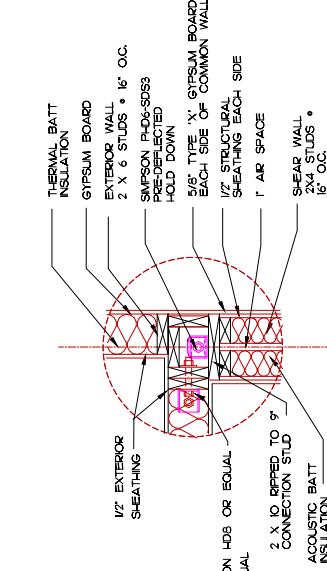
ENTRY LEVEL AND GARAGE FLOOR PLAN

SCALE: 1/8" = 1'-0"



5/8" TYPE 'X' GYPSUM BOARD  
EACH SIDE OF COMMON WALL  
1/2" STRUCTURAL  
SHEATHING EACH SIDE  
1" AIR SPACE  
SHEAR WALL  
2x4 STUDS • 16" O.C.  
2 X 10 BRACED TO 9"  
CONNECTION STUD  
SIMPSON PFD-SOS3  
PRE-DEFLECTED  
HOLD DOWN  
EXTERIOR WALL  
2 X 6 STUDS  
THERMAL BATT  
INSULATION  
ACUSTIC BATT  
INSULATION  
SIMPSON HD8 OR EQUAL  
CONNECTION STUD  
1/2" EXTERIOR  
SHEATHING

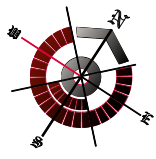
DETAIL 1  
SCALE: 1/2" = 1'-0"



THERMAL BATT  
INSULATION  
GYPSUM BOARD  
EXTERIOR WALL  
2 X 6 STUDS • 16" O.C.  
SIMPSON PFD-SOS3  
PRE-DEFLECTED  
HOLD DOWN  
5/8" TYPE 'X' GYPSUM BOARD  
EACH SIDE OF COMMON WALL  
1/2" STRUCTURAL  
SHEATHING EACH SIDE  
1" AIR SPACE  
SHEAR WALL  
2 X 4 STUDS •  
16" O.C.  
ACUSTIC BATT  
INSULATION  
CONNECTION STUD  
2 X 10 BRACED TO 9"  
SIMPSON HD6 OR EQUAL  
CONNECTION STUD

DETAIL 2  
SCALE: 1/2" = 1'-0"

- GENERAL NOTES:
- All dimensions to be checked by the Contractor prior to construction.
  - Party walls between units shall not contain plumbing or mechanical equipment, ducts, flues or vents.
  - Finished ceiling of all garage areas shall be minimum 5/8" type 'X' firecode gypsum drywall.
  - Party walls between units shall be of fire-resistive construction on both sides, one hour rated, and continue horizontally to the exterior walls and vertically to the underside of the fire-rated roof sheathing.



DATE ISSUED:  
01 MARCH '23

NO.	REVISIONS

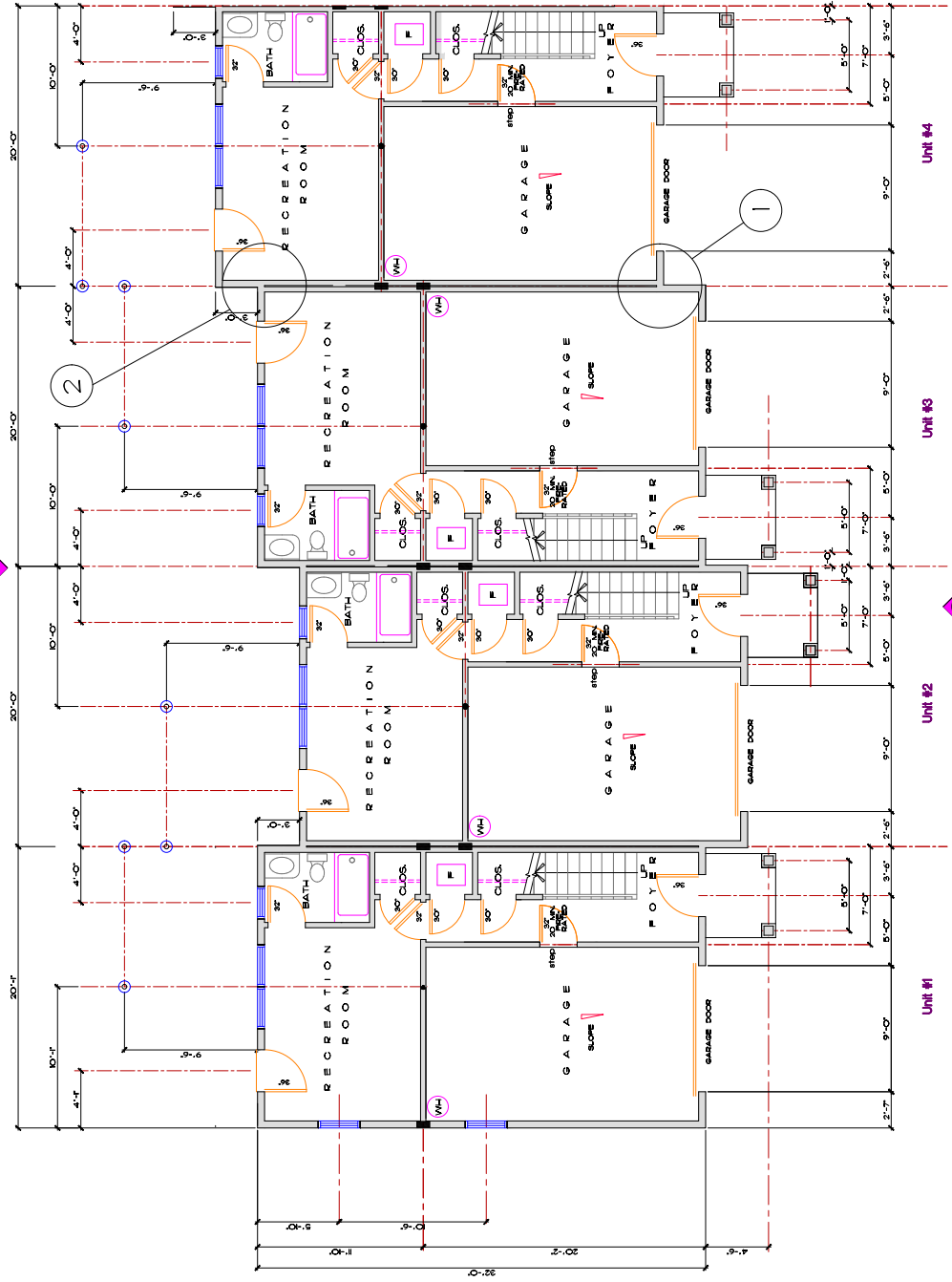
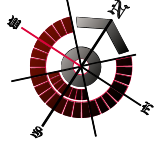
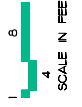
PREPARED BY:  
Warlick Associates, Inc.  
10000 Old  
Fork Road  
PO Box 100  
Warlick, VA 22192-0100  
703.900.0544  
THW@WARLICK.COM



8 Unit Townhouse  
23 Willow Street  
Natick MA  
PREPARED FOR:  
Knox Marsh Development

SHEET TITLE:  
Entry Level Floor Plan  
SCALE: AS SHOWN

SHEET #  
A-01  
ARCHITECTURAL



PARTIAL ENLARGED GARAGE FLOOR PLAN

SCALE: 1/4" = 1'-0"

GENERAL NOTES:

- All dimensions to be checked by the Contractor prior to construction.
- Party walls between units shall not contain plumbing or mechanical equipment, ducts, flues or vents.
- Finished ceiling of all garage areas shall be minimum 5/8" type 'X' firecode gypsum drywall.
- Party walls between units shall be of fire-resistant construction on both sides, one hour rated, and continue horizontally to the exterior walls and vertically to the underside of the fire-rated roof sheathing.





DATE ISSUED:  
01 MARCH '23

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PREPARED BY:  
Warlick Associates, Inc.  
10000 Old North Branch Rd. (202)-733-0400  
www.warlick.com

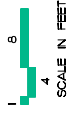


8 Unit Townhouse  
23 Willow Street  
Natick MA  
PREPARED FOR:  
Knox Marsh Development

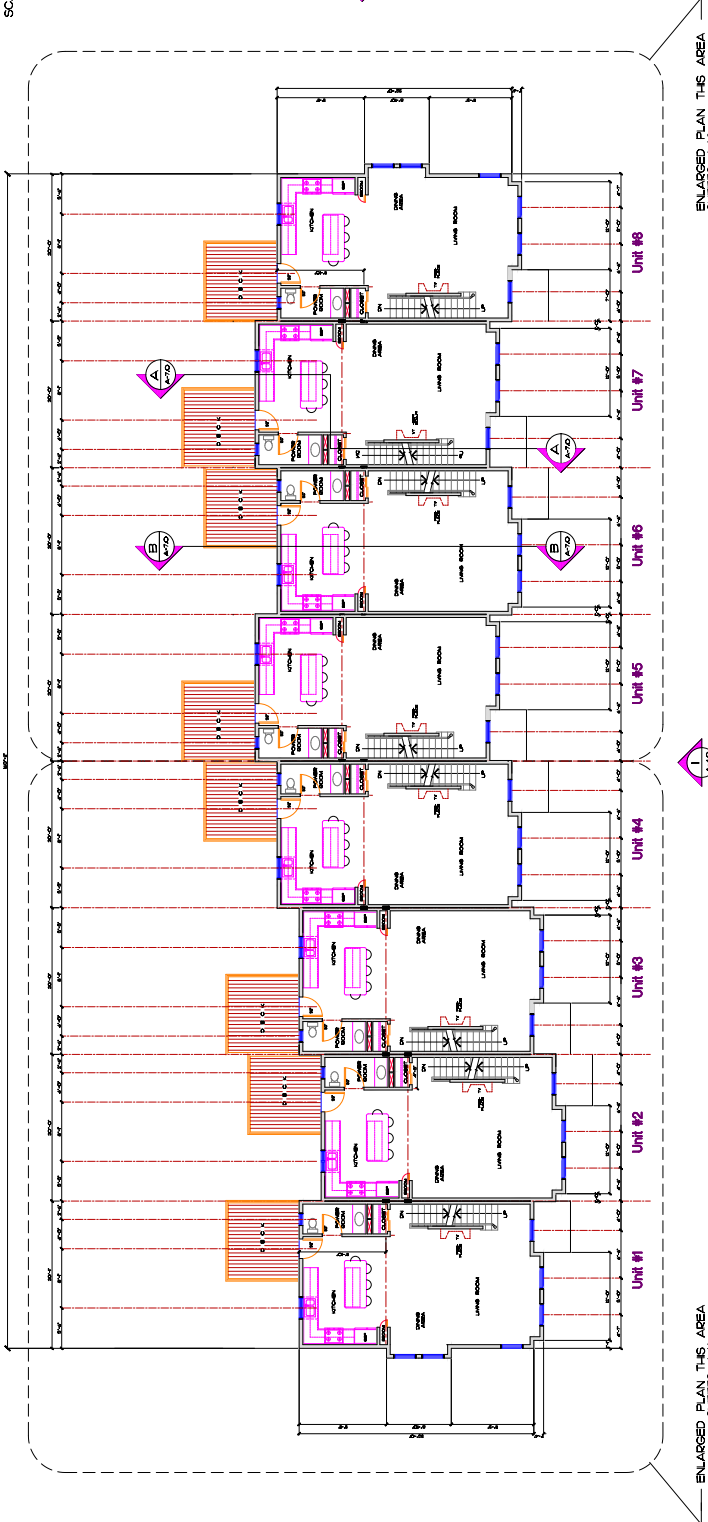
SHEET TITLE:  
FIRST FLOOR PLAN  
SCALE: AS SHOWN

SHEET #  
A-10

ARCHITECTURAL



SCALE IN FEET



ENLARGED PLAN THIS AREA  
SHEETS A-J

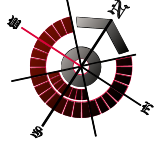
ENLARGED PLAN THIS AREA  
SHEETS A-12

O R I E N T A T I O N F I R S T F L O O R P L A N

SCALE 1/8" = 1'-0"

GENERAL NOTES:

- All dimensions to be checked by the Contractor prior to construction.
- Party walls between units shall not contain plumbing or mechanical equipment, ducts, flues or vents.
- Finished ceiling of all garage areas shall be minimum 5/8" type "X" firecode gypsum drywall.
- Party walls between units shall be of fire-resistive construction on both sides, one hour rated, and continue horizontally to the exterior walls and vertically to the underside of the fire-rated roof sheathing.





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REVISIONS

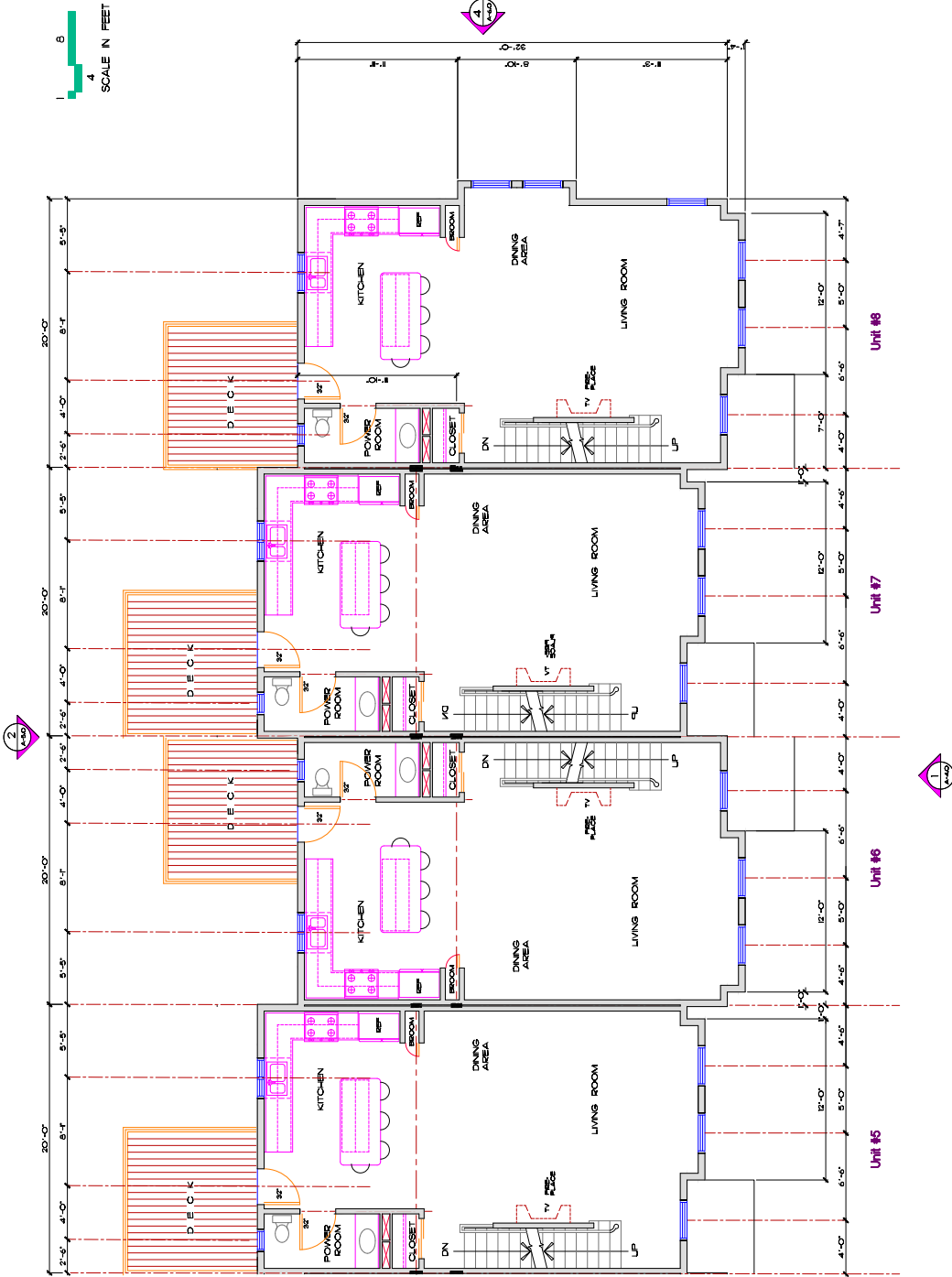
PREPARED BY:  
WATTEK ASSOCIATES, INC.  
1400 BIRCHWOOD DRIVE  
NORTH BIRMINGHAM, AL 35243  
205.988.0000  
WWW.WATTEK.COM



8 Unit Townhouse  
23 Willow Street  
Natick MA  
PREPARED FOR:  
Knox Marsh Development

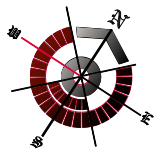
SHEET TITLE:  
First Floor Plan  
SCALE: AS SHOWN

SHEET #  
A-12  
ARCHITECTURAL



PARTIAL FLOOR PLAN  
SCALE: 1/4" = 1'-0"

- GENERAL NOTES:**
- All dimensions to be checked by the Contractor prior to construction.
  - Party walls between units shall not contain plumbing or mechanical equipment, ducts, flues or vents.
  - Finished ceiling of all garage areas shall be minimum 5/8" type 'X' firecode gypsum drywall.
  - Party walls between units shall be of fire-resistant construction on both sides, one hour rated, and continue horizontally to the exterior walls and vertically to the underside of the fire-rated roof sheathing.



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PREPARED BY:  
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WWW.WERNICK.COM

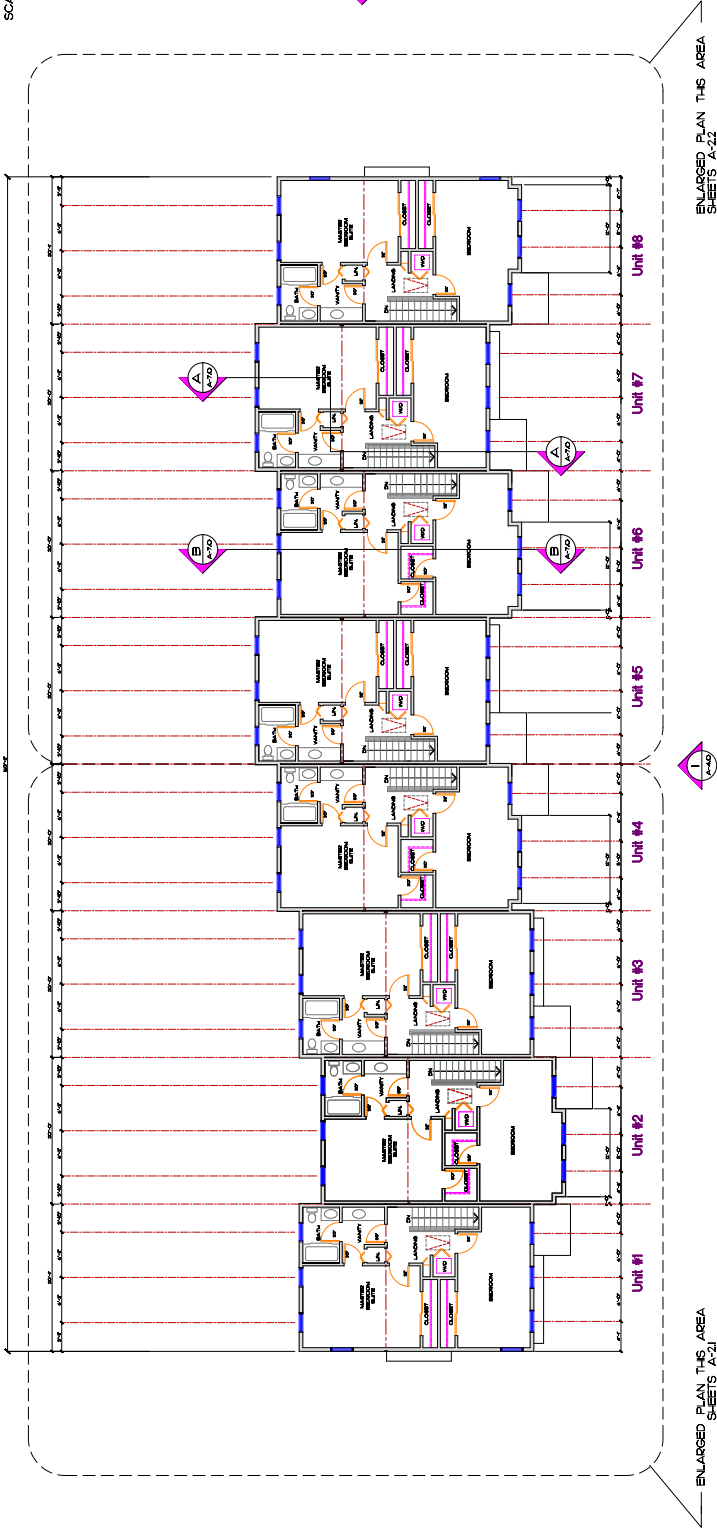
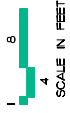


8 Unit Townhouse  
23 Willow Street  
Natick, MA  
PREPARED FOR:  
Knox Marsh Development

SHEET TITLE:  
ORIENTATION  
SECOND FLOOR PLAN  
SCALE: AS SHOWN

SHEET #  
A-2.0

ARCHITECTURAL



ENLARGED PLAN THIS AREA  
SHEETS A-2J

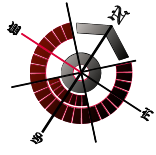
ENLARGED PLAN THIS AREA  
SHEETS A-2K

O R I E N T A T I O N   S E C O N D   F L O O R   P L A N

SCALE 1/8" = 1'-0"

GENERAL NOTES:

1. All dimensions to be checked by the Contractor prior to construction.
2. Party walls between units shall not contain plumbing or mechanical equipment, ducts, flues or vents.
3. Finished ceiling of all garage areas shall be minimum 5/8" type "X" firecode gypsum drywall.
4. Party walls between units shall be of fire-resistive construction on both sides, one hour rated, and continue horizontally to the exterior walls and vertically to the underside of the fire-rated roof sheathing.



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REVISIONS

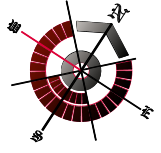
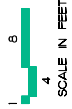
PREPARED BY:  
WATNICK ASSOCIATES, INC.  
100 STATE STREET, SUITE 200  
WILMINGTON, MASSACHUSETTS 01890  
TEL: 978-666-1111  
WWW.WATNICK.COM



8 Unit Townhouse  
23 Willow Street  
Natick MA  
PREPARED FOR:  
Knox Marsh Development

SHEET TITLE:  
Second Floor Plan  
Partial Enlarged  
SCALE: AS SHOWN

SHEET #  
A-2.1  
ARCHITECTURAL



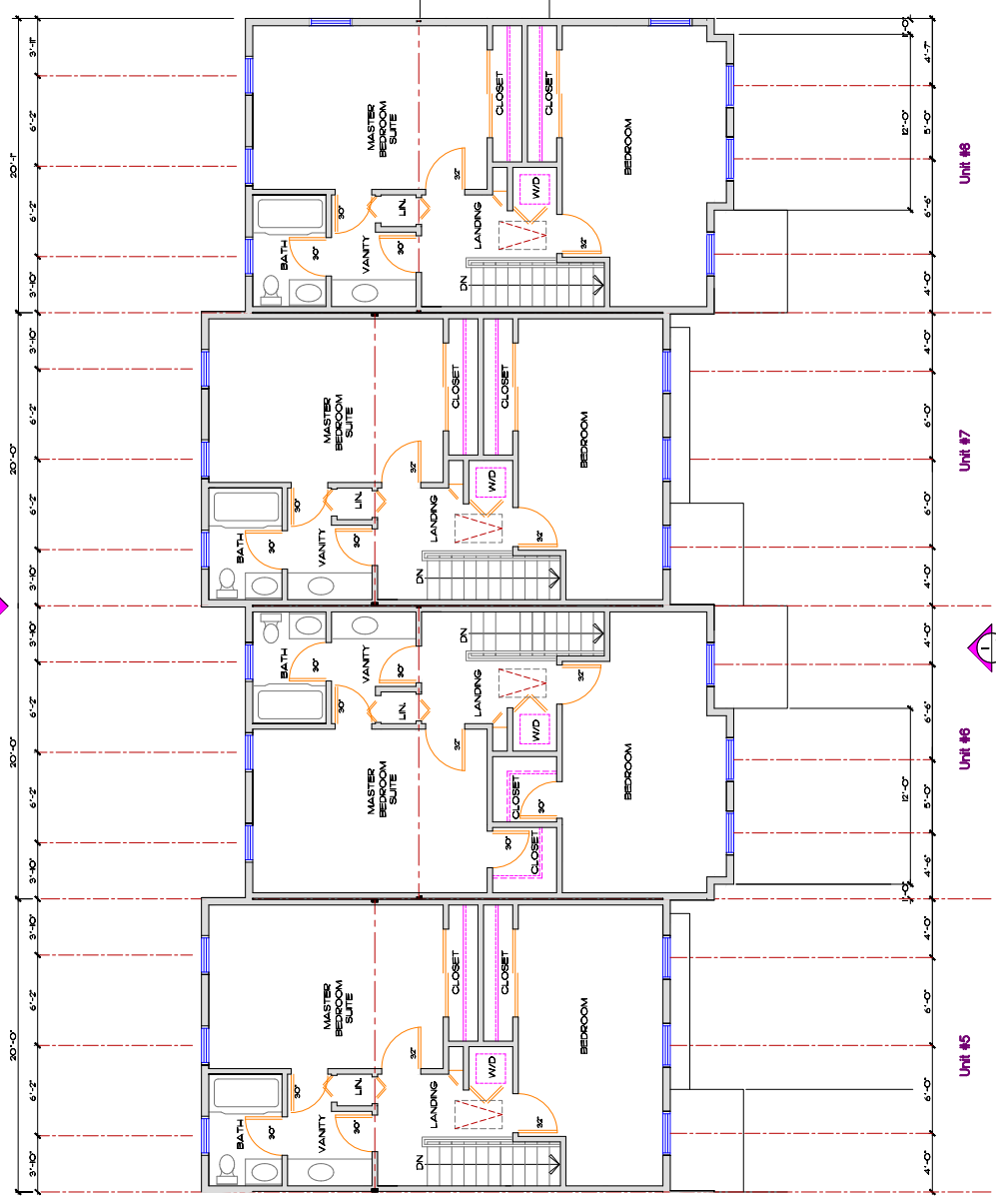
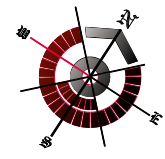
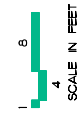
PARTIAL ENLARGED  
SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"

GENERAL NOTES:

- All dimensions to be checked by the Contractor prior to construction.
- Party walls between units shall not contain plumbing or mechanical equipment, ducts, flues or vents.
- Finished ceiling of all garage areas shall be minimum 5/8" type 'X' firecode gypsum drywall.
- Party walls between units shall be of fire-resistive construction on both sides, one hour rated, and continue horizontally to the exterior walls and vertically to the underside of the fire-rated roof sheathing.

REVISIONS



PARTIAL ENLARGED  
SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"

GENERAL NOTES:

- All dimensions to be checked by the Contractor prior to construction.
- Party walls between units shall not contain plumbing or mechanical equipment, ducts, flues or vents.
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- Party walls between units shall be of fire-resistive construction on both sides, one hour rated, and continue horizontally to the exterior walls and vertically to the underside of the fire-rated roof sheathing.

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01 MARCH '23

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PREPARED BY:  
Warlick Associates, Inc.  
10000 Old North Shore Rd. #200  
Knox, TN 37731  
TEL: 615-586-0000  
WWW.WARLICK.COM

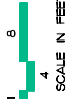


8 Unit Townhouse  
23 Willow Street  
Natick, MA  
PREPARED FOR:  
Knox Marsh Development

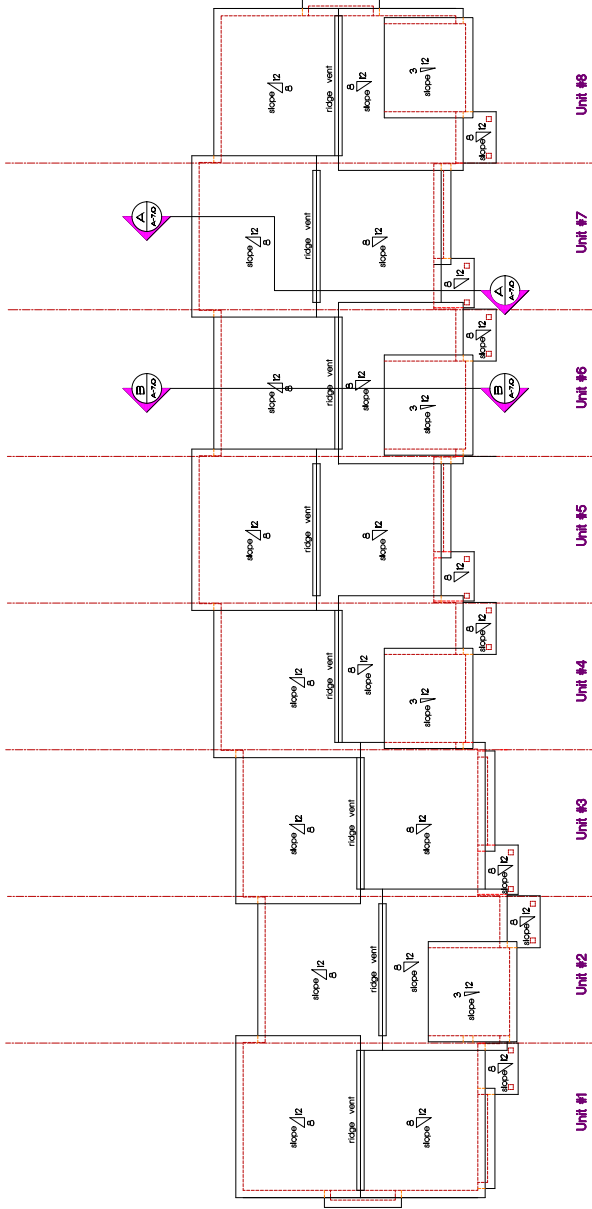
SHEET TITLE:  
ROOF PLAN  
SCALE: AS SHOWN

SHEET #  
A-30

ARCHITECTURAL



SCALE IN FEET

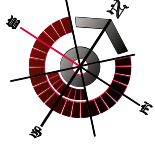


R O O F P L A N

SCALE: 1/8" = 1'-0"

GENERAL NOTES:

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PREPARED BY:  
Warlick Associates, Inc.  
100 BARK OAK NORTH BARRIE RD  
WILMINGTON, MA 01980-0004



8 Unit Townhouse  
23 Willow Street  
Natick MA  
PREPARED FOR:  
Knox Marsh Development

SHEET TITLE:  
Front Elevation  
SCALE: AS SHOWN

SHEET #  
A-4.0  
ARCHITECTURAL

1 4 8  
SCALE IN FEET



F R O N T E L E V A T I O N

SCALE: 1/8" = 1'-0"

- GENERAL NOTES:**
- All dimensions to be checked by the Contractor prior to construction.
  - Party walls between units shall not contain plumbing or mechanical equipment, ducts, flues or vents.
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OF MARCH '23

REVISIONS

PREPARED BY:  
Warrick Associates, Inc.  
100 Bank Street  
North Attleboro, MA 01937-0001  
781.853.1100  
www.warrickassociates.com

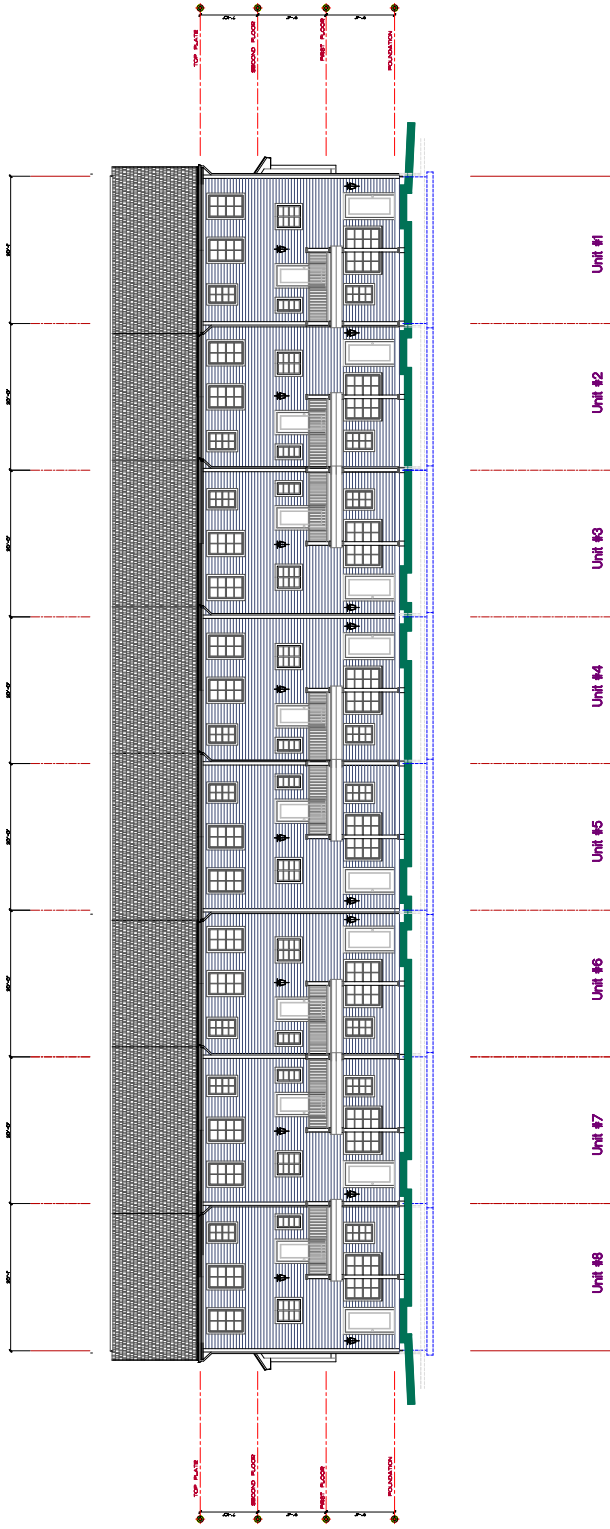


8 Unit Townhouse  
23 Willow Street  
Natick MA  
PREPARED FOR:  
Knox Marsh Development

SHEET TITLE:  
Rear Elevation  
SCALE: AS SHOWN

SHEET #  
A-5.0  
ARCHITECTURAL

6  
4  
SCALE IN FEET



REAR ELEVATION

SCALE: 1/8" = 1'-0"

- GENERAL NOTES:**
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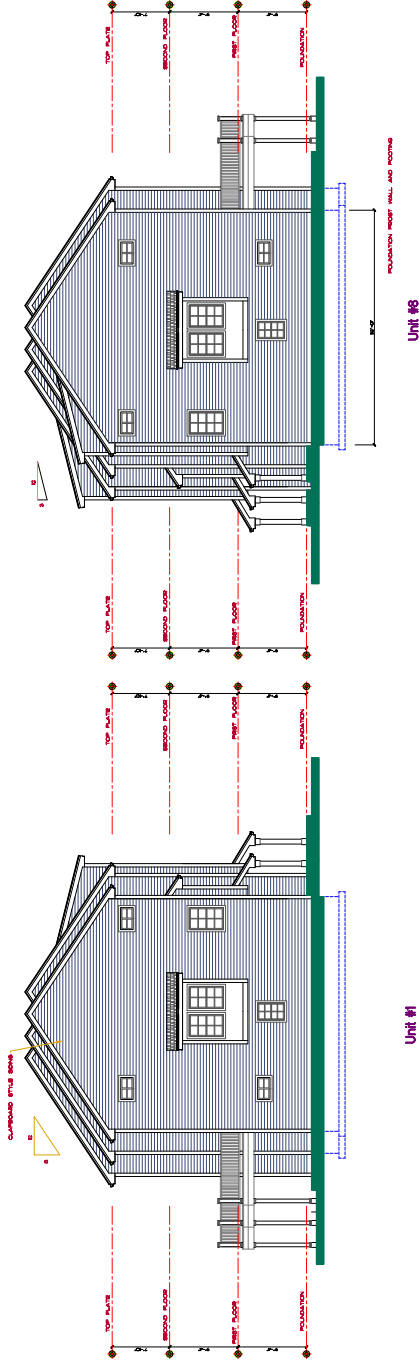
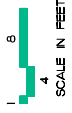
PREPARED BY:  
Warrick Associates, Inc.  
100 Brook Hill Drive  
Natick, MA 01907  
TEL: 508-552-1100  
WWW.WARRICKASSOCIATES.COM



8 Unit Townhouse  
23 Willow Street  
Natick, MA  
PREPARED FOR:  
Knox Marsh Development

SHEET TITLE:  
Side Elevations  
SCALE: AS SHOWN

SHEET #  
A-6.0  
ARCHITECTURAL



LEFT SIDE  
ELEVATION

SCALE: 1/8" = 1'-0"



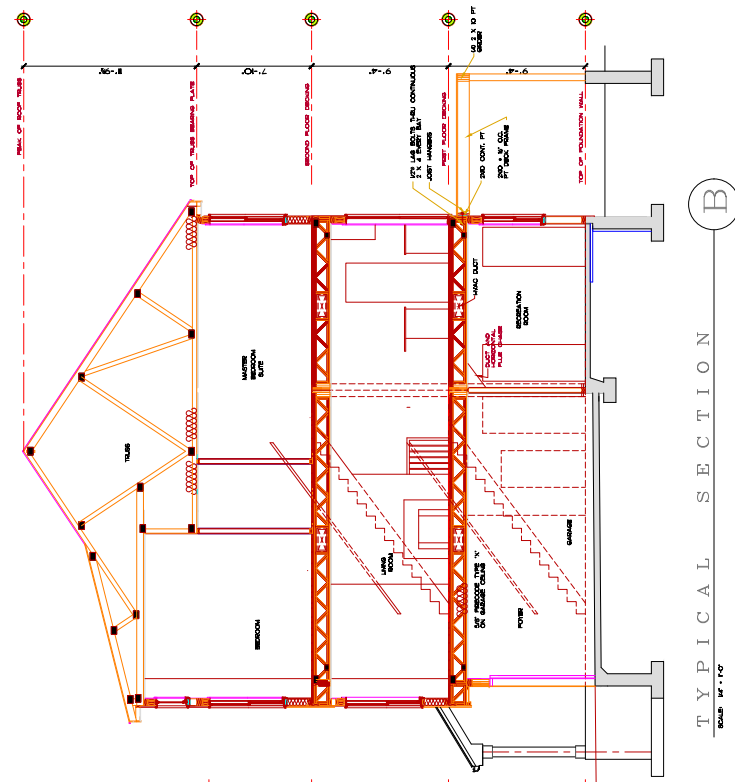
RIGHT SIDE  
ELEVATION

SCALE: 1/8" = 1'-0"

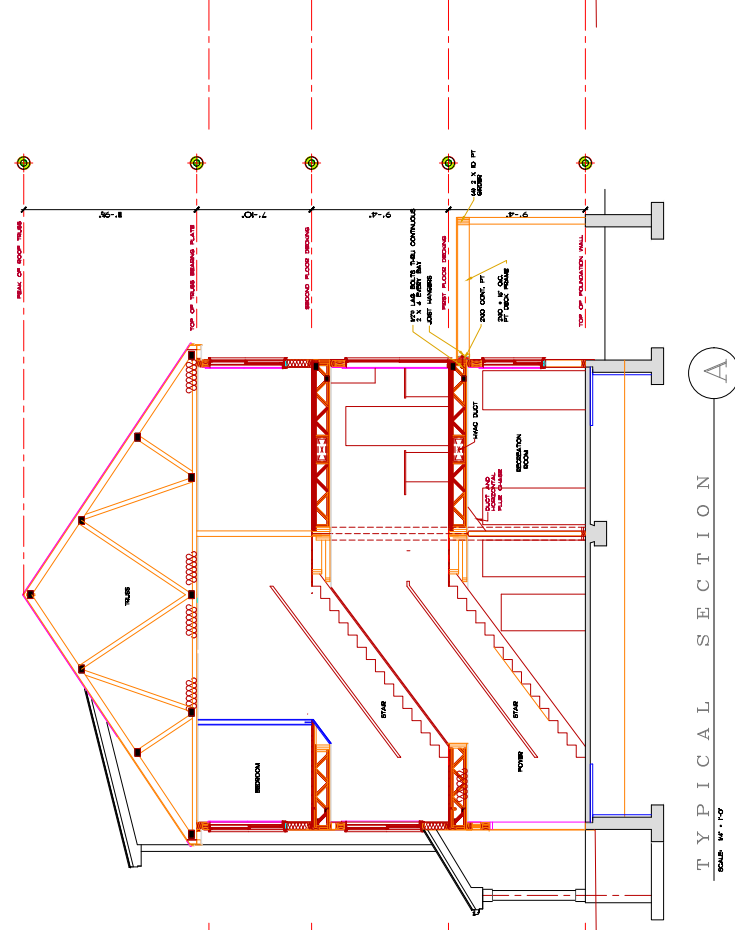
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REVISIONS



**TYPICAL SECTION A**  
 SCALE: 1/4" = 1'-0"



**TYPICAL SECTION B**  
 SCALE: 1/4" = 1'-0"

