



# THE MESSENGER

The Official Newsletter of Smithy Glen  
August 2022



ANDOVER COURT \* CHADWICK COURT \* CRESCENT COURT \* DURHAM COURT \* FOUNDRY COURT \* HAMLET COURT \* KENSINGTON COURT  
KINGSTON COURT \* LINDEN COURT \* MONUMENT COURT \* STERLING COURT \* WEXFORD COURT \* WROUGHT IRON BEND

**Smithy Glen Board of Directors meets every other month on the 4th Tuesday at 7PM at the Clubhouse. The next meeting is 23 August 2022. This will be a Town Hall where everyone is invited to ask questions, say what's on their minds and give their views on anything! We look forward to seeing you there. All are welcome!!!!**



**Notice Anything That Needs to be Fixed?**  
*The Community Action Form is the Easiest Way to Report an Issue*

Smithy Glen is a large neighborhood and we need your help maintaining the beauty by identifying issues that require our attention. For example, if you see burned out street lights, broken and unsafe sidewalks, potholes in the road, broken or missing street signs, or a tree that appears diseased/dead, please take a moment and submit a Community Action Form (CAF) .

You can obtain a copy of this form from the office or download it and print it from the Coventry website: <https://coventryhoaofyorktown.org/community-action-form>. Once you've completed the form, you can drop it off at the office.

Thanks for your help in maintaining our Community!

**FAQS >>> SMITHY GLEN HOA FEES**  
*What does the money support?*

Have you heard a neighbor say "For \$151 per month, I can cut the grass myself?" Your monthly assessment supports many Community budget requirements. Here's a breakout to keep you informed of all the various neighborhood programmed budget requirements our assessment dollars support.

<b>Coventry Master Assessment</b>	<b>\$ 58.00</b>
<b>Smithy Glen Reserve Fund*</b>	<b>\$ 43.00</b>
<b>Operating Expenses**</b>	<b>\$ 24.05</b>
<b>Trash Collection</b>	<b>\$ 20.00</b>
<b>Lawn Maintenance</b>	<b>\$ 3.90</b>
<b>Termite Inspection</b>	<b>\$ 2.05</b>
<b>TOTAL</b>	<b>\$151.00</b>

\*Reserve funds take care of future/current projects through the year, i.e. paving, roof replacement (when life cycle is complete) sewer breaks, and emergency projects, just to state a few.

\*\*Operating expenses cover state and federal taxes, audit/tax preparation fees, legal consultation, postage, printing, electric, general maintenance, painting & wood repairs, and allowance for bad debts.

*Smithy Glen HOA Dues are currently set at \$151.00 and are due on the first day of each month. A \$25 late fee will be applied to all accounts not paid on or before the 16th. Please note that our ByLaws state that no owners may vote at any meeting or be elected to serve on the Board if the Association has a lien against the lot at the time of the meeting/election.*

## **FUN FACT: *Need to get your steps in?***

According to onthegomap.com, if you walk the complete circle around Wrought Iron Bend, you will be logging 1126 steps or .64 miles. Ready to add more distance? Walking one-way down Owen Davis Blvd from the Clubhouse to Coventry Elementary School will provide you with 809 steps or .46 miles.



## **KNOCK-OUT ROSES ~ A NEIGHBORHOOD FAVORITE**

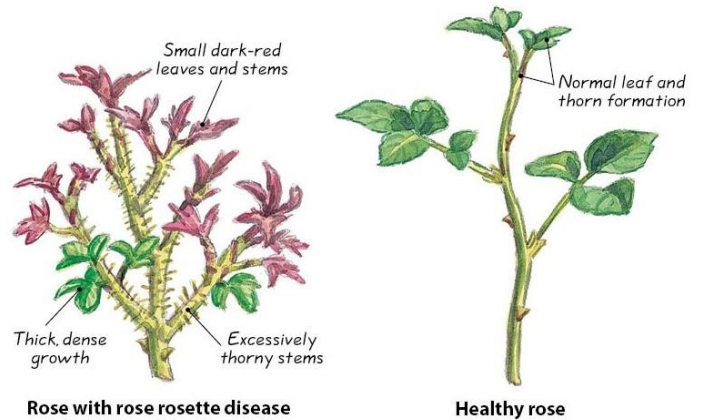
*As you drive throughout the neighborhood, you can see that many residents have turned to using knock-out rose bushes in their landscaping.*

Everyone enjoys a beautiful and fragrant rose, but not everyone is successful in keeping the hybrid plants healthy, nor can they dedicate the time and effort needed to produce the beautiful blooms. The alternative is to use knock-out roses. These bushes are known for their easy care, extended blooming season with repeat flowering (which doesn't require deadheading!) and are tolerant of heat and dry conditions. Six to eight hours of sun each day will help these plants thrive and produce many flowers. The ideal time to plant is in the spring or the fall; the best time to transplant is late winter or early spring while the plant is still dormant and before new growth begins to push out. However, unlike hybrid roses, knock-out roses have no scent and very little pollen so they aren't very attractive to bees.

Owners love knock-out roses because they seem to thrive and grow with very little maintenance. However, when their appearance has changed and the new growth is all bunched up at the end of the stem, when leaves are red and thin, and the flowers no longer look healthy, there is a problem. If this is happening to your plants, they may have contracted the dreaded **rose rosette**, or "witches broom" disease. In order to stop the spread of this disease, you need to take quick action.

Rose rosette disease is an **uncurable condition** that causes roses to grow strangely deformed stems, leaves, and flowers. The disease itself is a virus, but it requires a very tiny mite called an eriophyid mite to transfer the

disease between plants. Eriophyid mites are so small that they can only be seen under strong magnification. The disease spreads when the mites feed on an infected rose and are then transferred to another rose by wind, on a person, tool, or animal, or, if the roses are close to one another, simply by walking from one plant to another. The mites settle in to feed on the rose and transmit the virus into the vascular system of the plant. The mites do not fly, but are so tiny that they are readily carried on the wind.



Unfortunately, simply pruning out the infected portions has not proven to be an effective control method, and **leaving the rose bush in place just increases the risk of transmitting the disease to other roses in your community.** The only solution is to dig up the entire bush, including the roots, and destroy it immediately so that the disease doesn't spread to other roses. You may wish to cover the plant with a heavy plastic garbage bag to prevent mites from dropping off the plant during the removal. Be sure to close the bag and dispose of it in the garbage – **do not compost it or add it to a brush pile.**

And finally, don't replant with anything in the rose family until you are sure all pieces of the previous roots are dead and totally gone. Since there is no treatment for rose rosette disease, there's nothing you can treat the soil with to kill it. It would be best to plant something other than roses in this space. However, if you do decide to go with roses again, wait until next spring. If rose rosette disease returns next year, it would be better to switch to something else next time.

For existing, unaffected roses, treat with dormant oil after cutting back in February, which could help control overwintering mites.

## ARCHITECTURAL REVIEW COMMITTEE (ARC)

*Exterior Alteration Applications are required for all Exterior Home Projects. The Architectural Review Committee meets on the 4th Monday of each month. All applications must be received by the 5th of the month to be considered.*

If you are planning any changes to your home that can be seen from the street or might change the look of your home in any way, please plan ahead and submit an Exterior Alteration Application review form to the office BEFORE YOU START THE PROJECT. Even if you are replacing a fence with the exact same style, or thinking about hanging a decorative flag, you are required to submit an application. Remember, you live in a Planned Unit Development which means you need to have approval for many things before you can do them and our covenants require every home change to be reviewed (and approved) by the ARC. While this seems like overreach, this process protects the homeowner if there are questions during a sale or a neighbor takes issue with your change. ARC meets on the 4th Monday of each month; paperwork must be in office by the 5th of the month - so give yourself plenty of time to follow the process and DON'T START UNTIL YOU ARE APPROVED!

If you are not sure if you need ARC approval, fill out a form. They will let you know if you don't need approval. You can obtain a copy of this form from the office or download it from the Coventry website at <https://coventryhoaofyorktown.org/exterior-alteration-app>. Once you've completed the form, drop it off at the office to begin the review process.

You can research the Community Architectural Guidelines in the "Resolution and Policies Smithy Glen HOA Sub" and "Design Document Smithy Glen HOA Sub" Covenant Documents which are available for review on the Coventry website. Here are a few examples of design changes that require ARC Approval:

- **Fence Replacement:** Be sure your application contains a statement of the brand/color of stain that you will use. Note that chain link fences are not permitted.
- **Driveway repairs:** Carriage homes with garages
- **Skylight/Roof Tile repairs**
- **Storm/Screen Doors**
- **Sheds**

- **Hot Tubs and Spas**
- **Sunrooms/Porches**
- **Externally Mounted Devices:** Such as Satellite Dishes, Antennas, or Solar Panels
- **Decorative/Festive Lighting:** For any time of year other than the Winter Holiday season (see additional info below). Note that backyard lighting must not be installed above the fence line.
- **Landscaping Changes:** Any design change that alters the slope or drainage characteristics of the property, such as rock gardens.
- **Residential Lighting:** Any change to the style, size, shape, color, or positioning of exterior lights

Other items that do not require ARC approval but have limitations referenced in the documents include the following:

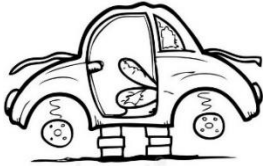
- **SIGNS:** No sign of any kind shall be displayed to the public view on or upon any Lot or Townhouse in the Common Area without the prior consent of the Association, except for property "For Sale" Signs. Political signs no larger than 18"x36" may be placed on Private Property. They may be displayed up to one month before an election and must be removed within 48 hours after the election.
- **Window Air Conditioning Units:** Window Air Conditioning Units are not permitted.
- **Aluminum or Vinyl Awnings:** These items are not permitted.
- **Decorative Lighting:** Holiday lighting shall not be operative prior to Thanksgiving and must be removed no later than the 7<sup>th</sup> of January. Festive lighting during other times of the year requires ARC approval.
- **Swimming Pools:** In/above ground pools are not permitted.



FYI, if you are looking to paint the exterior of your home you can stop by the office to request the color swatch. Please note that all of our Coventry colors are on file with Sherwin Williams (Yorktown), Home Depot, and Lowe's to help you with your paint purchases.

## FAQS >>> INOPERABLE or COVERED VEHICLES

*Policy Resolution 2016-1, dated 22 Mar 2016, establishes that "no junk, derelict, abandoned, or inoperable vehicle on which current registration plates and City and State stickers, as required, are not displayed, shall be kept upon any property or street, public or private."*



The Association must have a means of identifying inoperable vehicles in order to keep our neighborhood from becoming a dumping area for unused vehicles.

The Smithy Glen Property Use Restriction Guidelines for vehicles states the following for **covered vehicles**:

If any vehicle/motorcycle is covered in a common area or on property, the following shall be enforced:

1. Current registration plates must be visible, OR
2. A copy of the current inspection/registration shall be presented to the Coventry office so that a copy can be made and kept on file.
3. A statement for the reason for the cover shall be presented to the office.
4. Covers must be form fitting to the make/size of the vehicle (no tarps).

### **And while we are talking about Cars...DID YOU KNOW:**

Owners of townhomes in Smithy Glen are responsible for maintaining their respective driveways and parking spaces. Owners are responsible for keeping curbs neat and free of debris and weeds.

## WHAT'S THE DIFFERENCE?

 <p><b>COVENTRY BLVD MAIN ROADS</b></p>	 <p><b>ALL SMITHY GLEN ROADS, COURTS, &amp; PARKING AREAS</b></p>
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**Keeping the Neighborhood Safe!**



**NEWS AROUND THE COUNTY**  
*There's Lots Going on!*

**Tax Free Weekend** will be held August 5-7th. Time to plan ahead and shop for school supplies, clothing, footwear, and hurricane/emergency preparedness supplies.

**The Yorktown Market** will continue to run every Saturday from 8 a.m. to 12 p.m. through the end of October. The August 6th & 13<sup>th</sup> markets will be a special theme celebrating National Farmers Market Week. The September 10<sup>th</sup> market will highlight the great work of our First Responders. Did you know that many of the vendors now participate in the USDA's Supplemental Nutrition Assistance Program (SNAP) to help ensure all families in our community have access to fresh fruits, vegetables, and other healthy food options. Please visit the website for more details:

[https:// www.visitryorktown.org/225/Market-Days](https://www.visitryorktown.org/225/Market-Days)

**Yorktown Sounds of Summer** Series at Riverwalk Landing has two events scheduled for August. On August 4th you can enjoy the beach music provided by the Band of OZ, and August 1th will be the last show of the series with a local favorite, Slapnation. Concerts are free and run from 7-9pm Bring your lawn chairs and coolers and stay until the sun sets!

**Does your car need a charge?** York County has nine free vehicle charging stations placed conveniently throughout the community. Unfortunately, the two at Riverwalk Landing will become available when the work on the parking terrace is complete. The station at the Yorktown Library is temporarily unavailable due to the ongoing renovation project. The other chargers are located at: the York-Poquoson Courthouse, 300 Ballard Street; Tabb Library, 100 Long Green Blvd; and New Quarter Park, 1000 Lakeshead Drive. These sites have 2two universal Level 2 chargers available and there is a tesla Level 2 Charger at New Quarter Park. More information is available at the public works website: [www.yorkcounty.gov/1824/Vehicle-Charging-Stations](http://www.yorkcounty.gov/1824/Vehicle-Charging-Stations)

## SMITHY GLEN YARD OF THE MONTH 2022

Congratulations to our Summer Smithy Glen Yards of the Month winners. Thanks for all you've done to make your yard – and our Community - look so nice!

June: 109 Sterling Court

July: 100 Hamlet Court

August: 302 Crescent Court



DO YOU HAVE AN IDEA FOR  
TOPICS FOR OUR FUTURE  
NEWSLETTERS?

Please be sure to let us know by  
dropping a note in the main office.

**IMPORTANT LOCAL NUMBERS**  
SUICIDE CRISIS LIFELINE: 988  
YORK COUNTY POLICE  
Emergency: 911  
Non-emergency: 757- 890-3621  
Sheriff's office: 757- 890-3630  
YORK COUNTY FIRE DEPARTMENT  
Emergency: 911  
Non-Emergency: 757-890-9631  
DOMINION VIRGINIA POWER OUTTAGE  
Report Outages: 888-667-3000  
YORK COUNTY RECYCLING: 757-890-3780

Contact the HOA office at 757-867-9200  
Office Hours: Tuesday thru Friday, 10am - 5pm  
E-mail: [coventryhoa@verizon.net](mailto:coventryhoa@verizon.net)

Main Website: [www.coventryhoaofyorktown.org](http://www.coventryhoaofyorktown.org)  
[www.facebook.com/CoventryNeighborhoodHOA](https://www.facebook.com/CoventryNeighborhoodHOA)  
[www.facebook.com/groups/CoventryWatch](https://www.facebook.com/groups/CoventryWatch)



**GARBAGE DAY IS NOW THURSDAY!**

**PUT YOUR TOTES OUT**

**NO EARLIER THAN 5PM ON WEDNESDAY NIGHT**

**AND**

**BRING THEM IN NLT 7PM ON THURSDAY!**

**GARBAGE BAGS LEFT ON THE GROUND NEXT  
TO YOUR TOTE WILL NOT BE PICKED UP!**

There is an option for residents to dispose of additional items that don't fit in the tote. GFL Environmental will pick up the extra items for a fee. Residents can call their Customer Service Department, Mon-Fri, 8am-4pm, at 757-487-2020 and schedule bulk items (limit 2 items) for pickup on the next scheduled service day. The resident will be told the cost and date for pickup and will have to give a credit card number to prepay for the pickup. See flyer for details.



## BULK PICKUP PRICE LIST

Rev  
6/2022

Area rug (carpet)	\$37.80	Loveseat	\$37.80
Area rug (large-braided)	\$50.40	Sectional couch	\$90.00
Area rug (medium braided)	\$25.20	Move In Boxes/max 40	\$94.50
Bag of trash	\$1.26	Nite Stand	\$12.60
Bird Bath (plastic)	\$6.30	Patio chair (plastic)	\$2.52
Blinds (large)	\$5.04	Patio table (plastic)	\$12.60
Blinds (small)	\$2.52	Recliner/Stuffed Chair	\$37.80
		Rocking chair	\$12.60
Bushes (each)	\$13.86	Shutters (each)	\$6.30
Cabinet	\$27.72	Small box w/ trash	\$1.89
Carpet (up to 100 sq ft)	\$60.98	Small chair	\$6.30
Ceiling fan	\$13.86	Small empty box	\$0.63
Childrens furniture	\$12.60	Small entertainment center	\$18.90
Christmas tree	\$13.86	Couch	\$60.98
Computer monitor	\$15.75	Stereo	\$20.79
Computer tower	\$15.75	Stool	\$6.30
Desk	\$18.90	Table (wood)	\$25.20
Door	\$13.86	Throw rug	\$1.26
Dresser	\$25.20	TV (old style - picture tube)	\$68.25
Futon Base (non metal)	\$15.12	TV (Projection)	\$57.75
Headboard (non metal)	\$12.60	TV (Flat Screen up to 43")	\$42.00
Kitchen counter (cut into pieces)	\$25.20	TV (Flat Screen over 43")	\$52.50
Kitchen table & chairs	\$50.40	Vacuum cleaner	\$13.86
Large box w/ trash	\$2.52	Wing back chair	\$30.49
Large empty box	\$1.26	Wood pallets (each)	\$6.30
Large entertainment center	\$37.80	Wooden console TV	\$48.51
Large leaf bag of trash	\$1.89	Wood pallets (each)	\$6.30
Lawn chair	\$6.30	Wooden console TV	\$48.51
Loose trash/debris per 1/2 yd)	\$13.86		

**\*\*PLEASE CONTACT BRANCH FOR PRICING FOR ITEMS NOT ON THIS LIST\*\***

Items we DO NOT take:

No Metal items of any kind - No Refrigerators, Freezers, Air Conditioners, No Other Appliances, No Exercise Equipment, No Tires, No Ceramics or Glass/Mirror, No Paint or Liquids of any kind.

**\*\*WE NO LONGER TAKE MATTRESSES AND BOXSPRINGS!\*\***

\*Couches with pull out beds MUST have mattresses removed in order for pickup

**\*THIS LIST IS SUBJECT TO REVISION WITHOUT NOTICE\***