

# PETTIGREW STATE PARK

## CAMPGROUND AND OFFICE IMPROVEMENTS

### CRESWELL, NORTH CAROLINA

SCO ID#: 20-22411-02A

DEPARTMENT OF NATURAL AND CULTURAL RESOURCES  
DIVISION OF PARKS & RECREATION

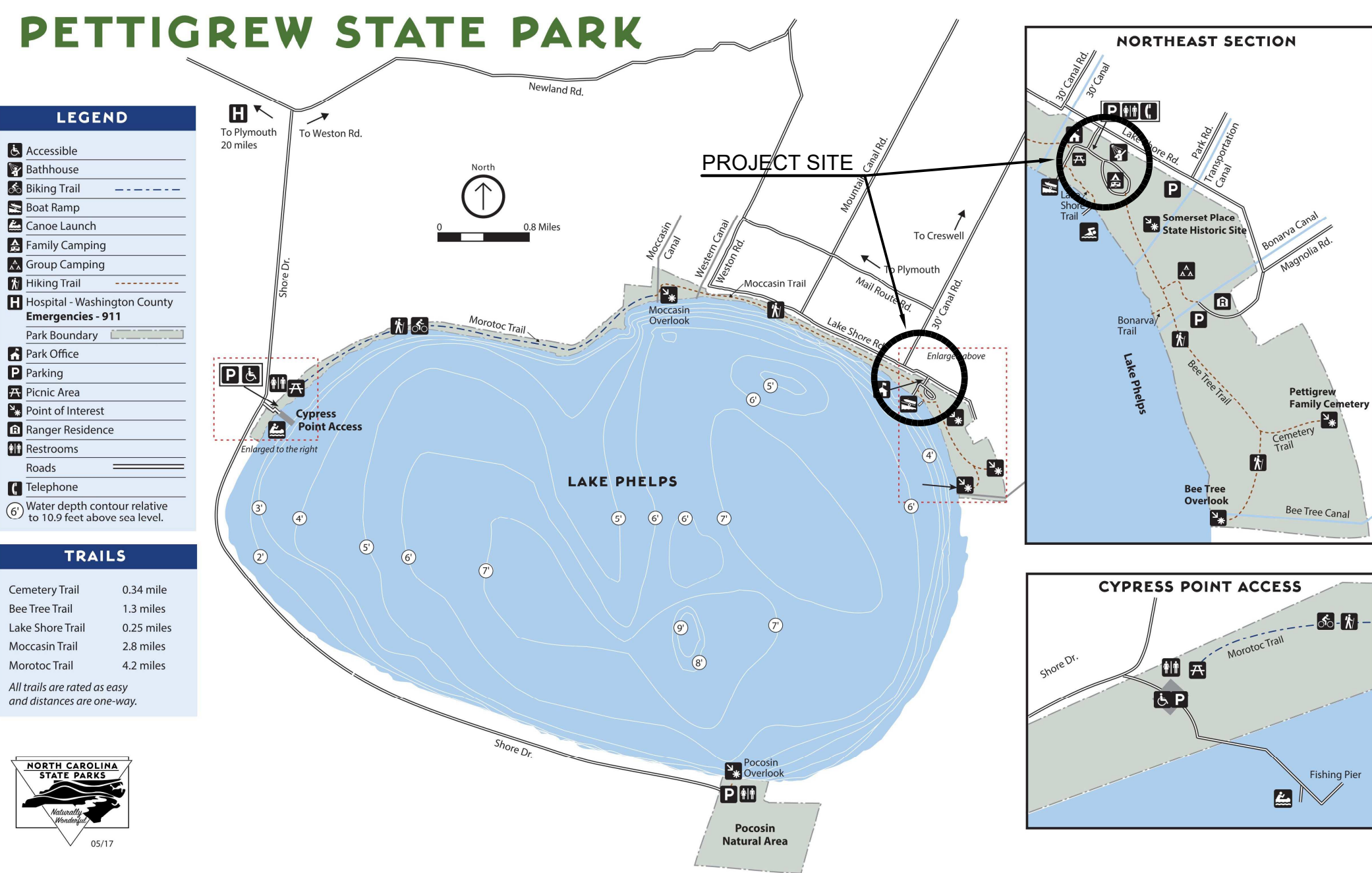
**SITE/CIVIL**  
**FINCH & ASSOCIATES, PLLC**  
309 NORTH BOYLAN AVENUE, RALEIGH, NC 27603-1402  
TEL. (919) 833-1212

**ENVIRONMENTAL**  
**SOIL & ENVIRONMENTAL CONSULTANTS, P.A.**  
NORTH QUARTER OFFICE PARK  
8412 FALLS OF THE NEUSE RD, STE 104, RALEIGH, NC 27615  
TEL. (919) 846-5900

**ARCHITECTURAL**  
**SKINNER FARLOW KIRWAN ARCHITECTURE**  
301 GLENWOOD AVE, STE 270, RALEIGH, NC 27603  
TEL. (984) 222-0572

**STRUCTURAL**  
**LYNCH MYKINS**  
301 N. MAIN ST, STE 105, RALEIGH, NC 27603  
TEL. (919) 809-8942

**PLUMBING, MECHANICAL, ELECTRICAL**  
**ENGINEERED DESIGNS PLLC**  
1151 SE CARY PKWY, STE 200, CARY, NC 27518  
TEL. (919) 851-8481



VICINITY MAP  
NOT TO SCALE

#### SCHEDULE OF DRAWINGS

C0 COVER SHEET  
C0.1 SPECIAL INSPECTIONS NOTES

**SITE/CIVIL**  
L1.0 EXISTING CONDITIONS PLAN - CAMPGROUND  
L1.1 EXISTING CONDITIONS - LAKESIDE  
L1.2 DEMOLITION PLAN  
L2.0 CAMPGROUND SITE IMPROVEMENTS PLAN  
L2.1 SITE PLAN - CAMPGROUND WEST  
L2.2 SITE PLAN - CAMPGROUND EAST  
L2.3 ACCESSIBLE CAMPSITES  
L2.4 SITE PLAN - LAKESIDE  
L3.0 GRADING PLAN - CAMPGROUND WEST  
L3.1 GRADING PLAN - CAMPGROUND EAST  
L3.2 GRADING PLAN - LAKESIDE  
L4.0 PLANTING PLAN  
L5.0 CONSTRUCTION DETAILS  
L5.1 CONSTRUCTION DETAILS  
L5.2 CONSTRUCTION DETAILS  
L5.3 CONSTRUCTION DETAILS  
L5.4 SEDIMENTATION AND EROSION CONTROL DETAILS  
L5.5 SEDIMENTATION AND EROSION CONTROL DETAILS  
U1.0 WATER AND SEWER PLAN  
U1.1 SEWER AND FORCE MAIN PLAN AND PROFILES  
U2.0 WATER SYSTEM DETAILS  
U2.1 SEWER SYSTEM DETAILS  
U2.2 SEPTIC SYSTEM DETAILS  
U2.3 SEPTIC SYSTEM DETAILS  
U2.4 U-DRAIN PUMP STATION DETAILS

**ARCHITECTURAL**  
G-01 APPENDIX B - PARK OFFICE  
G-02 APPENDIX B - PARK OFFICE - ALT. 2  
G-03 APPENDIX B - SHOWER HOUSE  
G-04 APPENDIX B - CABINS  
G-05 LIFE SAFETY PLANS  
AO100 PARK OFFICE EXISTING CONDITIONS  
AO101 OFFICE FLOOR PLANS - BASE BID  
AO102 OFFICE ROOF PLANS - BASE BID  
AO103 OFFICE EXTERIOR ELEVATIONS - BASE BID  
AO104 OFFICE WALL SECTIONS - BASE BID  
AO105 OFFICE FLOOR PLANS - ALTERNATE #1  
AO106 OFFICE FLOOR PLANS - ALTERNATE #2  
AO107 OFFICE FLOOR PLANS - ALTERNATE #2  
AO108 SCHEDULES & DETAILS - ALTERNATE #2  
AO109 SCHEDULES & DETAILS - ALTERNATE #2  
AS100 SHOWERHOUSE FLOOR PLANS  
AS101 RCP AND ROOF PLAN  
AS200 ELEVATIONS AND SECTIONS  
AS300 WALL SECTIONS  
AS301 WALL SECTIONS  
AS400 ENLARGED PLAN  
AS401 INTERIOR ELEVATIONS  
AS500 DETAILS  
AS501 HEAD, JAMB, SILL DETAILS  
AS600 SCHEDULES  
AC100 PLAN, ELEVATIONS & SECTIONS  
AC101 WALL SECTIONS  
AC600 SCHEDULES & DETAILS

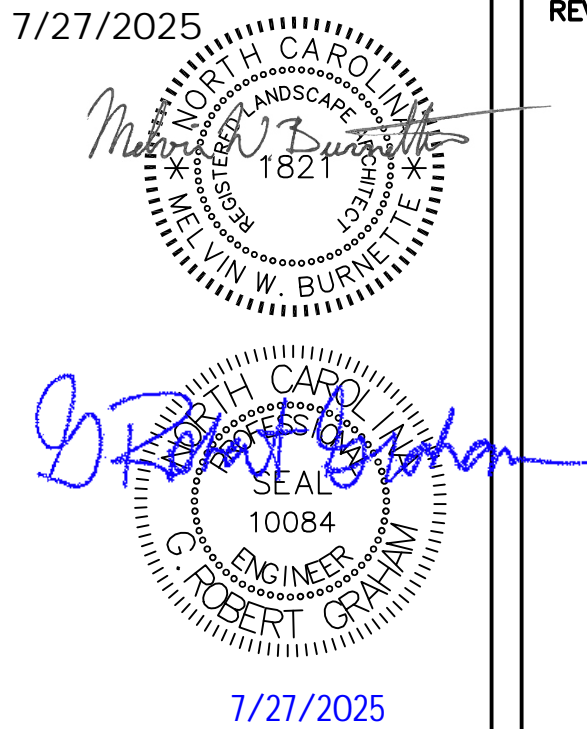
**STRUCTURAL**  
S001 GENERAL NOTES  
S002 GENERAL NOTES  
SS101 FOUNDATION PLAN - SHOWER HOUSE  
SS102 SLAB-ON-GRADE PLAN - SHOWER HOUSE  
SS103 LOW ROOF FRAMING PLAN - SHOWER HOUSE  
SS104 HIGH ROOF FRAMING PLAN - SHOWER HOUSE  
SS301 SECTIONS - SHOWER HOUSE  
SS302 SECTIONS - SHOWER HOUSE  
SO101 FOUNDATION AND ROOF FRAMING PLAN - OFFICE  
SO301 SECTION - OFFICE  
SC101 CABIN PLANS  
SC301 SECTIONS - CABIN  
S501 TYPICAL DETAILS  
S502 TYPICAL DETAILS  
S503 TYPICAL DETAILS

PME001 UL DETAILS

**PLUMBING**  
P001 LEGENDS, NOTES, AND ABBREVIATIONS  
P100 PLUMBING SCHEDULES  
P101 PLUMBING SCHEDULES  
PS201 PLUMBING PLAN  
PO201 PLUMBING PLAN - ALTERNATE #1  
PO202 PLUMBING PLAN - ALTERNATE #2  
PS300 PLUMBING RISER DIAGRAMS - SHOWER HOUSE  
P400 PLUMBING DETAILS  
P401 PLUMBING DETAILS

**MECHANICAL**  
M001 MECHANICAL LEGEND, ABBREVIATIONS, SCHEDULES  
MC101 FLOOR PLAN  
MO101 MECHANICAL PLAN  
MS101 MECHANICAL FLOOR PLAN  
MS102 MECH ISOMETRIC SECTIONS  
M601 MECHANICAL DETAILS

**ELECTRICAL**  
E001 ELECTRICAL LEGEND AND NOTES  
E002 OVERALL ELECTRICAL SITE PLAN  
E003 PARTIAL ELECTRICAL SITE PLAN - WEST  
E004D ELECTRICAL SITE PLAN - EAST DEMOLITION  
E004 PARTIAL ELECTRICAL SITE PLAN - EAST  
EC101 CABIN FLOOR PLANS - LIGHTING AND POWER PLANS  
EO101D OFFICE LIGHTING PLAN - DEMO  
EO201D OFFICE POWER PLAN - DEMO  
EO101 OFFICE LIGHTING PLAN - NEW  
EO201 OFFICE POWER PLAN - NEW  
ES101 SHOWER HOUSE FLOOR PLAN - LIGHTING  
ES201 SHOWER HOUSE FLOOR PLAN - POWER  
E401 ELECTRICAL SINGLE LINE AND PANEL SCHEDULES  
E601 ELECTRICAL DETAILS  
E602 ELECTRICAL DETAILS



REVISIONS

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NCBELS Lic. No. P-1845  
INC001 Lic. No. C-656

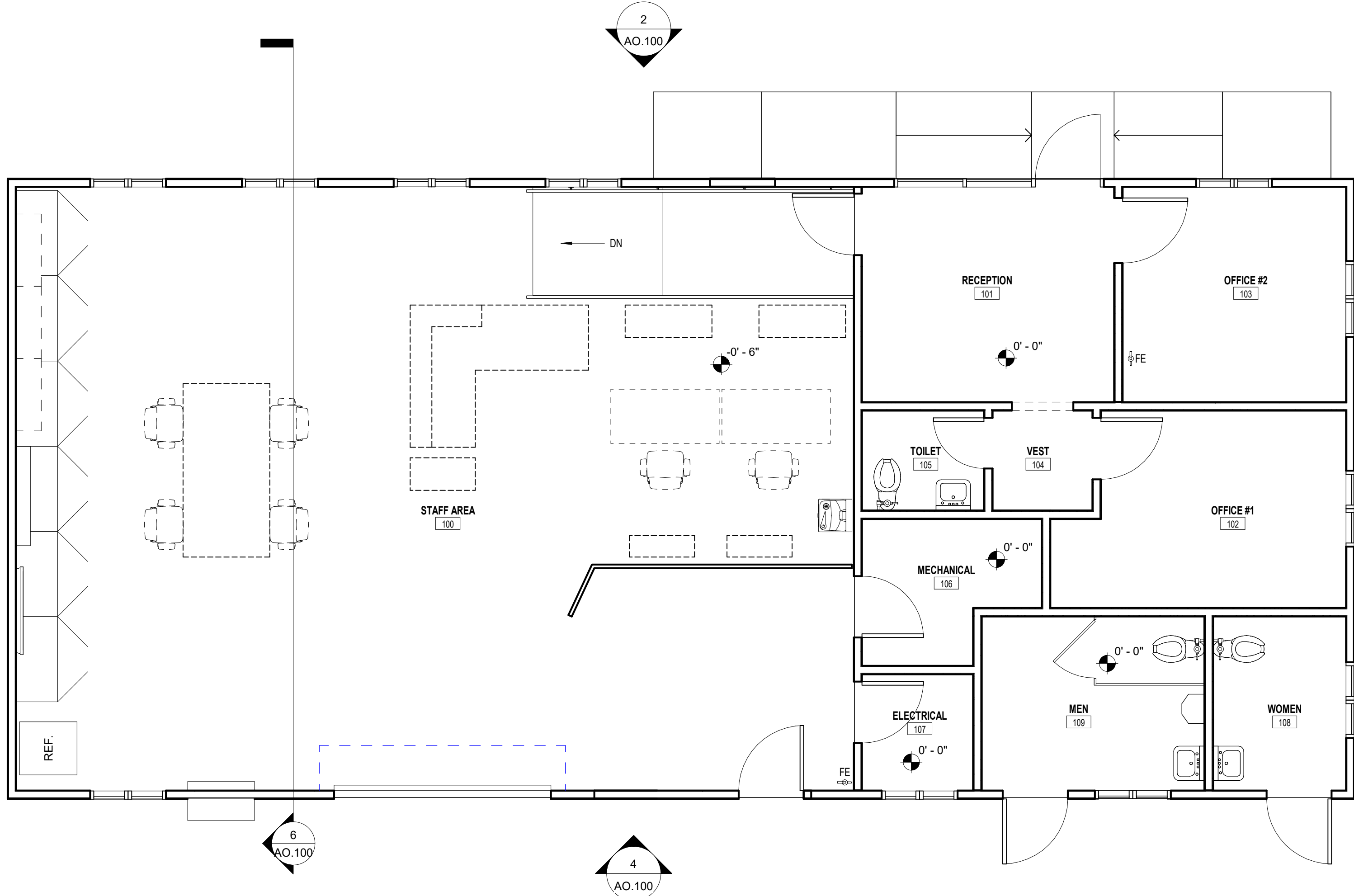
**FINCH & ASSOCIATES**  
landscape architecture  
engineering  
and surveying

SCO ID#: 20-22411-02A Construction Documents For Bid

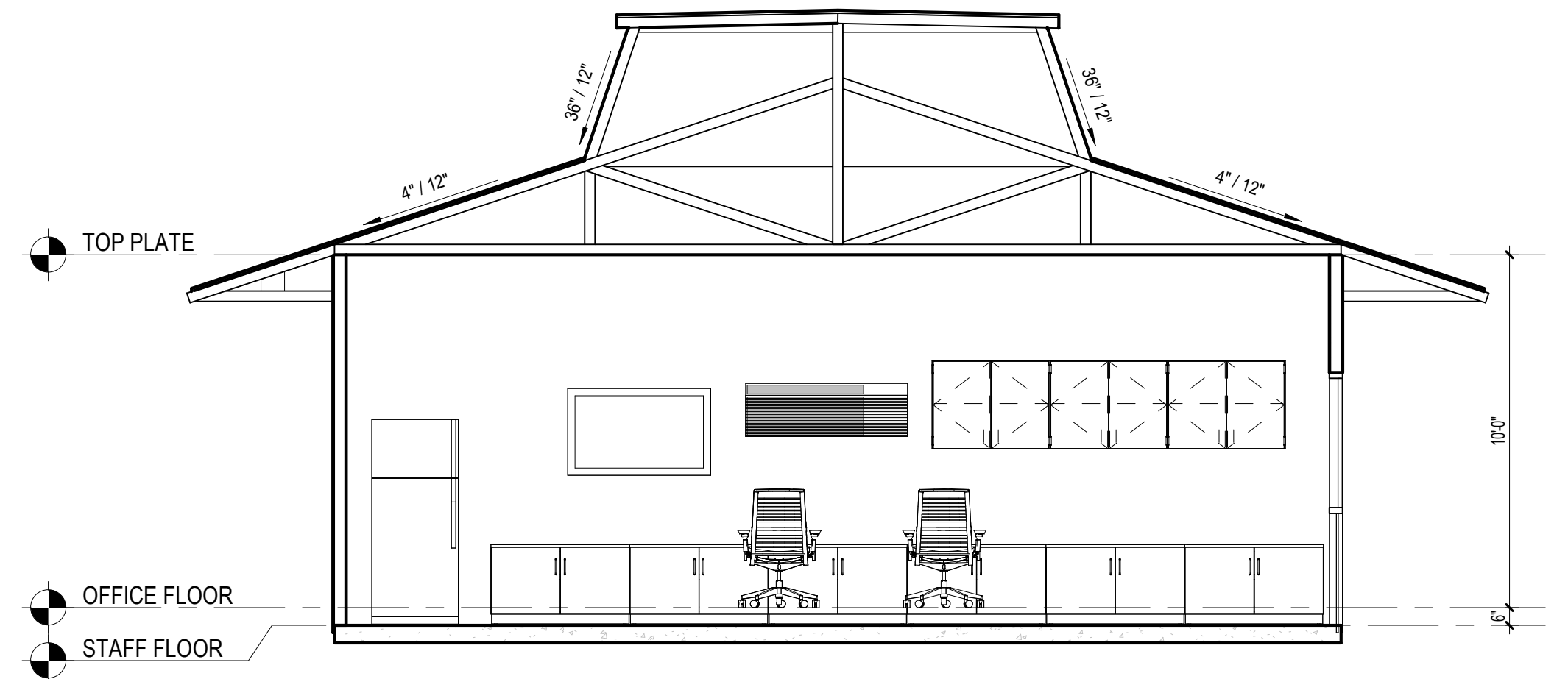
PETTIGREW STATE PARK  
CAMPGROUND AND OFFICE IMPROVEMENTS  
2252 LAKE SHORE ROAD  
CRESWELL, NORTH CAROLINA

DRAWN BY: MVB  
CHECKED BY: GMF  
PROJ. NO. 20061  
DATE: 7/27/2025  
SHEET: 00 OF 00

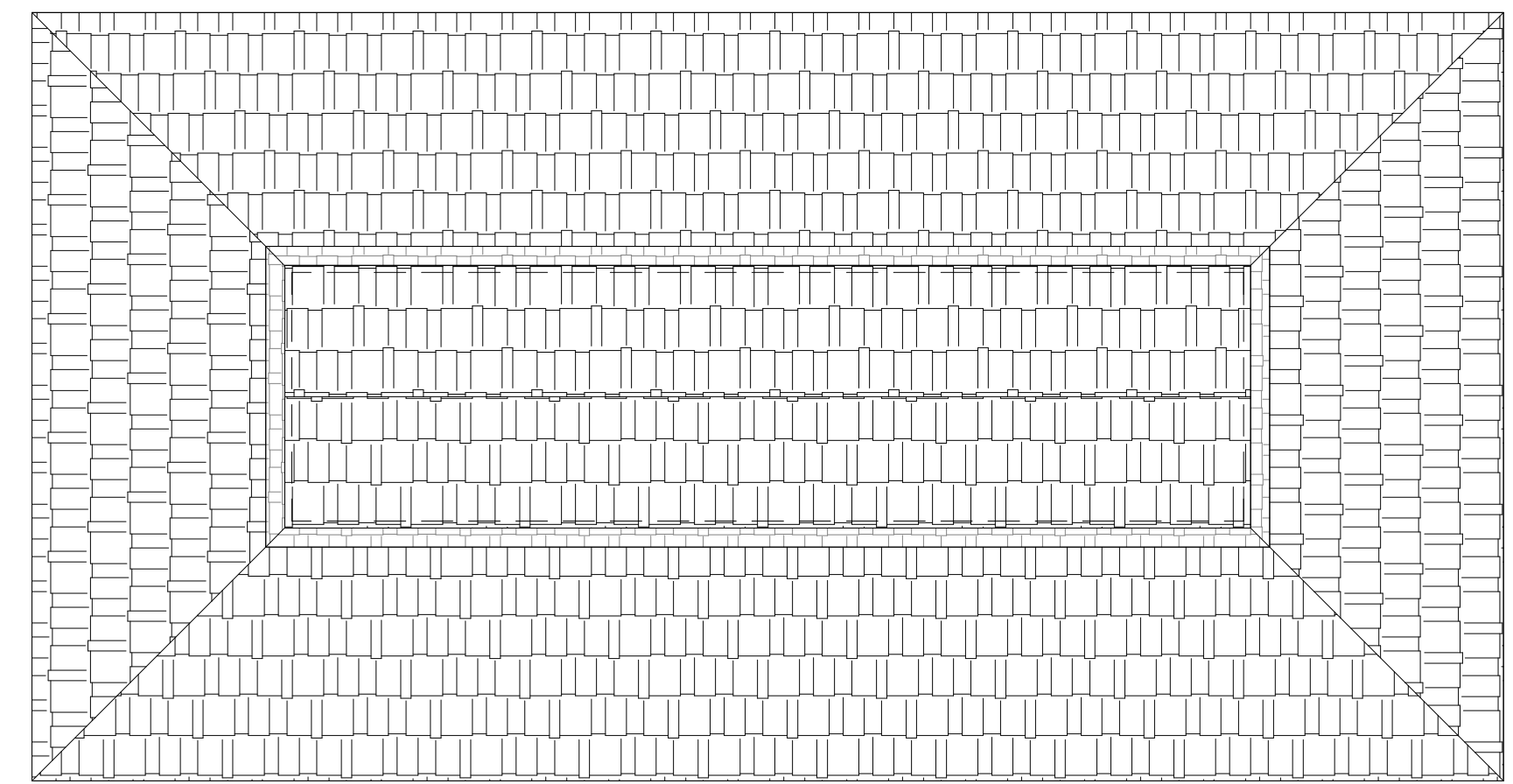




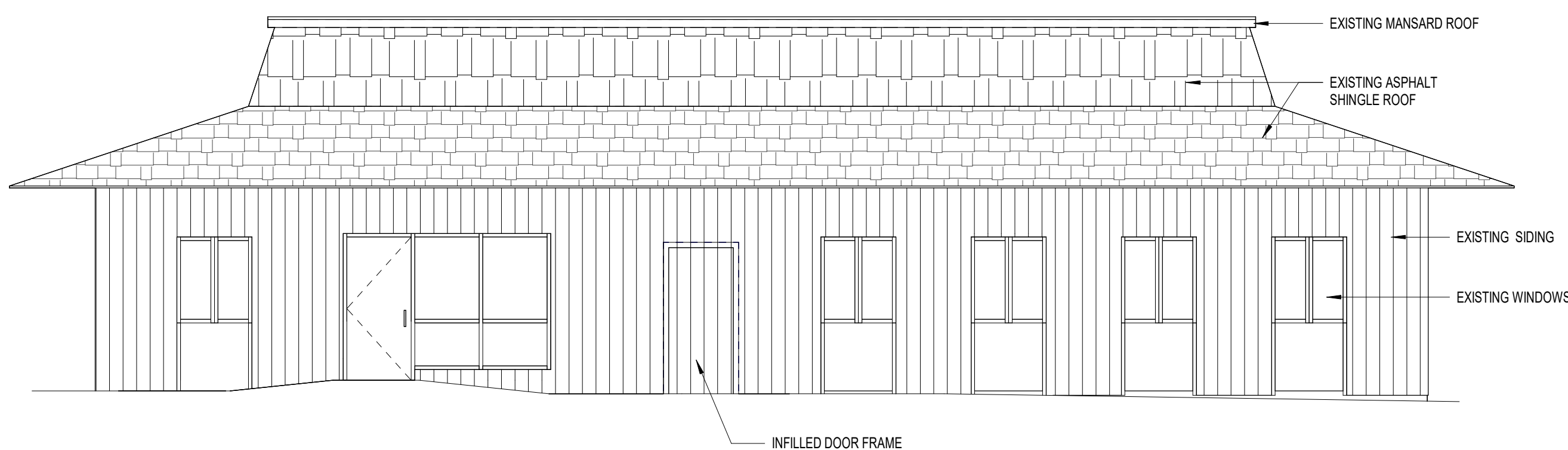
1 EXISTING FLOOR PLAN  
1/4" = 1'-0"



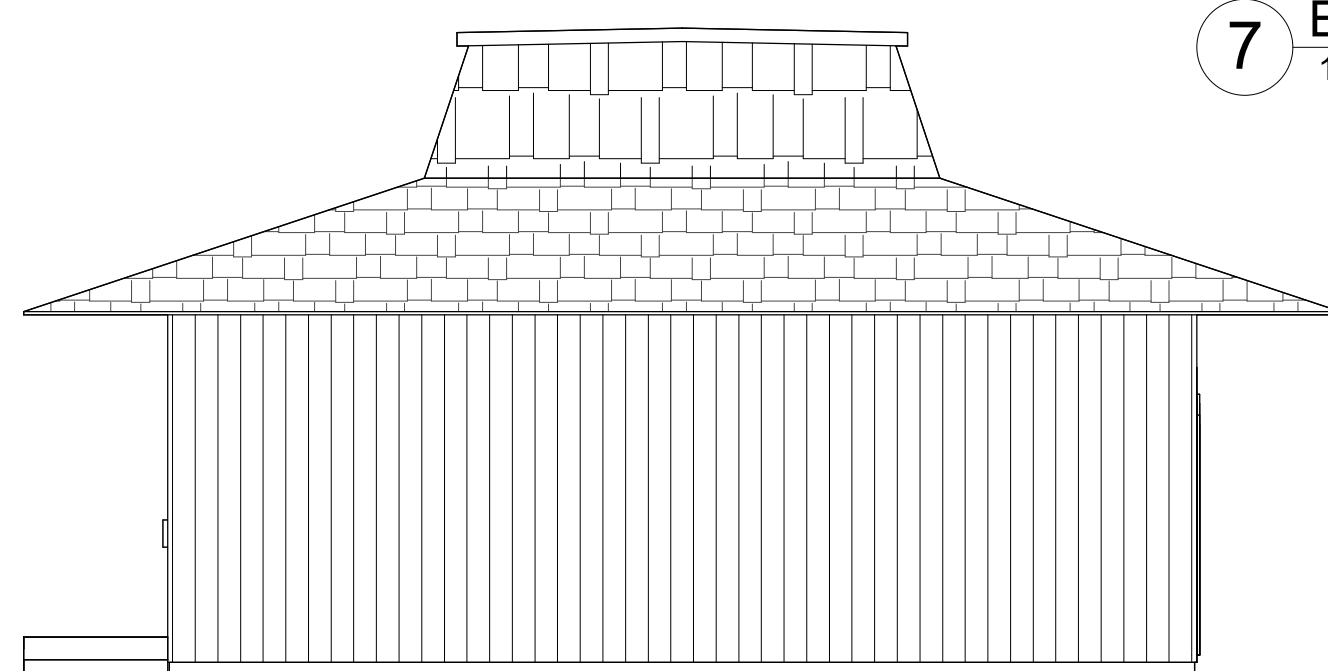
6 EXISTING BUILDING SECTION  
1/4" = 1'-0"



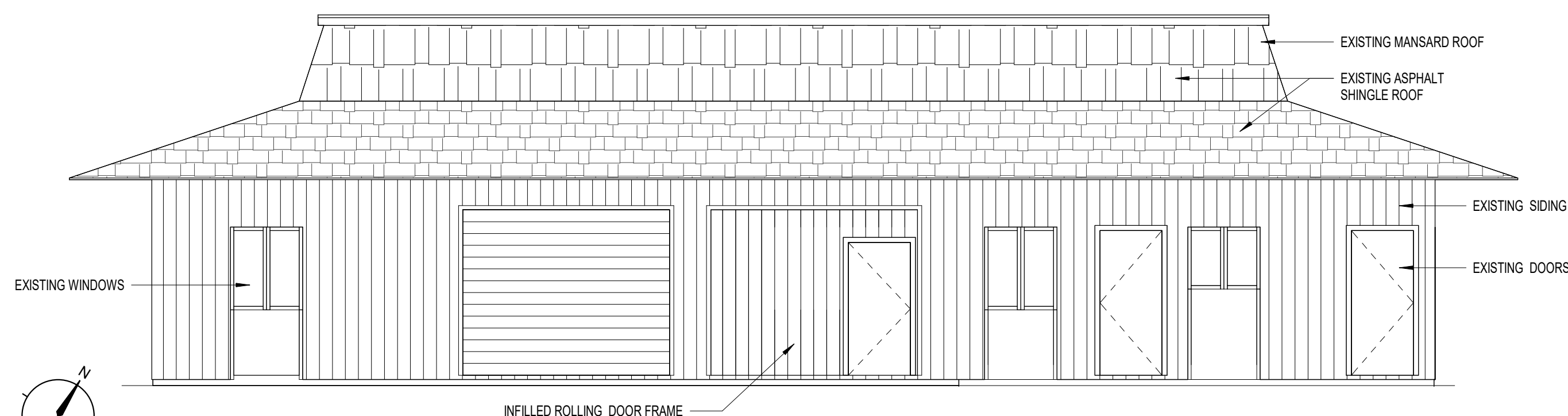
7 EXISTING ROOF PLAN  
1/8" = 1'-0"



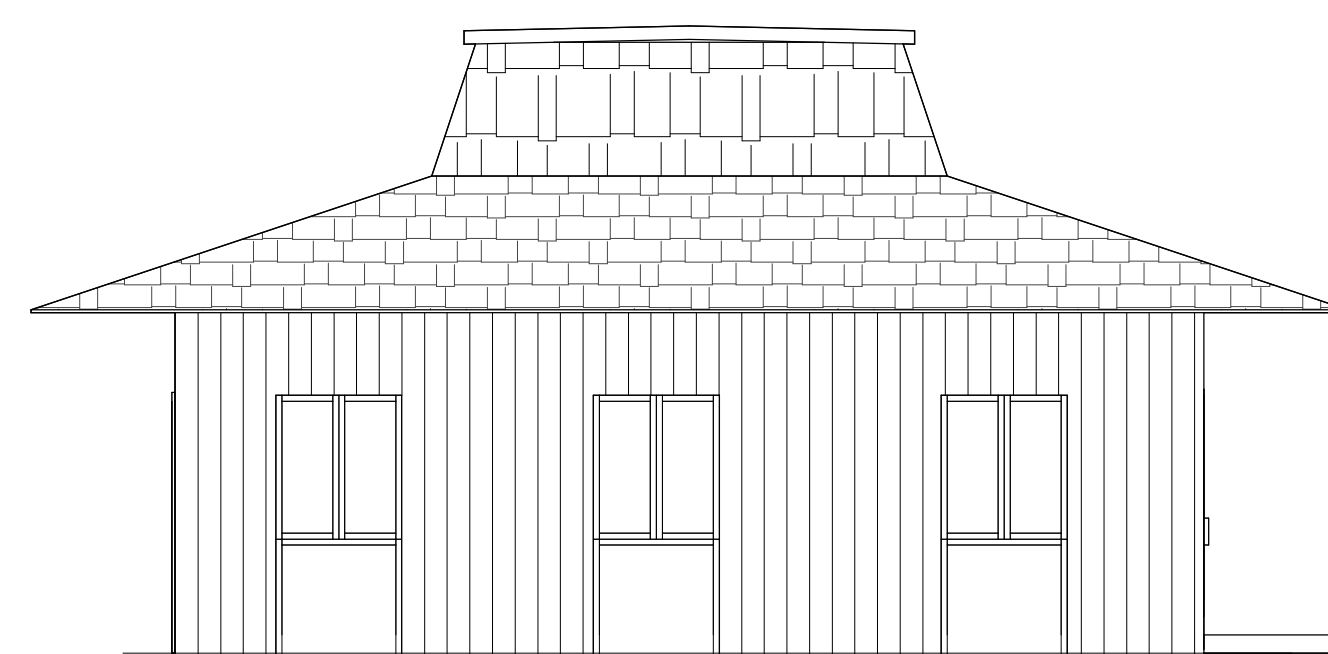
2 EXISTING NOTHEAST ELEVATION  
3/16" = 1'-0"



3 EXISTING NORTHWEST ELEVATION  
3/16" = 1'-0"



4 EXISTING SOUTHWEST ELEVATION  
3/16" = 1'-0"



5 EXISTING SOUTHEAST ELEVATION  
3/16" = 1'-0"

Skinner | Farlow | Kirwan  
architecture  
sfkarchitecture.com

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REVISIONS		
#	date	note

PROJECT STATUS  
Construction  
Documents For Bid

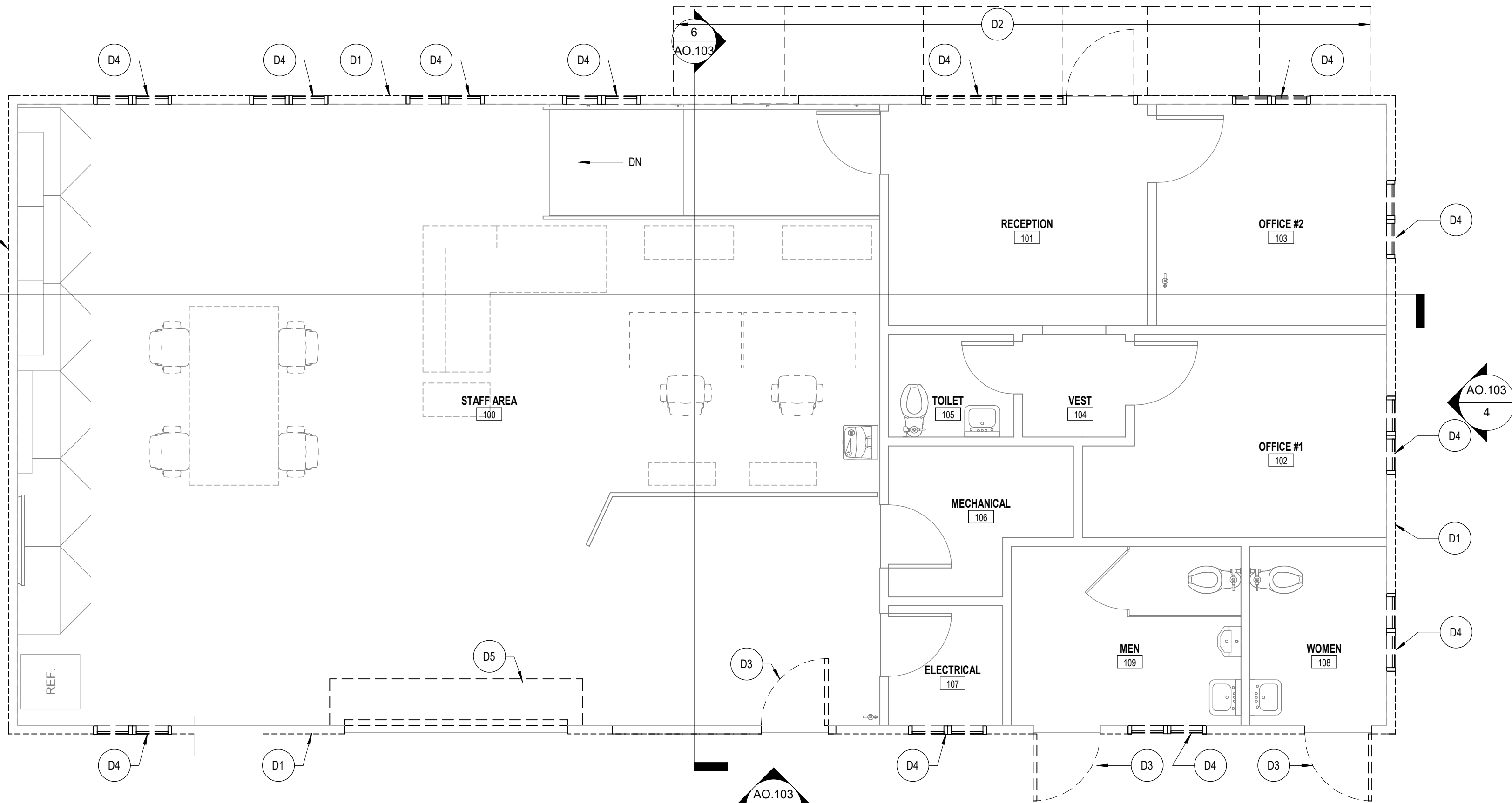
OWNER ID  
SCO ID#  
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NCBOL1 Lic. No. C-656

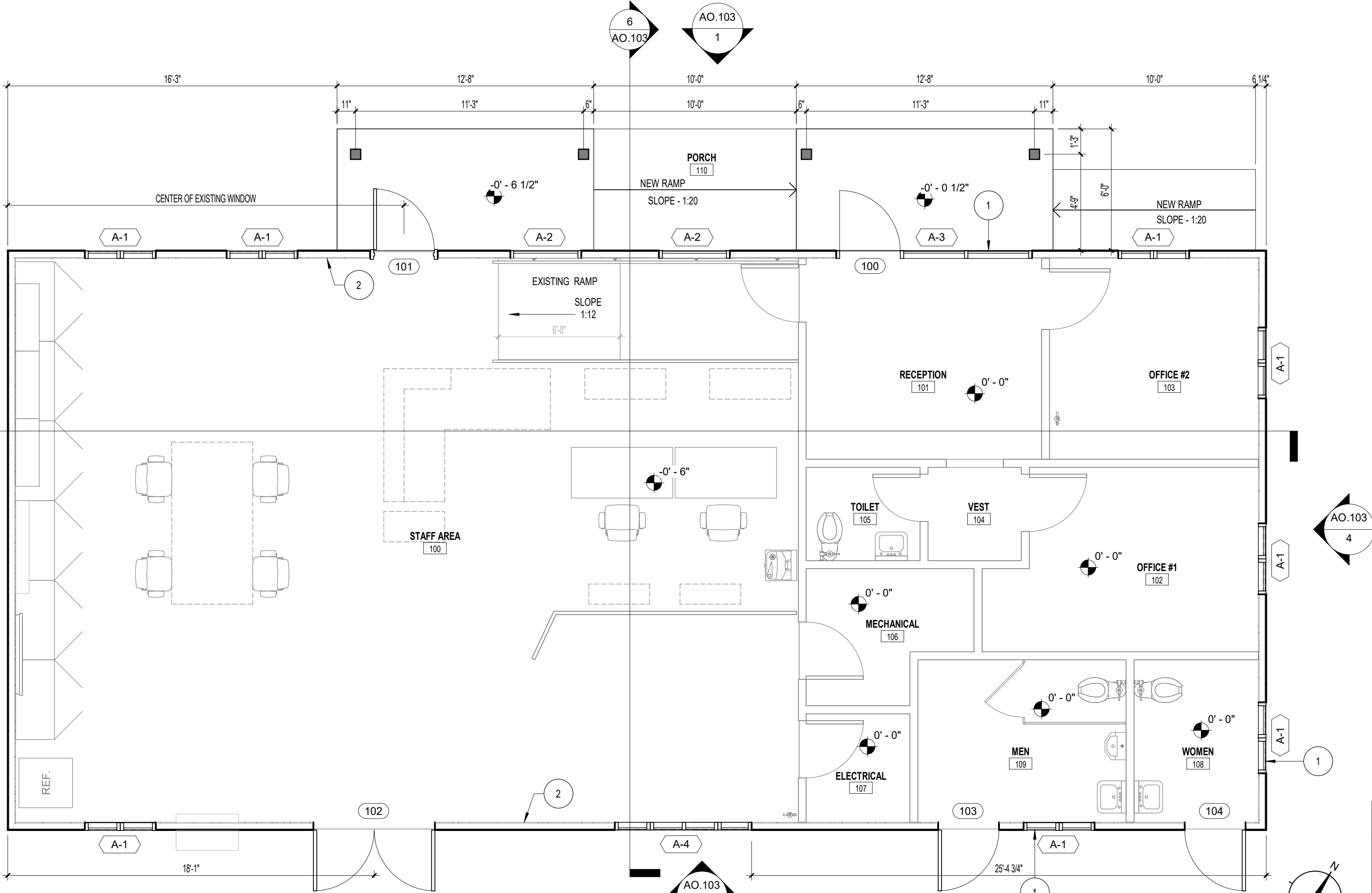
**FINCH**  
& ASSOCIATES  
FINCH & ASSOCIATES  
engineering landscape architecture land surveying

PETTIGREW STATE PARK  
CAMPGROUND AND OFFICE IMPROVEMENTS  
2252 LAKE SHORE ROAD  
CRESWELL, NORTH CAROLINA

DRAWN	TMM
CHECKED	ALK
PROJECT NO.	1361-20
DATE	07/27/2025
SHEET NAME	EXISTING CONDITIONS
SHEET NO.	A0.100



1 DEMOLITION PLAN - BASE BID  
1/4" = 1'-0"



2 NEW FLOOR PLAN - BASE BID  
1/4" = 1'-0"

GENERAL NOTES

- CONTRACTOR TO PROTECT ALL EXISTING SITE AND/OR BUILDING ELEMENTS, LIGHTING AND/OR EQUIPMENT. REPAIR OR REPLACEMENT WILL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- CONTRACTOR IS TO COORDINATE ACCESS TO THE SITE WITH THE OWNER.
- CONTRACTOR IS TO EXPECT LIMITED PARKING AND LIMITED ACCESS FOR DUMPSTER PRIOR TO SITE PREPARATION.
- CONTRACTOR IS TO MAINTAIN THE JOB SITE(S) IN A CLEAN AND ORDERLY MANNER. THE CONTRACTOR SHALL DISABLE ALL EQUIPMENT AND REMOVE WASTE, MATERIALS AND DEBRIS AT THE END OF EACH WORK DAY.
- CONTRACTOR TO COORDINATE WITH OWNER ALL ACCESS TO PLUMBING OR ELECTRICAL SERVICE. CONNECTION TO UTILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
- ANY INTERRUPTION OF ELECTRICAL OR PLUMBING SERVICE SHALL BE COORDINATED WITH THE OWNER.
- THE CONTRACTOR IS RESPONSIBLE FOR REINSTALLATION OF ANY COMPONENTS REMOVED TO COMPLETE THE WORK.
- IN PREPARATION FOR THE WORK THE CONTRACTOR IS TO VISIT THE SITE AND NOTE THE EXISTING CONDITIONS OF THE SITE THROUGH PHOTOGRAPHIC OR VIDEOGRAPHIC MEANS AND PROVIDE THAT RECORD TO THE OWNER PRIOR TO COMMENCING ANY WORK.
- CONTRACTOR TO PROTECT ALL AREAS OUTSIDE AREA OF WORK FROM DAMAGE. PREVENT SPREAD OF DUST FROM SITE.
- CONTRACTOR TO PROVIDE SIGNAGE TO PREVENT ENTRY OF NON-CONSTRUCTION PERSONNEL INTO AREAS OF WORK. PROVIDE CLEAR SIGNAGE DELINEATING ACCESS TO SITE.

DEMOLITION LEGEND

- REMOVE ALL CONSTRUCTION SHOWN DASHED COMPLETE, U.O.N.
- EXISTING WALL OR PARTITION TO REMAIN, TYP U.O.N.
- REMOVE PORTION OF EXISTING WALL. SEE FLOORPLAN FOR LOCATION AND DIMENSION, TYP U.O.N.
- REMOVE EXISTING DOOR & FRAME COMPLETELY.
- EXISTING DOOR TO REMAIN, TYP U.O.N.
- REMOVE EXTERIOR SHEATHING & ALL RELATED TRIM

CONSTRUCTION LEGEND

- G3A PARTITION TYPE
- NEW WALL
- NEW DOOR (SEE DOOR SCHEDULE) DOOR NUMBER
- ROOM NAME ROOM TAG AREA
- CONSTRUCTION KEYNOTE TAG
- WINDOW TAG

DEMOLITION PLAN GENERAL NOTES

- PROTECT ALL EXISTING FINISHES TO REMAIN FROM ANY DAMAGE. CONTRACTOR IS RESPONSIBLE FOR ALL FINISHES WITHIN THE WORK AREA INCLUDING BUT NOT LIMITED TO DOORS, FRAMES, STAIRS, RAILINGS, WINDOWS AND RELATED ITEMS.
- DOCUMENT ALL EXISTING CONDITIONS PRIOR TO COMMENCING WORK AND PROVIDE TO THE OWNER.
- CONTRACTOR TO PROTECT OPENINGS TO OTHER AREAS OF THE BUILDING TO REDUCE THE SPREAD OF DUST.
- CONTRACTOR TO COORDINATE WITH THE OWNER REGARDING THE IMPLEMENTATION OF THE WORK.
- MAINTAIN ANY AND ALL FIRE ALARM DEVICES, HORNS AND STROBES DURING THE WORK. CONTRACTOR TO COVER ALL SMOKE DETECTORS IN PROJECT AREA EACH DAY BEFORE THE START OF ANY ACTIVITY AND REMOVE COVERS AT THE END OF THE DAY PRIOR TO LEAVING THE JOB SITE.
- CONTRACTOR TO PROTECT ALL RETURN AIR GRILLES IN THE WORK AREA DURING CONSTRUCTION. SEE MECHANICAL DRAWINGS. ANY WORK THAT GENERATES DUST, FUMES, ODORS OR LOUD NOISE MUST BE CLOSELY COORDINATED IN ADVANCE WITH PROJECT MANAGER AND BUILDING OCCUPANTS.
- CONTRACTOR TO REMOVE ANY EXISTING WALL COVERINGS AND PROVIDE LEVEL FOUR FINISH PRIOR TO PAINTING.

DEMOLITION KEY NOTES

- D1 REMOVE EXISTING SHEATHING AND ALL RELATED TRIM, REPAIR/REPLACE EXISTING INSULATION AS REQUIRED FOR NEW WORK
- D2 REMOVE EXISTING SIDEWALK AND CONCRETE COMPLETE, PREP FOR NEW CONCRETE SLAB & RAMPS
- D3 REMOVE EXISTING DOOR AND FRAME COMPLETE. PREP FOR NEW DOOR
- D4 REMOVE EXISTING WINDOW AND FRAME COMPLETE
- D5 REMOVE EXISTING OVERHEAD ROLLING DOOR AND FRAMING COMPLETE

CONSTRUCTION KEY NOTES

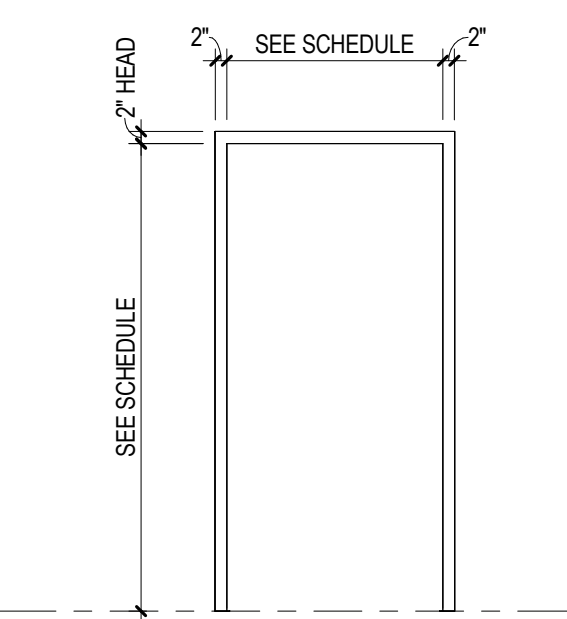
- 1 PROVIDE WINDOW FILM
- 2 NEW PAINT THIS WALL CORNER TO CORNER

GLAZING LEGEND		
TYPE A	1" TEMPERED LOW E GLAZING	
TYPE B	INSULATED TEMPERED GLASS	

DOOR ABBREVIATIONS			
AL	ALUMINUM	WD	WOOD
GL	GLASS	FRP	FIBERGLASS REINFORCED POLYESTER
HM	HOLLOW METAL	NA	NOT APPLICABLE

FRAME TYPES

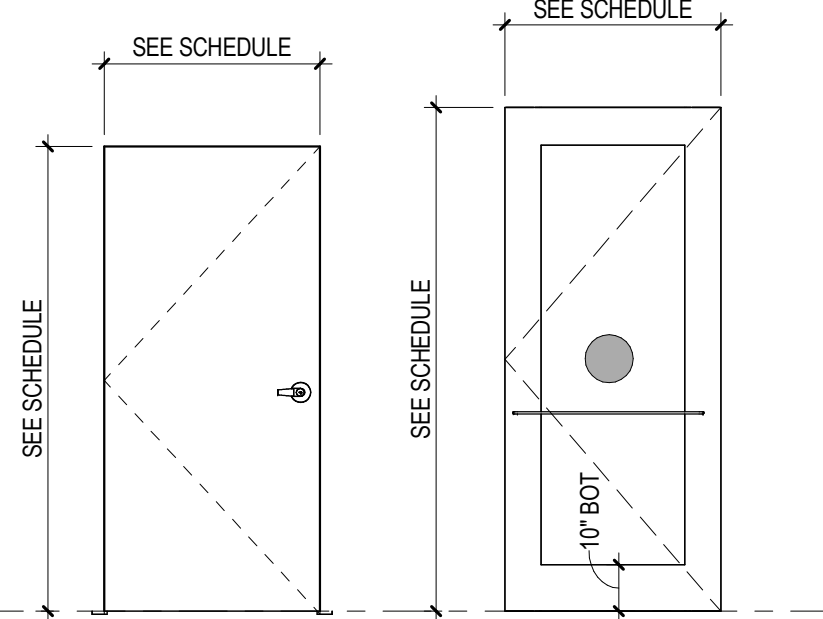
SCALE 3/8" = 1'-0"



F1

DOOR ELEVATIONS

SCALE 3/8" = 1'-0"

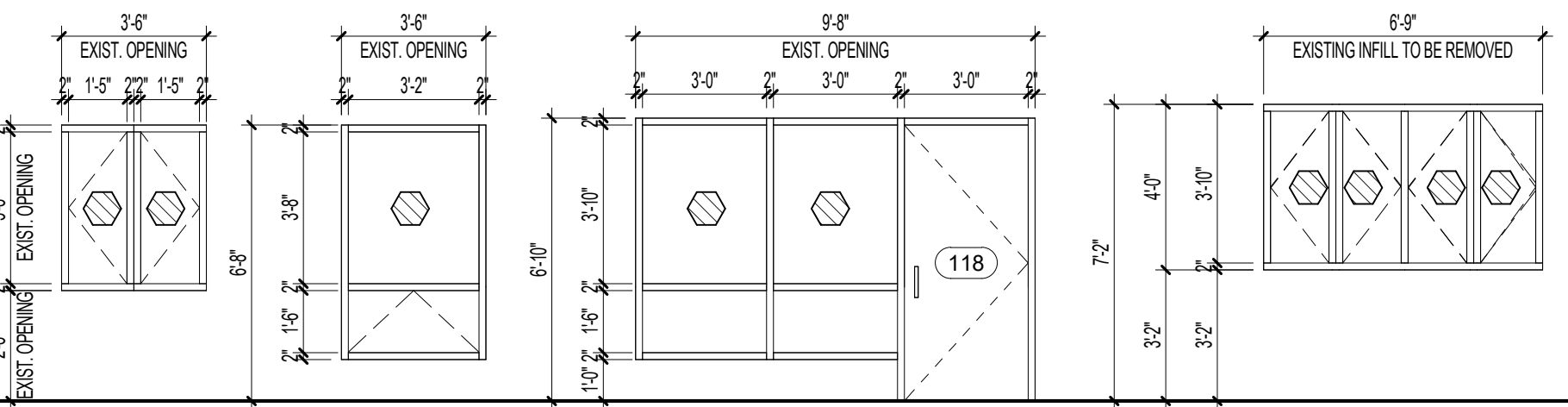


A

B

WINDOW SCHEDULE

SCALE 1/4" = 1'-0"



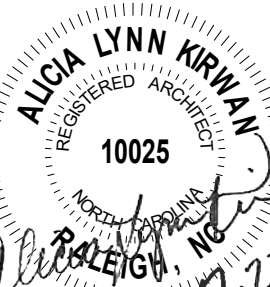
PROVIDE WINDOW FILM @ MEN 109 & WOMEN 108

PROVIDE WINDOW FILM

		DOOR										FRAME				FIRE RATING	HW SET	HEAD	JAMB	SILL	GLAZING	REMARKS
NO	TO FROM	CNT	WIDTH	HGT	THK	TYPE	MAT'L	FINISH	TYPE	MAT'L	FINISH	TYPE	MAT'L	FINISH								
100	PORCH	RECEPTION	1	36"	80"	1 3/4"	A	AL	AL	A-3	AL	AL	AL	AL	AL	NA	7	H1	J1	S1	NA	
101	PORCH	STAFF AREA	1	36"	84"	1 3/4"	B	AL	ALUM	F1	AL	AL	AL	AL	AL	NA	9	H1	J1	S1	TYPE B	
102		STAFF AREA	1	72"	84"	1 3/4"	A	AL	ALUM	F1	AL	AL	AL	AL	AL	NA	7	H1	J1	S1	NA	
103		MEN	1	36"	77"	1 3/4"	A	AL	ALUM	F1	AL	AL	AL	AL	AL	NA	8	H1	J1	S1	NA	
104		WOMEN	1	36"	77"	1 3/4"	A	AL	ALUM	F1	AL	AL	AL	AL	AL	NA	8	H1	J1	S1	NA	

Door Schedule - Base Bid

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Raleigh, NC 27603  
919.222.0033



REVISIONS		
#	date	note

PROJECT STATUS  
Construction Documents For Bid

OWNER ID  
SCO ID#  
20-22411-02A

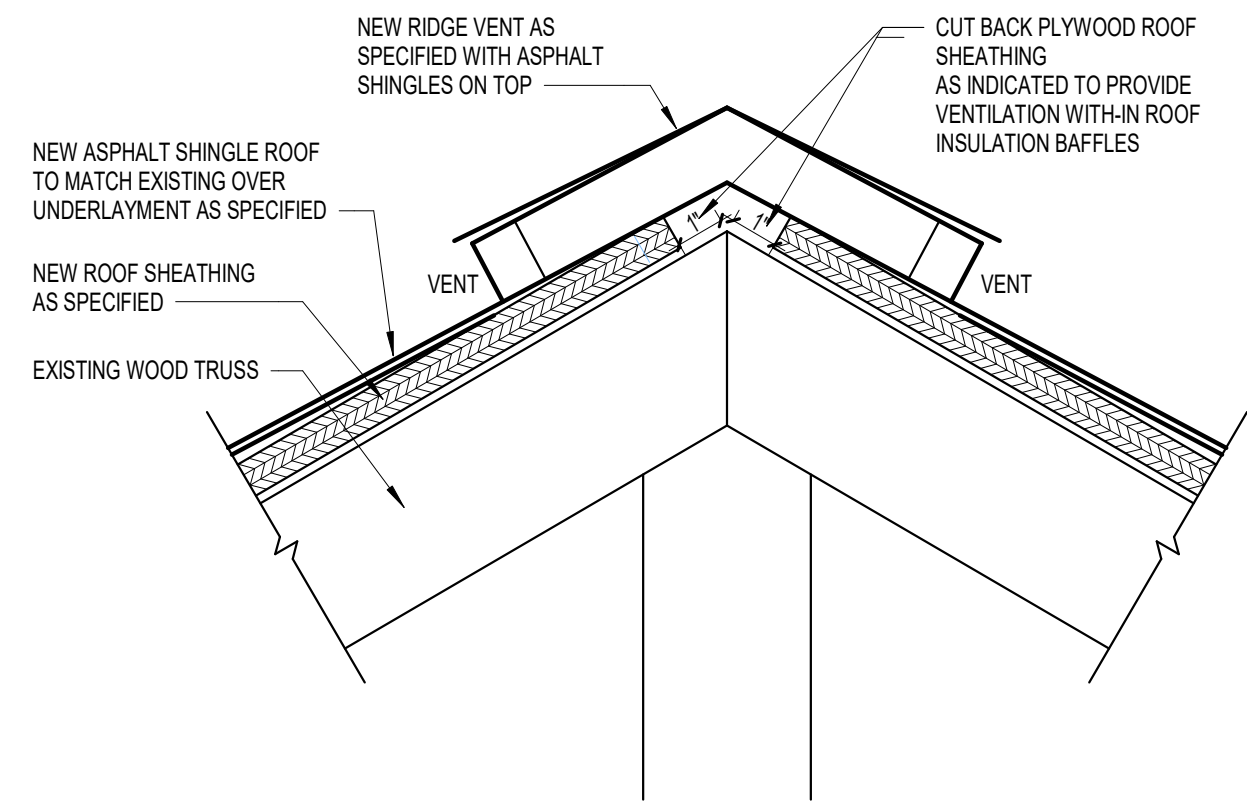
Finch & Associates  
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FINCH & ASSOCIATES  
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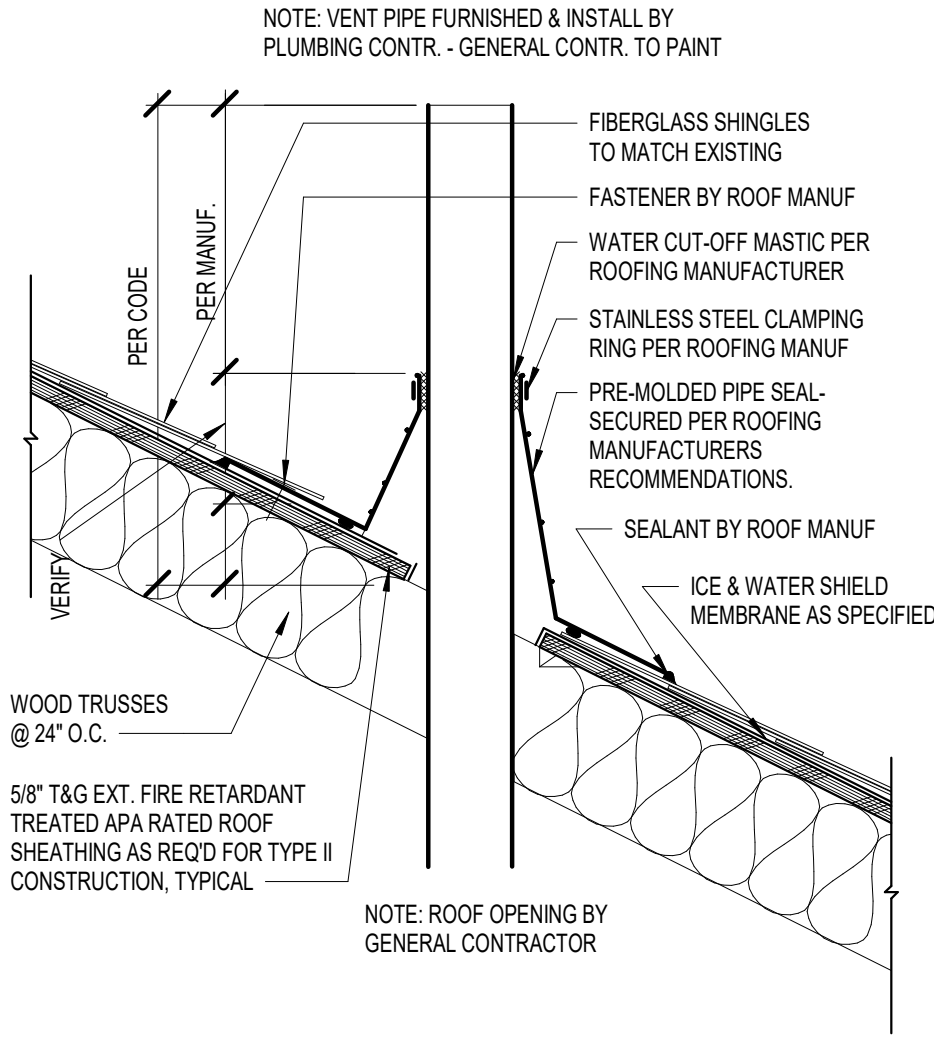
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CRESWELL, NORTH CAROLINA

DRAWN	TMM
CHECKED	ALK
PROJECT NO.	1361-20
DATE	07/27/2025
SHEET NAME	FLOOR PLANS - BASE BID
SHEET NO.	A0.101

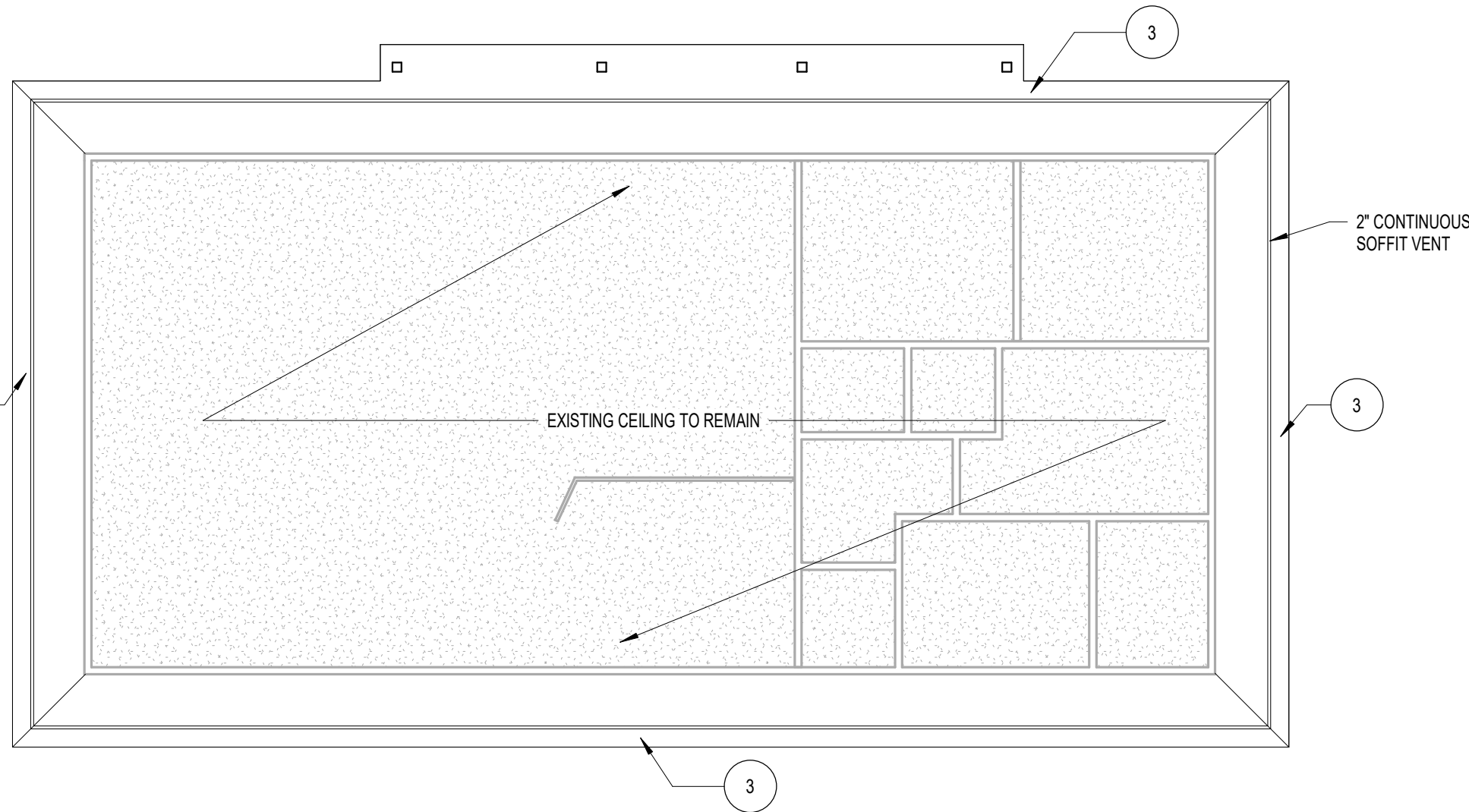




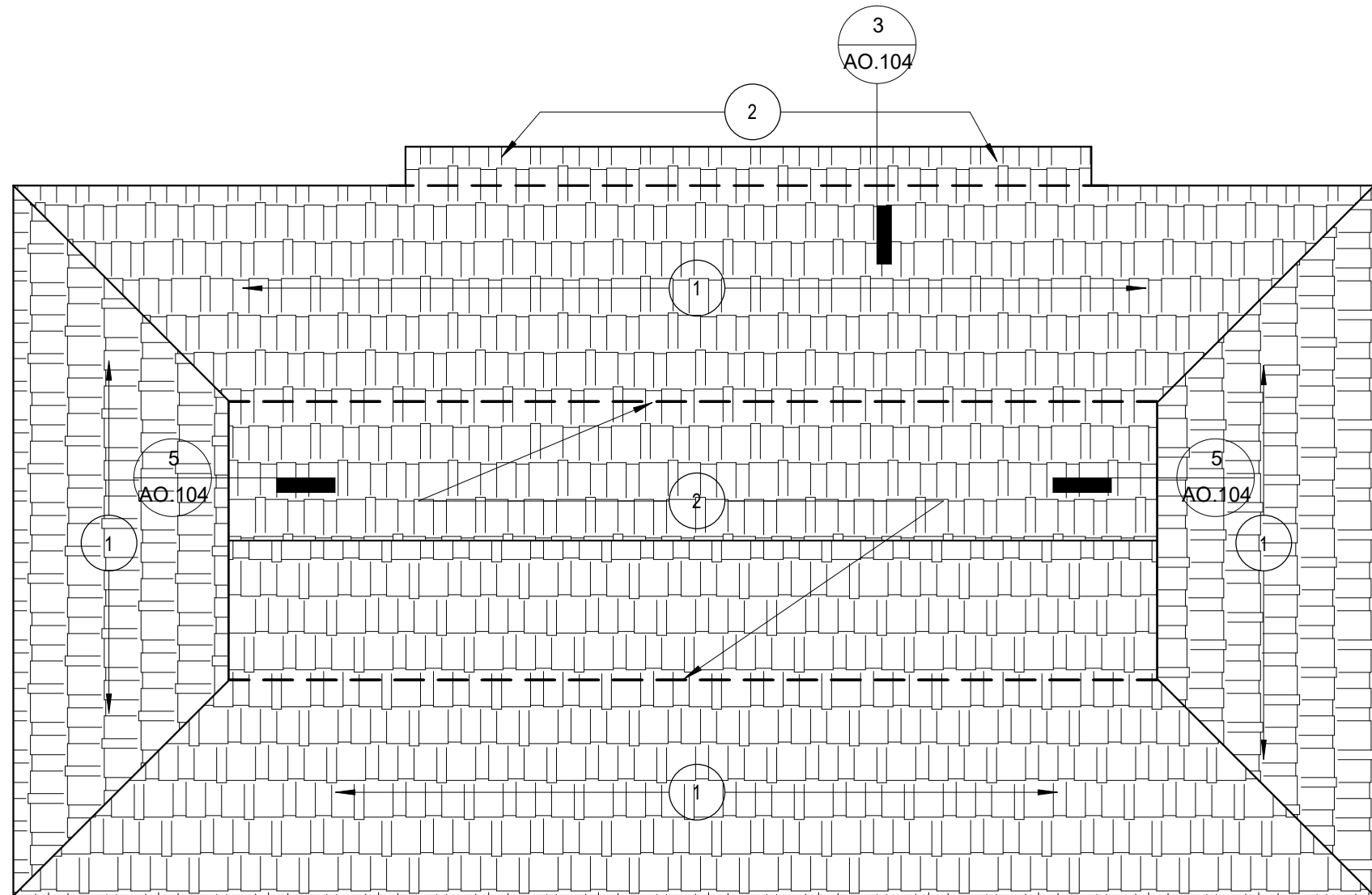
5 Ridge Vent  
3" = 1'-0"



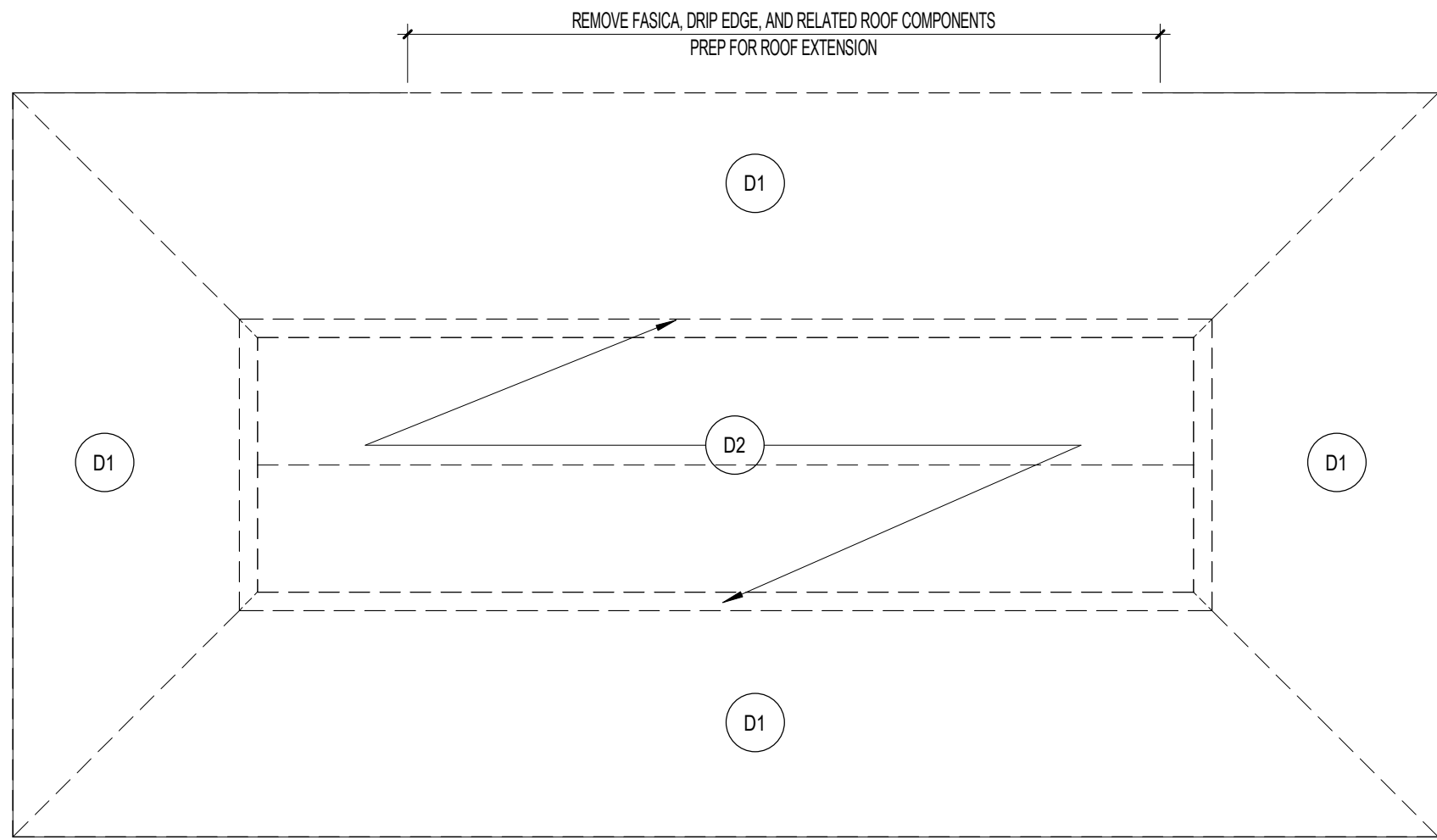
4 Roof Vent  
1 1/2" = 1'-0"



1 OFFICE EXTERIOR SOFFITS - BASE BID  
1/8" = 1'-0"



3 NEW ROOF PLAN  
1/8" = 1'-0"



2 DEMOLITION ROOF PLAN - BASE BID  
1/8" = 1'-0"

## GENERAL NOTES

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## DEMOLITION LEGEND

- REMOVE ALL CONSTRUCTION SHOWN DASHED COMPLETE, U.O.N.
- EXISTING WALL OR PARTITION TO REMAIN, TYP U.O.N.
- REMOVE PORTION OF EXISTING WALL. SEE FLOORPLAN FOR LOCATION AND DIMENSION, TYP U.O.N.
- REMOVE EXISTING DOOR & FRAME COMPLETELY.
- EXISTING DOOR TO REMAIN, TYP U.O.N.
- REMOVE EXTERIOR SHEATHING & ALL RELATED TRIM

## ROOF DEMOLITION KEY NOTES

- D1 REMOVE EXISTING ROOF SHINGLE ONLY
- D2 CAREFULLY REMOVE EXISTING OVERFRAMED MANSARD ROOF AND FRAMING ATTACHED TO TRUSSES TO MAINTAIN STRUCTURAL INTEGRITY OF EXISTING TRUSSES

## CONSTRUCTION KEY NOTES

- 1 NEW ROOF SHINGLE ONLY, REPAIR/REPLACE 15# FELT & SHEATHING AS REQUIRED FOR NEW WORK
- 2 NEW FRAMING AS REQUIRED, NEW SHEATHING, NEW 15# FELT, NEW SHINGLES
- 3 NEW SOFFITS, PAINT TO MATCH NEW SIDING, REPAIR/REPLACE VENT AND TRIM AS REQUIRED FOR NEW WORK

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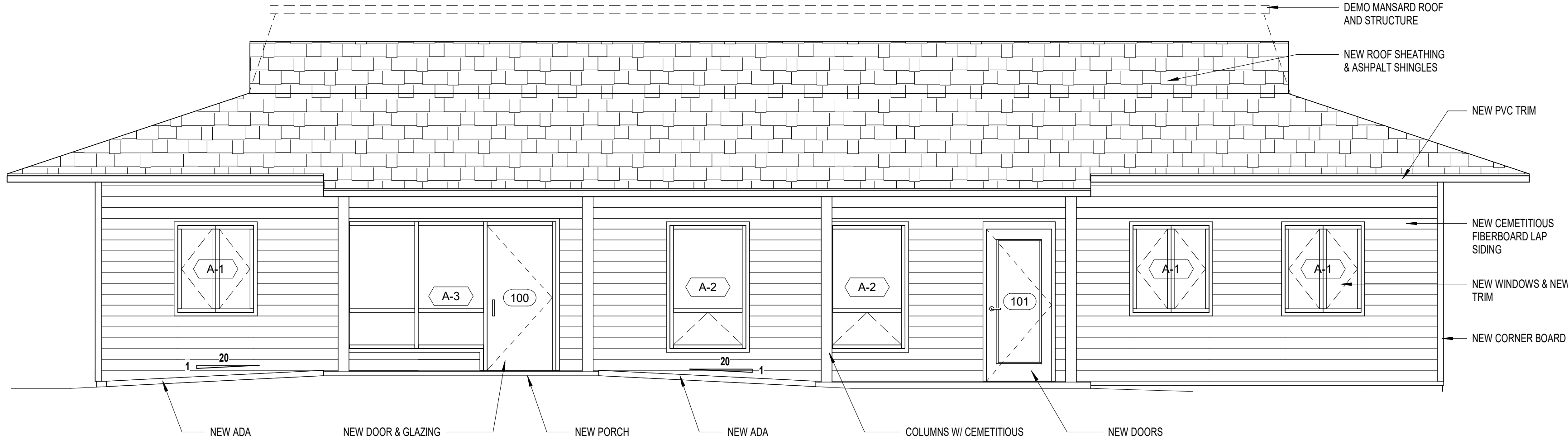
PETTIGREW STATE PARK  
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2252 LAKE SHORE ROAD  
CRESWELL, NORTH CAROLINA

DRAWN TMM  
CHECKED ALK  
PROJECT NO. 1361-20  
DATE 07/27/2025  
SHEET NAME ROOF PLANS - BASE BID  
SHEET NO. A0.102

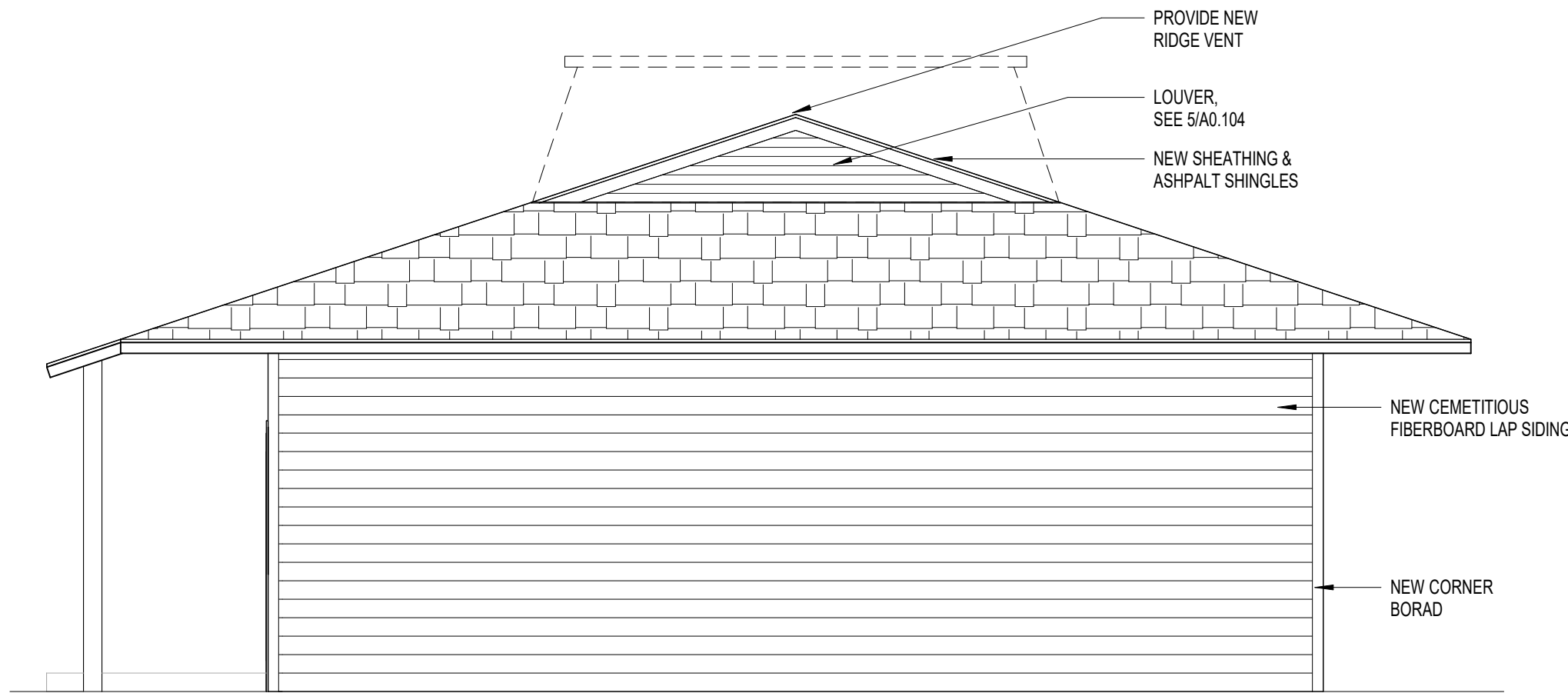
REVISIONS  
# date note  
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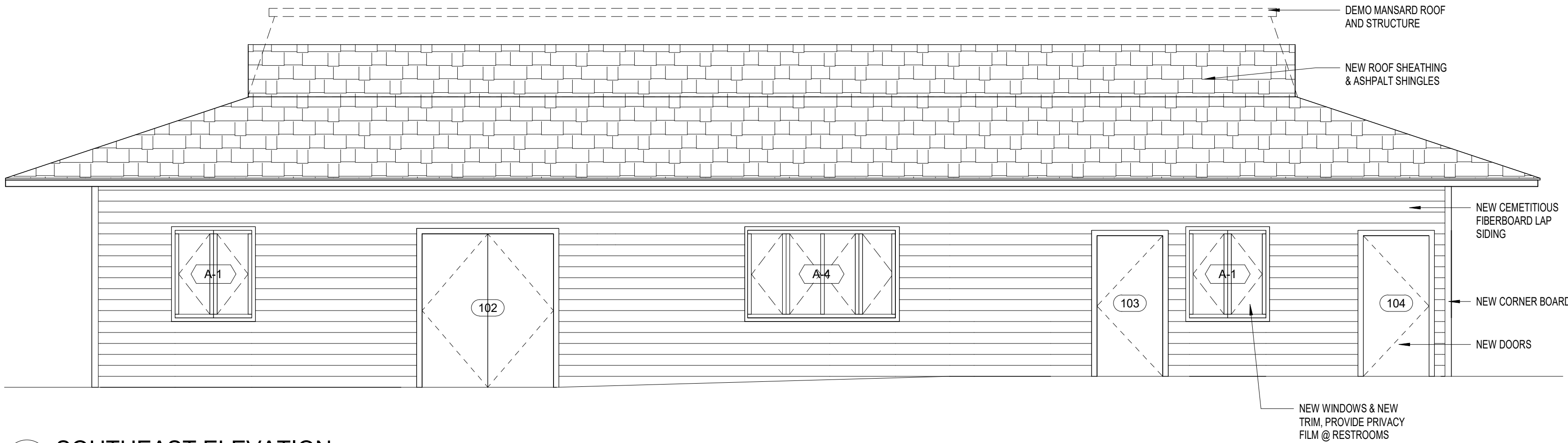




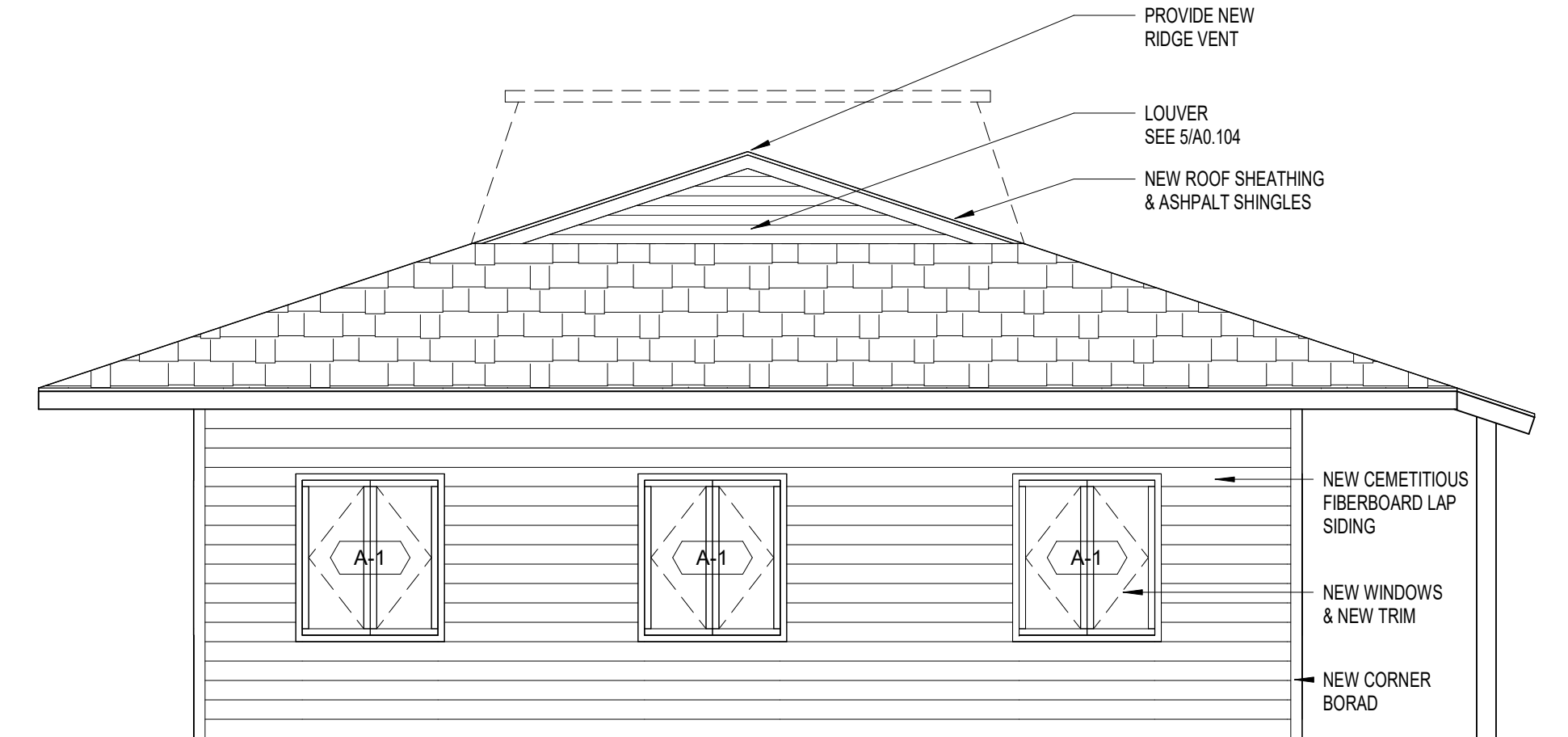
1 NORTHWEST ELEVATION  
1/4" = 1'-0"



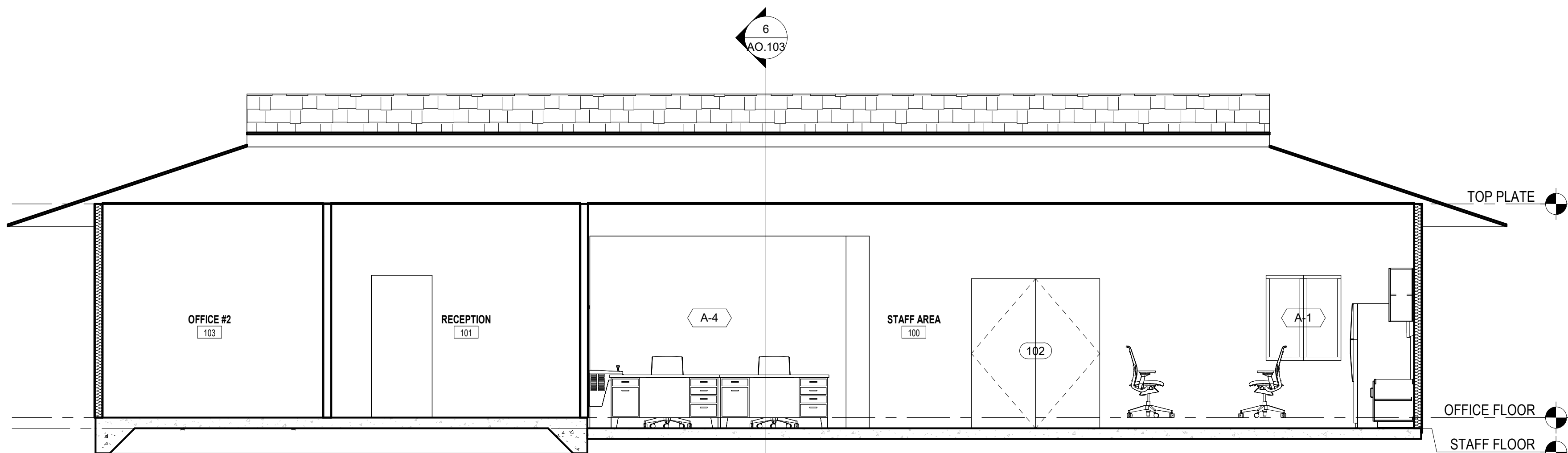
2 NORTHEAST ELEVATION  
1/4" = 1'-0"



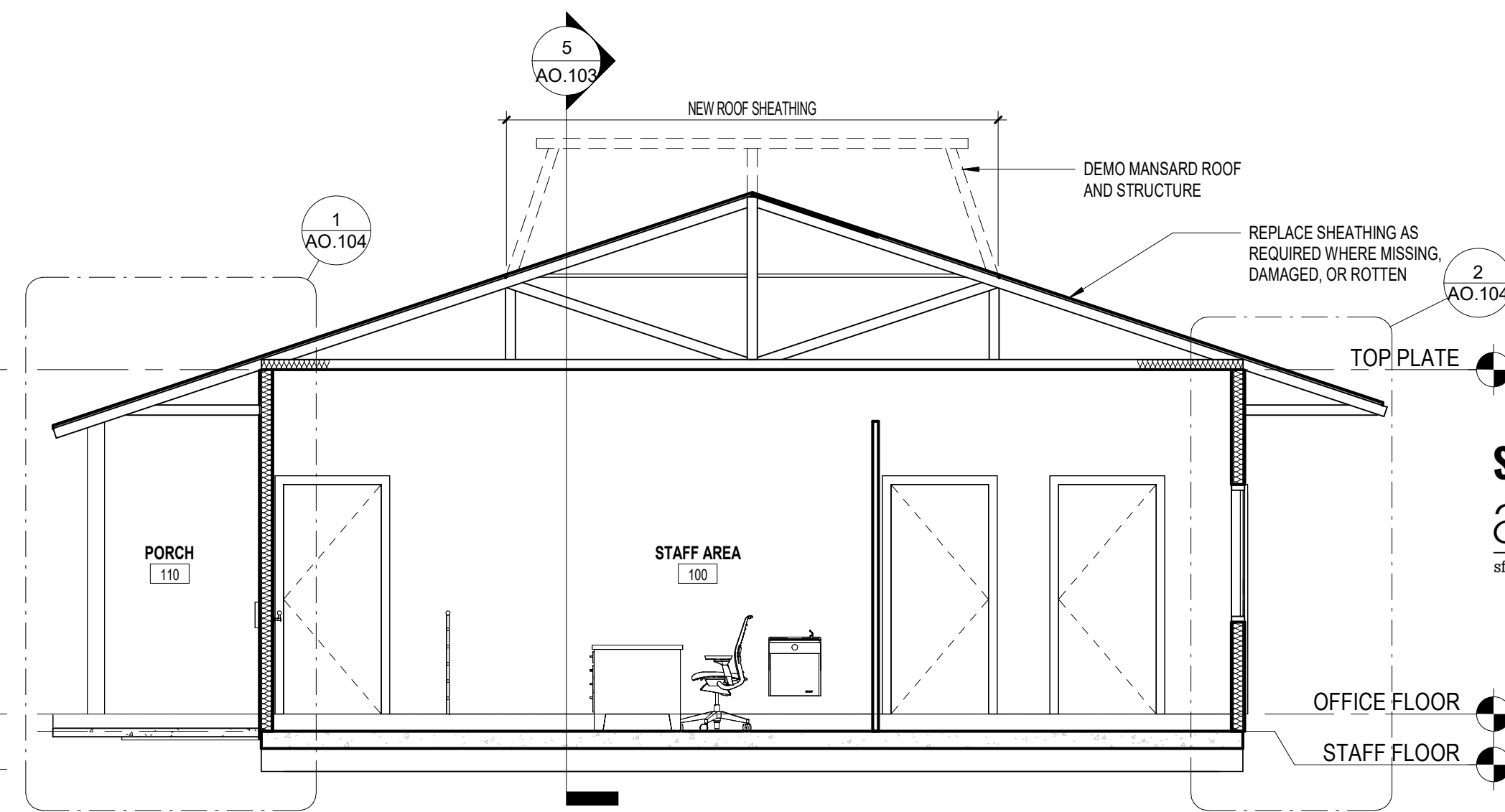
3 SOUTHEAST ELEVATION  
1/4" = 1'-0"



4 SOUTHWEST ELEVATION  
1/4" = 1'-0"

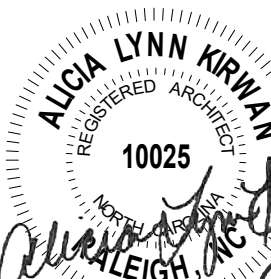


5 BUILDING SECTION  
1/4" = 1'-0"



6 BUILDING SECTION  
1/4" = 1'-0"

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# date note

PROJECT STATUS  
Construction Documents For Bid

OWNER ID  
SCO ID#  
20-22411-02A

Finch & Associates  
309 North Boylan Avenue  
Raleigh, NC 27603-1402  
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F 919 | 834-3203  
NCBELS Lic. No. P-1845  
NCBOL1 Lic. No. C-656

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& ASSOCIATES  
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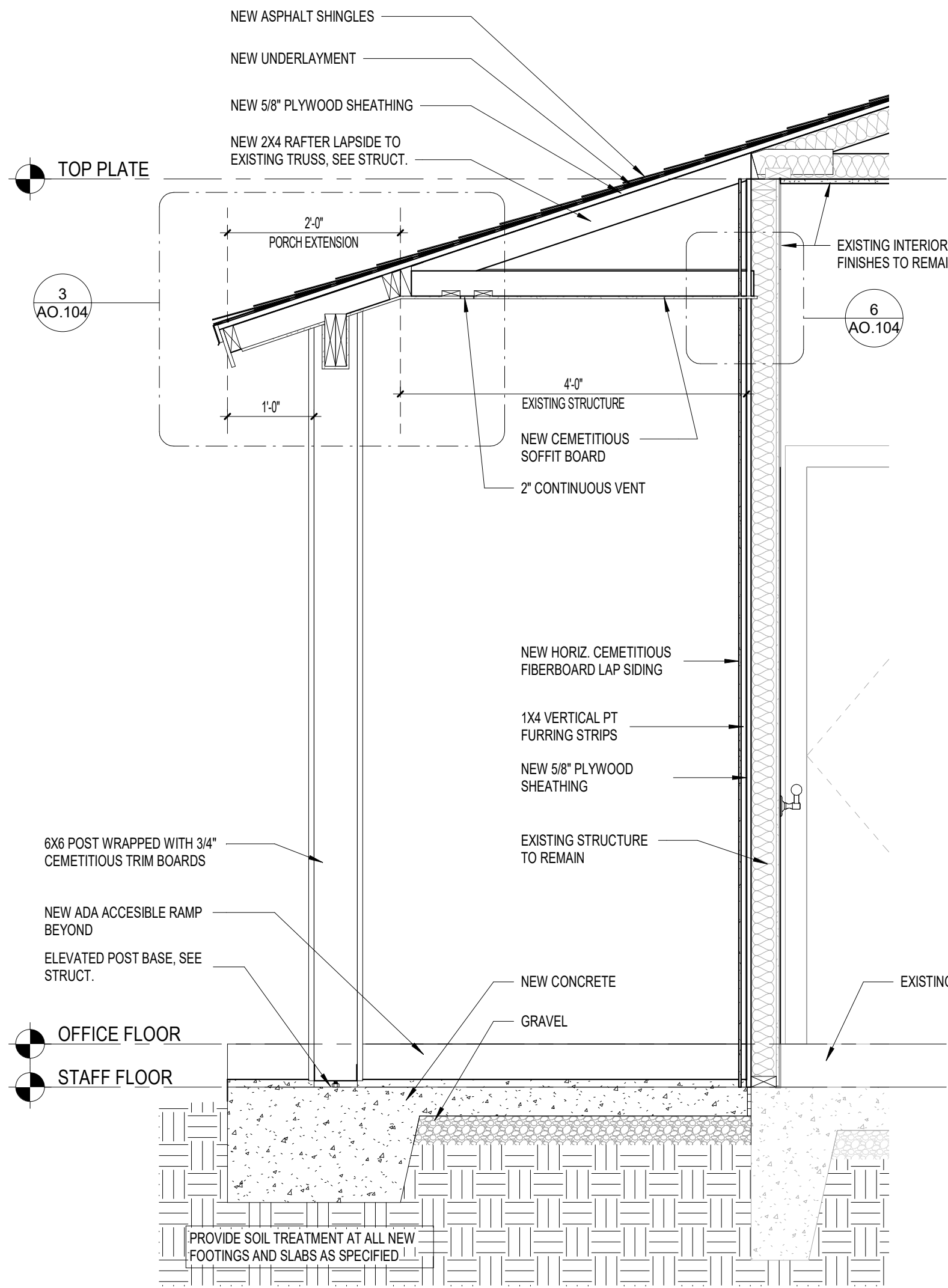
PETTIGREW STATE PARK  
CAMPGROUND AND OFFICE IMPROVEMENTS  
2252 LAKE SHORE ROAD  
CRESWELL, NORTH CAROLINA

DRAWN TMM  
CHECKED ALK  
PROJECT NO. 1361-20  
DATE 07/27/2025  
SHEET NAME  
EXTERIOR ELEVATIONS  
- BASE BID  
SHEET NO.

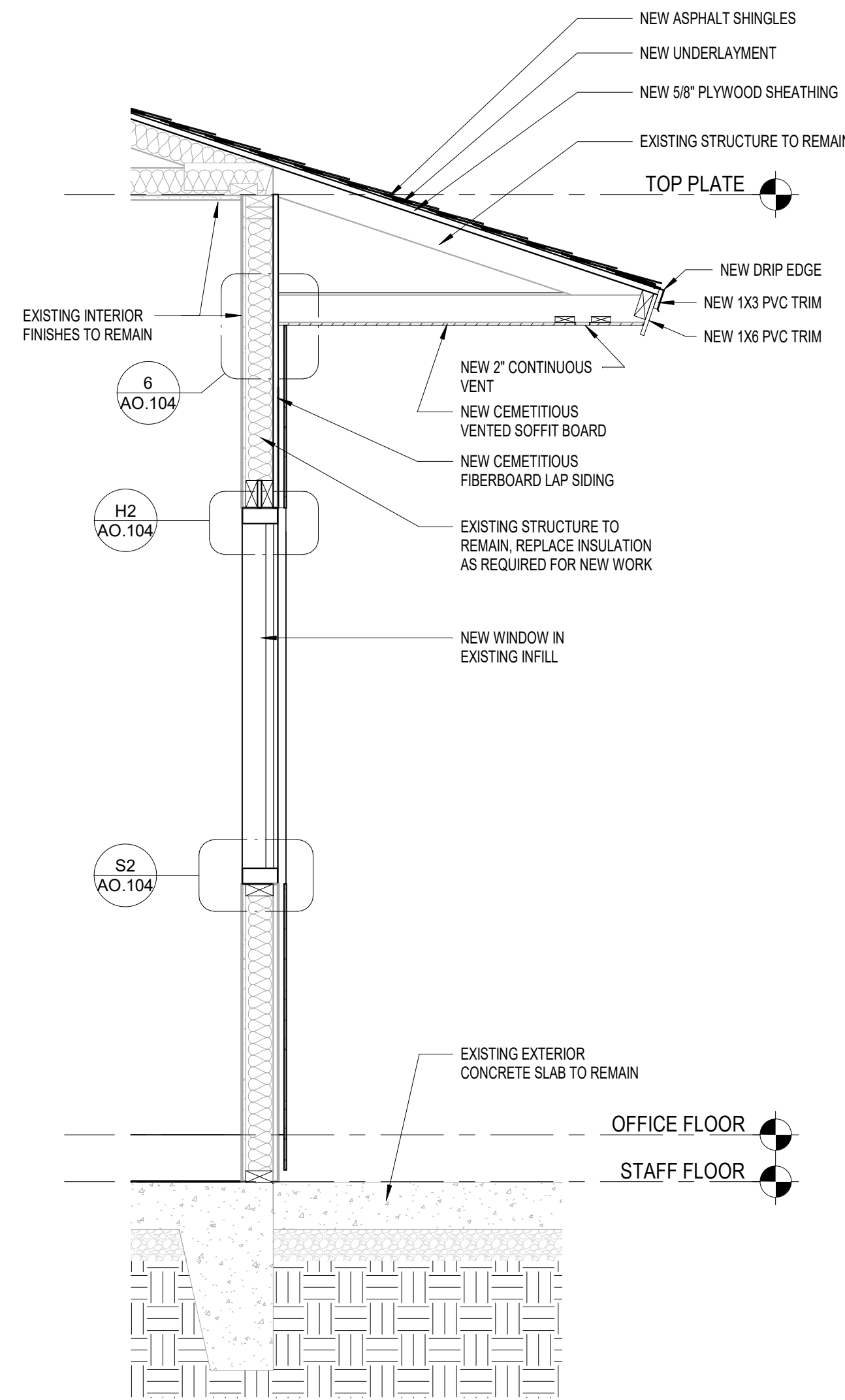
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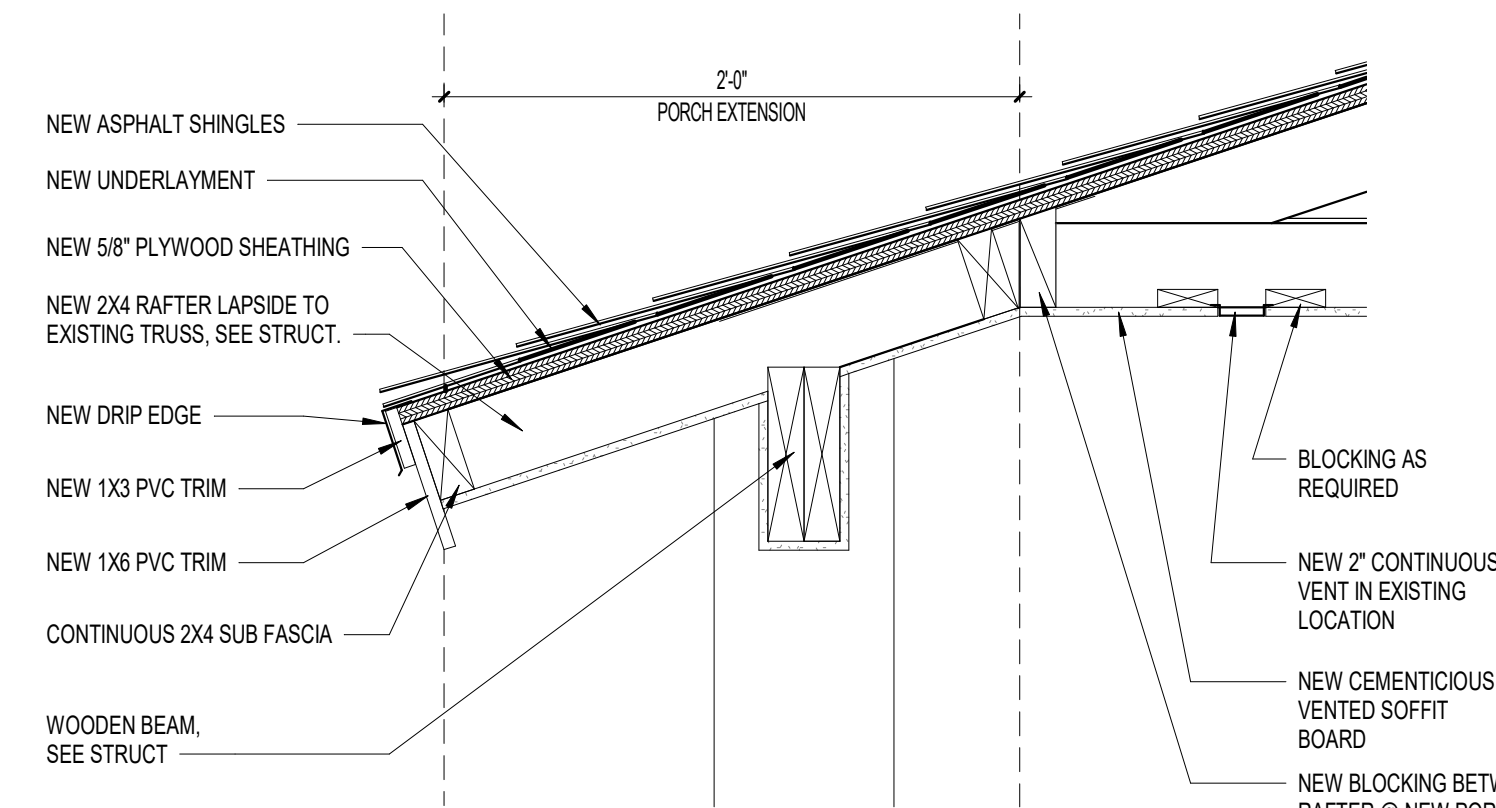
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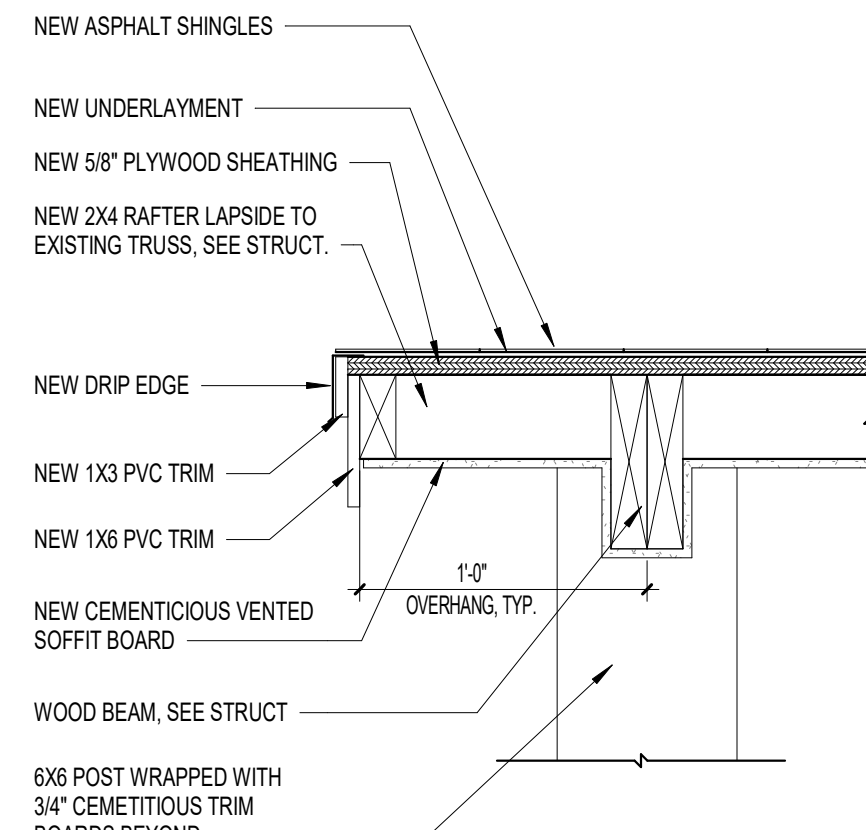
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3/4" = 1'-0"



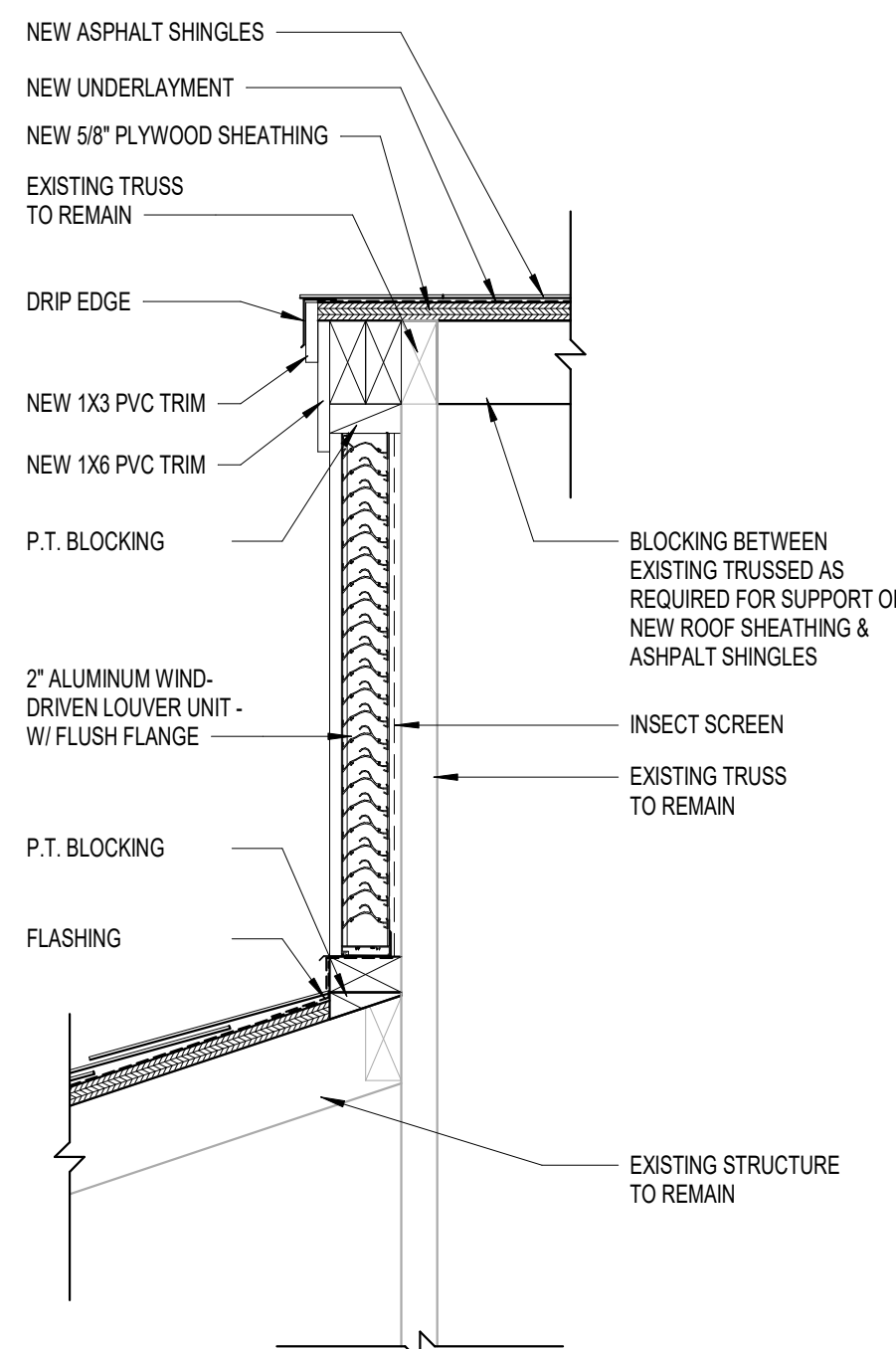
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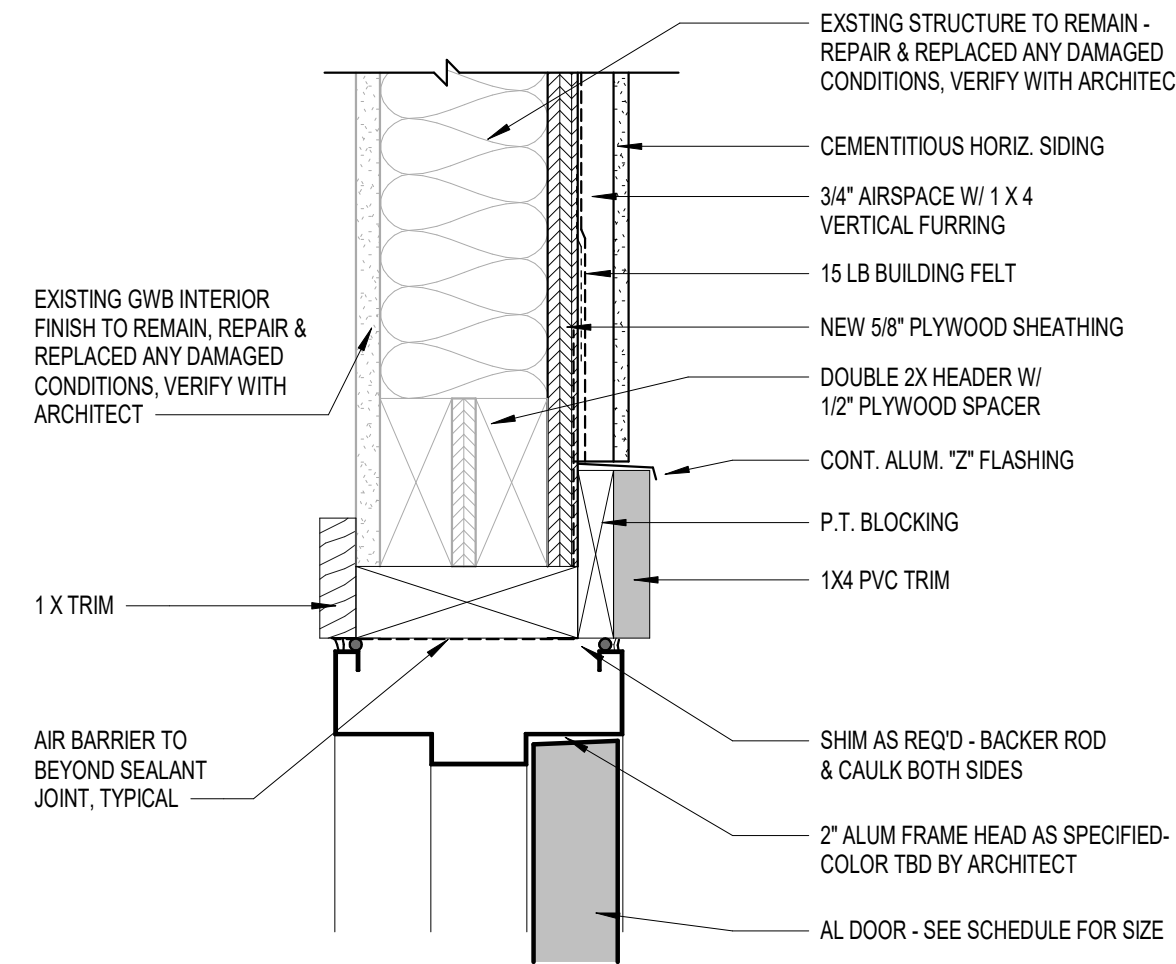
3 ROOF EAVE  
1 1/2" = 1'-0"



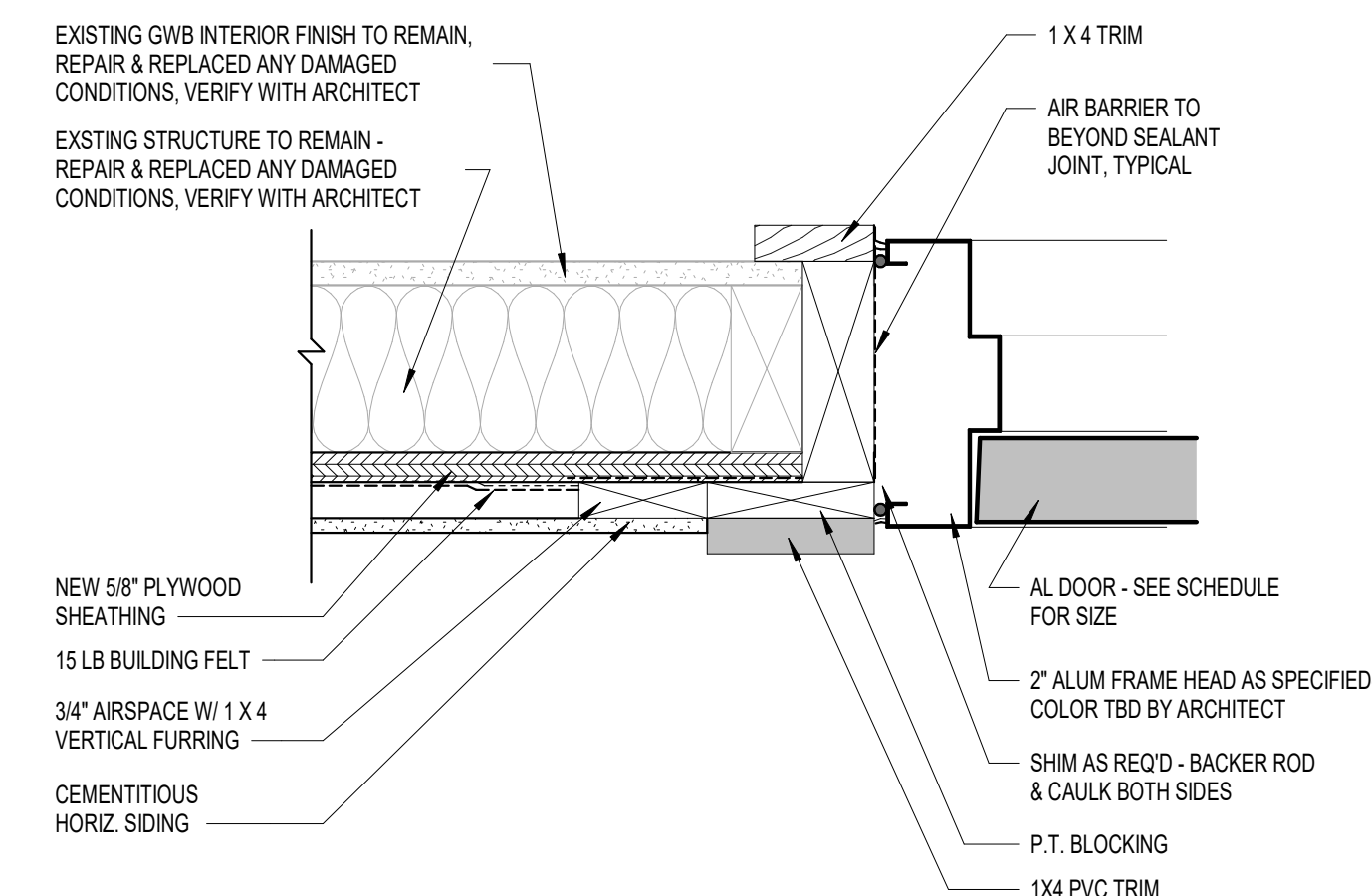
4 RAKE EDGE  
1 1/2" = 1'-0"



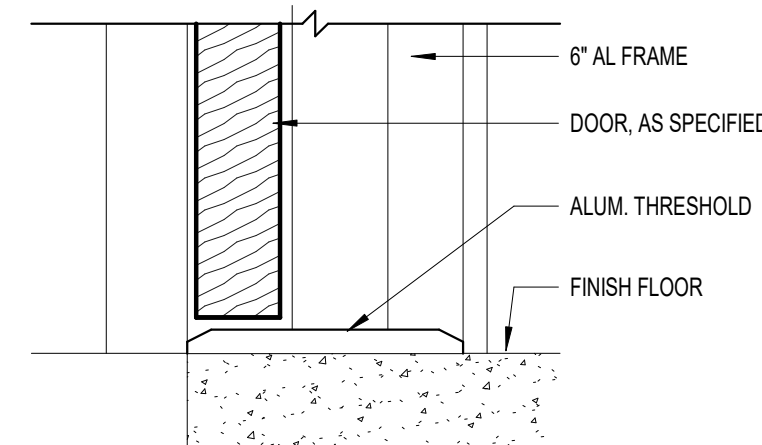
5 DETAIL - LOUVER  
1 1/2" = 1'-0"



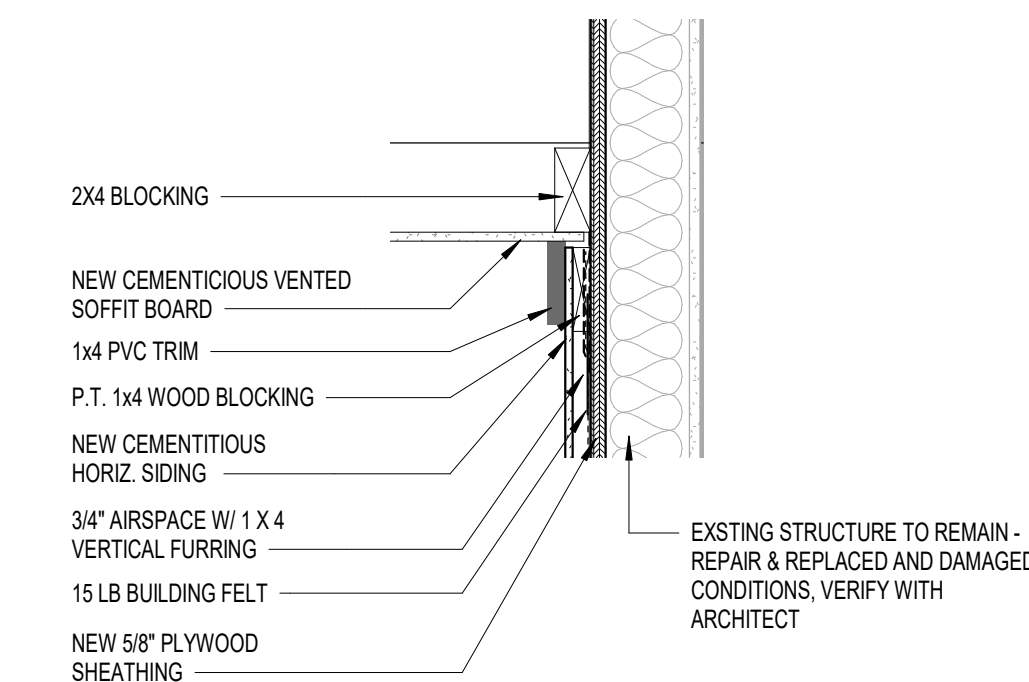
H1 DOOR HEAD  
3" = 1'-0"



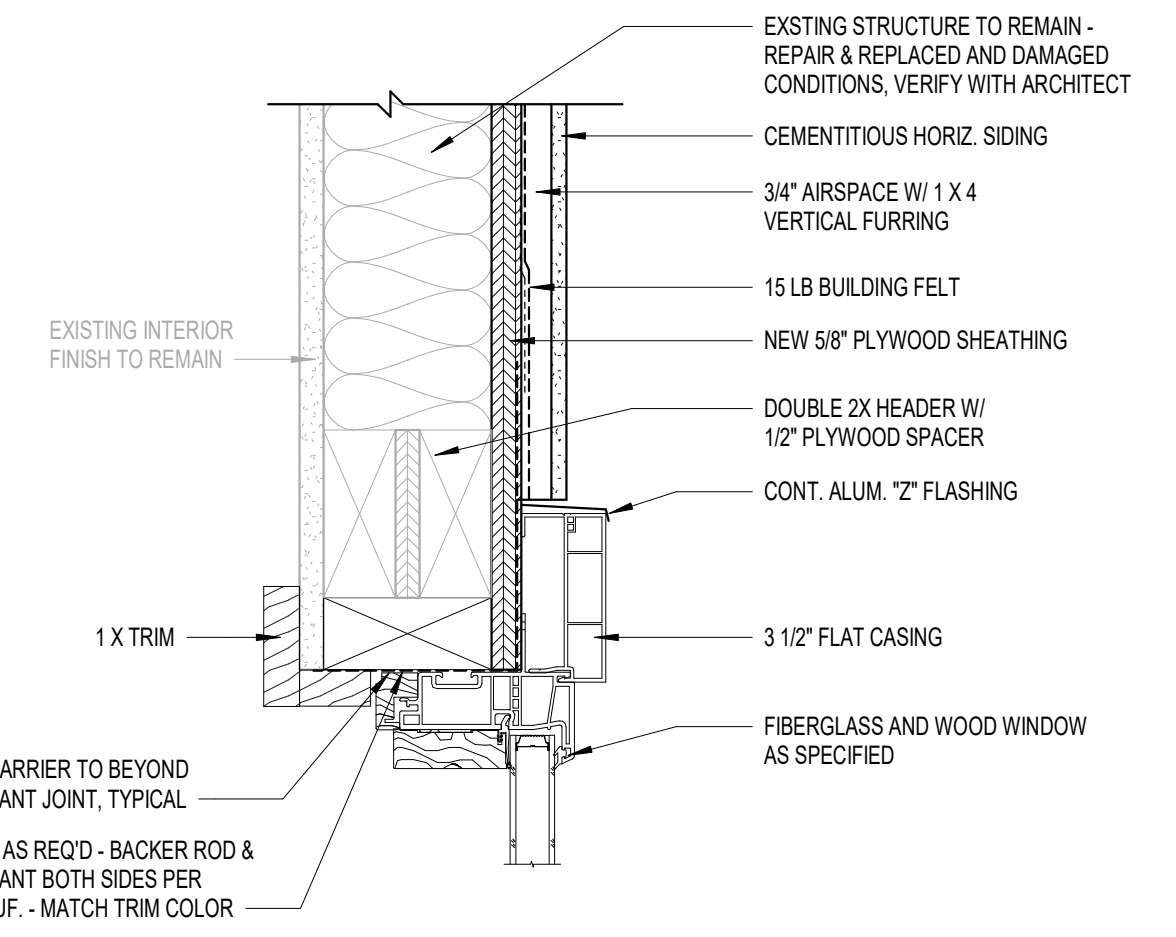
J1 DOOR JAMB  
3" = 1'-0"



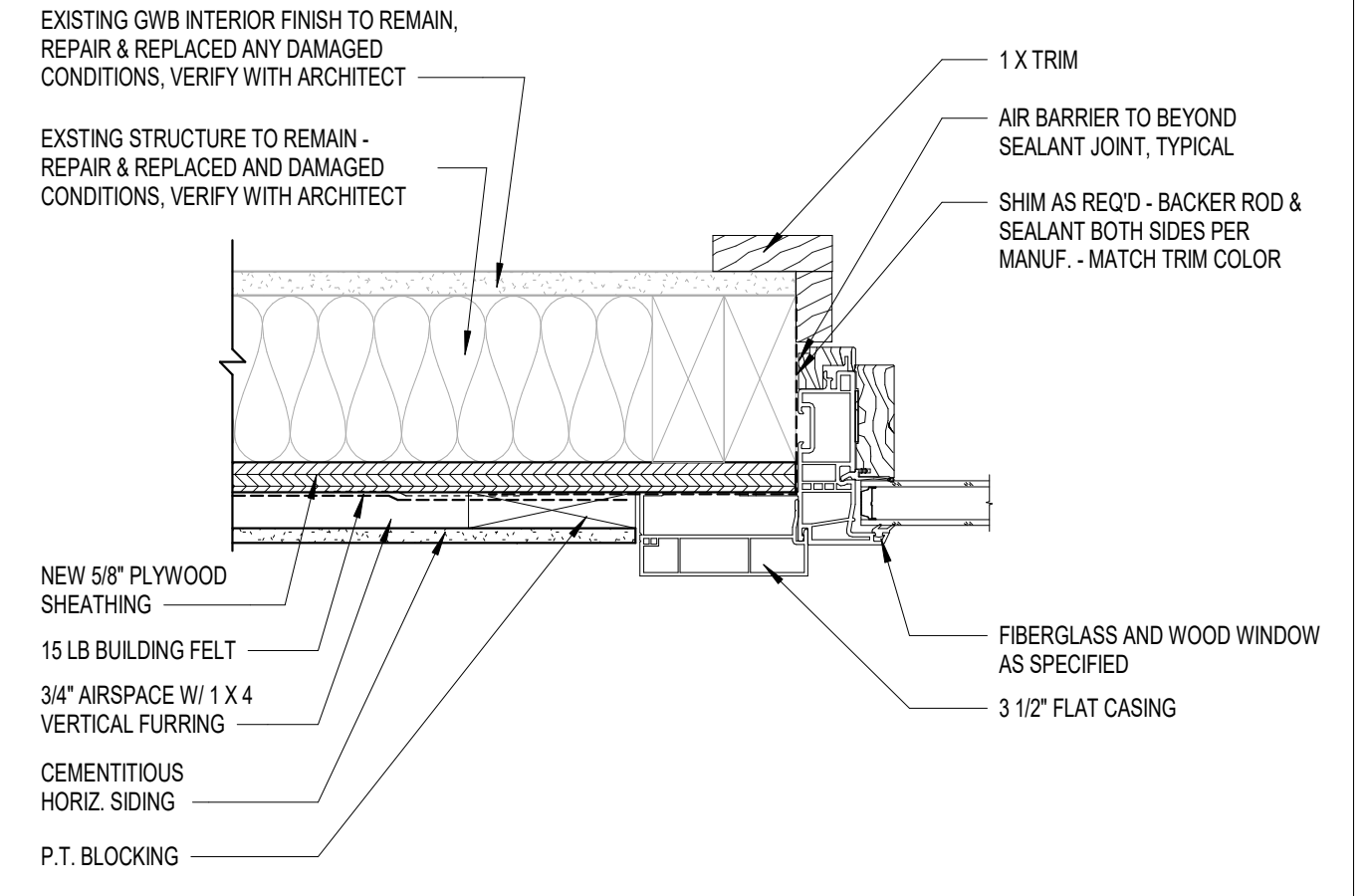
S1 S1  
3" = 1'-0"



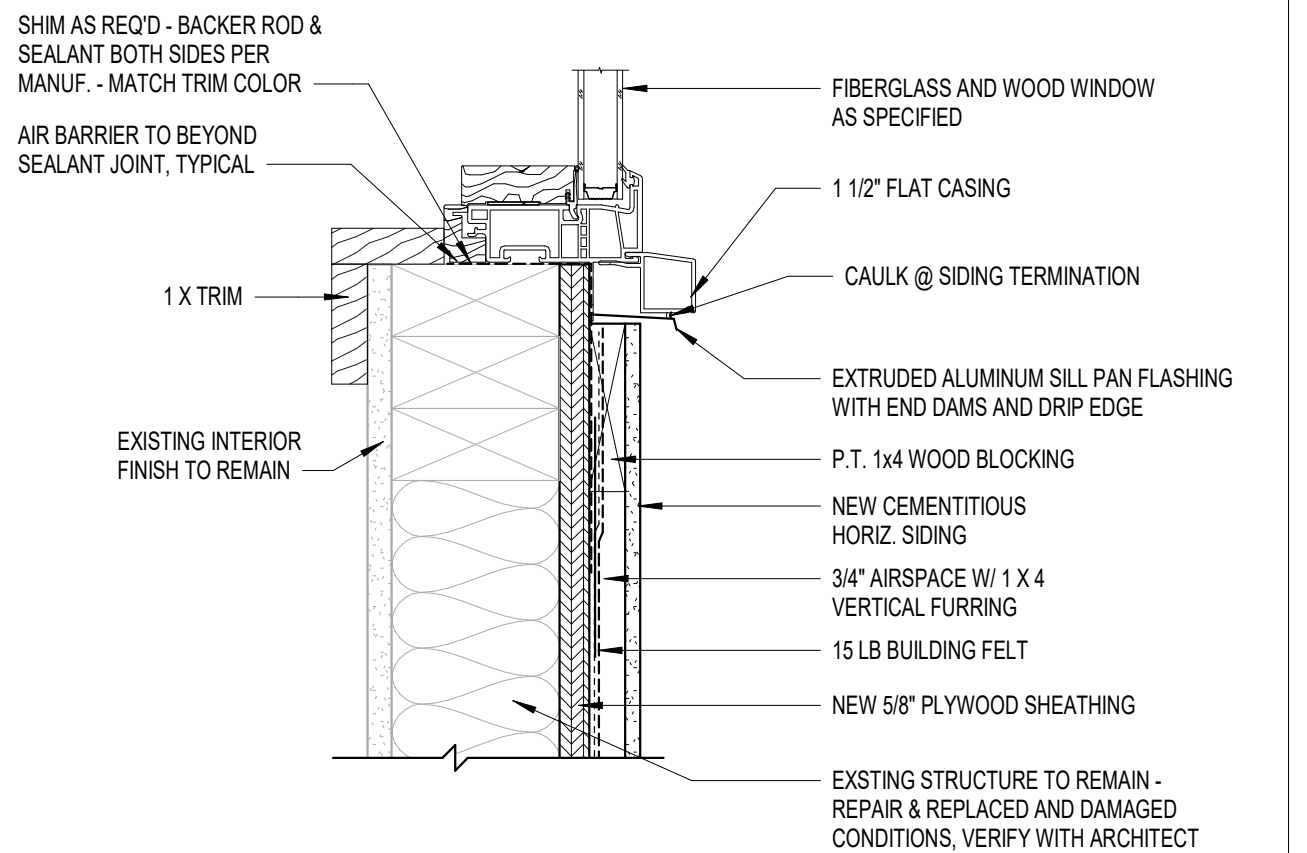
6 DETAIL  
1 1/2" = 1'-0"



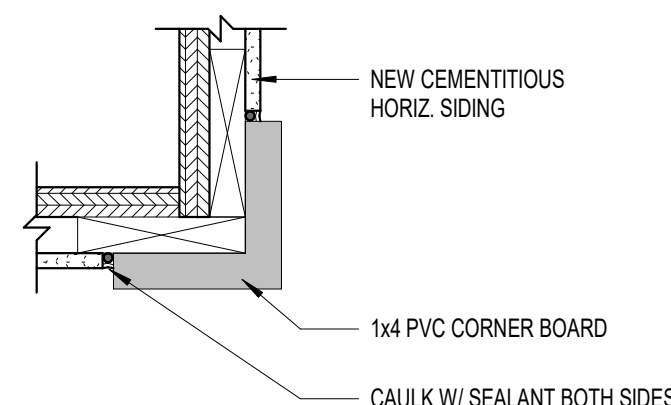
H2 WINDOW HEAD  
3" = 1'-0"



J2 WINDOW JAMB  
3" = 1'-0"

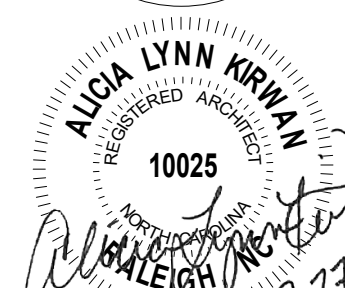


S2 WINDOW SILL  
3" = 1'-0"



7 CORNER BOARD  
3" = 1'-0"

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sfkarchitecture.com  
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Raleigh, NC 27603  
(919) 233-0750



REVISIONS

#	date	note
---	------	------

PROJECT STATUS

Construction Documents For Bid

OWNER ID

SCO ID# 20-22411-02A

FINCH & ASSOCIATES

309 North Boyan Avenue  
Raleigh, NC 27603-1402  
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NCBELS Lic. No. P-1845  
NCBOL1 Lic. No. C-656

PETTIGREW STATE PARK  
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2252 LAKE SHORE ROAD  
CRESWELL, NORTH CAROLINA

DRAWN

TMM

CHECKED

ALK

PROJECT NO.

1361-20

DATE

07/27/2025

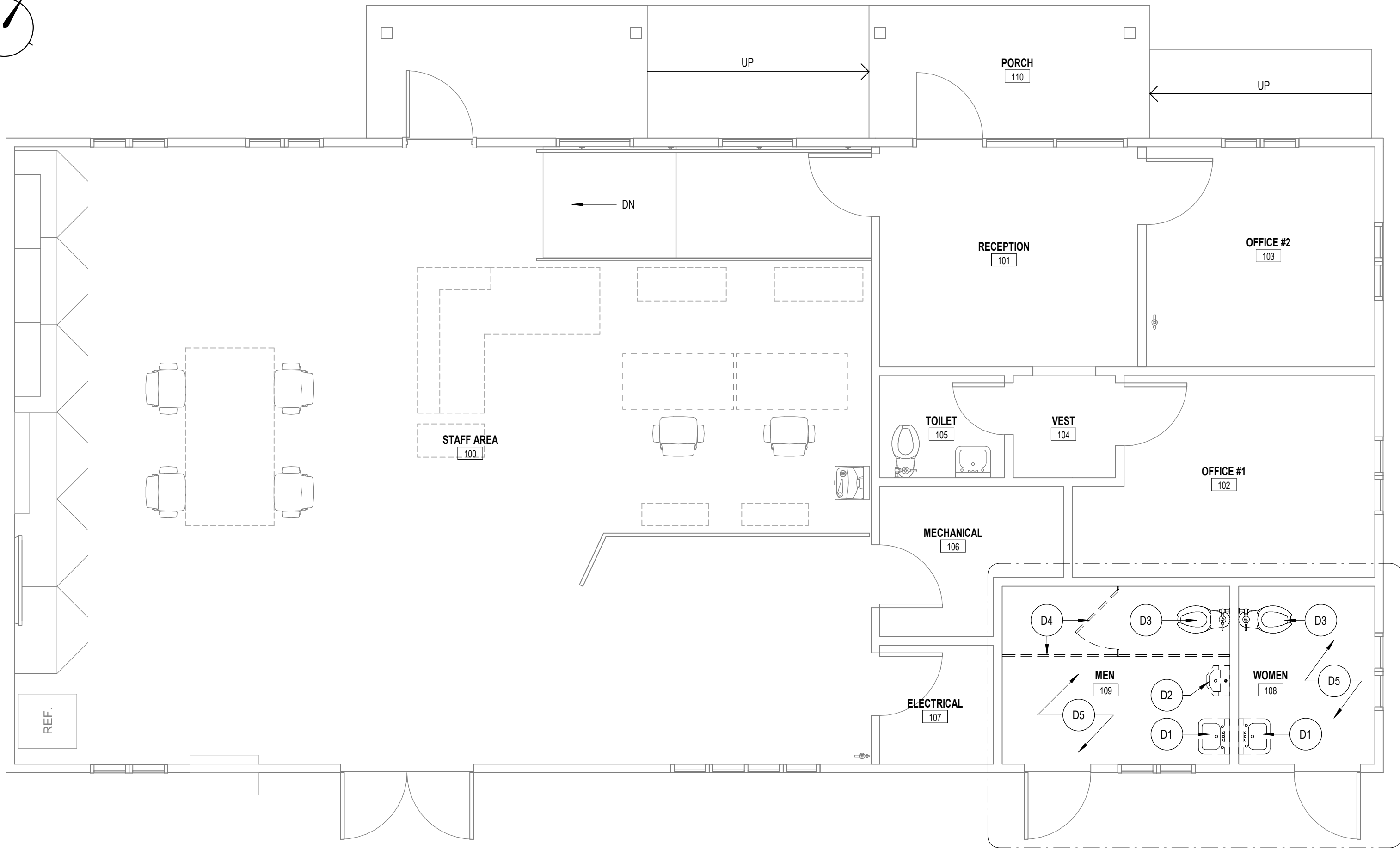
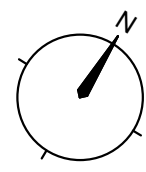
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WALL SECTIONS - BASE BID

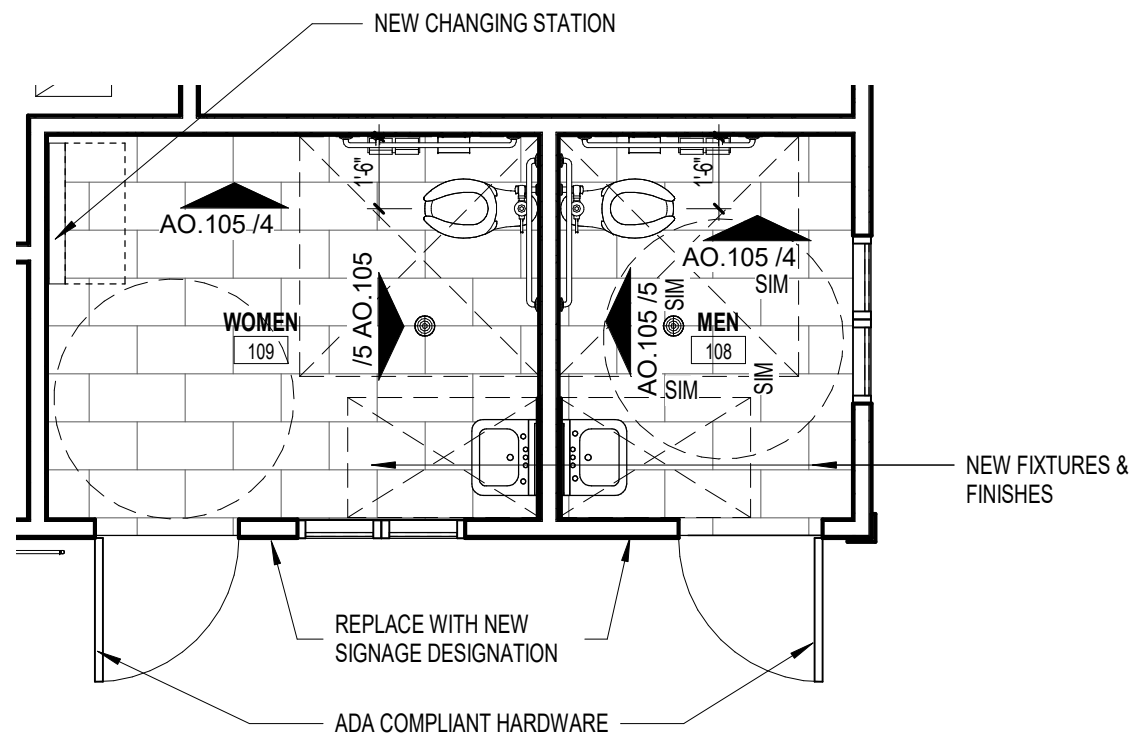
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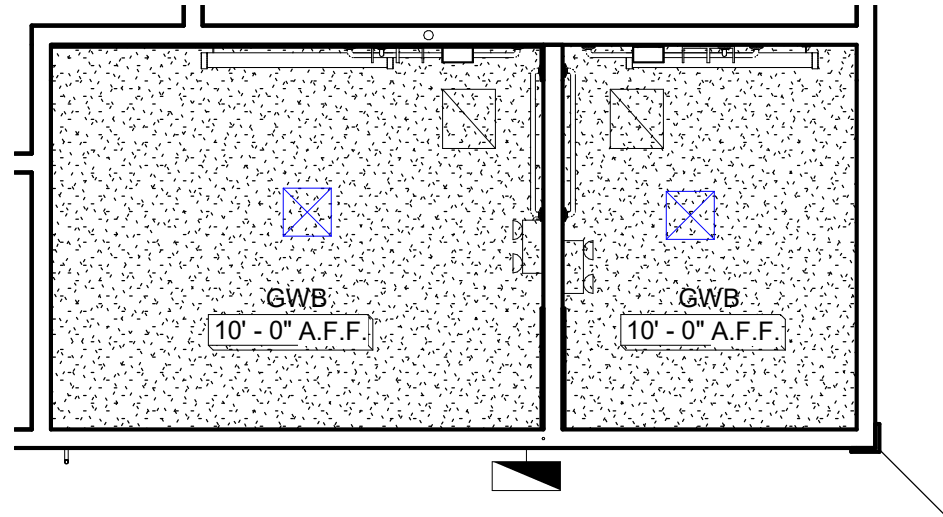




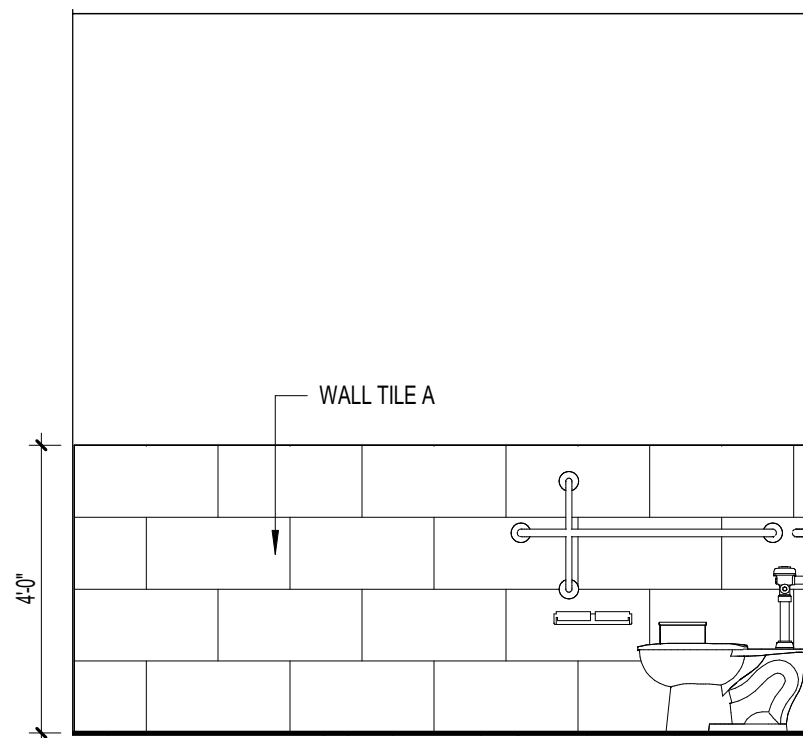
1 DEMOLITION FLOOR PLAN (ALTERNATE #1)  
1/4" = 1'-0"



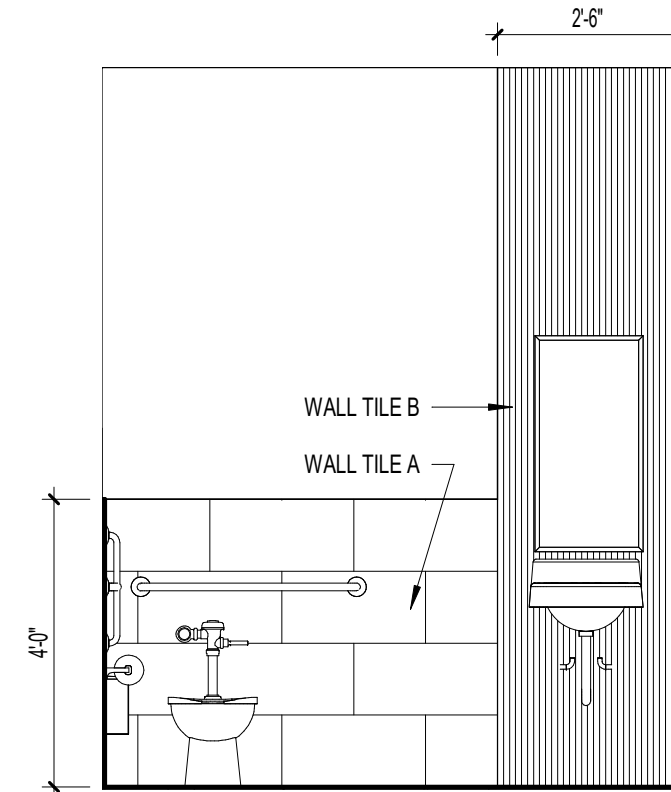
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1/4" = 1'-0"



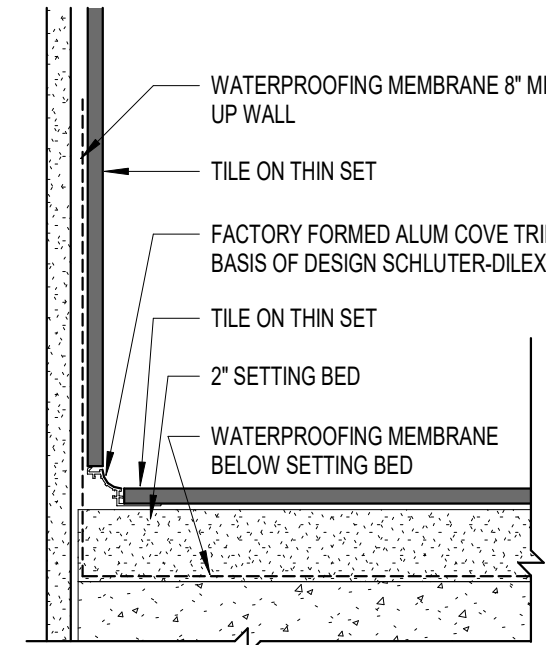
3 RCP - ALTERNATE #1  
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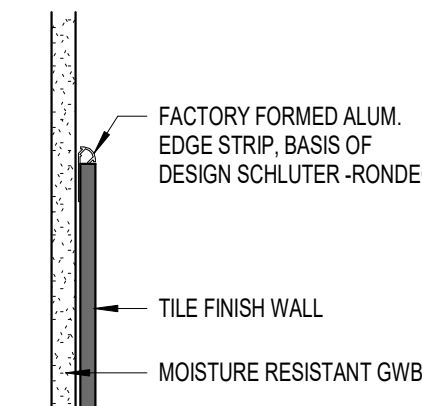
4 INTERIOR ELEVATION  
3/8" = 1'-0"



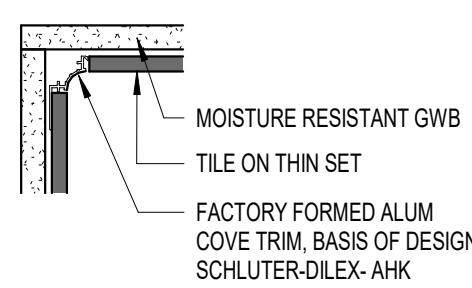
5 INTERIOR ELEVATION  
3/8" = 1'-0"



9 TILE @ BASE  
3" = 1'-0"



10 TILE @ WALL  
3" = 1'-0"



11 TILE @ CORNER  
3" = 1'-0"

## DEMOLITION KEY NOTES

- D1 REMOVE EXISTING SINK AND ALL ASSOCIATED PIPING AS REQUIRED. PREPARE FOR NEW SINK
- D2 REMOVE EXISTING FIXTURE AND ALL ASSOCIATED PIPING. REMOVE SANITARY BACK TO MAIN. PATCH AND REPAIR WALL FOR NEW FINISH
- D3 REMOVE EXISTING FIXTURE AND ALL ASSOCIATED PIPING. PREP FOR NEW FIXTURE
- D4 REMOVE EXISTING PARTITION COMPLETE. PATCH AND REPAIR WALLS TO RECEIVE NEW FINISH
- D5 REMOVE FLOORING AND BASE, PREP FOR NEW FLOOR AND BASE

## DEMOLITION LEGEND

- -- -- -- -- REMOVE ALL CONSTRUCTION SHOWN DASHED COMPLETE, U.O.N.
- ===== EXISTING WALL OR PARTITION TO REMAIN, TYP U.O.N.
- ===== REMOVE PORTION OF EXISTING WALL. SEE FLOORPLAN FOR LOCATION AND DIMENSION. TYP U.O.N.
- ===== REMOVE EXISTING DOOR & FRAME COMPLETELY.
- ===== EXISTING DOOR TO REMAIN, TYP U.O.N.
- ===== REMOVE EXTERIOR SHEATHING & ALL RELATED TRIM

## REFLECTED CEILING LEGEND

- NEW GWB CEILING
- CEILING HEIGHT (A.F.F.)
- REFLECTED CEILING PLAN KEYNOTE
- SUPPLY AIR DIFFUSER
- RETURN AIR GRILLE
- LED LINEAR LIGHT FIXTURE

## FINISH SCHEDULE - ALT 1

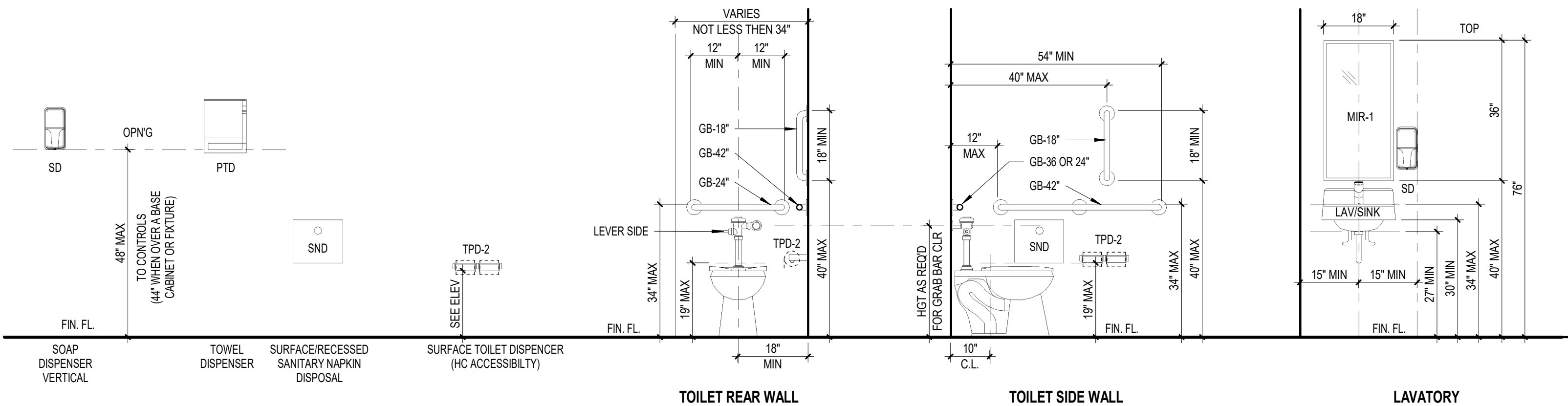
Number	Name	Floor Finish	Base Finish	Wall Finish	Ceiling Finish	Comments
108	WOMEN	TILE	TILE	TILE/GWB	GWB	
109	MEN	TILE	TILE	TILE/GWB	GWB	

## FLOOR & WALL TILE LEGEND

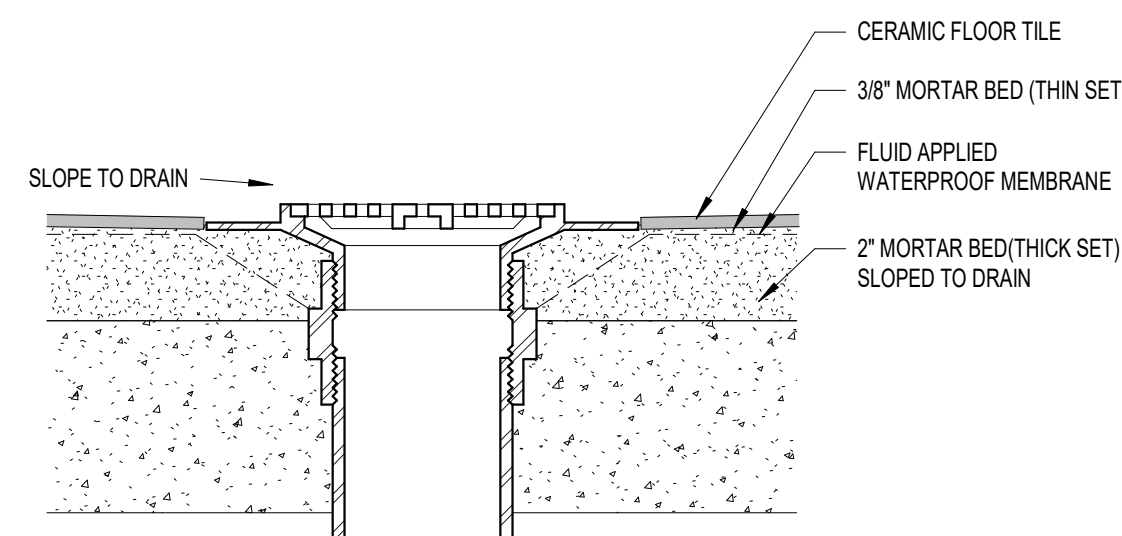
- FLOOR & WALL TILE
- TILE "A" 12 X 24 TILE
- WALL TILE
- TILE "F" 12 X 24 TILE

## TOILET ACCESSORIES

SCALE 1/2" = 1'-0" (USE ALL DIMENSIONS ARE TO FINISHED FLOOR)



6 TILE @ FLOOR DRAIN  
3" = 1'-0"



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REVISIONS

#	date	note
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PROJECT STATUS

Construction Documents For Bid

OWNER ID

SCO ID# 20-22411-02A

Finch & Associates

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NCBELS Lic. No. P-1845

C-656

FINCH & ASSOCIATES

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CAMPGROUND AND OFFICE IMPROVEMENTS

2252 LAKE SHORE ROAD

CRESWELL, NORTH CAROLINA

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PROJECT NO.

1361-20

DATE

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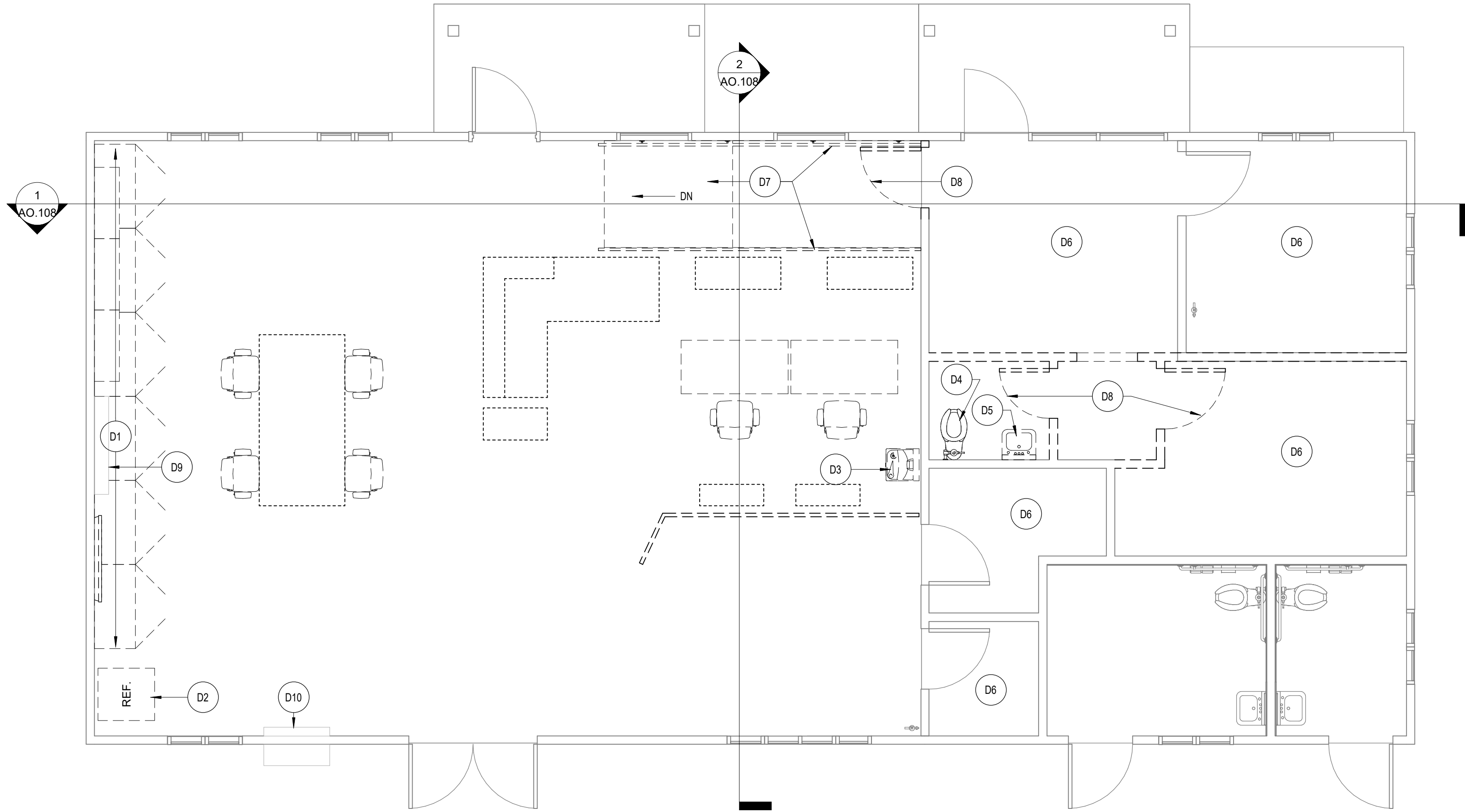
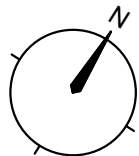
SHEET NAME

FLOOR PLANS - ALTERNATE #1

SHEET NO.

A0.105





**1** DEMOLITION PLAN - ALTERNATE 2  
1/4" = 1'-0"

### DEMOLITION PLAN GENERAL NOTES

1. PROTECT ALL EXISTING FINISHES TO REMAIN FROM ANY DAMAGE. CONTRACTOR IS RESPONSIBLE FOR ALL FINISHES WITHIN THE WORK AREA INCLUDING BUT NOT LIMITED TO DOORS, FRAMES, STAIRS, RAILINGS, WINDOWS AND RELATED ITEMS.
2. DOCUMENT ALL EXISTING CONDITIONS PRIOR TO COMMENCING WORK AND PROVIDE TO THE OWNER.
3. CONTRACTOR TO PROTECT OPENINGS TO OTHER AREAS OF THE BUILDING TO REDUCE THE SPREAD OF DUST.
4. CONTRACTOR TO COORDINATE WITH THE OWNER REGARDING THE IMPLEMENTATION OF THE WORK.
5. MAINTAIN ANY AND ALL FIRE ALARM DEVICES, HORNS AND STROBES DURING THE WORK. CONTRACTOR TO COVER ALL SMOKE DETECTORS IN PROJECT AREA EACH DAY BEFORE THE START OF ANY ACTIVITY AND REMOVE COVERS AT THE END OF THE DAY PRIOR TO LEAVING THE JOB SITE.
6. CONTRACTOR TO PROTECT ALL RETURN AIR GRILLES IN THE WORK AREA DURING CONSTRUCTION. SEE MECHANICAL DRAWINGS. ANY WORK THAT GENERATES DUST, FUMES, ODORS OR LOUD NOISE MUST BE CLOSELY COORDINATED IN ADVANCE WITH PROJECT MANAGER AND BUILDING OCCUPANTS.
7. CONTRACTOR TO REMOVE ANY EXISTING WALL COVERINGS AND PROVIDE LEVEL FOUR FINISH PRIOR TO PAINTING.

### DEMOLITION LEGEND

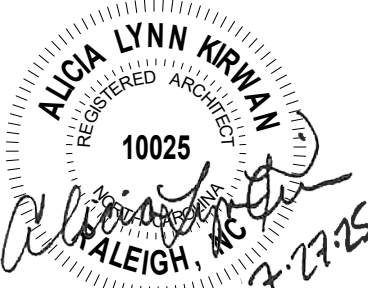
- == == == == == REMOVE ALL CONSTRUCTION SHOWN DASHED COMPLETE, U.O.N.
- ===== EXISTING WALL OR PARTITION TO REMAIN, TYP U.O.N.
- ===== REMOVE PORTION OF EXISTING WALL. SEE FLOORPLAN FOR LOCATION AND DIMENSION. TYP U.O.N.
- ===== REMOVE EXISTING DOOR & FRAME COMPLETELY.
- ===== EXISTING DOOR TO REMAIN, TYP U.O.N.
- ===== REMOVE EXTERIOR SHEATHING & ALL RELATED TRIM

### DEMOLITION KEY NOTES

- D1 REMOVE EXISTING MILLWORK AND COMPONENTS COMPLETE
- D2 EXISTING EQUIPMENT TO BE RELOCATED DURING ALTERNATE #2. STORE AND PROTECT DURING CONSTRUCTION.
- D3 EXISTING WATER COOLER TO BE REMOVED, REFER TO MEP
- D4 REMOVE EXISTING FIXTURE AND ALL ASSOCIATED PIPING. REMOVE SANITARY BACK TO MAIN. PATCH AND REPAIR WALL FOR NEW FINISH
- D5 REMOVE EXISTING SINK AND ALL ASSOCIATED PIPING AS REQUIRED. PREPARE FOR NEW SINK
- D6 REMOVE FLOORING AND BASE, PREP FOR NEW FLOOR AND BASE. COORDINATE WITH OWNER FOR REMOVAL OF FURNITURE & EQUIPMENT. FURNITURE & EQUIPMENT TO BE REUSED AFTER CONSTRUCTION TO BE PROTECTED AND STORED AS REQUIRED
- D7 REMOVE EXISTING RAMP AND RAILING, PATCH WALL AND SLAB AS REQUIRED FOR FLUSH CONDITION OF NEW FINISHES.
- D8 REMOVE EXISTING DOOR & FRAME COMPLETE.
- D9 REMOVE WALL MOUNTED AIR CONDITIONING UNIT. REFER TO MEP
- D10 REMOVE IN WALL AIR CONDITIONING UNIT. PREP FOR NEW WALL FINISH. REFER TO MEP

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CRESWELL, NORTH CAROLINA

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PROJECT NO. 1361-20  
DATE 07/27/2025  
SHEET NAME FLOOR PLANS - ALTERNATE #2  
SHEET NO. A0.106

REVISIONS  
# date note

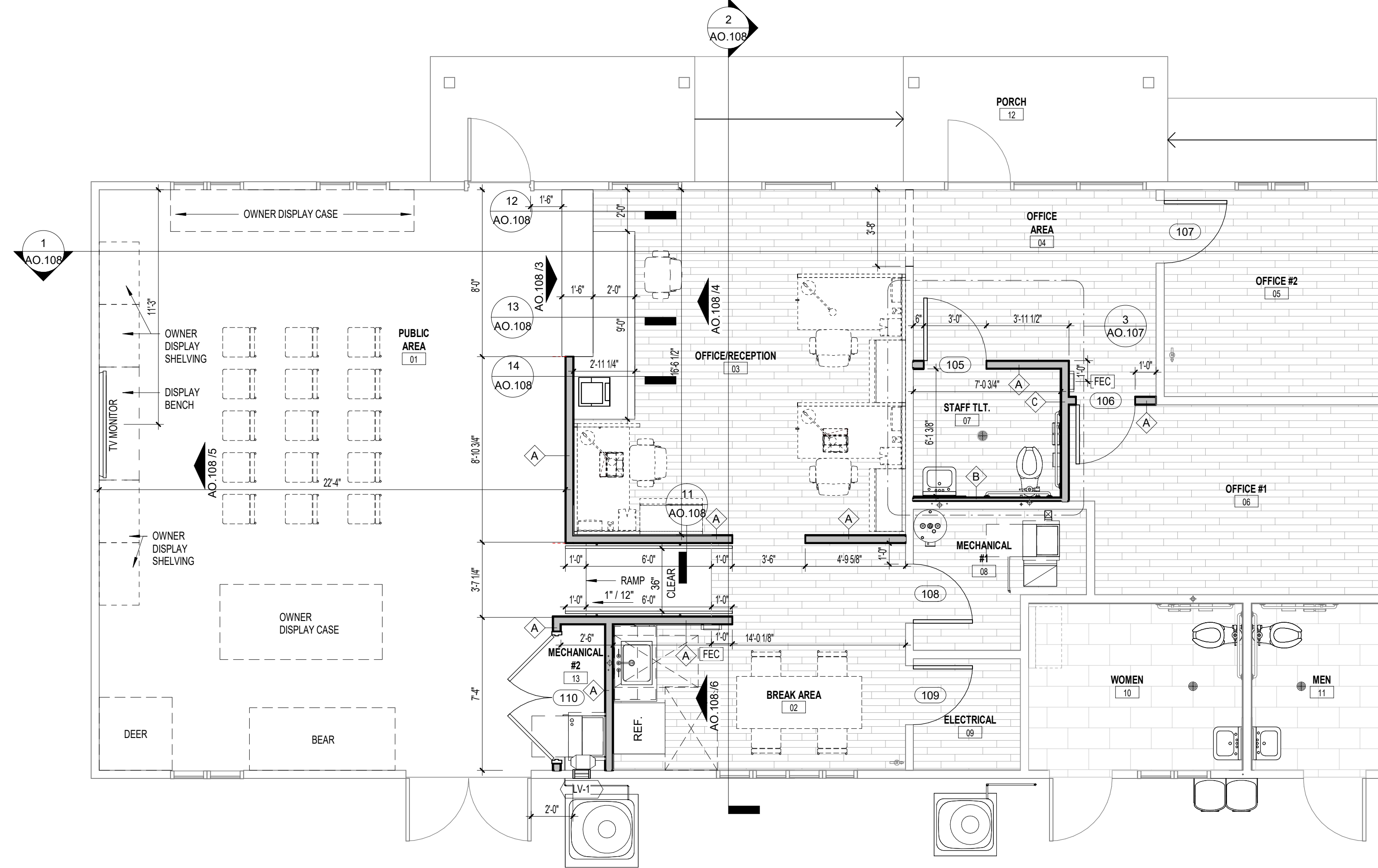
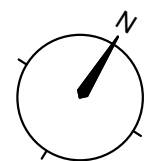
PROJECT STATUS  
Construction  
Documents For Bid

OWNER ID  
SCO ID#  
20-22411-02A

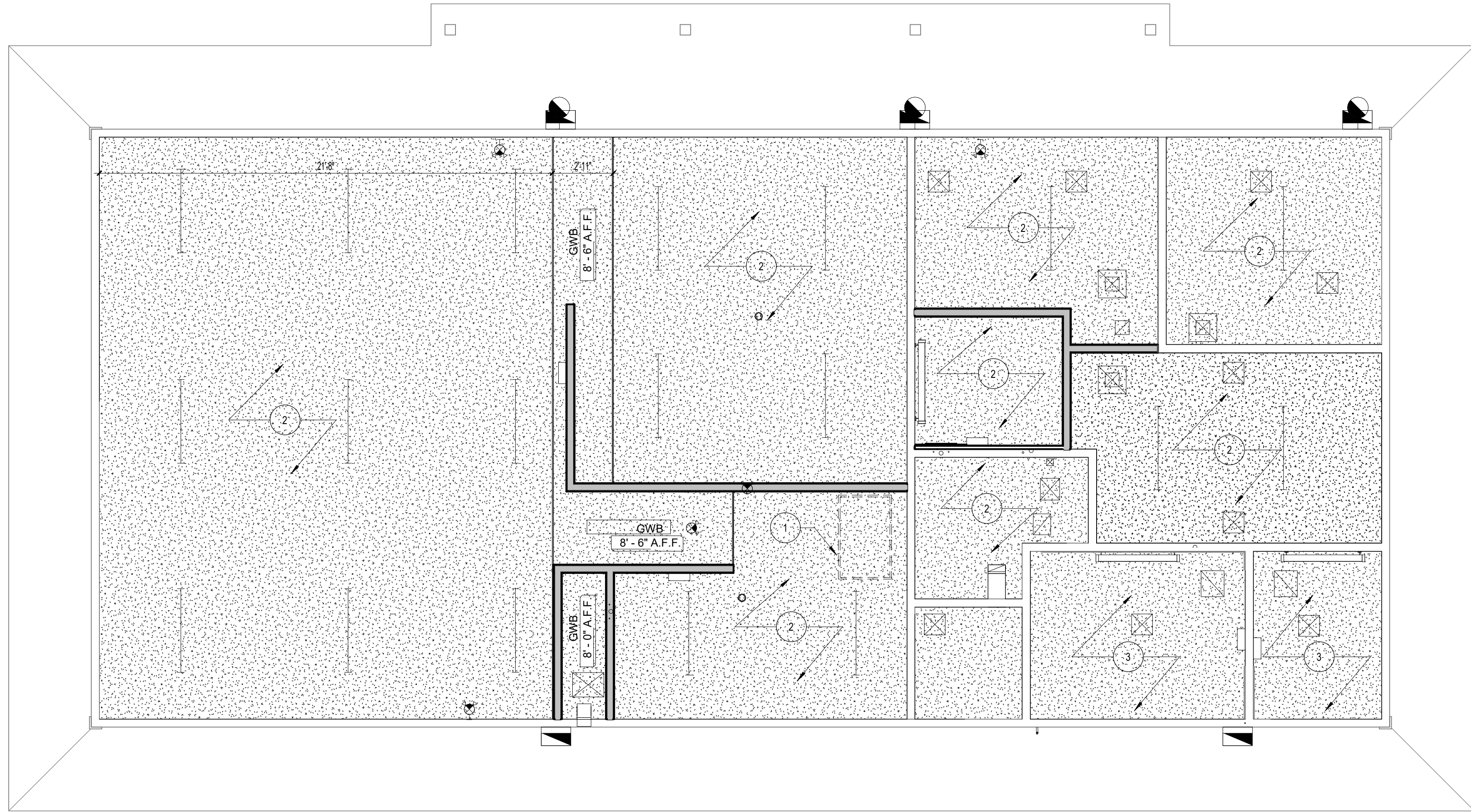
Finch & Associates  
309 North Boylan Avenue  
Raleigh, NC 27603-1402  
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F 919 | 834-3203  
NCBELS Lic. No. P-1845  
NCBOL1 Lic. No. C-656

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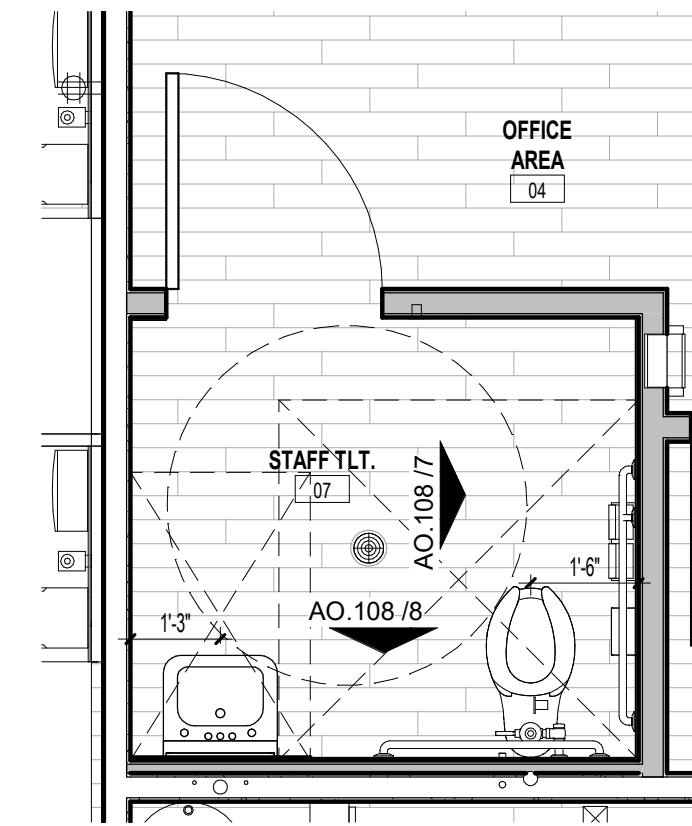
1 PROPOSED FLOOR PLAN - ALTERNATE #2  
1/4" = 1'-0"



2 REFLECTED CELING PLAN - ALTERNATE #2  
1/4" = 1'-0"

## GENERAL NOTES

- CONTRACTOR TO PROTECT ALL EXISTING SITE AND/OR BUILDING ELEMENTS, LIGHTING AND/OR EQUIPMENT. REPAIR OR REPLACEMENT WILL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- CONTRACTOR IS TO COORDINATE ACCESS TO THE SITE WITH THE OWNER.
- CONTRACTOR IS TO EXPECT LIMITED PARKING AND LIMITED ACCESS FOR DUMPSTER PRIOR TO SITE PREPARATION.
- CONTRACTOR IS TO MAINTAIN THE JOB SITE(S) IN A CLEAN AND ORDERLY MANNER. THE CONTRACTOR SHALL DISABLE ALL EQUIPMENT AND REMOVE WASTE, MATERIALS AND DEBRIS AT THE END OF EACH WORK DAY.
- CONTRACTOR TO COORDINATE WITH OWNER ALL ACCESS TO PLUMBING OR ELECTRICAL SERVICE. CONNECTION TO UTILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
- ANY INTERRUPTION OF ELECTRICAL OR PLUMBING SERVICE SHALL BE COORDINATED WITH THE OWNER.
- THE CONTRACTOR IS RESPONSIBLE FOR REINSTALLATION OF ANY COMPONENTS REMOVED TO COMPLETE THE WORK.
- IN PREPARATION FOR THE WORK THE CONTRACTOR IS TO VISIT THE SITE AND NOTE THE EXISTING CONDITIONS OF THE SITE THROUGH PHOTOGRAPHIC OR VIDEOGRAPHIC MEANS AND PROVIDE THAT RECORD TO THE OWNER PRIOR TO COMMENCING ANY WORK.
- CONTRACTOR TO PROTECT ALL AREAS OUTSIDE AREA OF WORK FROM DAMAGE. PREVENT SPREAD OF DUST FROM SITE.
- CONTRACTOR TO PROVIDE SIGNAGE TO PREVENT ENTRY OF NON-CONSTRUCTION PERSONNEL INTO AREAS OF WORK. PROVIDE CLEAR SIGNAGE DELINEATING ACCESS TO SITE.



3 ENLARGED PLAN - STAFF  
TOILET - ALTERNATE #2  
3/8" = 1'-0"

## WALL LEGEND

- NEW WALL OR PARTITION, TYP U.O.N.
- REMOVE PORTION OF EXISTING WALL. SEE FLOORPLAN FOR LOCATION AND DIMENSION. TYP U.O.N.

## REFLECTED CEILING LEGEND

- EXISTING GWB CEILING
- NEW GWB CEILING
- NO CEILING - EXPOSED TO STRUCTURE (SEE FINISH SCHEDULE FOR EXPOSED ITEMS TO BE PAINTED)
- CEILING HEIGHT (A.F.F.)
- REFLECTED CEILING PLAN KEYNOTE

NOTE: GENERIC DEVICE SYMBOLS SHOWN BELOW - SEE SPECIFIC DISCIPLINES (MECH., ELEC., ETC.) FOR SPECIFIC DESCRIPTIONS AND ADDITIONAL ITEMS NOT SHOWN.

- RECESSED LIGHT FIXTURES
- RECESSED DOWNLIGHT FIXTURE
- EXIT SIGN
- WALL SCONCE
- SUPPLY AIR DIFFUSER
- RETURN AIR GRILLE
- EXISTING RETURN AIR DIFFUSER
- EXISTING RETURN AIR GRILL
- SMOKE DETECTOR
- LINEAR PENDANT LIGHT

## FLOOR & WALL TILE LEGEND

- | FLOOR & WALL TILE        | WALL TILE                |
|--------------------------|--------------------------|
| TILE "A"<br>12 X 24 TILE | TILE "B"<br>12 X 24 TILE |
| LUXURY VINYL TILE<br>TBD |                          |

## PARTITION LEGEND

- |   |  |
|---|--|
| A | 3 1/2" WOOD STUDS W/<br>5/8" GWB BOTH SIDE   |
| B | 1 1/2" WOOD BLOCKING W/ GWB ONE<br>SIDE, 5/8" TILE BACKER BOARDS,<br>SETTING BED AND TILE ONE SIDE   |
| C | 3 1/2" WOOD BLOCKING W/ GWB BOTH<br>SIDES, 5/8" TILE BACKER BOARDS,<br>SETTING BED AND TILE ONE SIDE |
| D | 5/8" TILE BACKER BOARDS, SETTING<br>BED AND TILE ONE SIDE ON EXISTING<br>STUD WALL                   |

## RCP KEY NOTES

- NEW ACCESS PANEL, COORDINATE PLACEMENT WITH EXISTING TRUSSES
- NEW GWB CEILING FINISH IN EXISTING HEIGHT LOCATION
- CEILINGS COMPLETED IN ALT 1

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2252 LAKE SHORE ROAD  
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CHECKED ALK  
PROJECT NO. 1361-20  
DATE 07/27/2025  
SHEET NAME FLOOR PLANS - ALTERNATE #2  
SHEET NO. A0.107

REVISIONS  
# date note

PROJECT STATUS  
Construction Documents For Bid

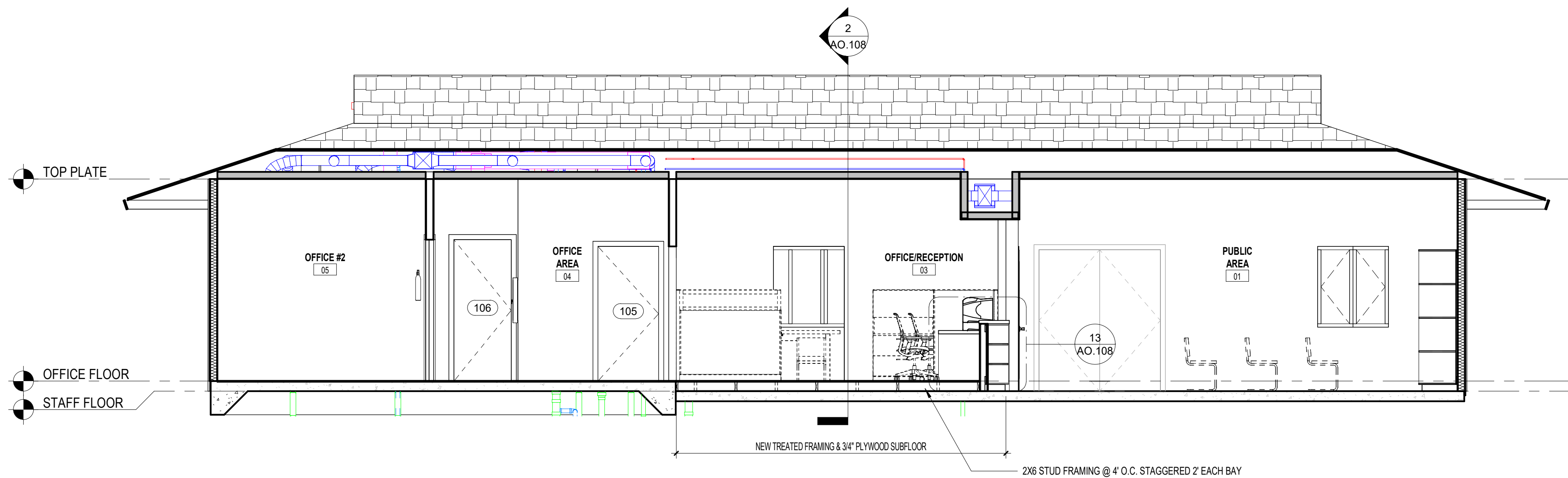
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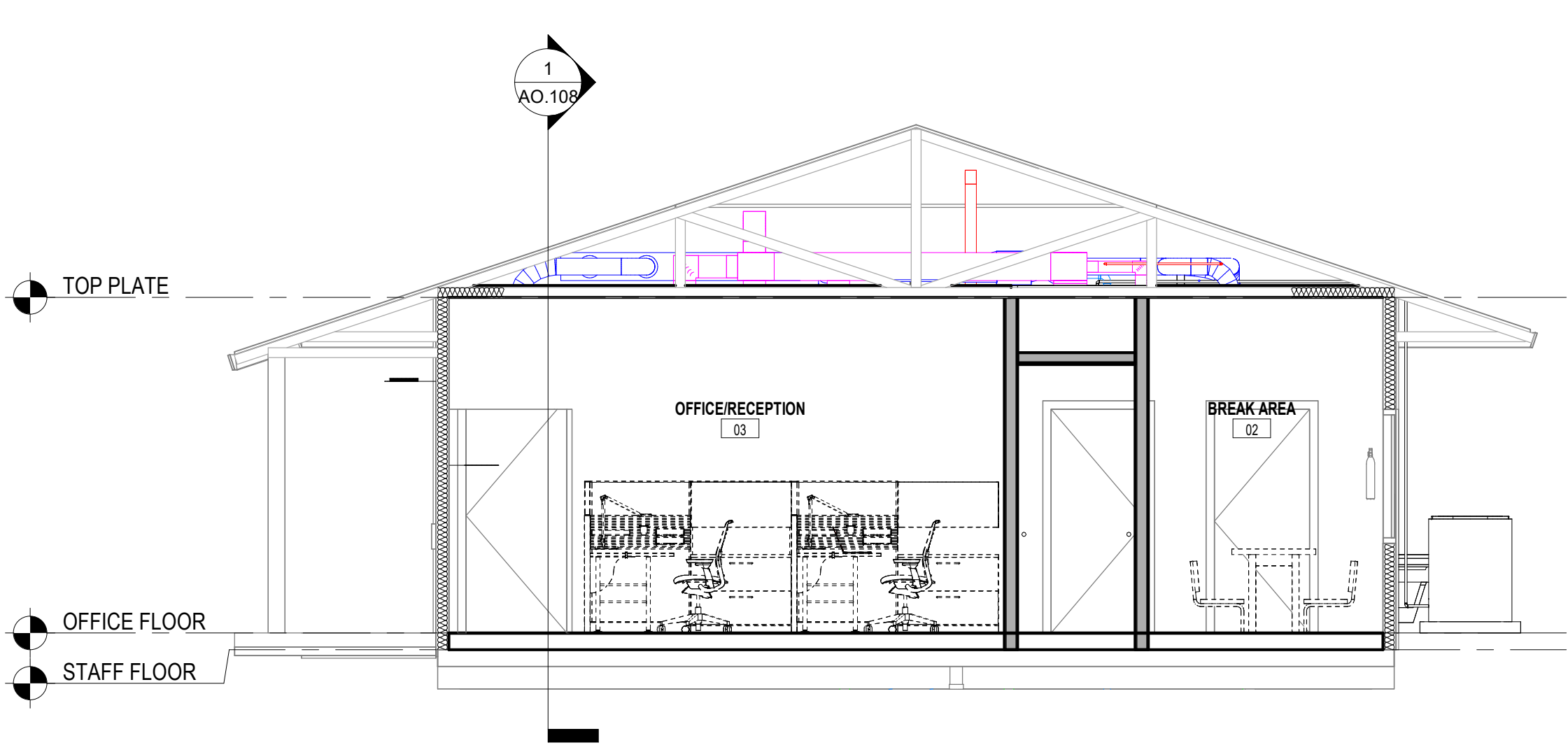
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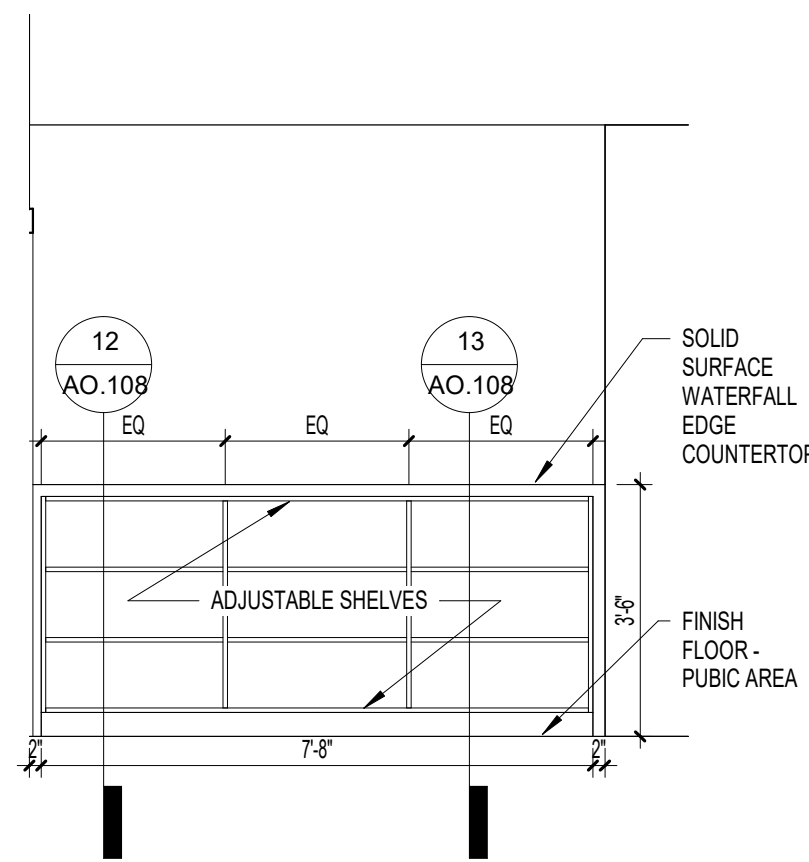
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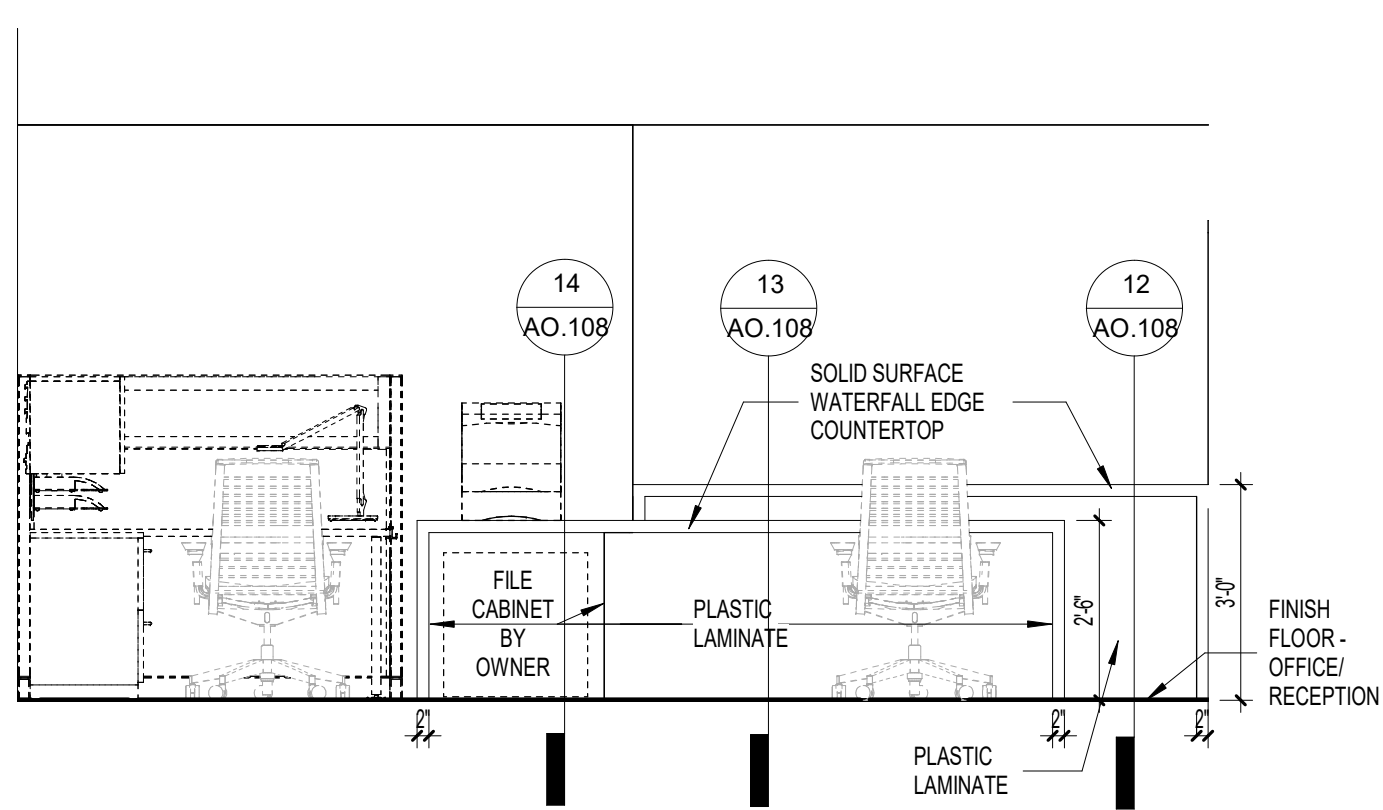
1 BUILDING SECTION  
1/4" = 1'-0"



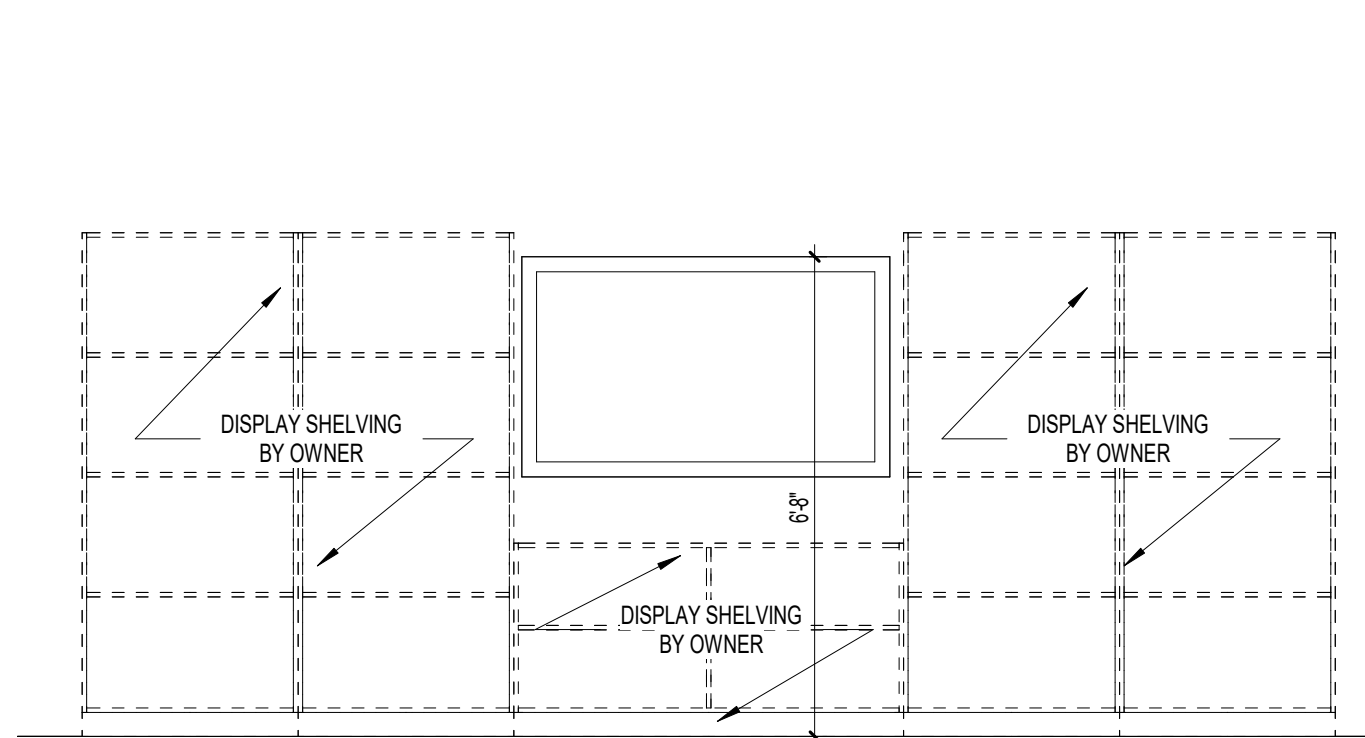
2 BUILDING SECTION  
1/4" = 1'-0"



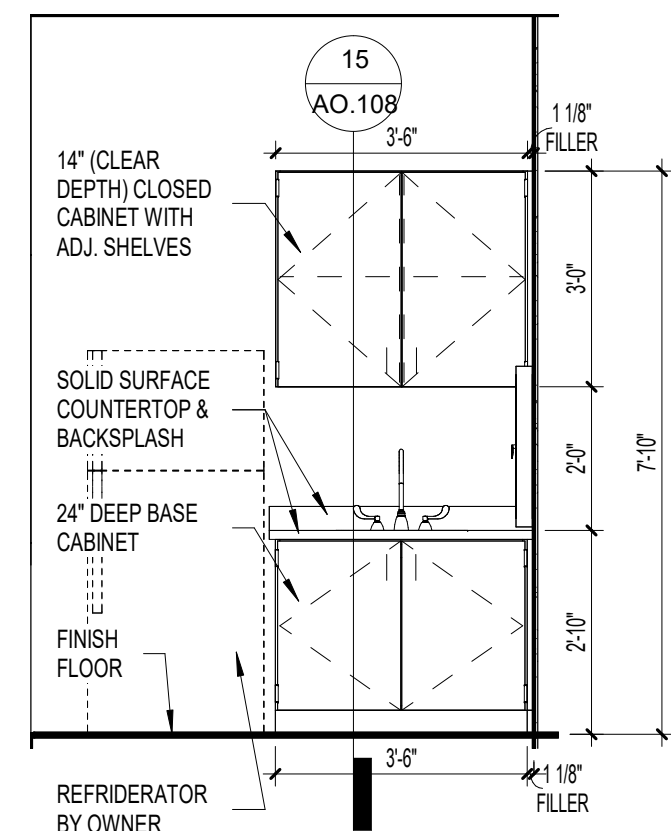
3 INTERIOR ELEVATION  
3/8" = 1'-0"



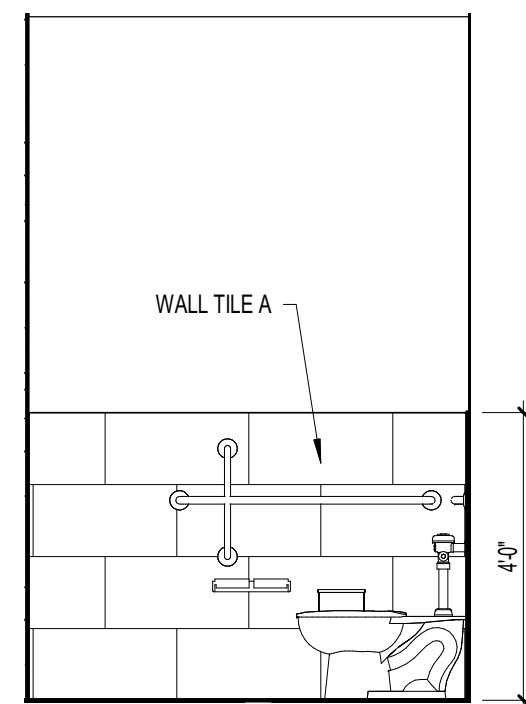
4 INTERIOR ELEVATION  
3/8" = 1'-0"



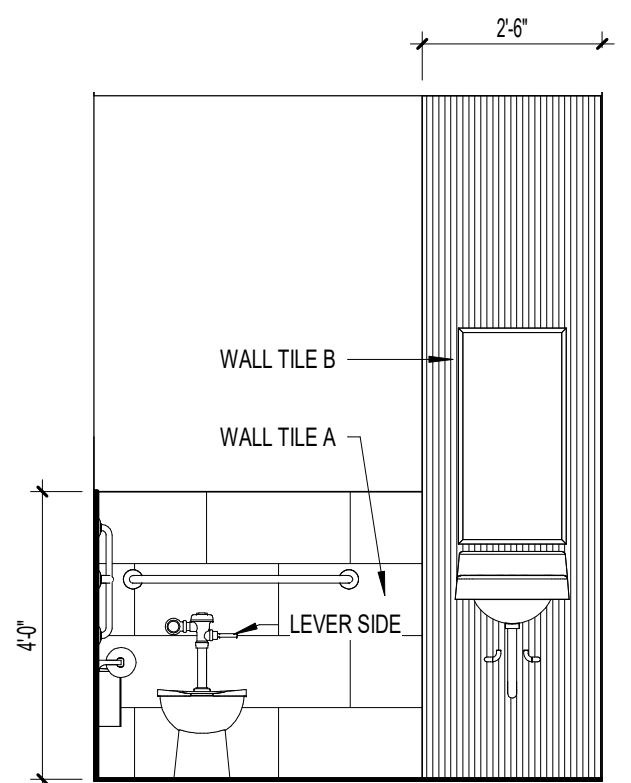
5 INTERIOR ELEVATION  
3/8" = 1'-0"



6 INTERIOR ELEVATION  
3/8" = 1'-0"



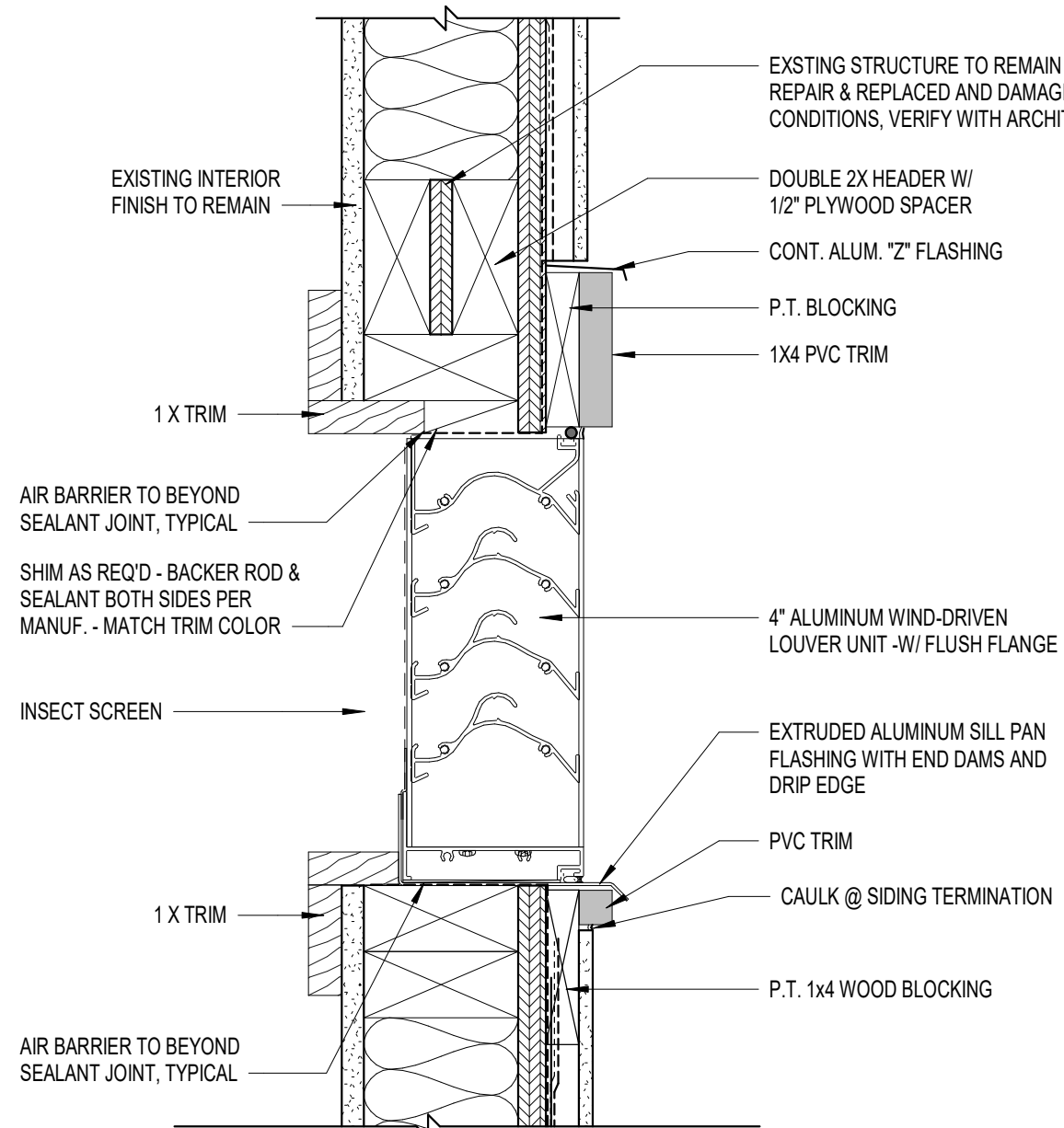
7 INTERIOR ELEVATION  
3/8" = 1'-0"



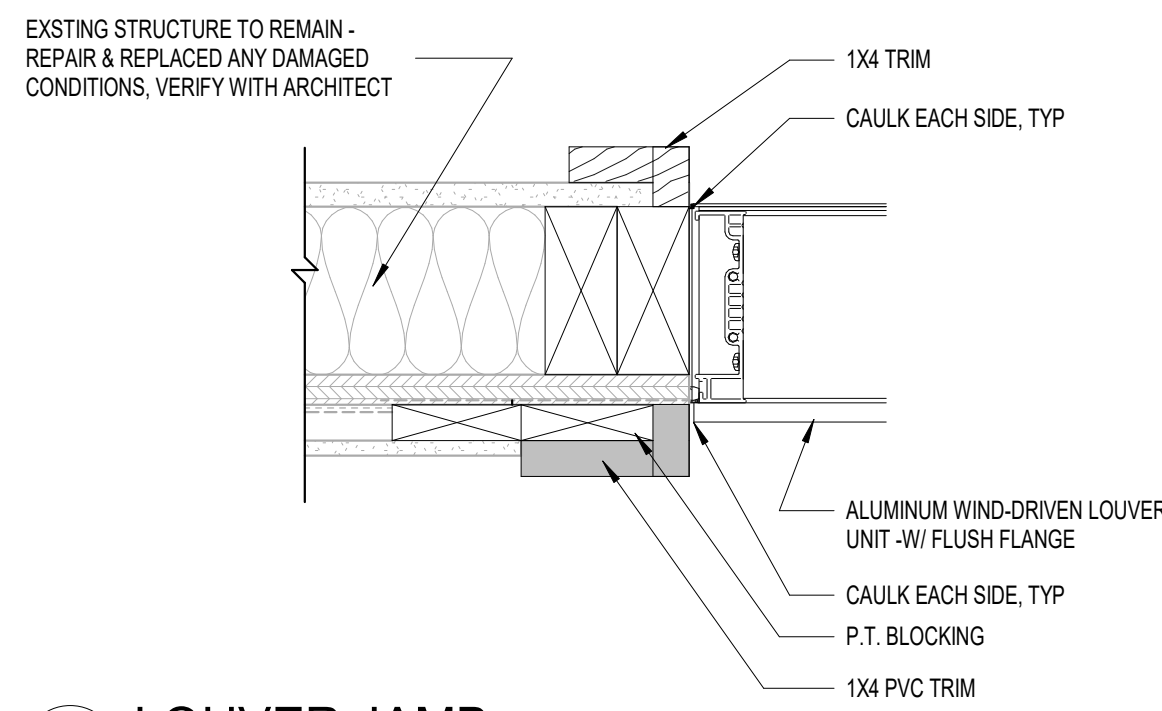
8 INTERIOR ELEVATION  
3/8" = 1'-0"

#### FLOOR & WALL TILE LEGEND

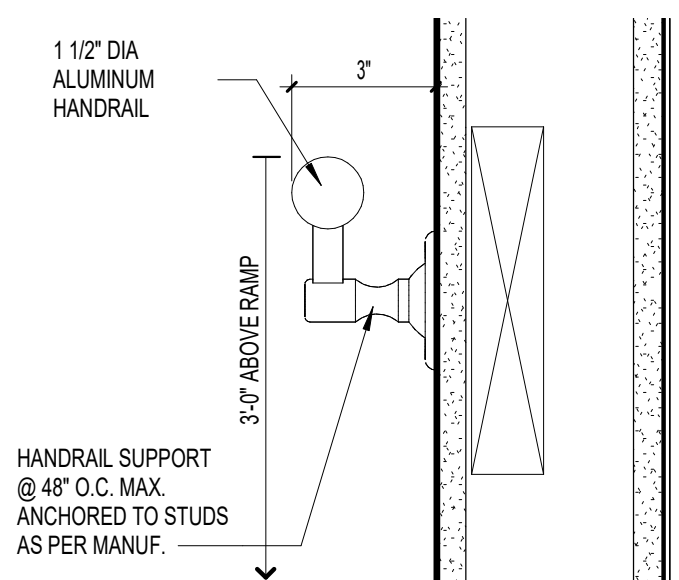
FLOOR & WALL TILE	WALL TILE
TILE "A" 12 X 24 TILE	TILE "B" 12 X 24 TILE



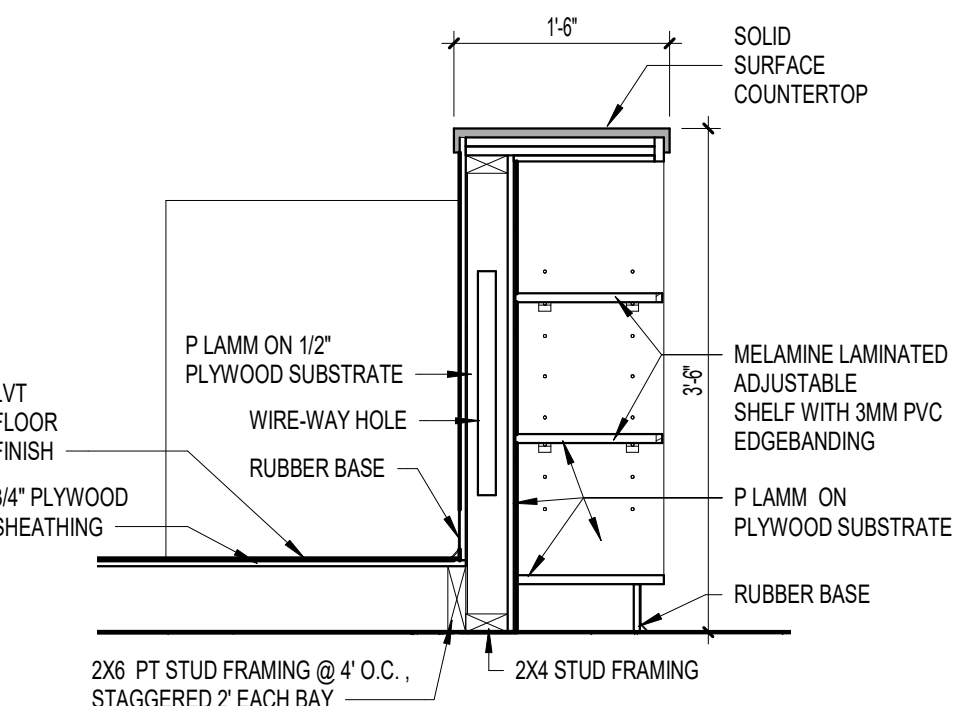
9 LOUVER HEAD/SILL  
3" = 1'-0"



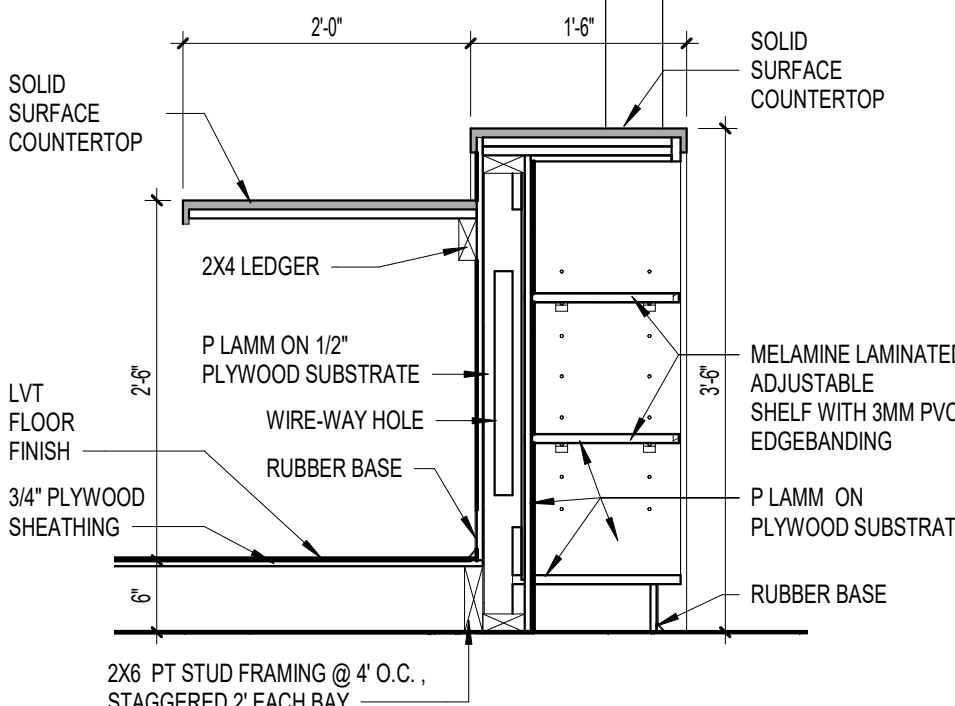
10 LOUVER JAMB  
3" = 1'-0"



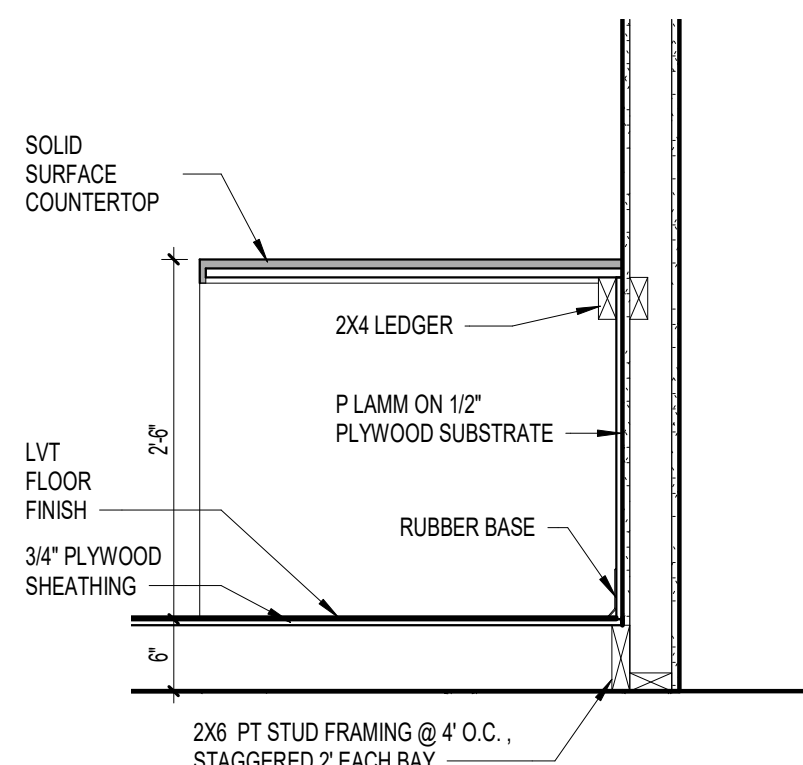
11 RAIL DETAIL  
3" = 1'-0"



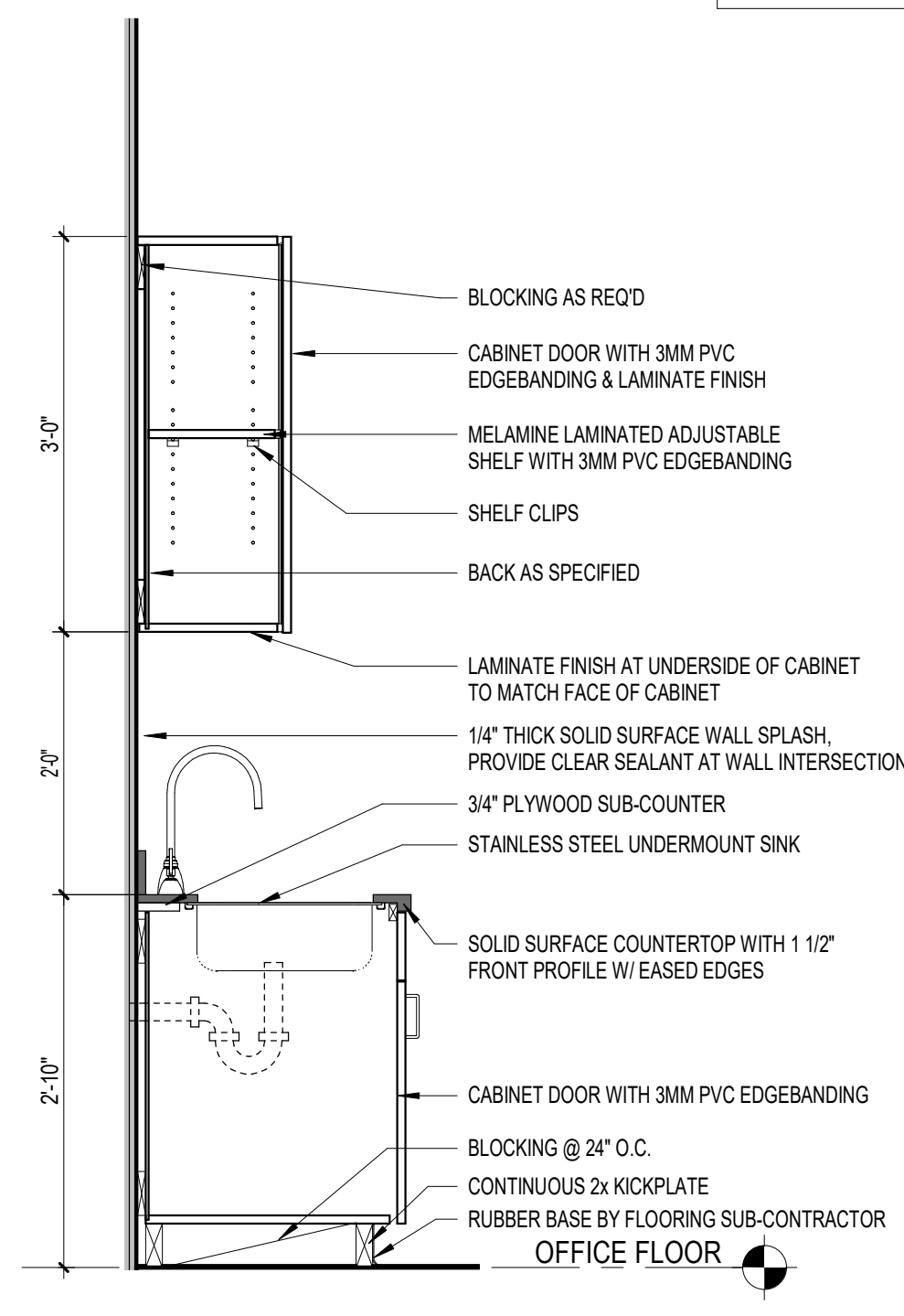
12 RECEPTION MILLWORK  
3/4" = 1'-0"



13 RECEPTION MILLWORK  
3/4" = 1'-0"



14 RECEPTION MILLWORK  
3/4" = 1'-0"



15 MILLWORK SECTION  
3/4" = 1'-0"

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919.222.0020

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REVISIONS  
# date note

PROJECT STATUS  
Construction Documents For Bid

OWNER ID  
SCO ID#  
20-22411-02A

Finch & Associates  
309 North Boyan Avenue  
Raleigh, NC 27603-1402  
T 919 | 833-1212  
F 919 | 834-3203  
NCBELS Lic. No. P-1845  
NCBOL1 Lic. No. C-656

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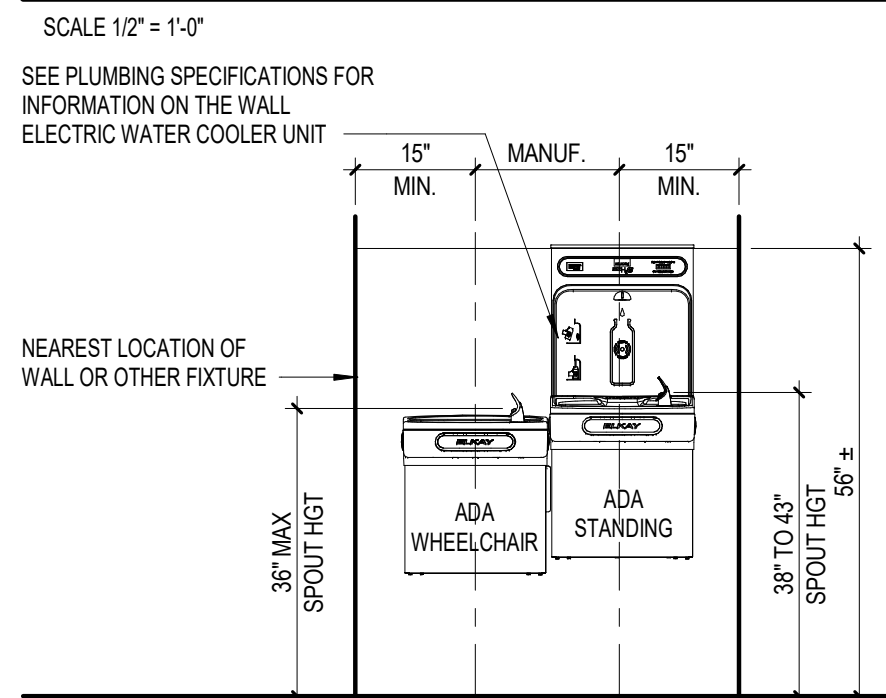
PETTIGREW STATE PARK  
CAMPGROUND AND OFFICE IMPROVEMENTS  
2252 LAKE SHORE ROAD  
CRESWELL, NORTH CAROLINA

DRAWN TMM  
CHECKED ALK  
PROJECT NO. 1361-20  
DATE 07/27/2025  
SHEET NAME SECTIONS & DETAILS - ALTERNATE #2  
SHEET NO. 10025

A0.108



SCALE 1/2" = 1'-0" (UNLESS ALL DIMENSIONS ARE TO FINISHED FLOOR)



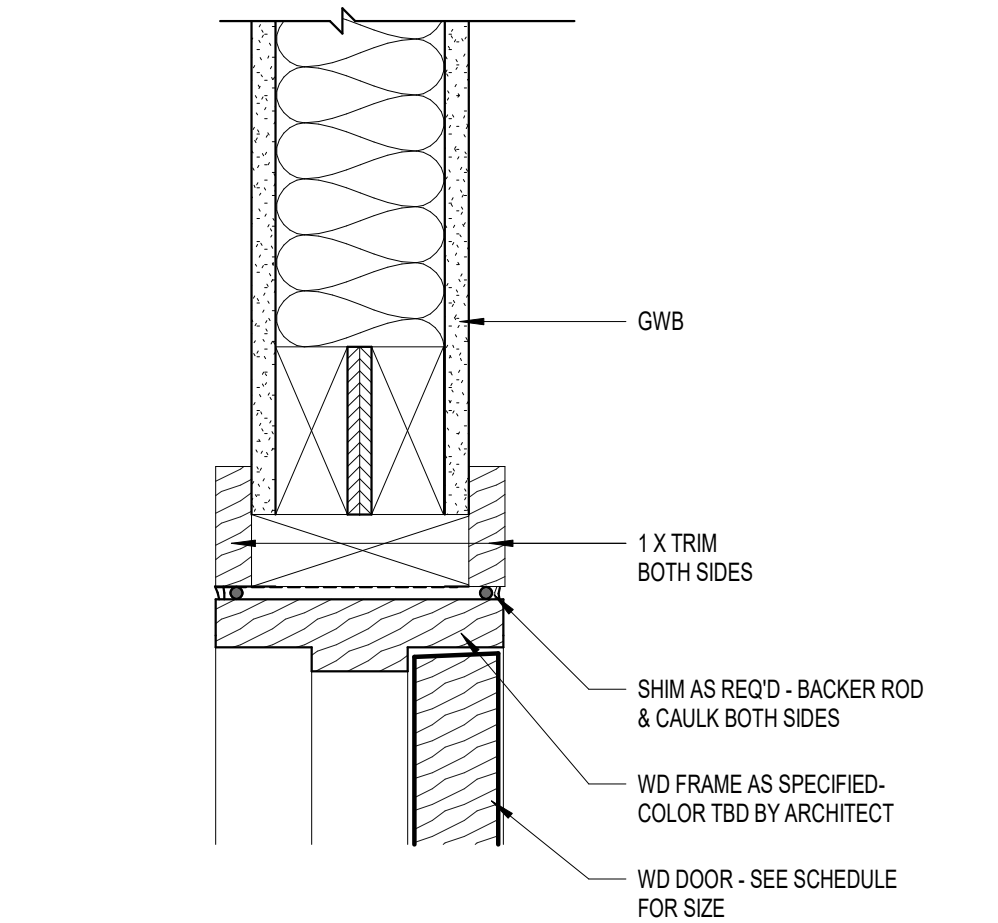
SCALE 1/2" = 1'-0"

SEMI-RECESSED FIRE EXTINGUISHER (FE)

4'0"

T.O. OF HANDLE

FEC



SCALE 1/2" = 1'-0"

7'4"

6'0"

1'0"

1'0"

LV-1

[illegible]

WD FRAME

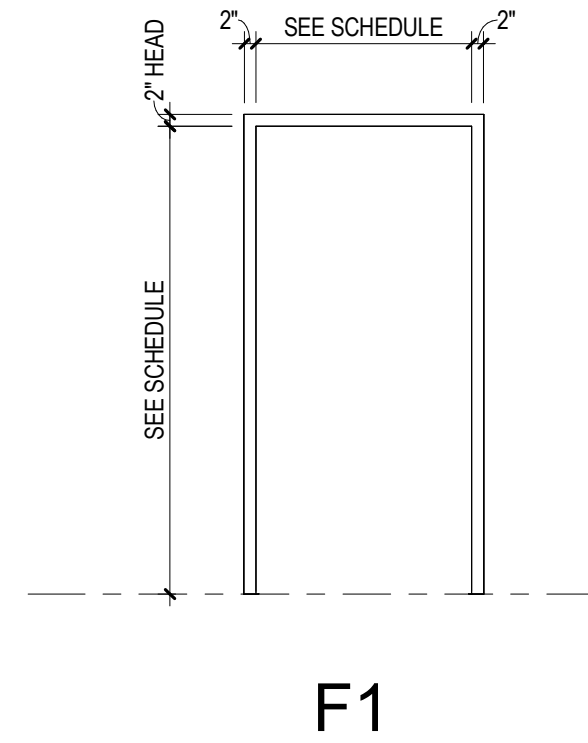
WD DOOR, AS SPECIFIED

FINISH FLOOR

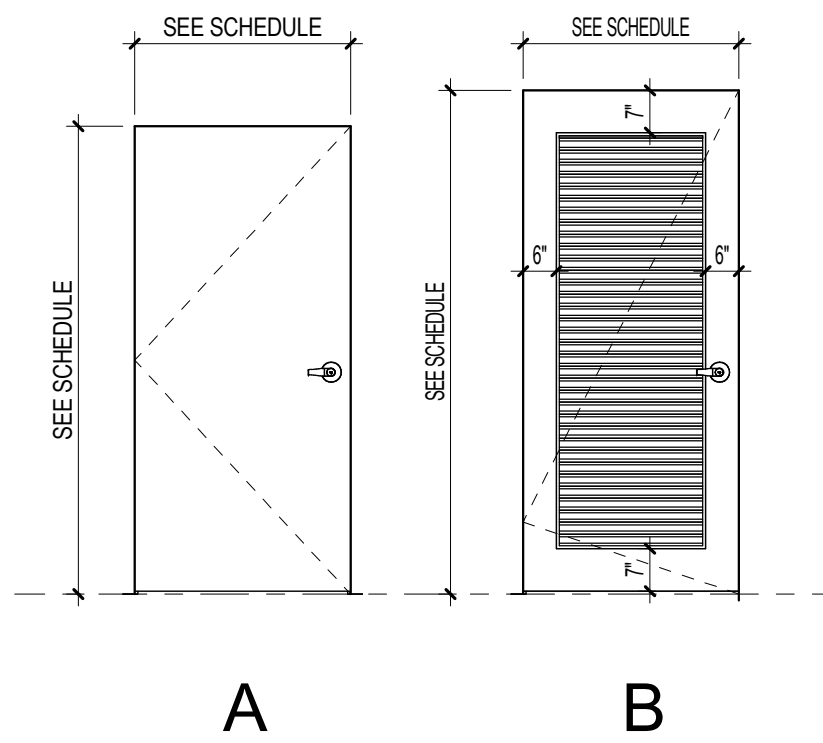
FLOOR FINISH		BASE FINISH		WALL MATERIAL	
SC	SEALED CONCRETE	R	RUBBER	GWB	GYPSUM WALL BOARD
VCT	VINYL COMPOSITION TILE	WD	WOOD		
LVT	LUXURY VINYL TILE				
PC	POLISHED CONCRETE				
		<u>CEILING MATERIAL</u>			
		ACT	ACOUSTICAL CEILING TILE		
		GWB	GYPSUM WALL BOARD		
PT	PAINT	EXP	EXPOSED STRUCT		
EP	EPOXY PAINT	AS	AS SPECIFIED		

<b>AL</b>	ALUMINUM	<b>WD</b>	WOOD
<b>GL</b>	GLASS	<b>FRP</b>	FIBERGLASS REINFORCED POLYESTER
<b>HM</b>	HOLLOW METAL	<b>NA</b>	NOT APPLICABLE

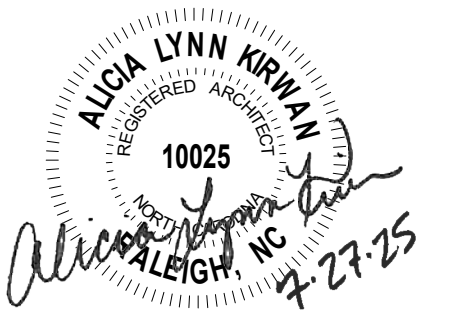
SCALE 3/8" = 1'-0"



SCALE 3/8" = 1'-0"



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date note

PROJECT STATUS	Construction
Documents For Bid	

OWNER ID  
SCO ID#  
20-22411-02A

Finch & Associates  
309 North Boylan Avenue  
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NCBELS Lic. No. P-1845  
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 GROUND AND OFFICE IMPROVEMENTS  
 2252 LAKE SHORE ROAD  
 CRESWELL, NORTH CAROLINA

AWN TMM

HECKED	ALK
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PROJECT NO. 1381-20

07/27/2025

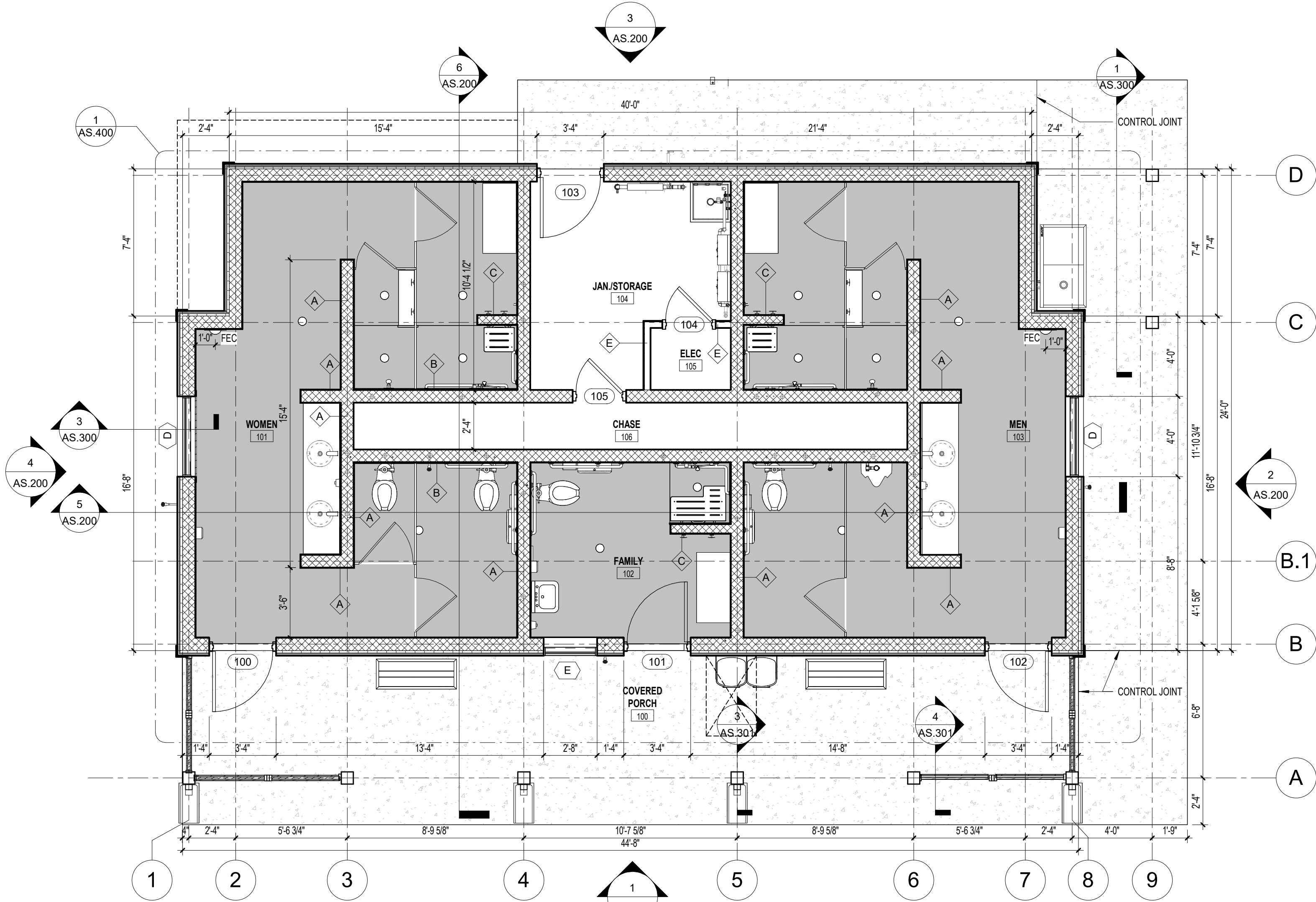
HEET NAME

SCHEDULES & DETAILS  
- ALTERNATE #2

SHEET NO. 10100

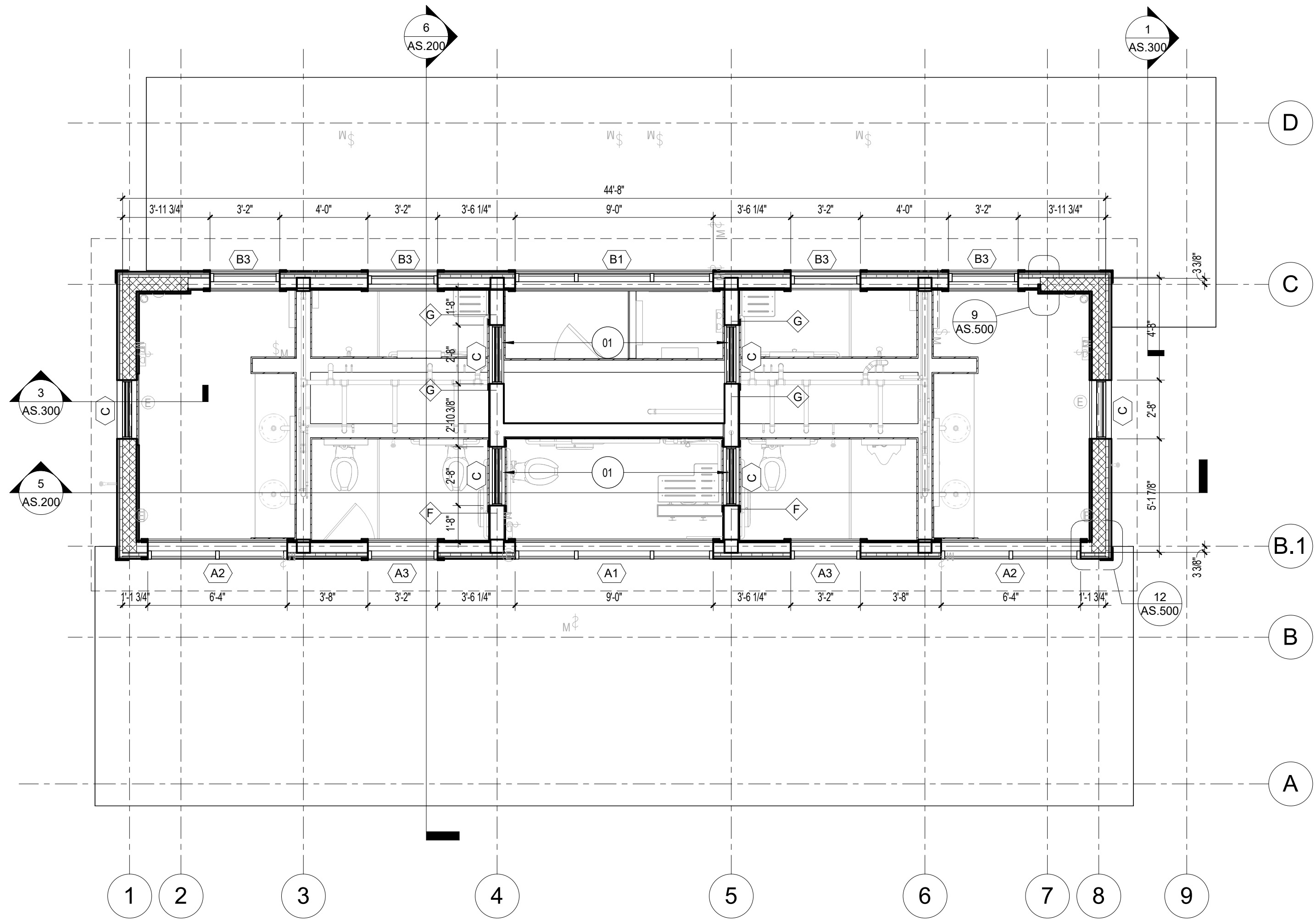
AO.109





1 PROPOSED FLOOR PLAN  
1/4" = 1'-0"

INTERIOR MASONRY DIMENSIONS OF (WOMEN 101) ARE MIRRORED OF (MEN103)

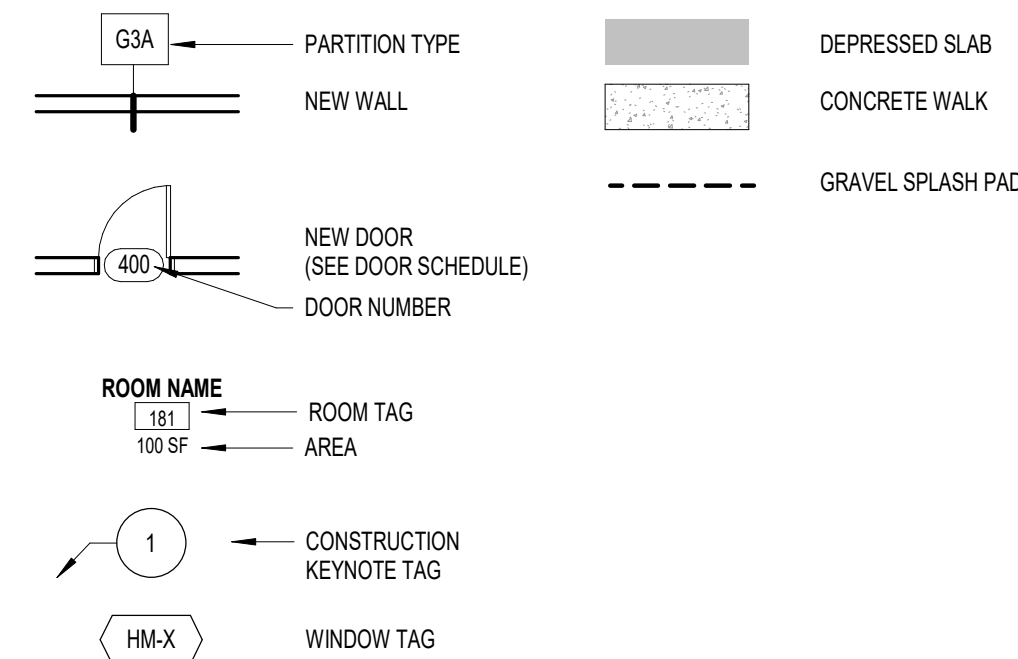


2 CLERESTORY  
1/4" = 1'-0"

## GENERAL NOTES

- CONTRACTOR TO PROTECT ALL EXISTING SITE AND/OR BUILDING ELEMENTS. LIGHTING AND/OR EQUIPMENT. REPAIR OR REPLACEMENT WILL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- CONTRACTOR IS TO COORDINATE ACCESS TO THE SITE WITH THE OWNER.
- CONTRACTOR IS TO EXPECT LIMITED PARKING AND LIMITED ACCESS FOR DUMPSTER PRIOR TO SITE PREPARATION.
- CONTRACTOR IS TO MAINTAIN THE JOB SITE(S) IN A CLEAN AND ORDERLY MANNER. THE CONTRACTOR SHALL DISABLE ALL EQUIPMENT AND REMOVE WASTE, MATERIALS AND DEBRIS AT THE END OF EACH WORK DAY.
- CONTRACTOR TO COORDINATE WITH OWNER ALL ACCESS TO PLUMBING OR ELECTRICAL SERVICE. CONNECTION TO UTILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
- ANY INTERRUPTION OF ELECTRICAL OR PLUMBING SERVICE SHALL BE COORDINATED WITH THE OWNER.
- THE CONTRACTOR IS RESPONSIBLE FOR REINSTALLATION OF ANY COMPONENTS REMOVED TO COMPLETE THE WORK.
- IN PREPARATION FOR THE WORK THE CONTRACTOR IS TO VISIT THE SITE AND NOTE THE EXISTING CONDITIONS OF THE SITE THROUGH PHOTOGRAPHIC OR VIDEOGRAPHIC MEANS AND PROVIDE THAT RECORD TO THE OWNER PRIOR TO COMMENCING ANY WORK.
- CONTRACTOR TO PROTECT ALL AREAS OUTSIDE AREA OF WORK FROM DAMAGE. PREVENT SPREAD OF DUST FROM SITE.
- CONTRACTOR TO PROVIDE SIGNAGE TO PREVENT ENTRY OF NON-CONSTRUCTION PERSONNEL INTO AREAS OF WORK. PROVIDE CLEAR SIGNAGE DELINEATING ACCESS TO SITE.

## CONSTRUCTION LEGEND



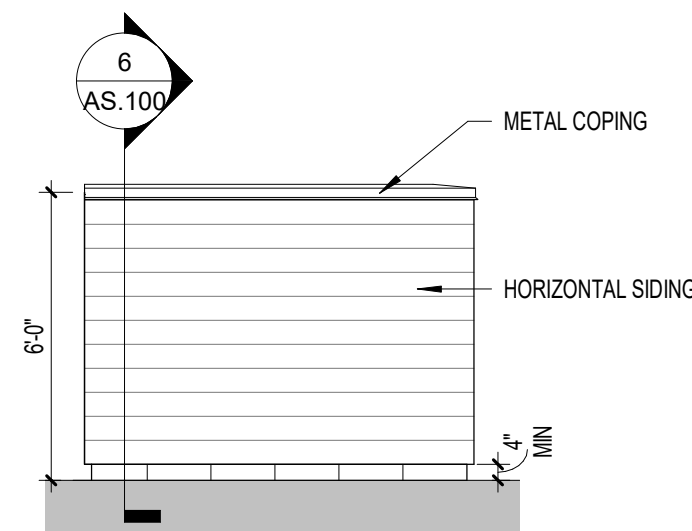
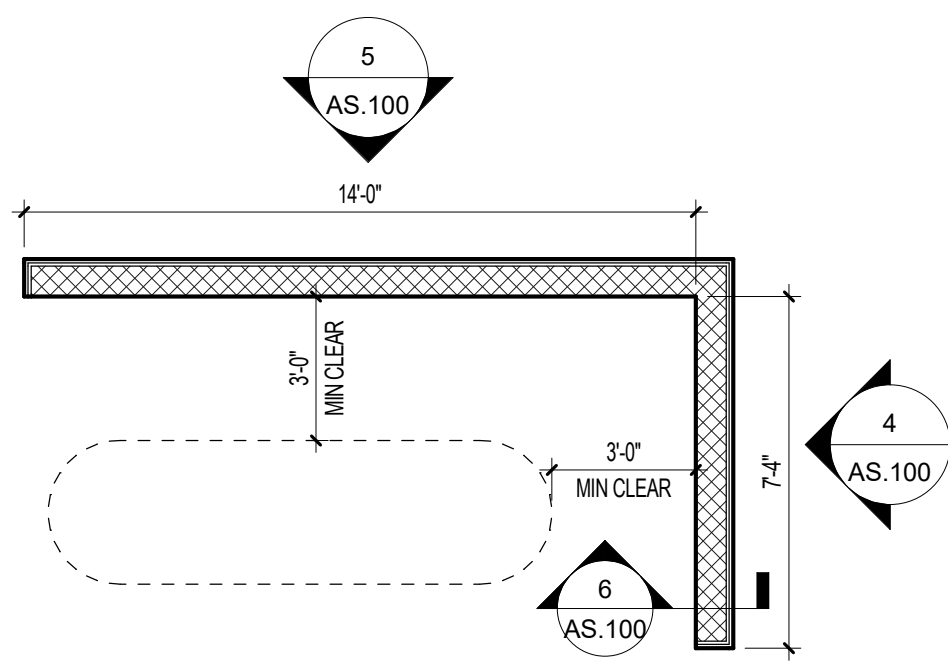
## CONSTRUCTION SHEET NOTES

- 01 IN WALL LOUVER @ FULL HEIGHT WALL. REFER TO 1/AS.301

## PARTITION LEGEND

A	
B	
C	
D	
E	
F	
G	

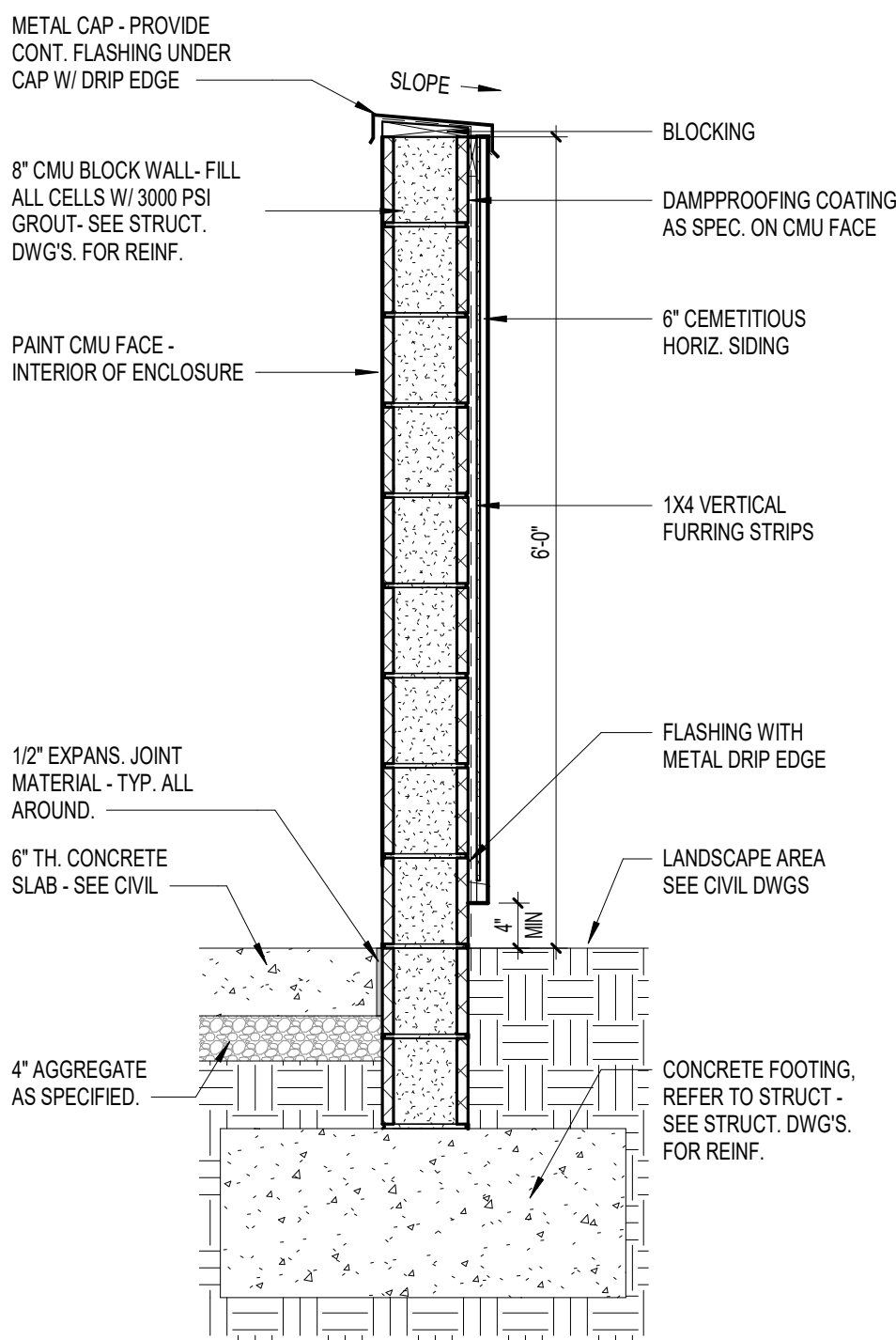
3 LP GAS ENCLOSURE - PLAN  
1/4" = 1'-0"



4 SIDE ELEVATION  
1/4" = 1'-0"

5 REAR ELEVATION  
1/4" = 1'-0"

6 SECTION  
3/4" = 1'-0"



REVISIONS  
# date note

PROJECT STATUS  
Construction Documents For Bid

OWNER ID  
SCO ID#  
20-22411-02A

Finch & Associates  
309 North Boylan Avenue  
Raleigh, NC 27603-1402  
T 919 | 833-1212  
F 919 | 834-3203  
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NCBOL1 Lic. No. C-656

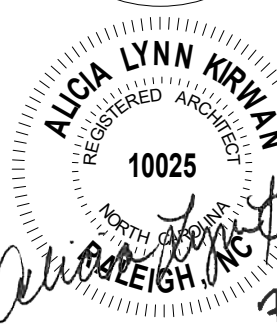
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PROJECT NO. 1361-20

DATE 07/27/2025

SHEET NAME

FLOOR PLAN

SHEET NO.

AS.100

7/23/2025 6:15:07 PM



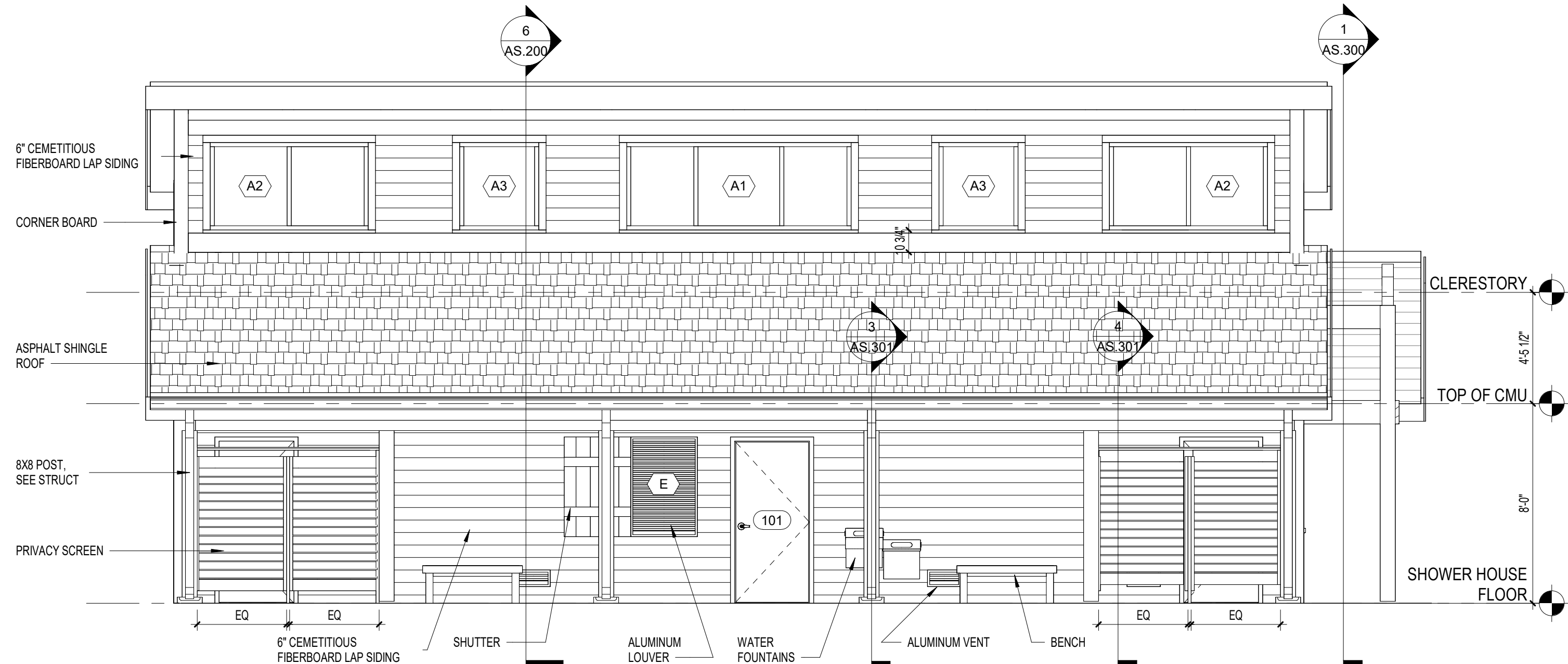
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2 ROOF PLAN  
1/8" = 1'-0"

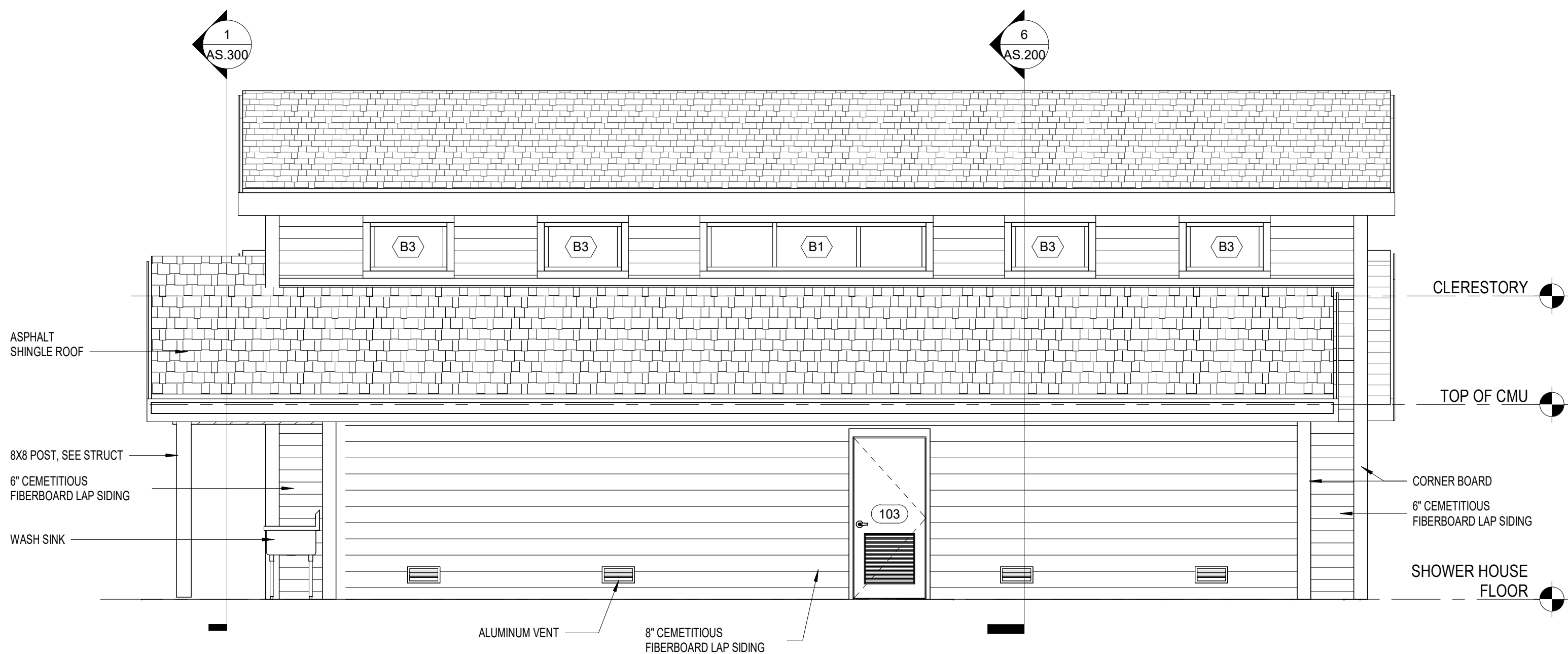
OWN	TMM
CKED	ALK
JECT NO.	1381-20
E	07/27/2025
ET NAME	
RCP & ROOF PLAN	
ET NO.	AS 101



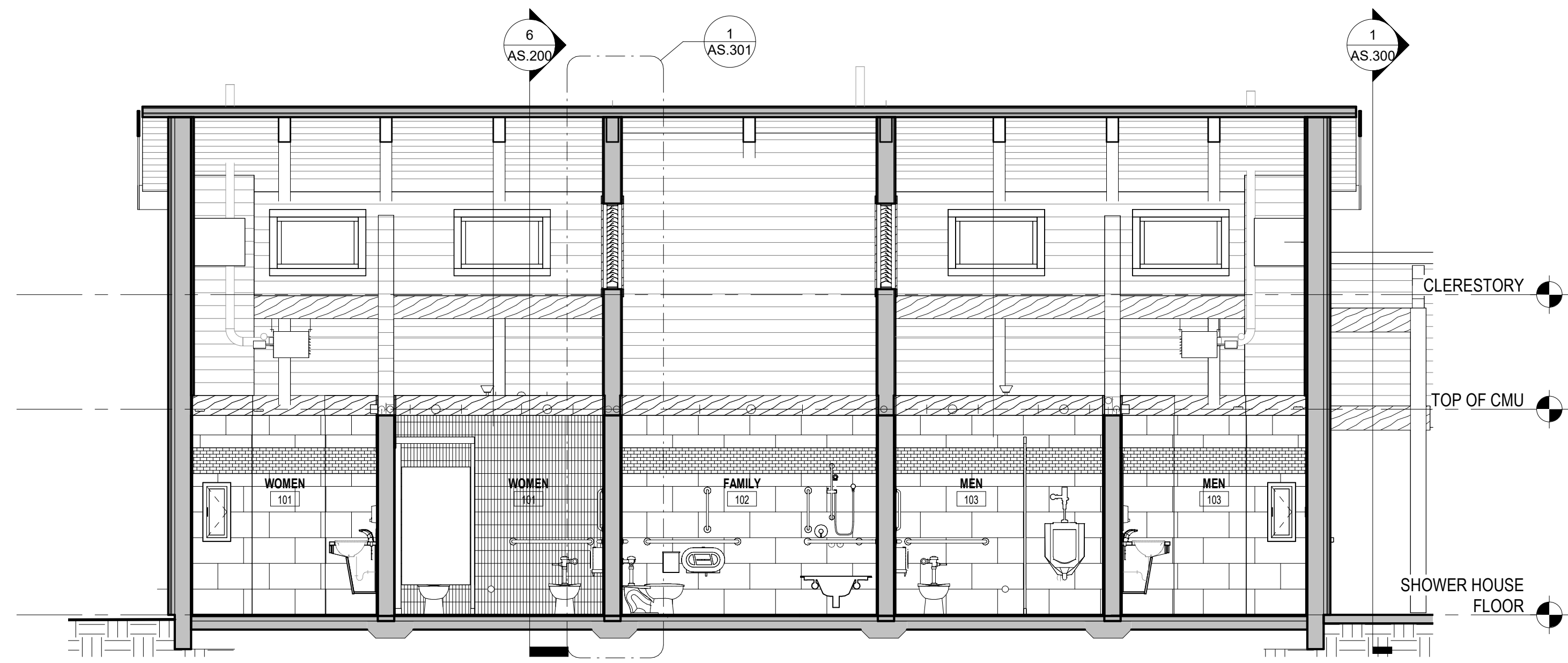
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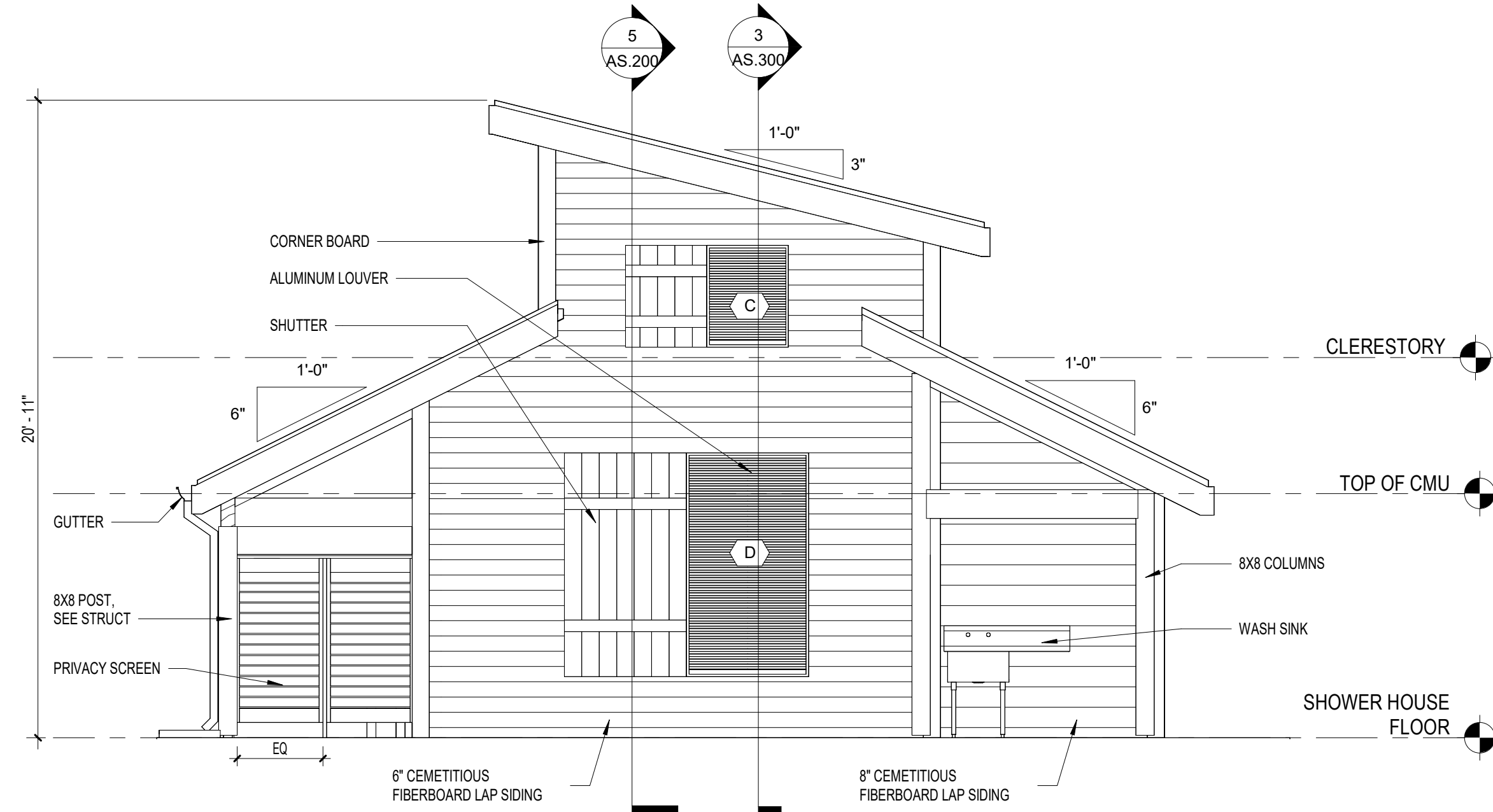
1 SOUTH ELEVATION  
1/4" = 1'-0"



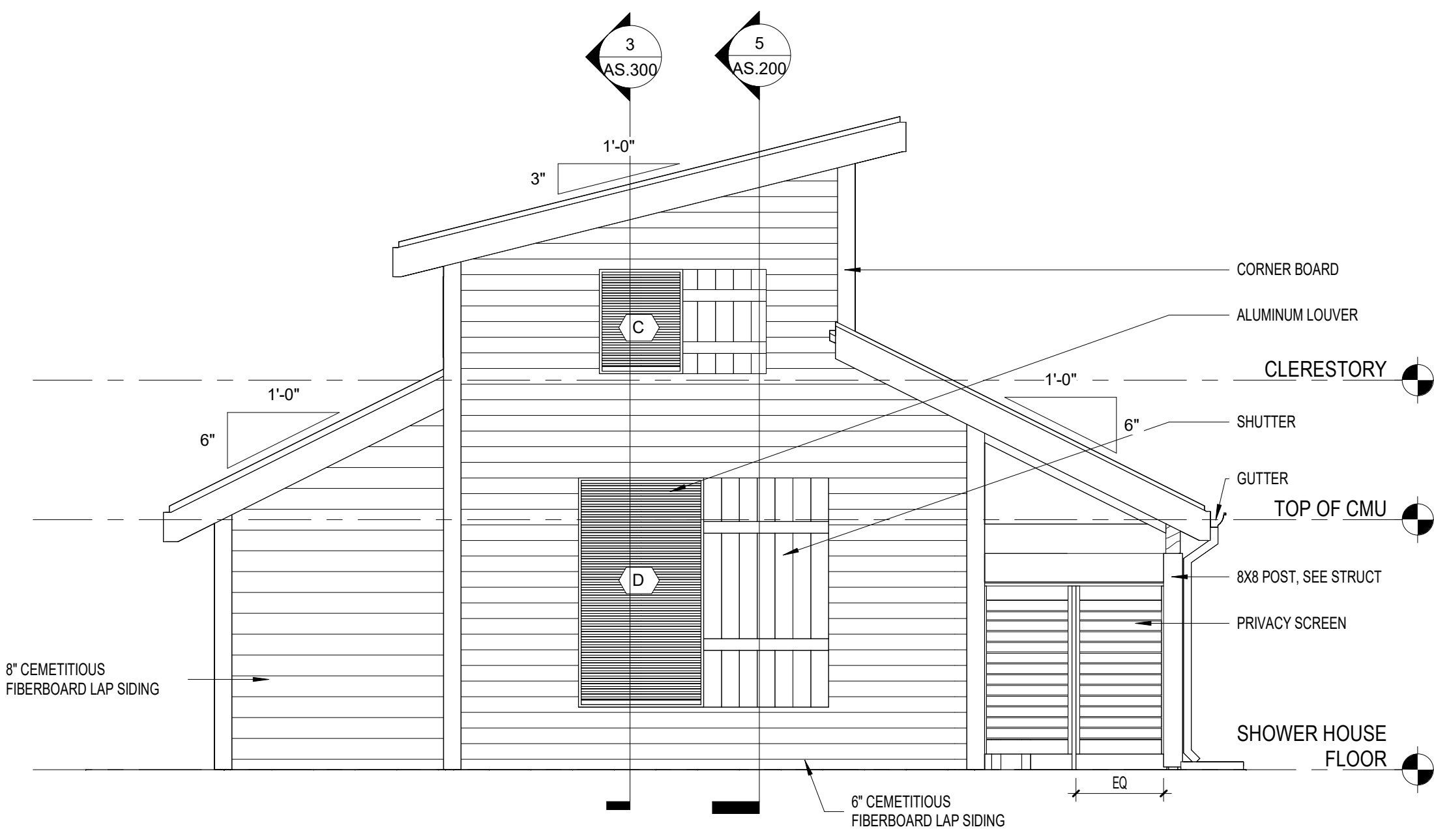
3 NORTH ELEVATION  
1/4" = 1'-0"



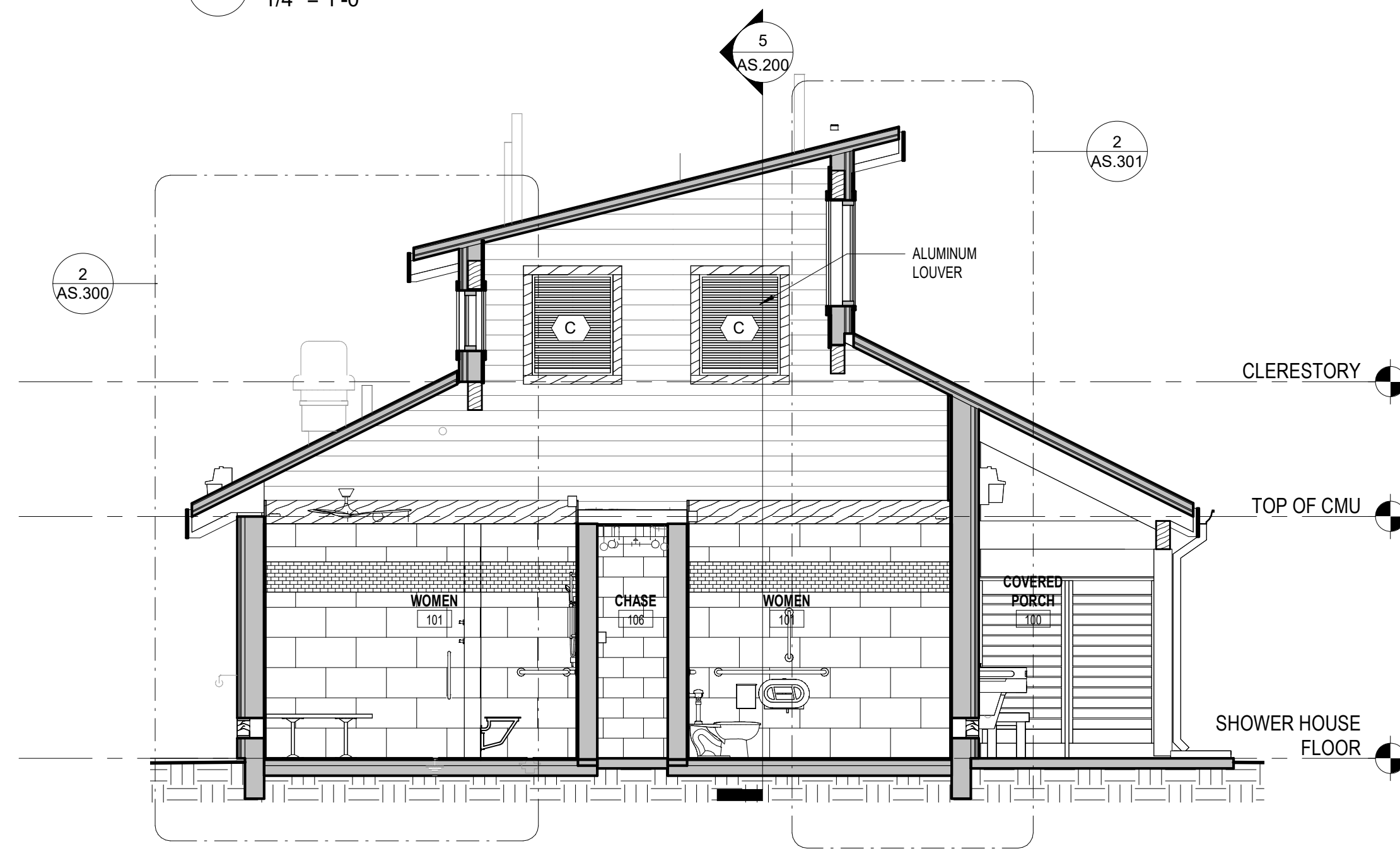
5 BUILDING SECTION  
1/4" = 1'-0"



2 EAST ELEVATION  
1/4" = 1'-0"



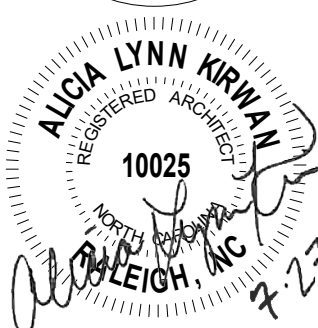
4 WEST ELEVATION  
1/4" = 1'-0"



6 BUILDING SECTION  
1/4" = 1'-0"

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# date note

PROJECT STATUS  
Construction Documents For Bid

OWNER ID  
SCO ID#  
20-22411-02A

Finch & Associates  
309 North Boyan Avenue  
Raleigh, NC 27603-1402  
T 919 | 833-1212  
F 919 | 834-3203  
NCBELS Lic. No. P-1845  
NCBOL1 Lic. No. C-656

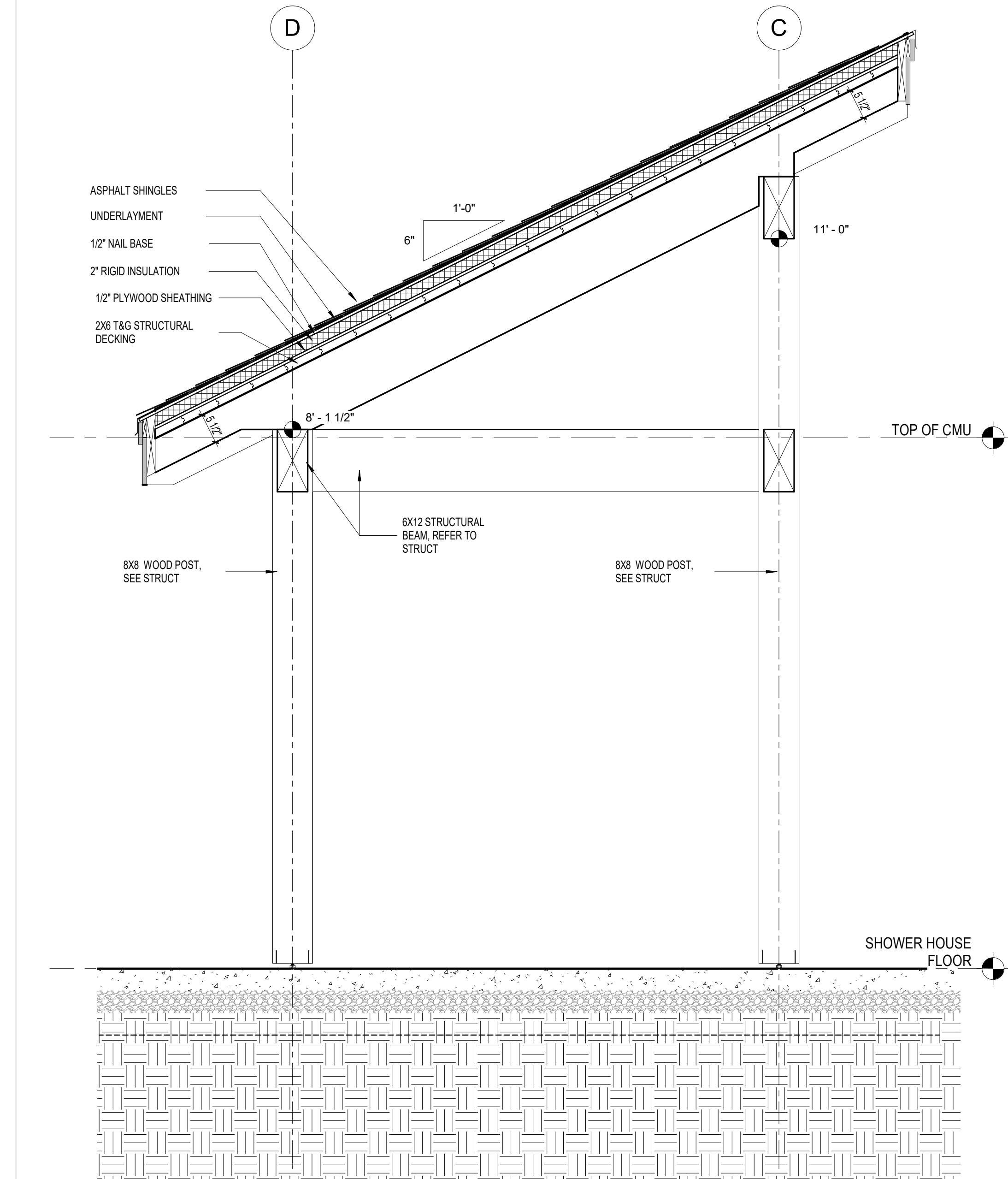
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& ASSOCIATES  
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PETTIGREW STATE PARK  
CAMPGROUND AND OFFICE IMPROVEMENTS  
2252 LAKE SHORE ROAD  
CRESWELL, NORTH CAROLINA

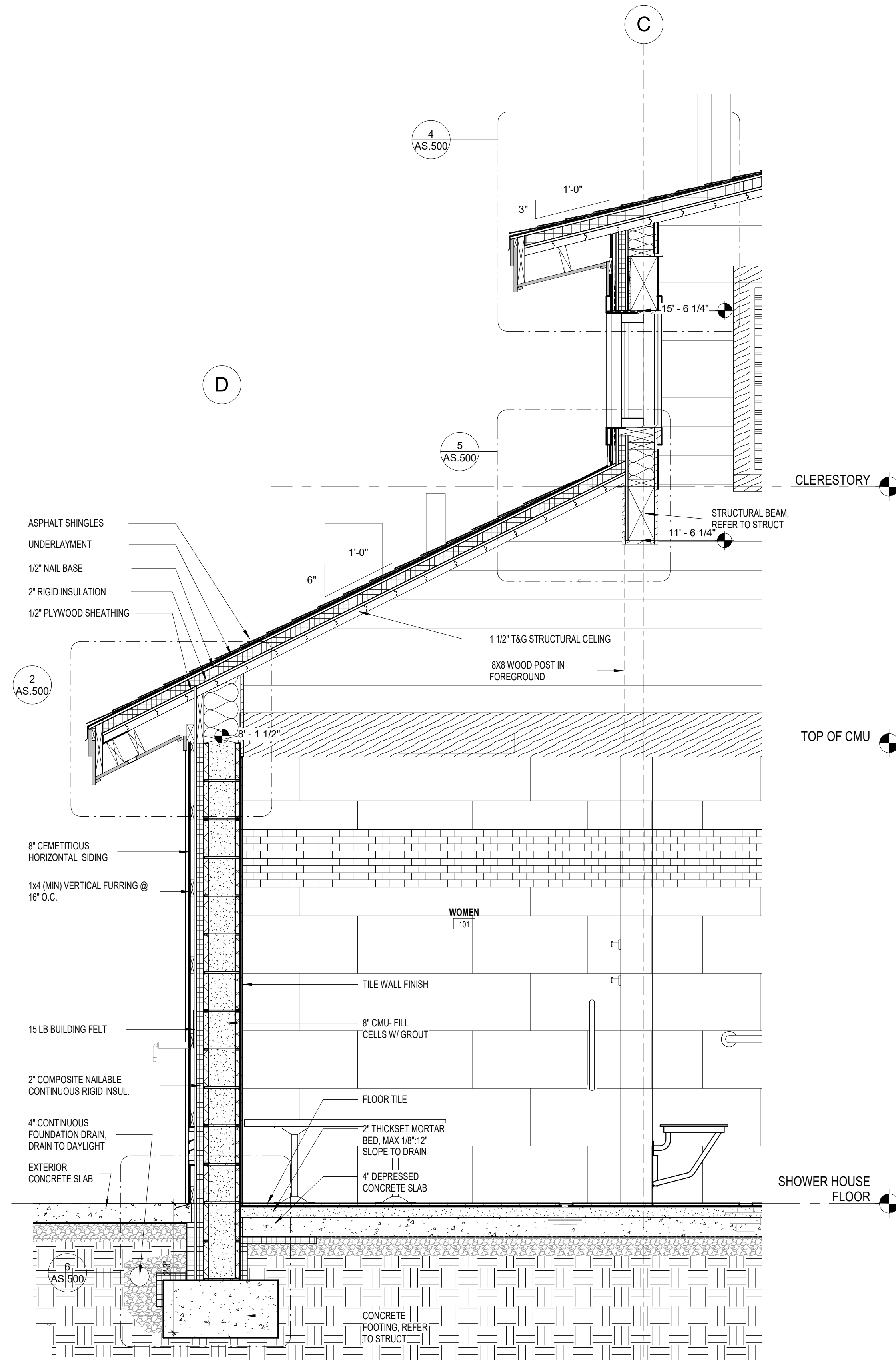
DRAWN TMM  
CHECKED ALK  
PROJECT NO. 1361-20  
DATE 07/27/2025  
SHEET NAME ELEVATIONS & SECTION  
SHEET NO. AS.200



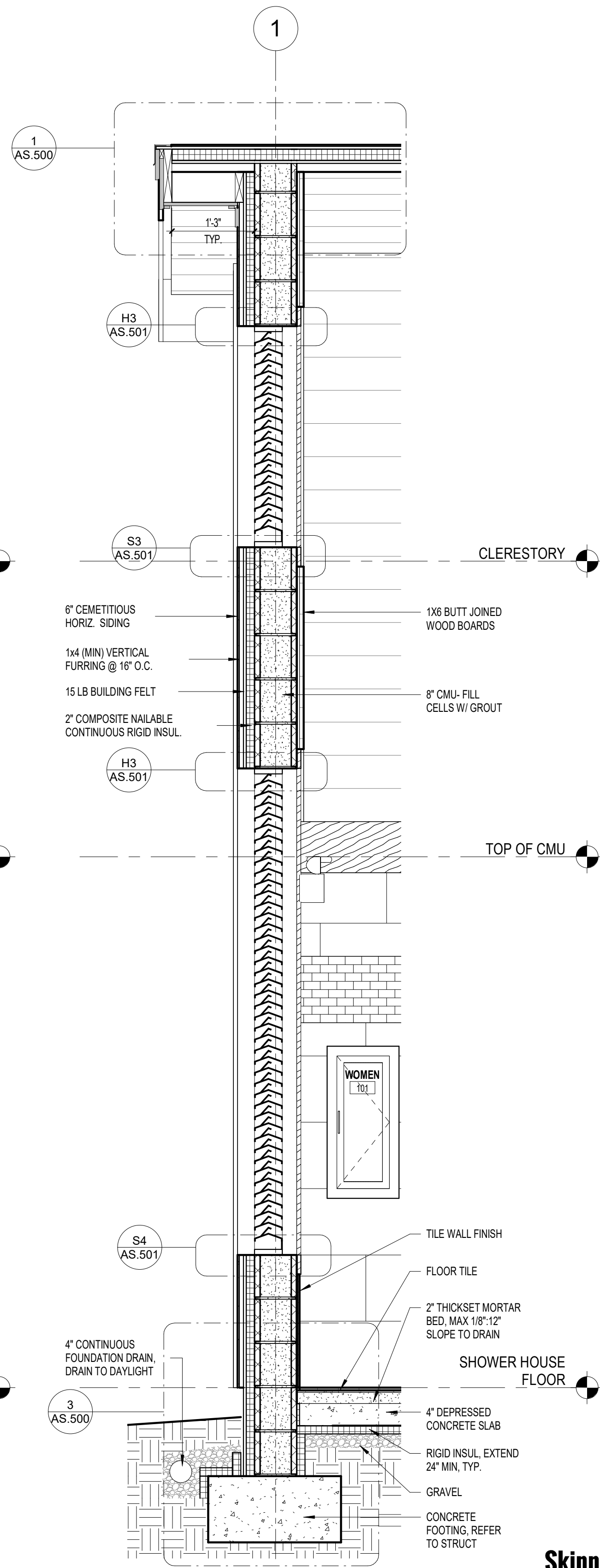
7/23/2025 6:15:19 PM



1 EAST PORCH SECTION  
3/4" = 1'-0"



2 WALL SECTION  
3/4" = 1'-0"



3 WALL SECTION  
3/4" = 1'-0"

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PROJECT STATUS  
Construction  
Documents For Bid

OWNER ID  
SCO ID#  
20-22411-02A

Finch & Associates  
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Raleigh, NC 27603-1402  
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NCBELS Lic. No. P-1845  
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CAMPGROUND AND OFFICE IMPROVEMENTS  
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CRESWELL, NORTH CAROLINA

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CHECKED ALK

PROJECT NO. 1361-20

DATE 07/27/2025

SHEET NAME

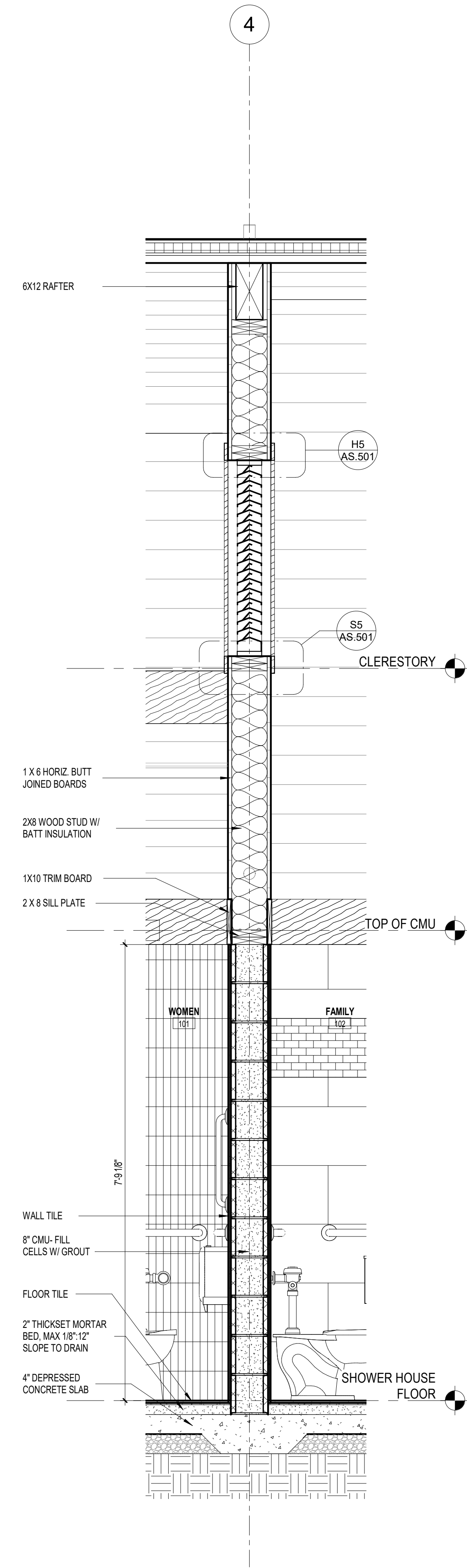
WALL SECTIONS

SHEET NO.

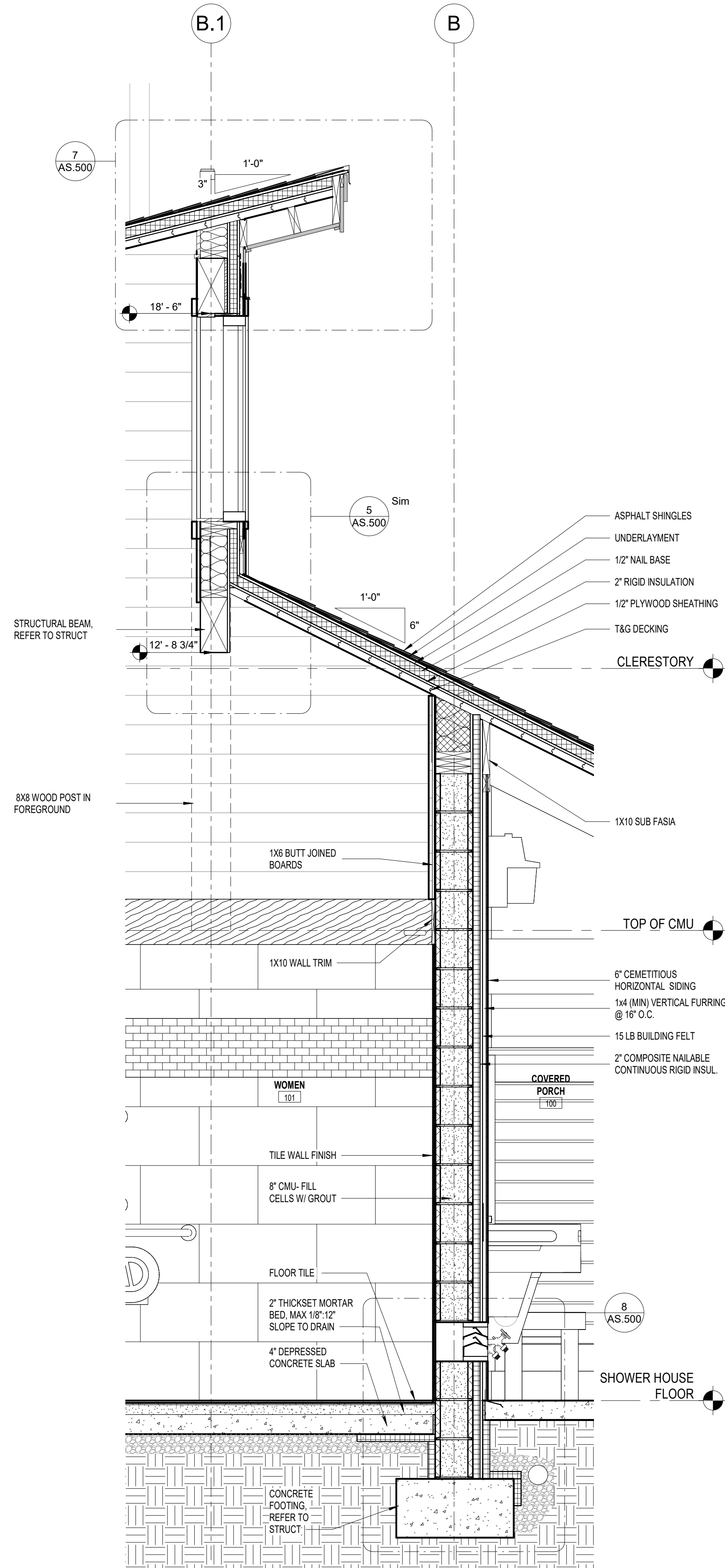
AS.300



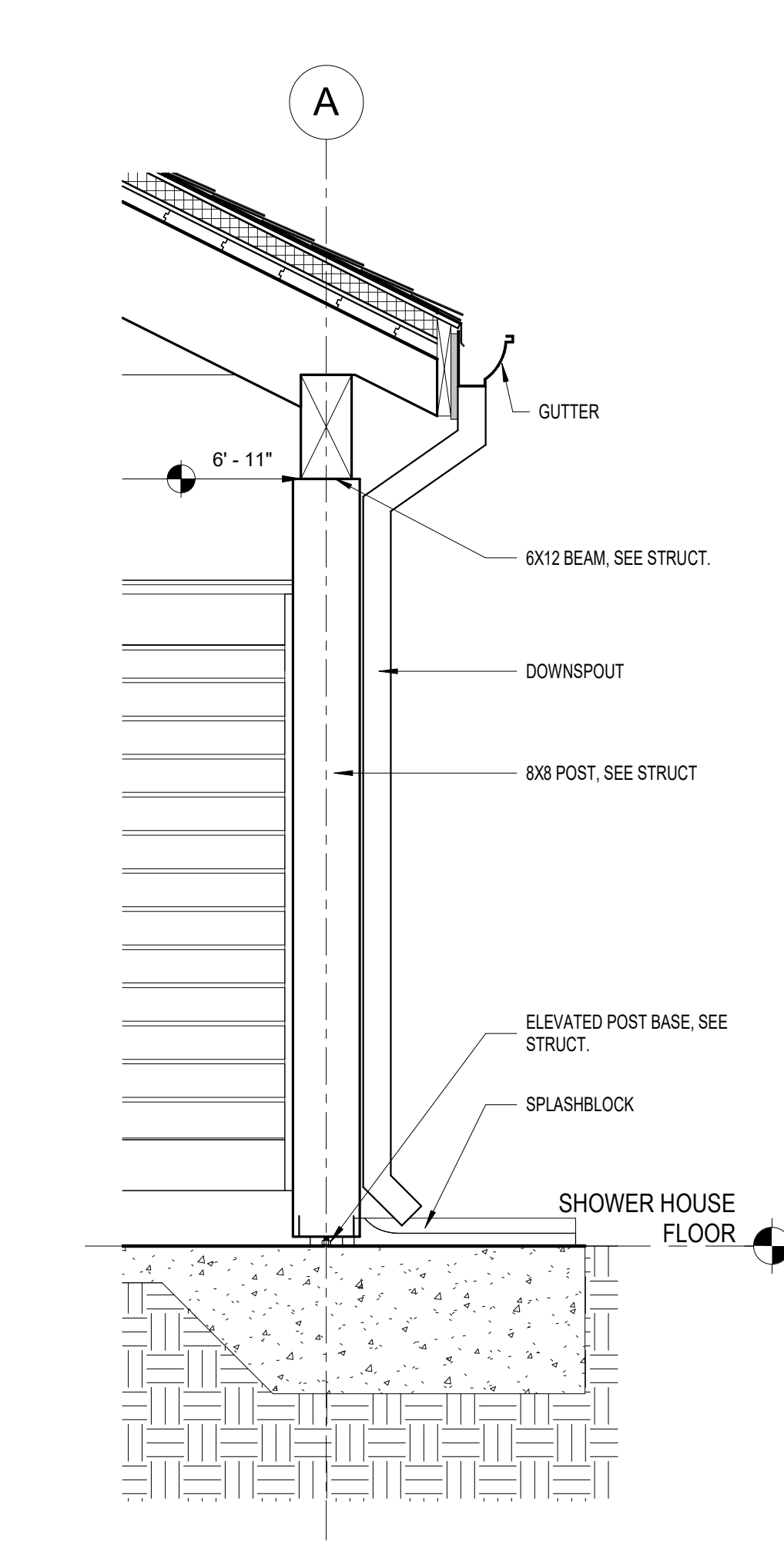
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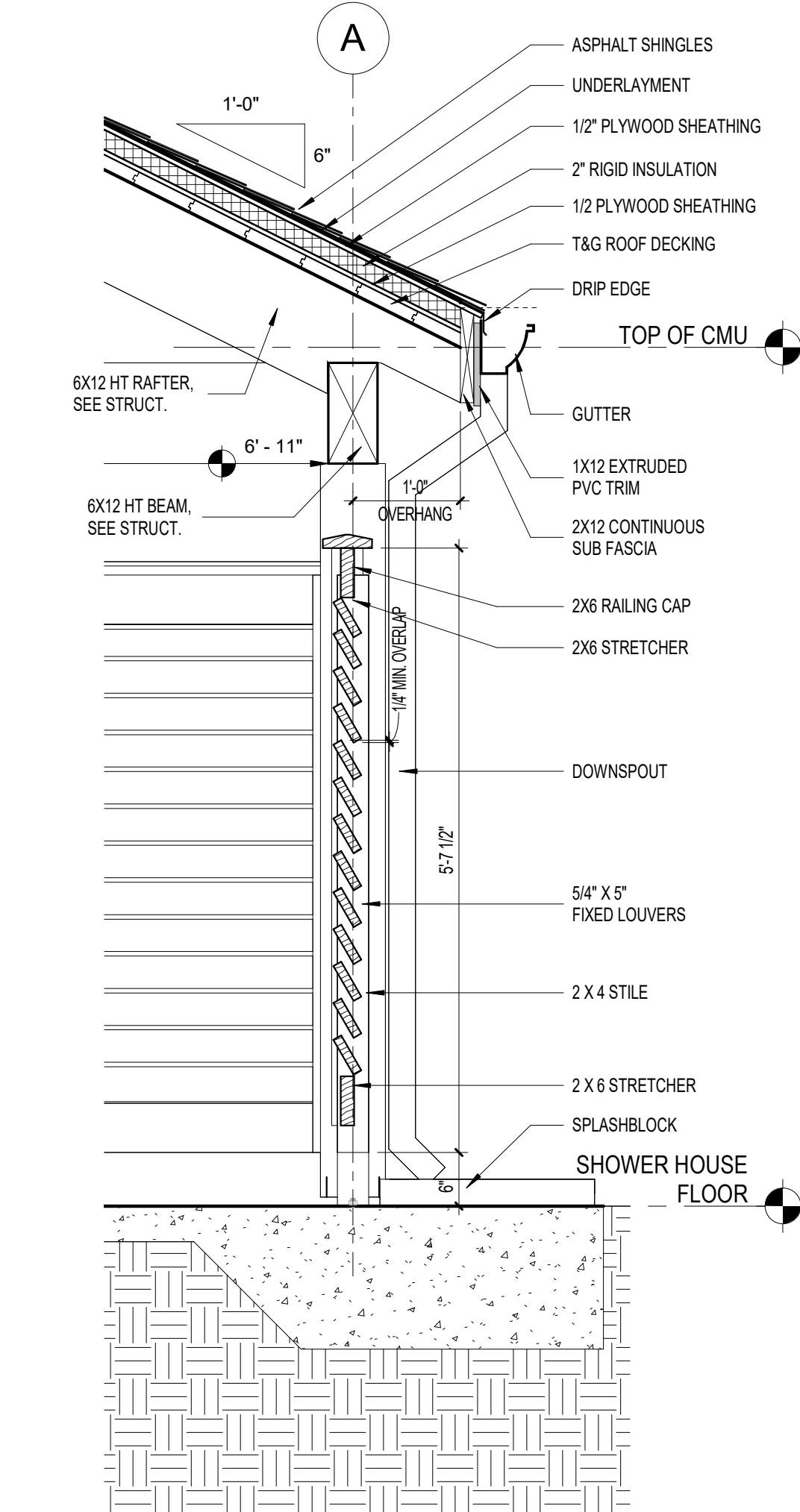
1 WALL SECTION  
3/4" = 1'-0"



2 WALL SECTION  
3/4" = 1'-0"



3 PORCH COLUMN  
3/4" = 1'-0"



4 PRIVACY SCREEN  
3/4" = 1'-0"

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PROJECT STATUS  
Construction Documents For Bid

OWNER ID  
SCO ID#  
20-22411-02A

Finch & Associates  
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2252 LAKE SHORE ROAD  
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PROJECT NO. 1381-20

DATE 07/27/2025

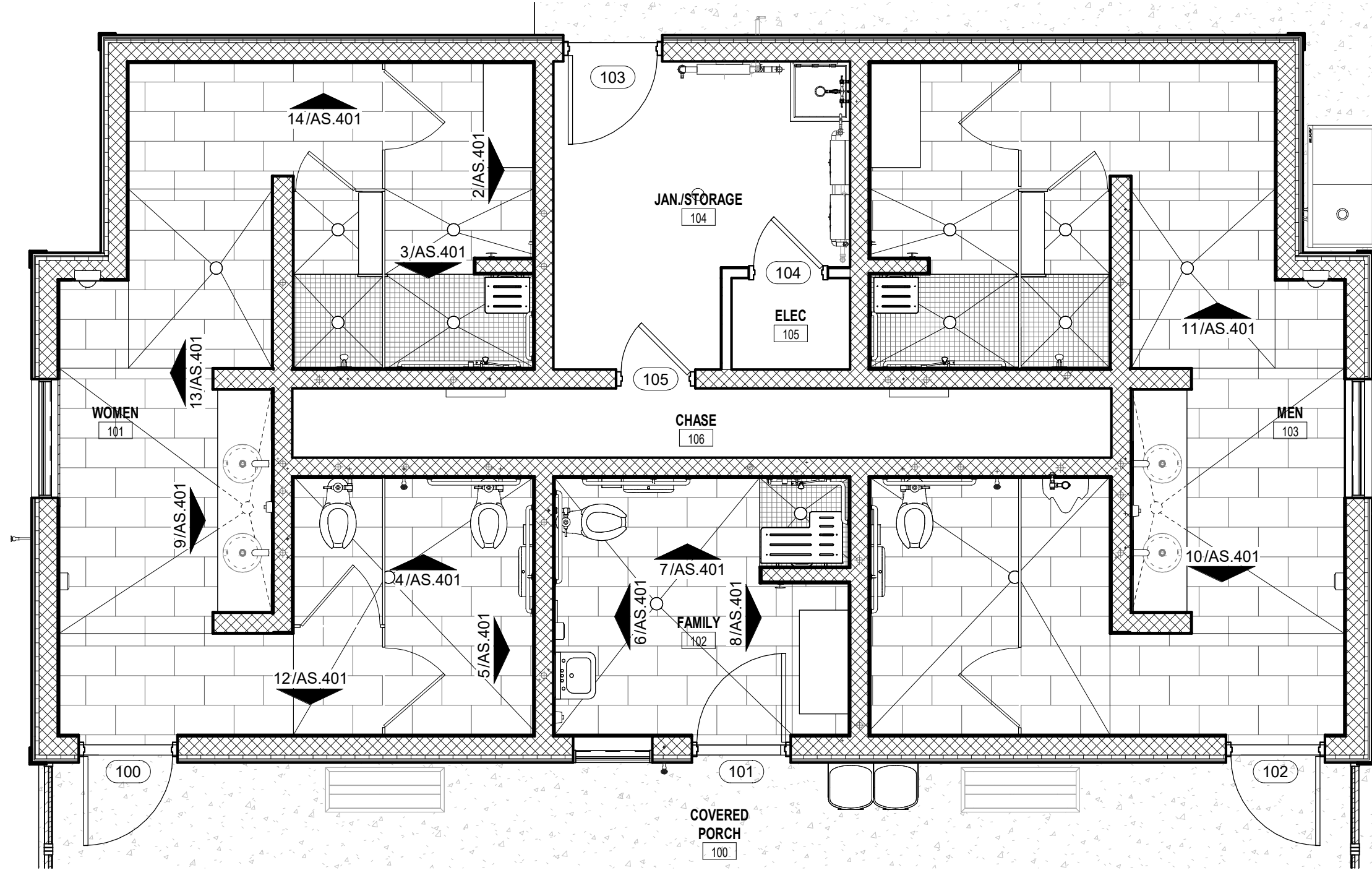
SHEET NAME WALL SECTIONS

SHEET NO. AS.301









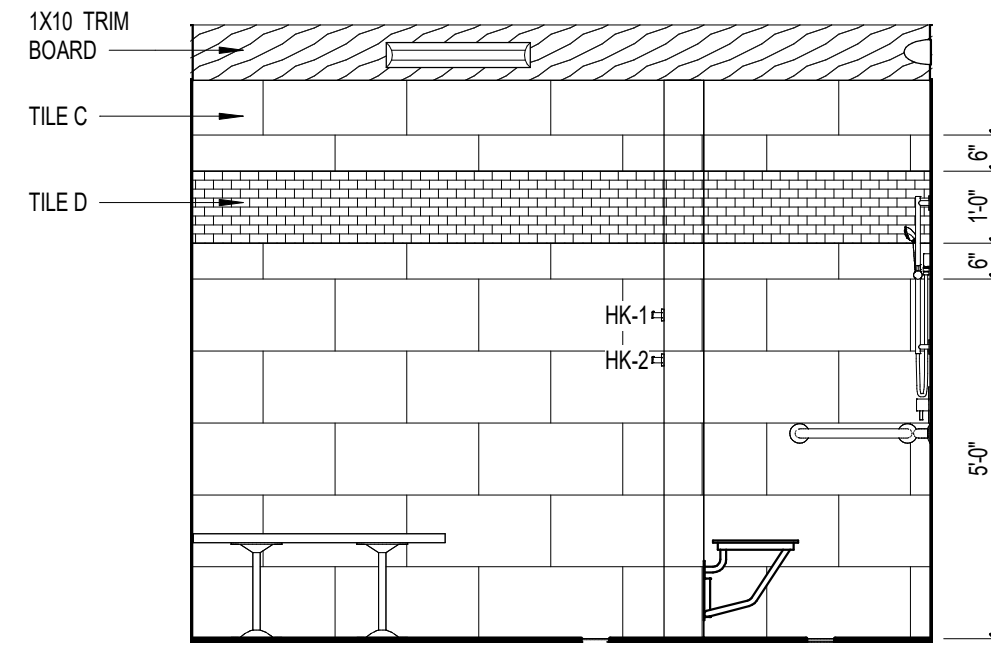
1 FINISH FLOOR PLAN  
1/4" = 1'-0"



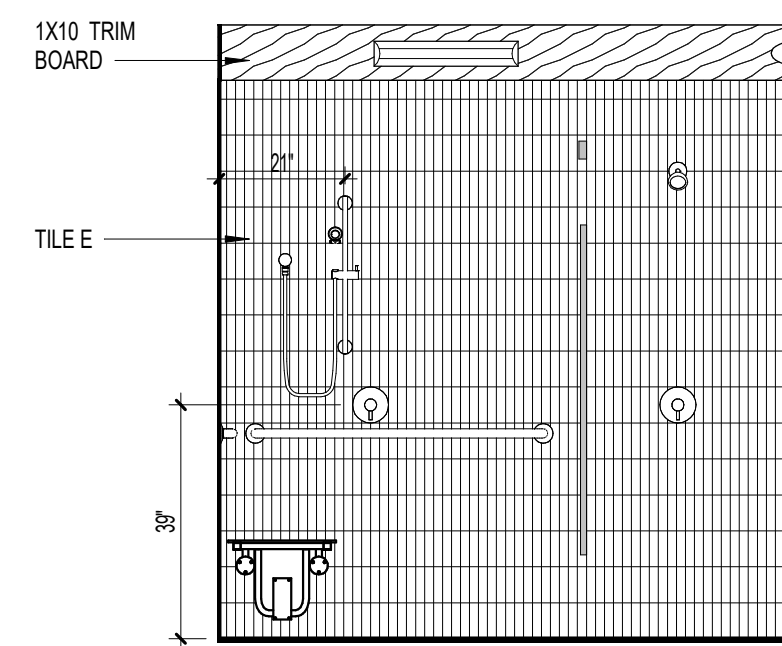
10 INTERIOR SOUTH ELEVATION  
1/4" = 1'-0"



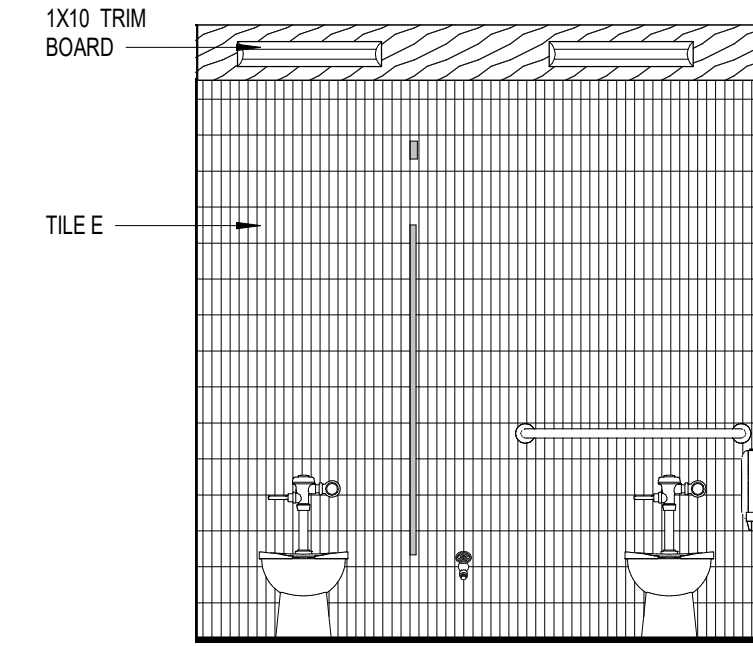
11 INTERIOR NORTH ELEVATION  
1/4" = 1'-0"



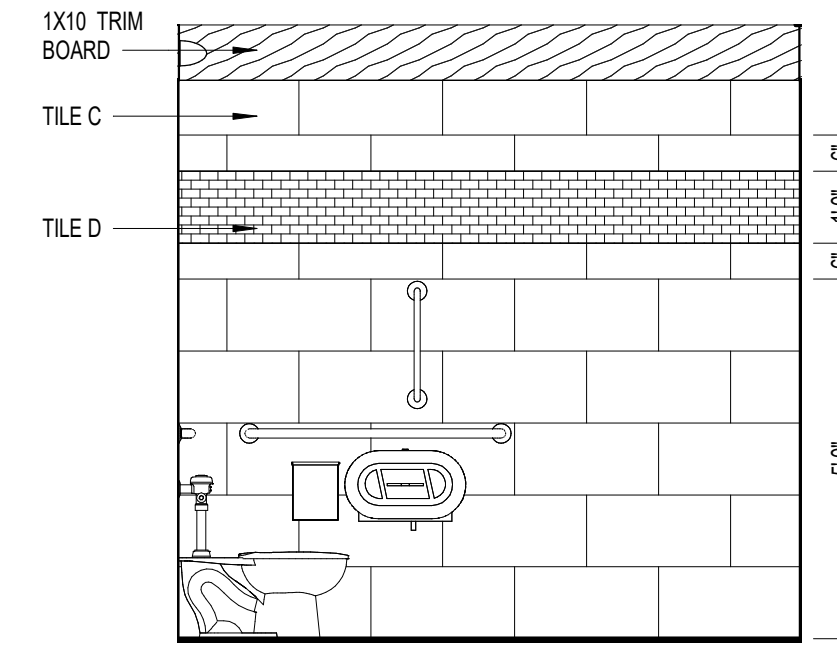
2 INTERIOR ELEVATION  
3/8" = 1'-0"



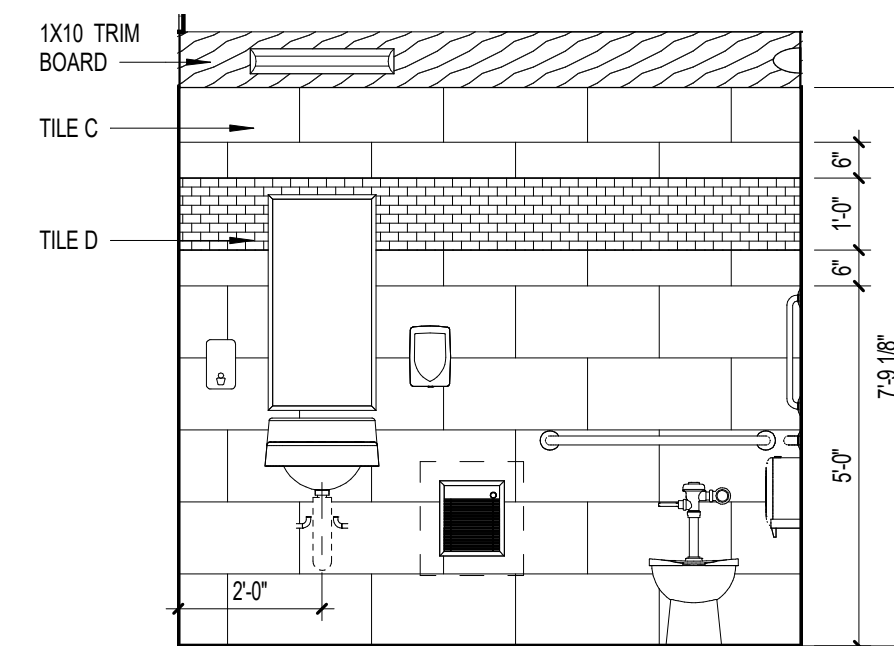
3 INTERIOR ELEVATION  
3/8" = 1'-0"



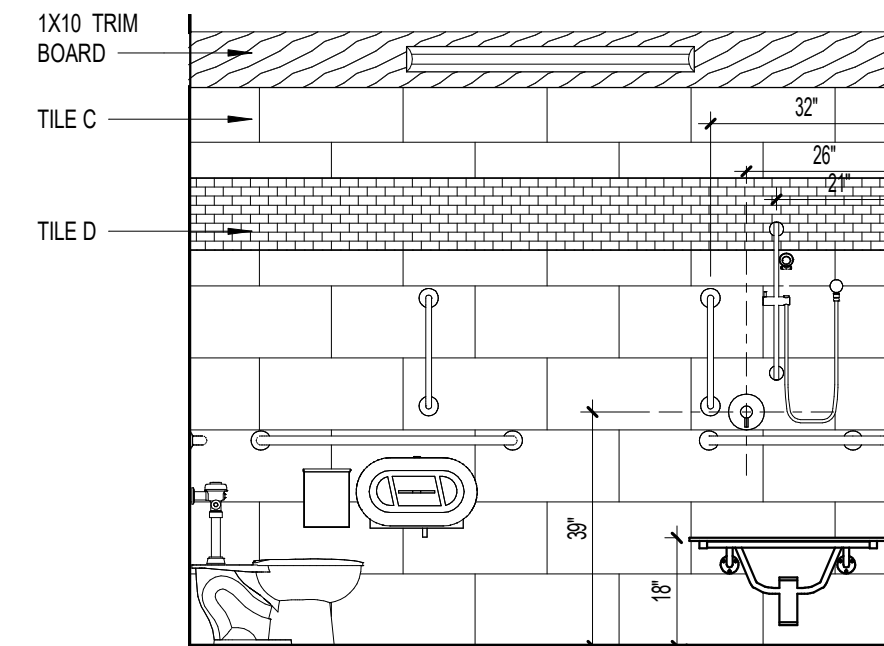
4 INTERIOR ELEVATION  
3/8" = 1'-0"



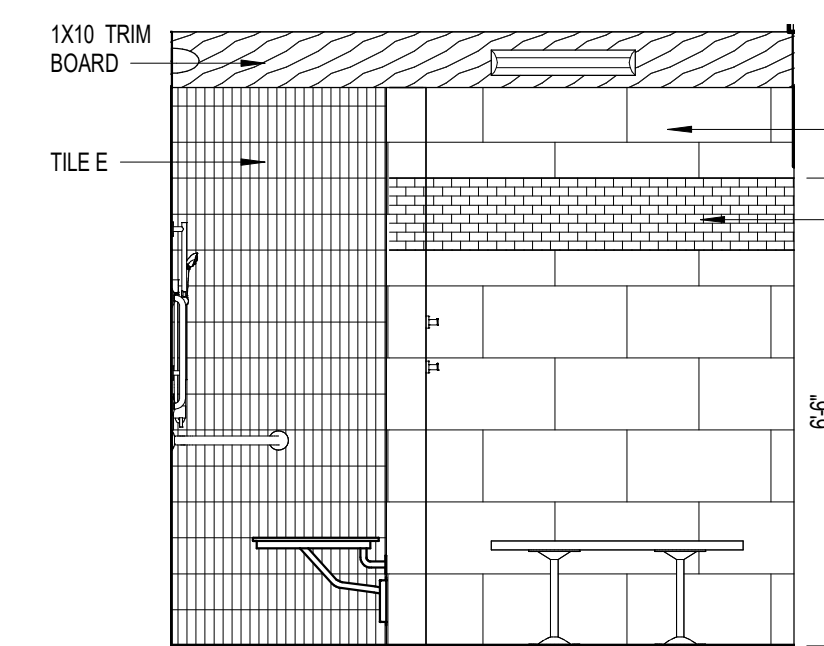
5 INTERIOR ELEVATION  
3/8" = 1'-0"



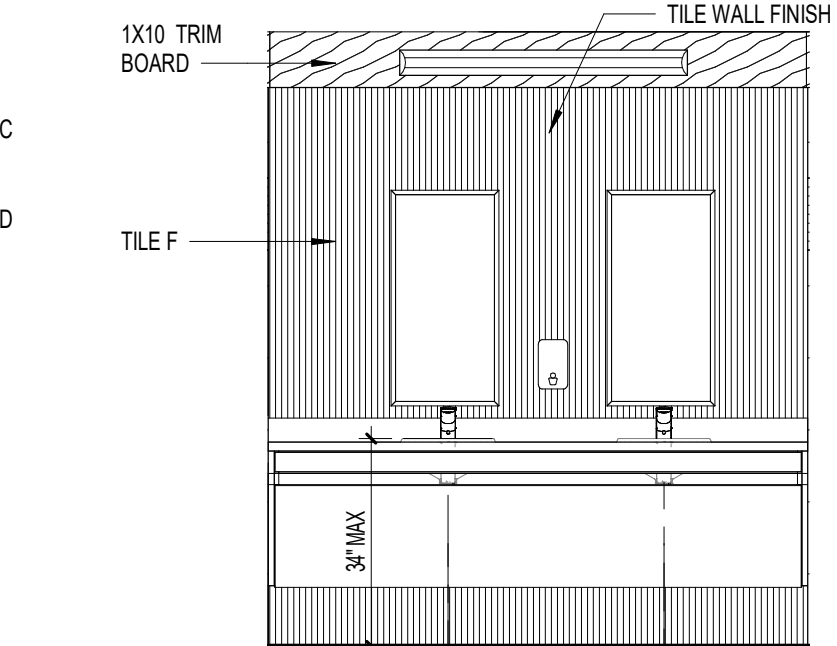
6 FAMILY BATH  
3/8" = 1'-0"



7 FAMILY BATH  
3/8" = 1'-0"

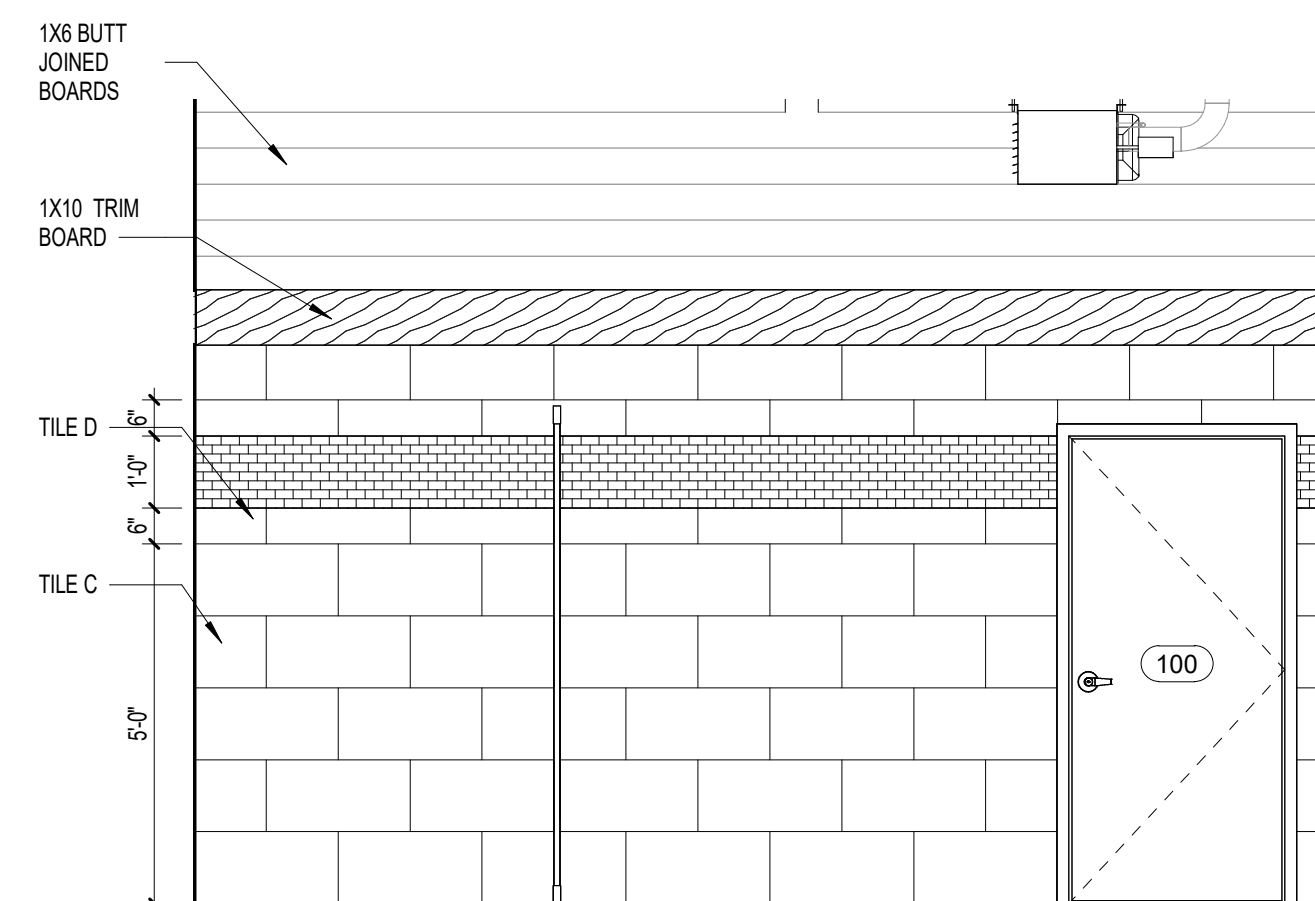


8 FAMILY BATH  
3/8" = 1'-0"

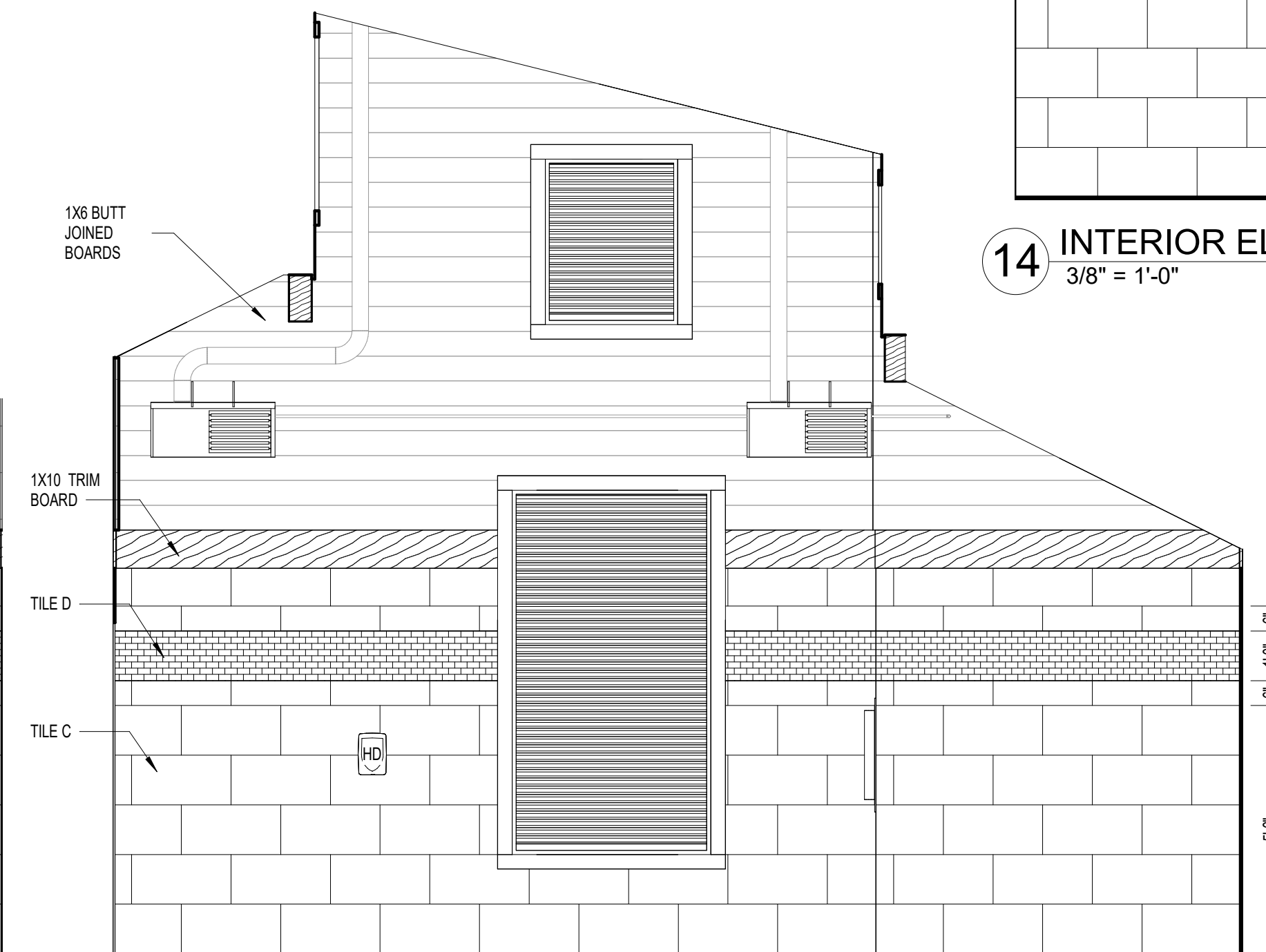


9 INTERIOR ELEVATION  
3/8" = 1'-0"

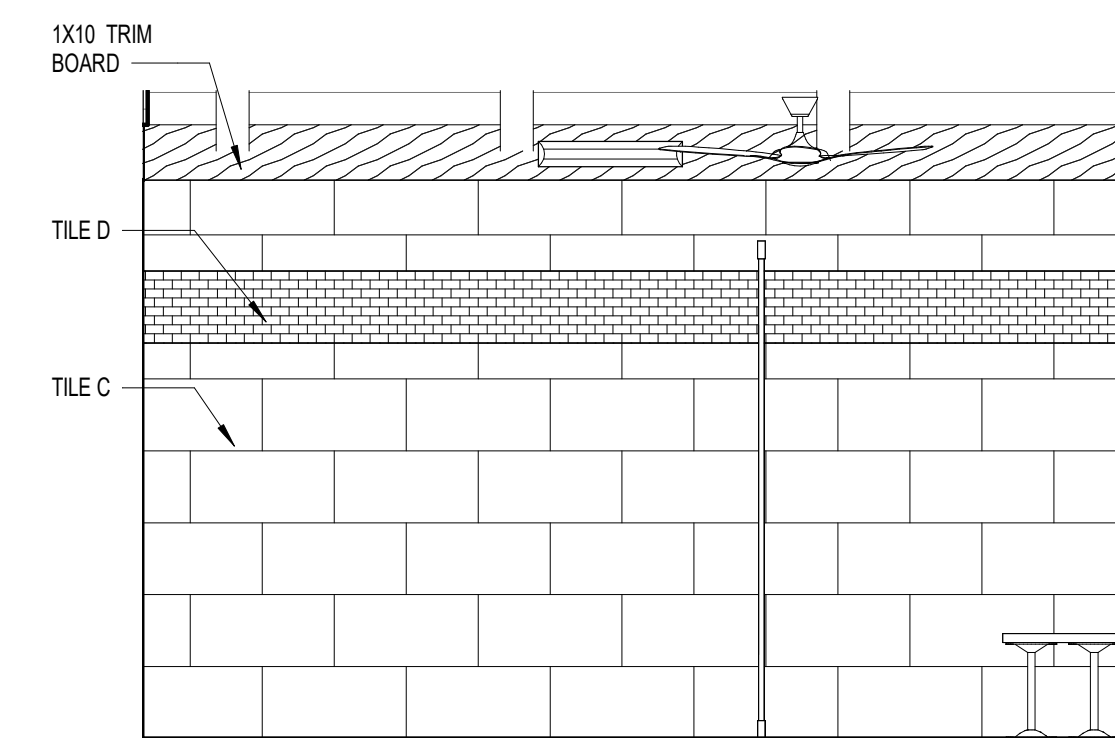
FLOOR & WALL TILE LEGEND					
FLOOR TILE			WALL TILE		
TILE "A" 12 X 24 TILE	TILE "C" 12 X 24 TILE	TILE "E" 12 X 24 BLOCK TILE	TILE "B" 12 X 24 TILE	TILE "D" 12 X 24 TILE	TILE "F" 12 X 24 TILE
TILE "B" 2 X 2 MOSAIC TILE	TILE "D" 2 X 3 MOSAIC TILE		TILE "C" 2 X 3 MOSAIC TILE		



12 INTERIOR ELEVATION  
3/8" = 1'-0"



13 INTERIOR ELEVATION  
3/8" = 1'-0"



14 INTERIOR ELEVATION  
3/8" = 1'-0"

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PROJECT STATUS  
Construction Documents For Bid

OWNER ID  
SCO ID#  
20-22411-02A

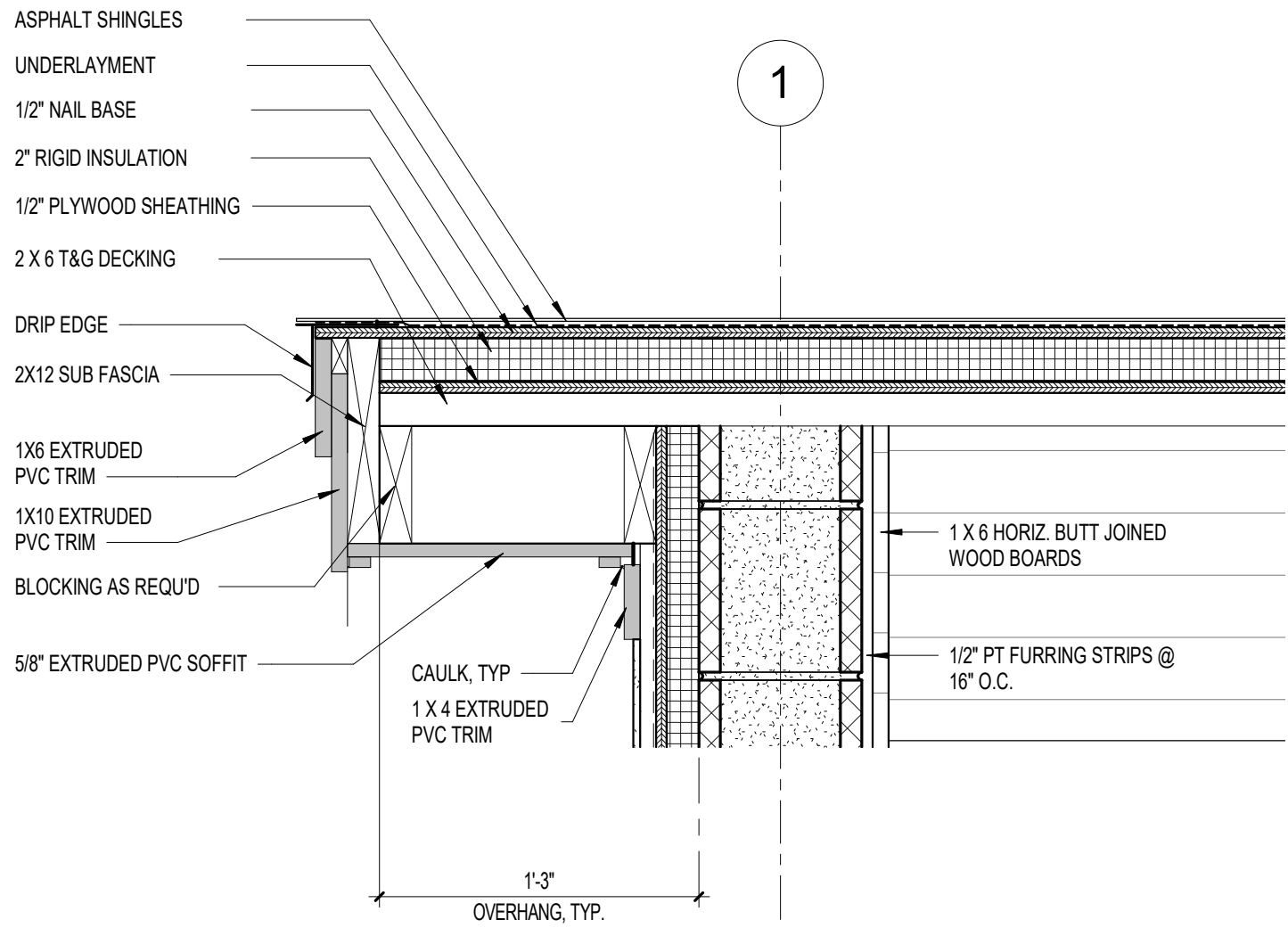
Finch & Associates  
309 North Boylan Avenue  
Raleigh, NC 27603-1402  
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NCBELS Lic. No. P-1845  
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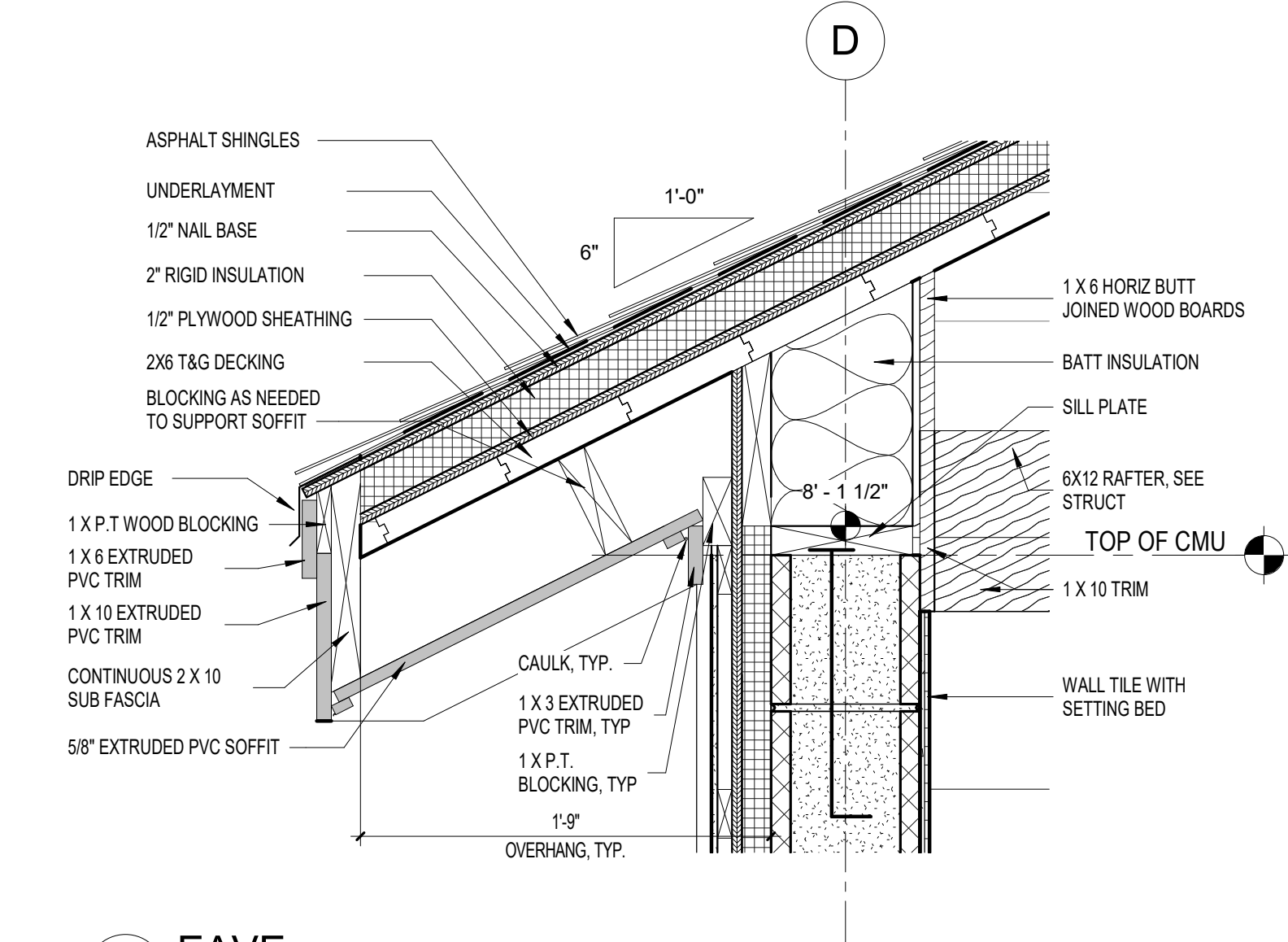
PETTIGREW STATE PARK  
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2252 LAKE SHORE ROAD  
CRESWELL, NORTH CAROLINA

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CHECKED ALK  
PROJECT NO. 1361-20  
DATE 07/27/2025  
SHEET NAME INTERIOR ELEVATIONS  
SHEET NO. AS.401

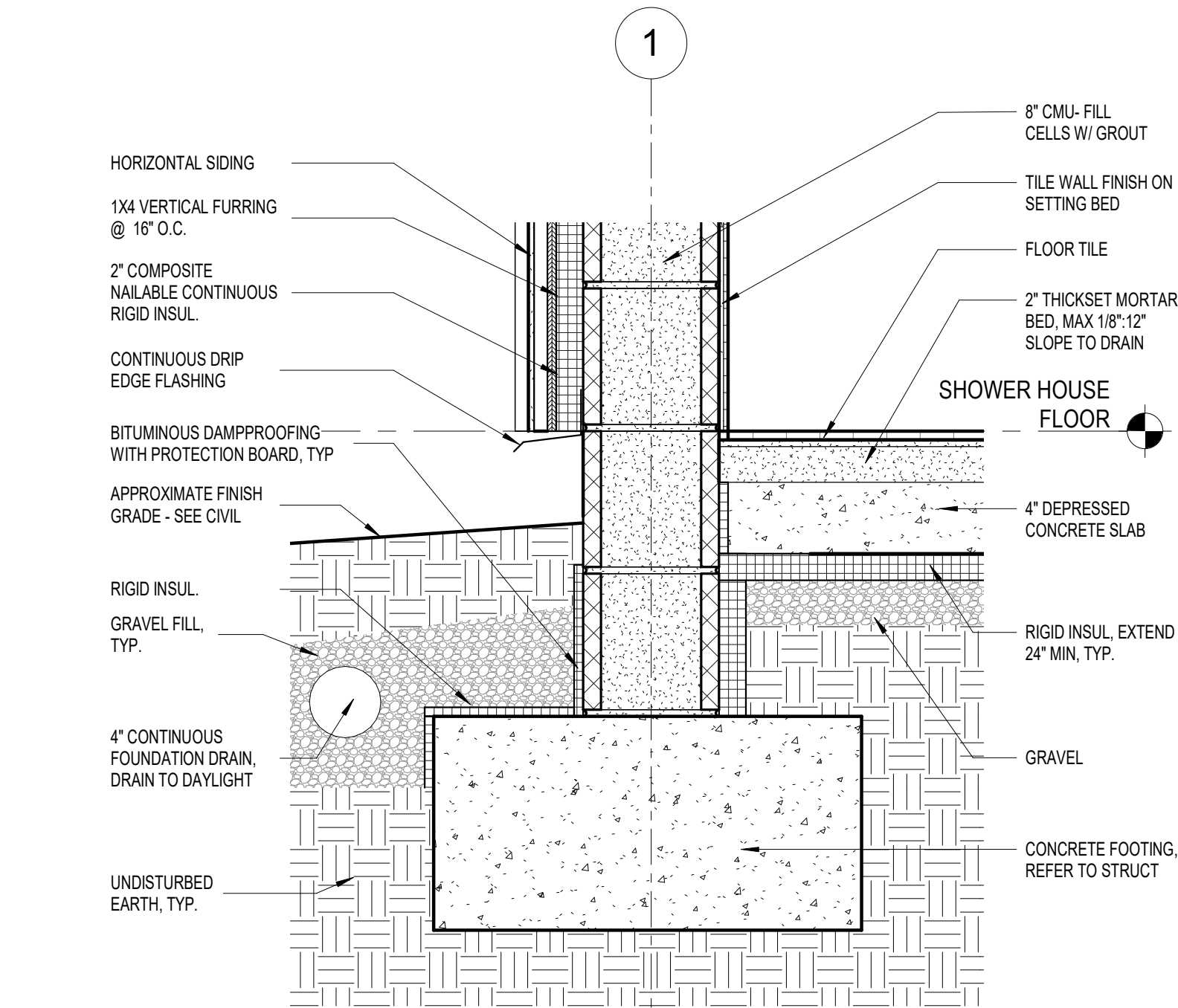




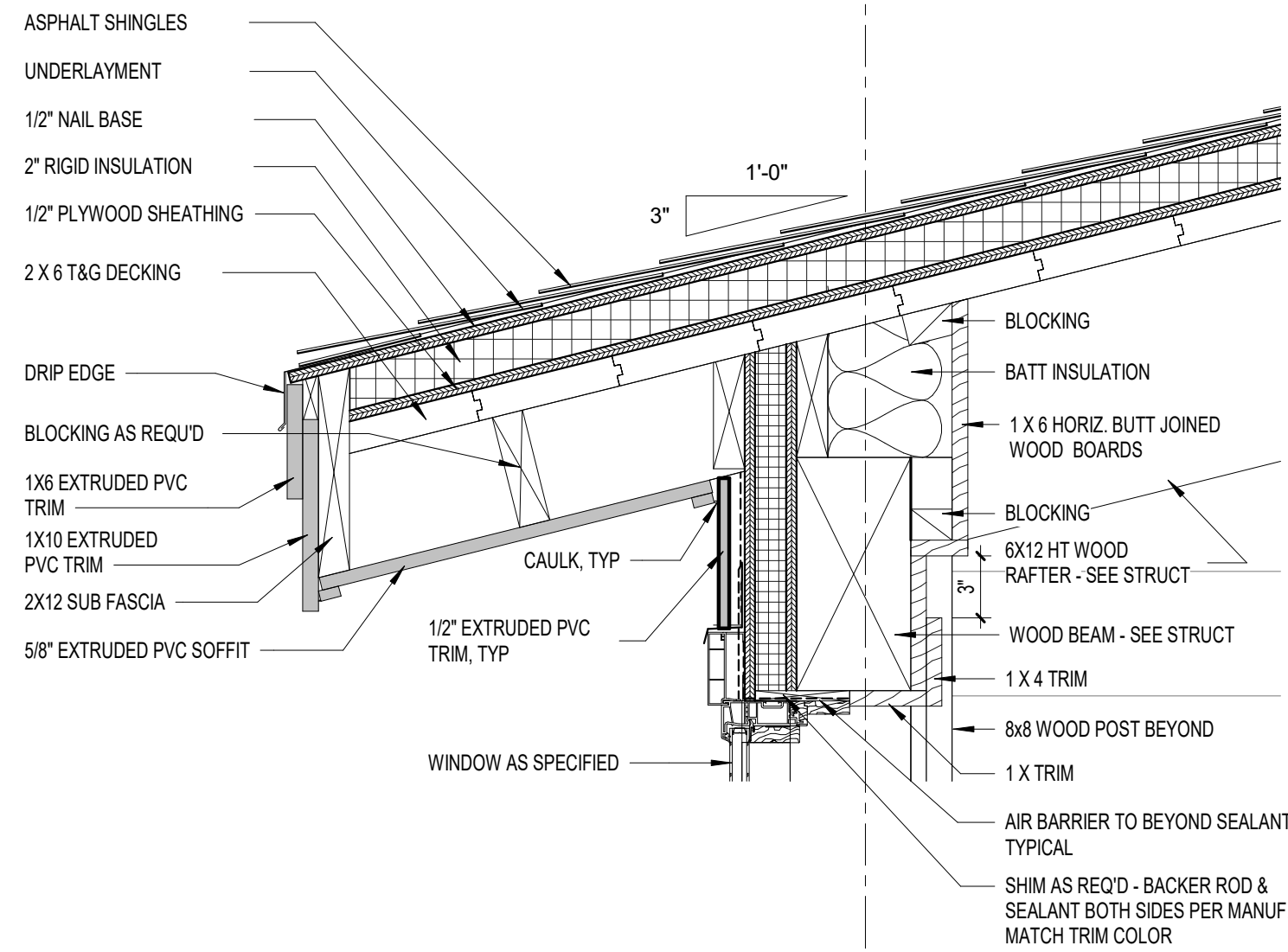
**1 RAKE EDGE**  
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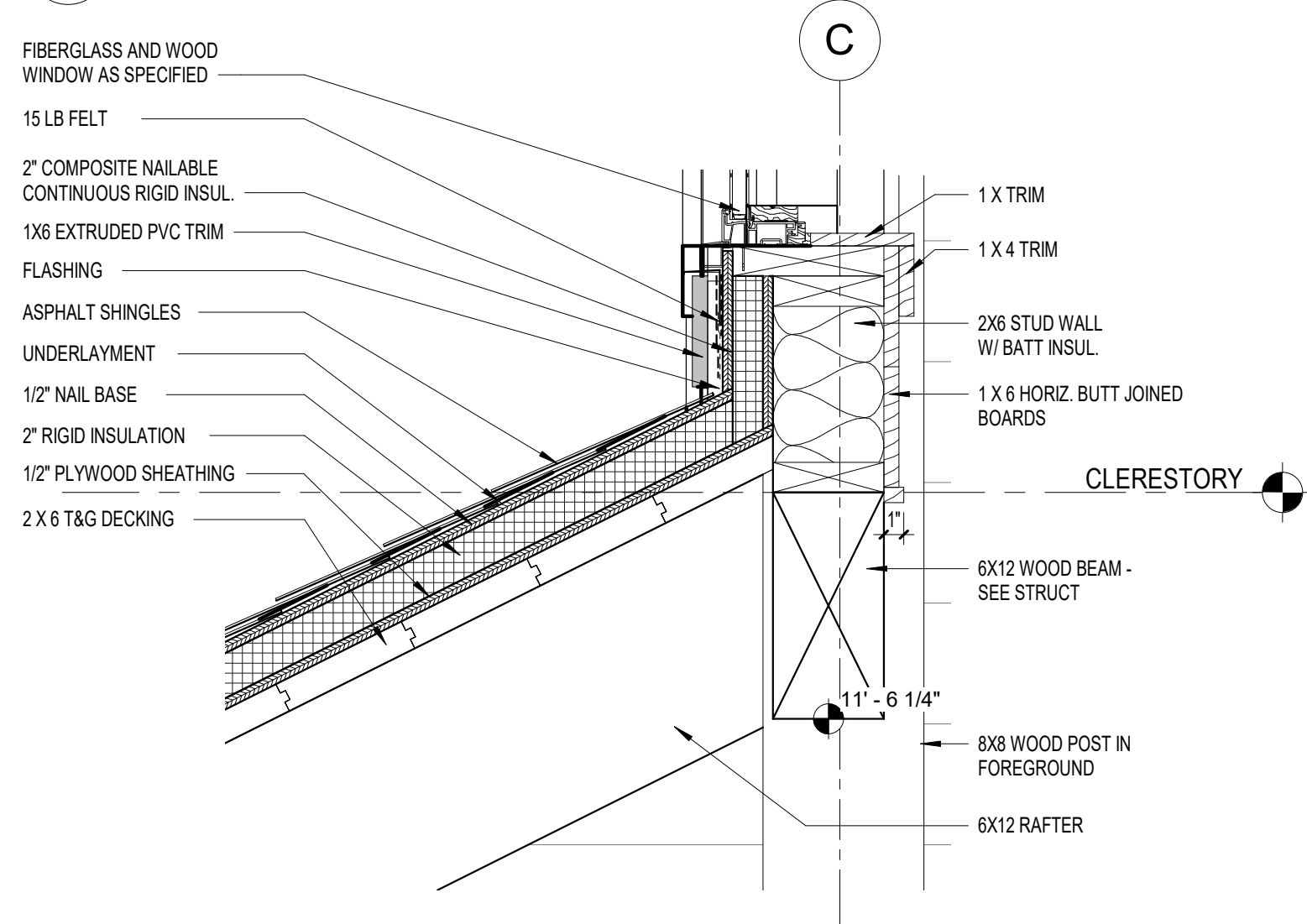
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1 1/2" = 1'-0"



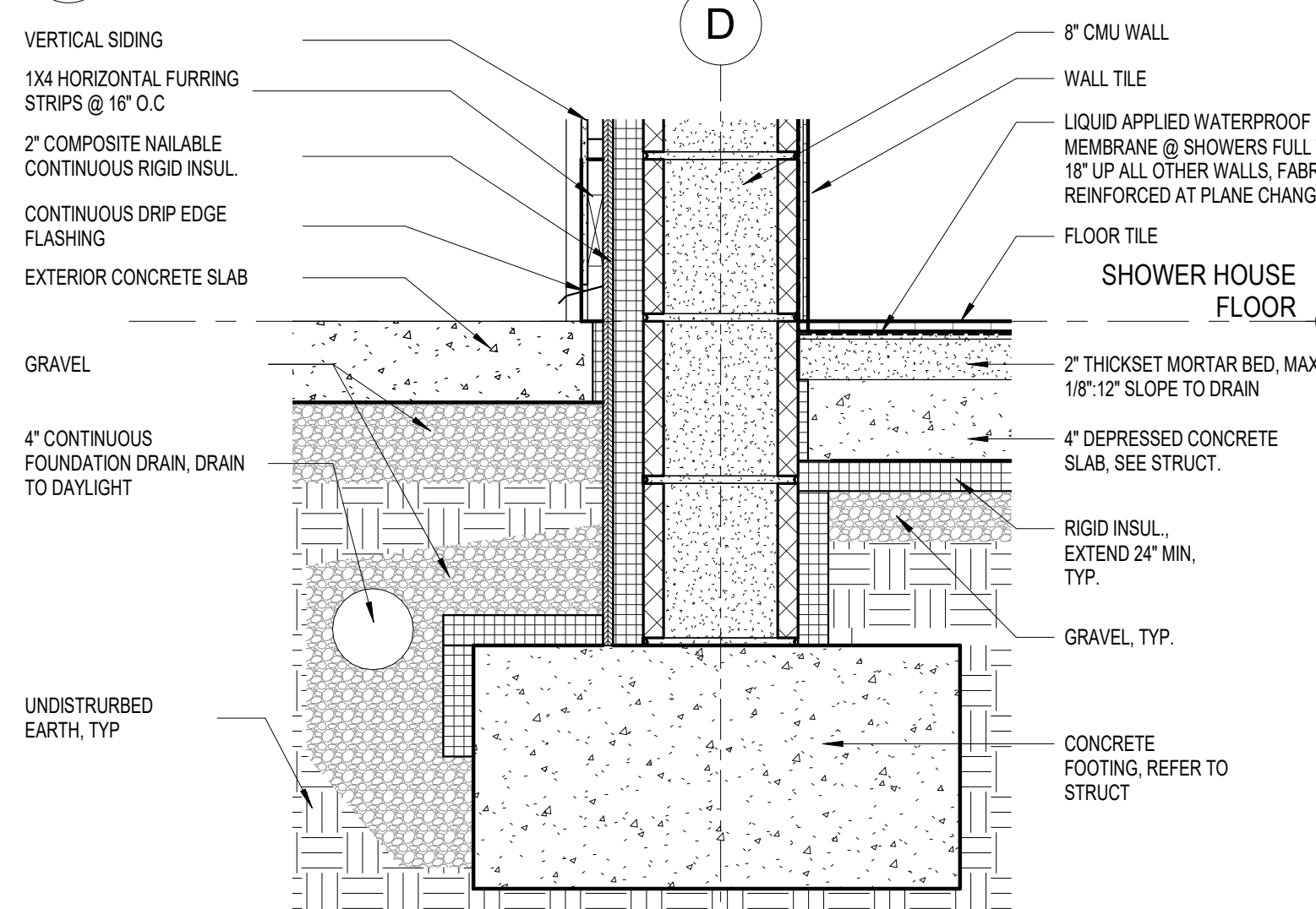
**3 DETAIL**  
1 1/2" = 1'-0"



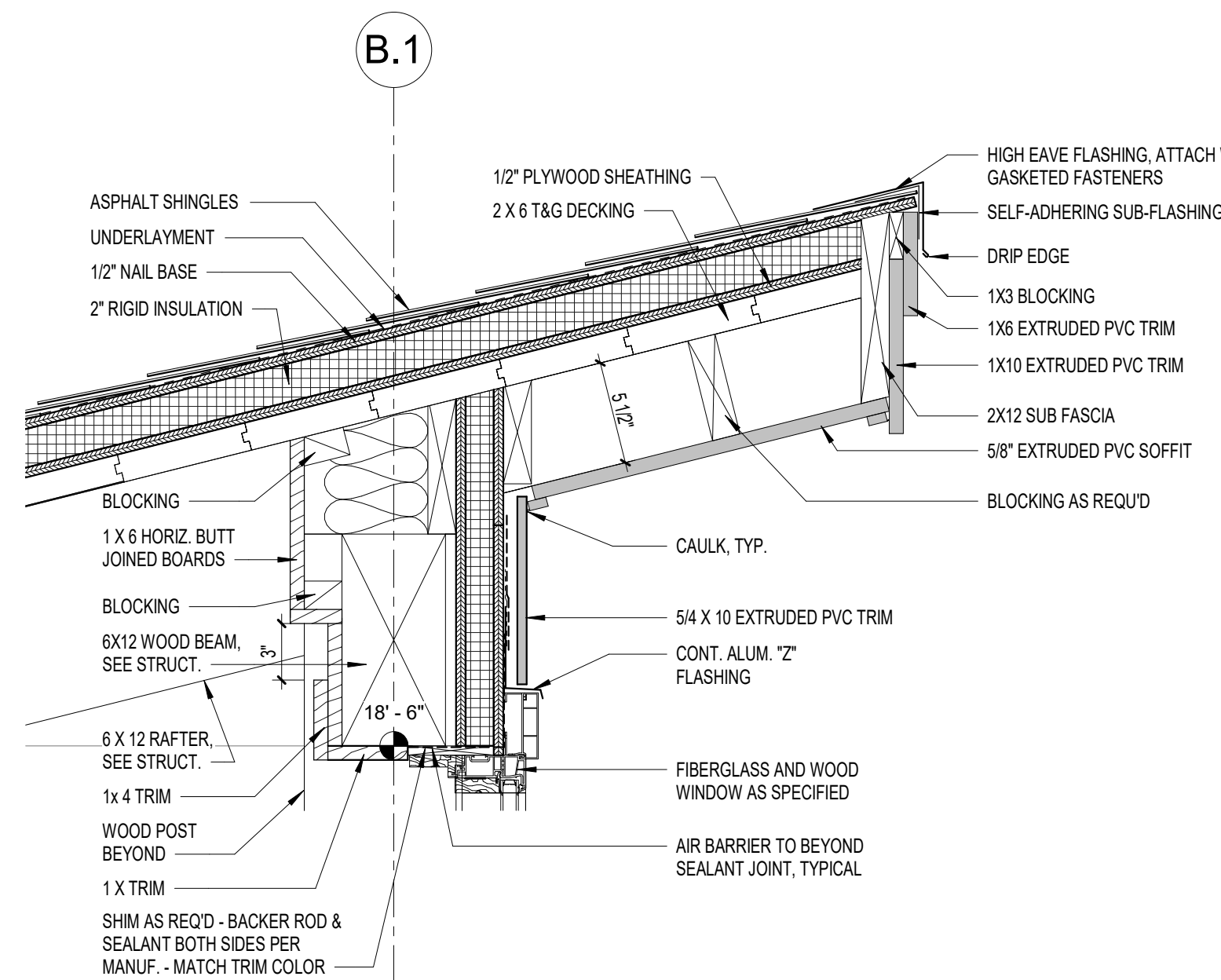
**4 EAVE**  
1 1/2" = 1'-0"



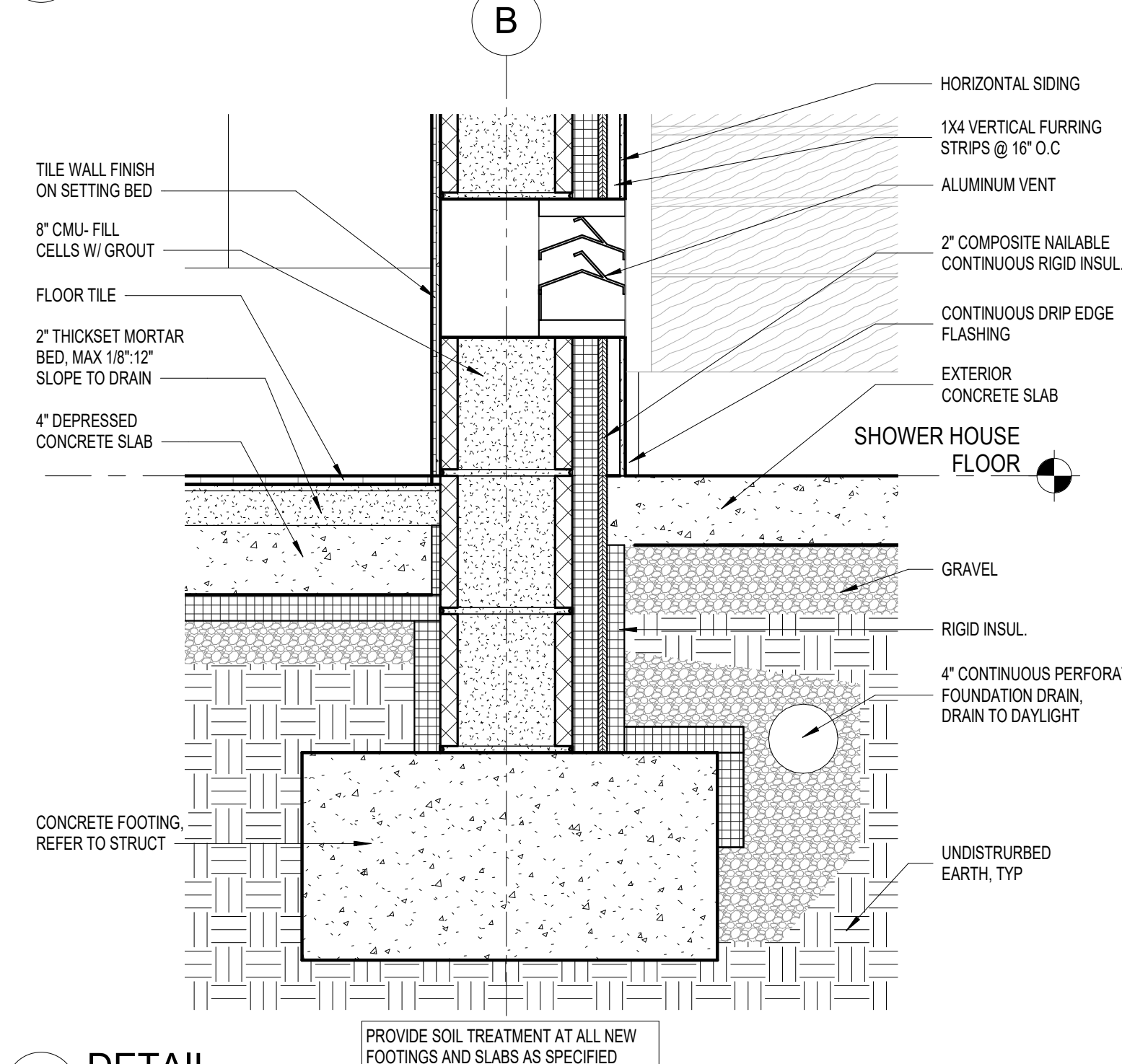
**5 DETAIL**  
1 1/2" = 1'-0"



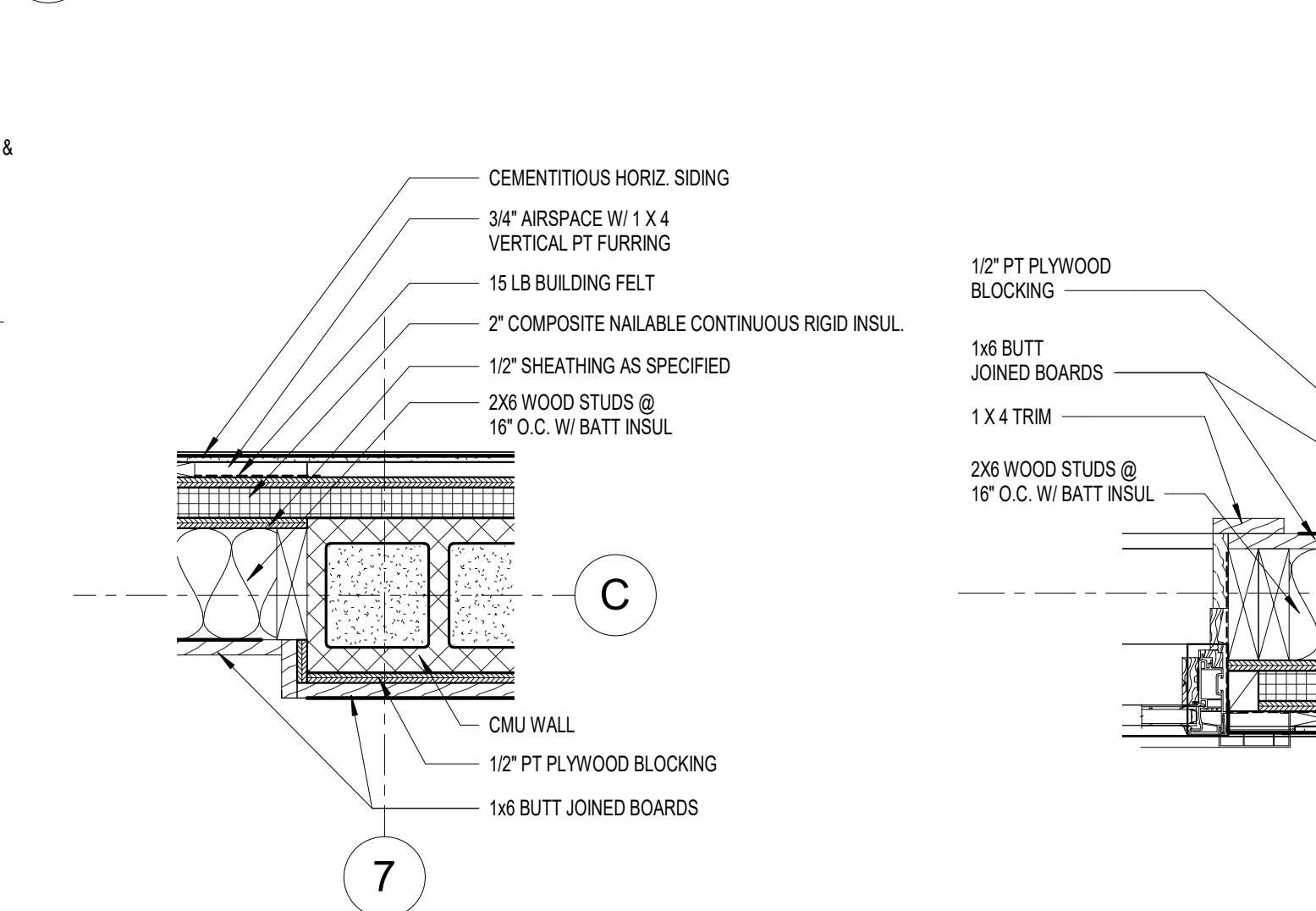
**6 DETAIL**  
1 1/2" = 1'-0"



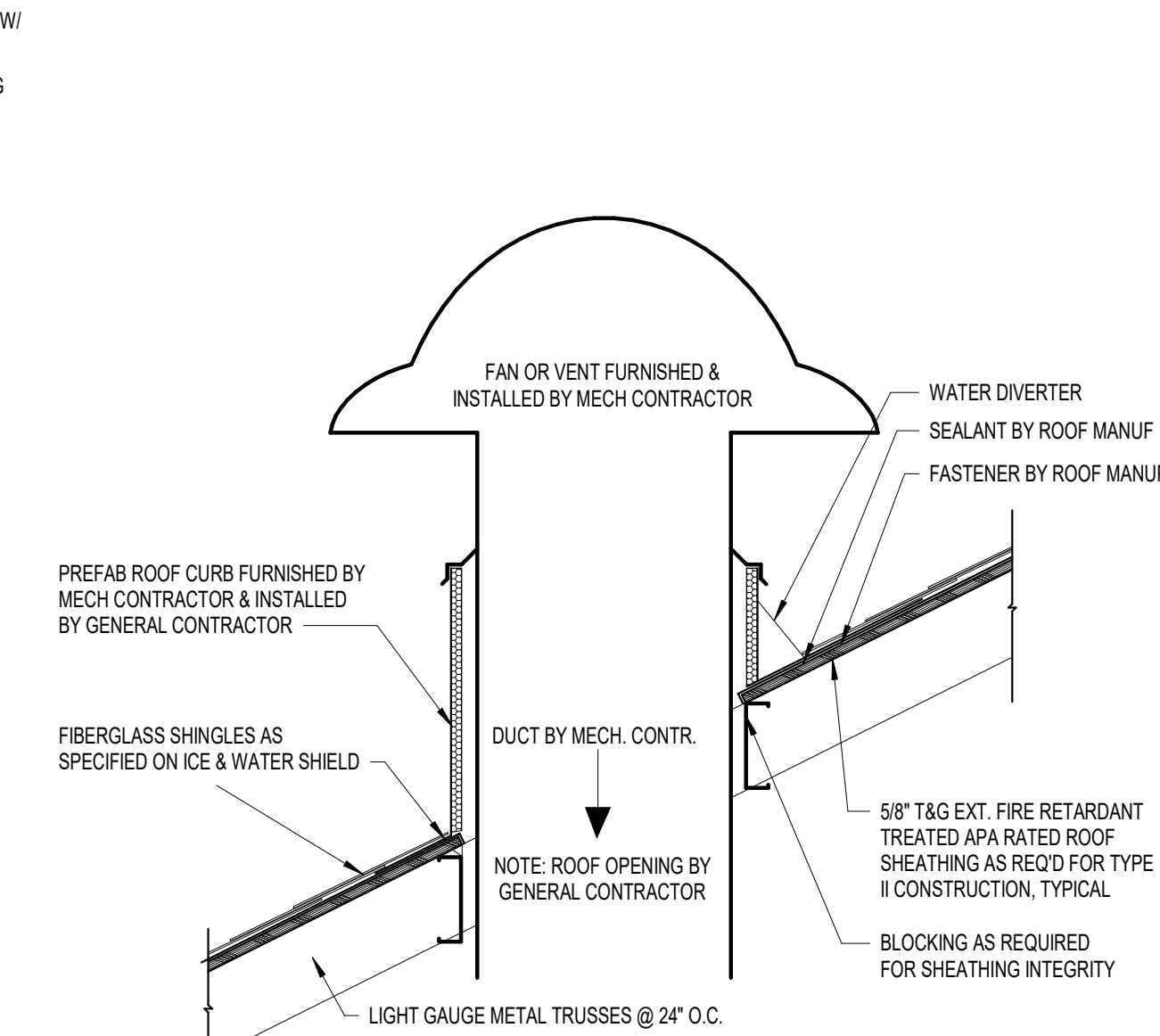
**7 EAVE**  
1 1/2" = 1'-0"



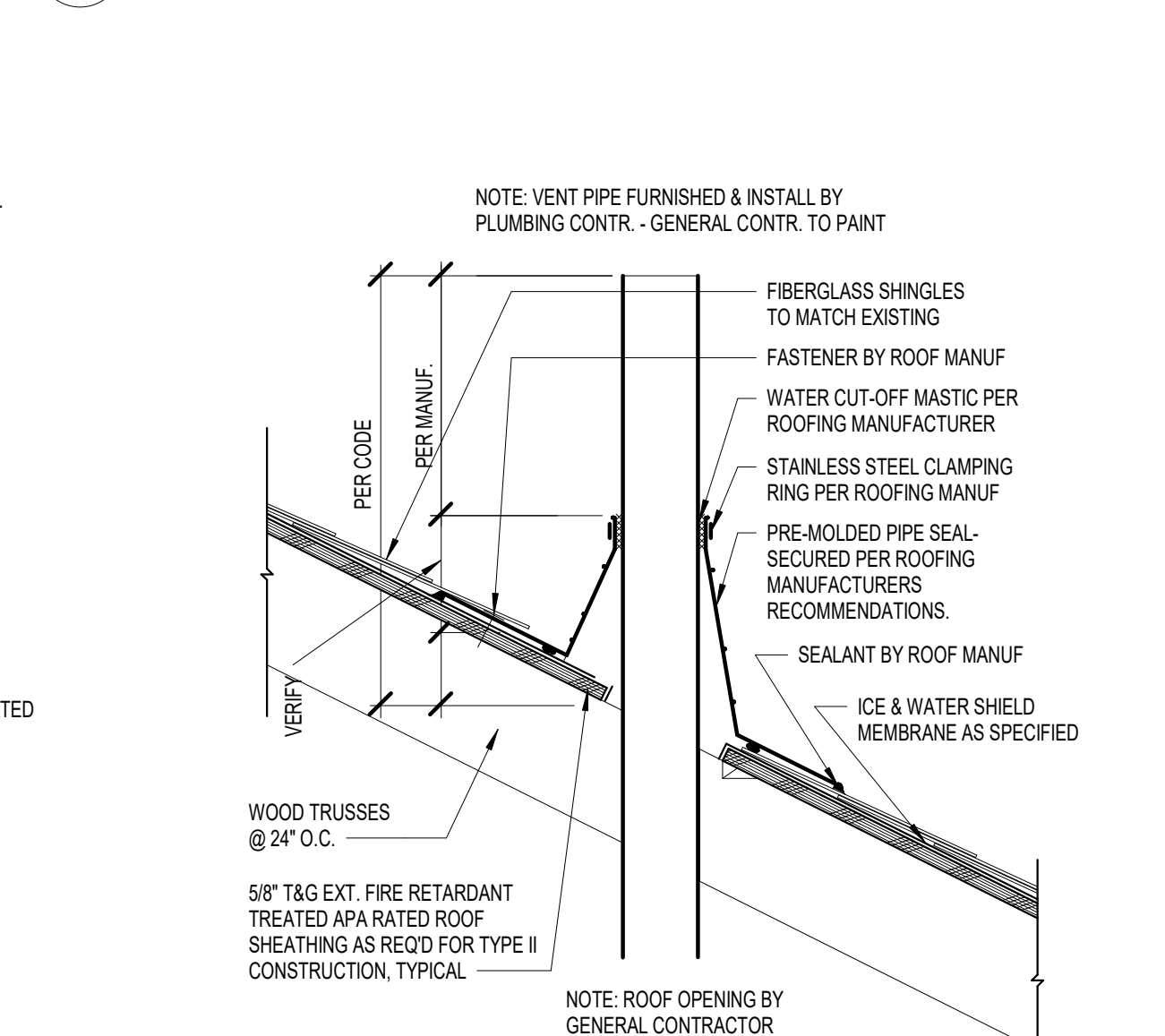
**8 DETAIL**  
1 1/2" = 1'-0"



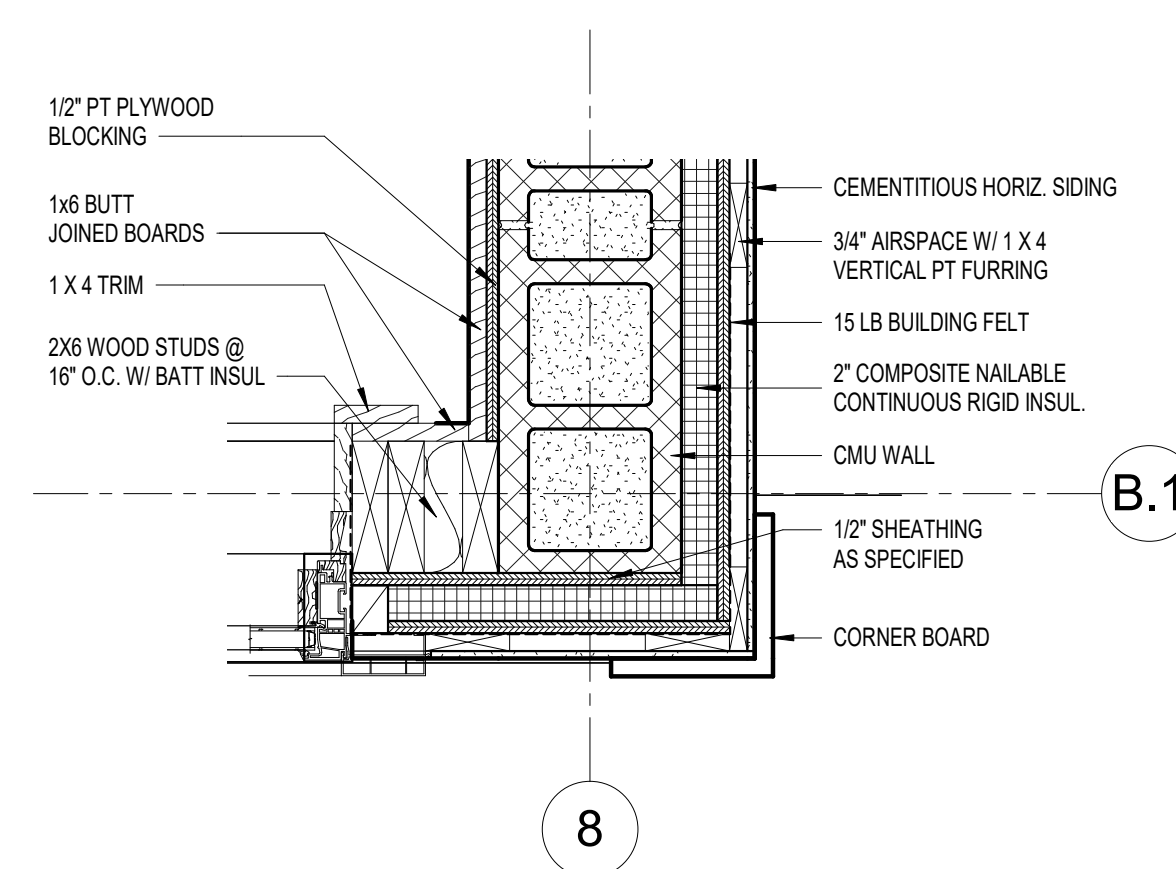
**9 CLERESTORY DETAIL**  
1 1/2" = 1'-0"



**10 Typical Mechanical Vent**  
1" = 1'-0"



**11 Vent Through Roof**  
1 1/2" = 1'-0"



**12 CLERESTORY DETAIL**  
1 1/2" = 1'-0"

7/23/2025 6:15:35 PM

REVISIONS		
#	date	note

PROJECT STATUS Construction Documents For Bid OWNER ID SCO ID# 20-22411-02A	FINCH & ASSOCIATES 309 North Boylan Avenue Raleigh, NC 27603-1402 T 919   833-1212 F 919   834-3203 NCBELS Lic. No. P-1845 NCBOL1 Lic. No. C-656
---	--

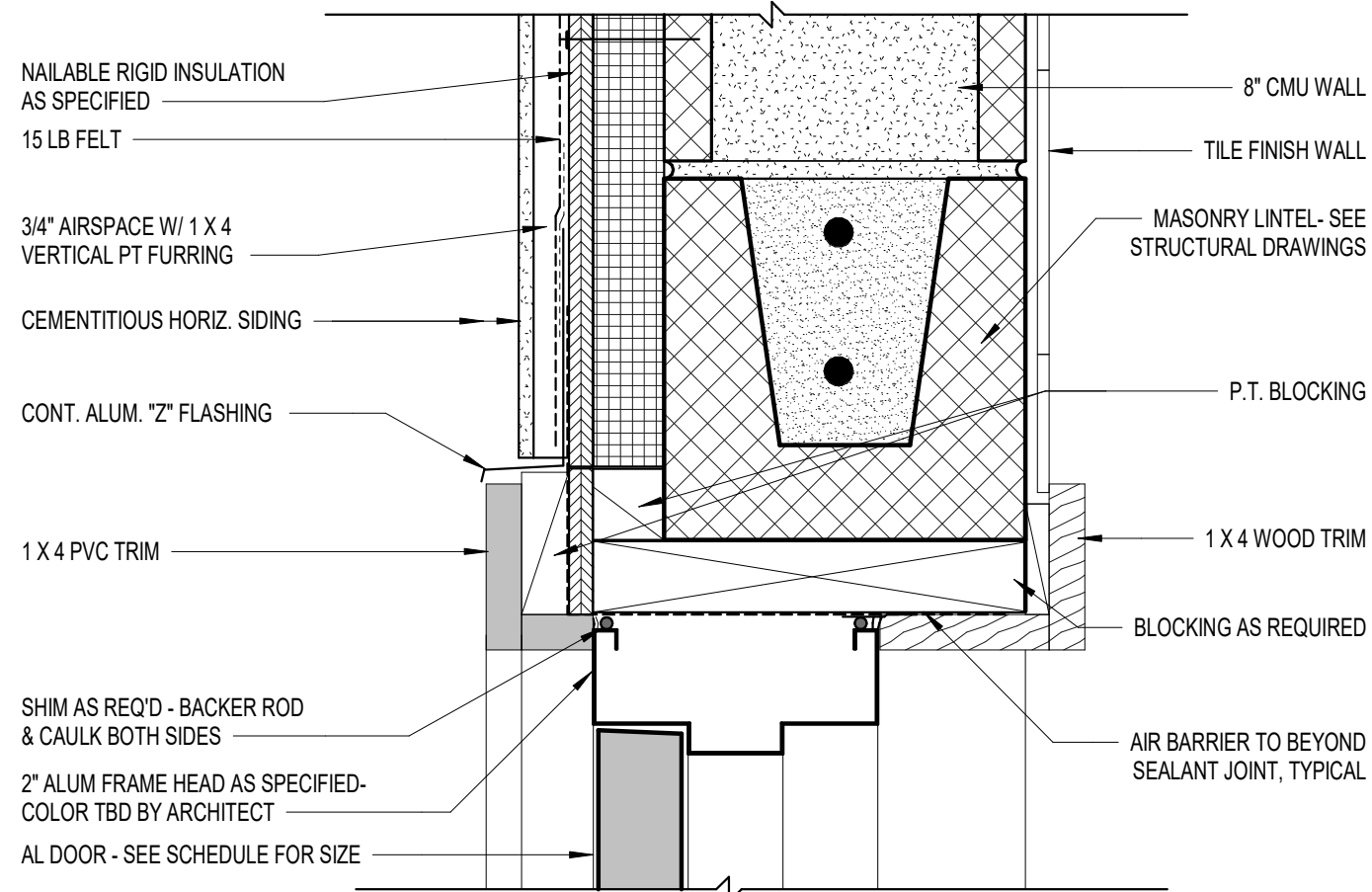
PETTIGREW STATE PARK  
 CAMPGROUND AND OFFICE IMPROVEMENTS  
 2252 LAKE SHORE ROAD  
 CRESWELL, NORTH CAROLINA

**FINCH & ASSOCIATES**  
 architecture landscape architecture landscape architecture

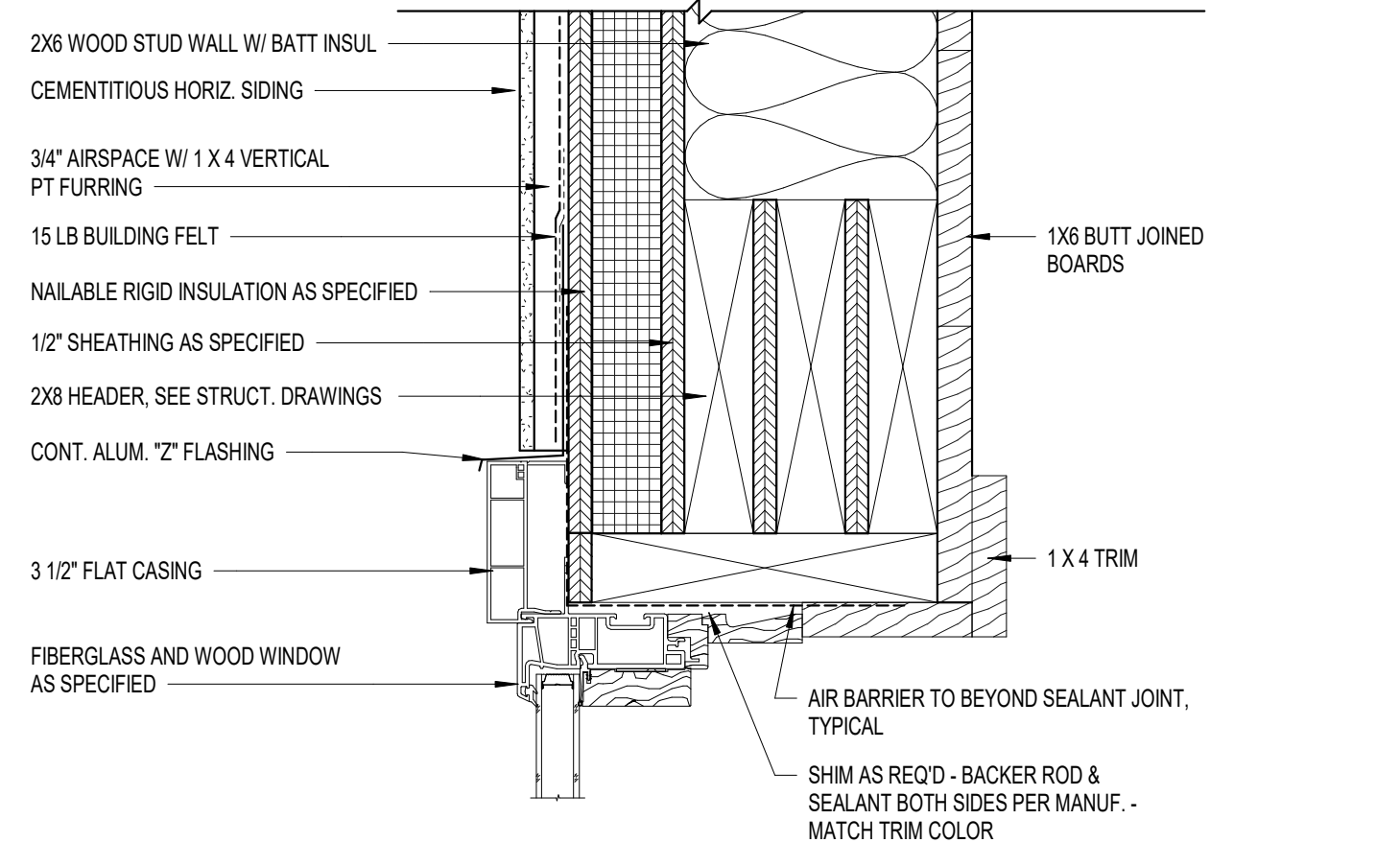
DRAWN	TMM
CHECKED	ALK
PROJECT NO.	1381-20
DATE	07/27/2025
SHEET NAME	DETAILS
SHEET NO.	A5.500





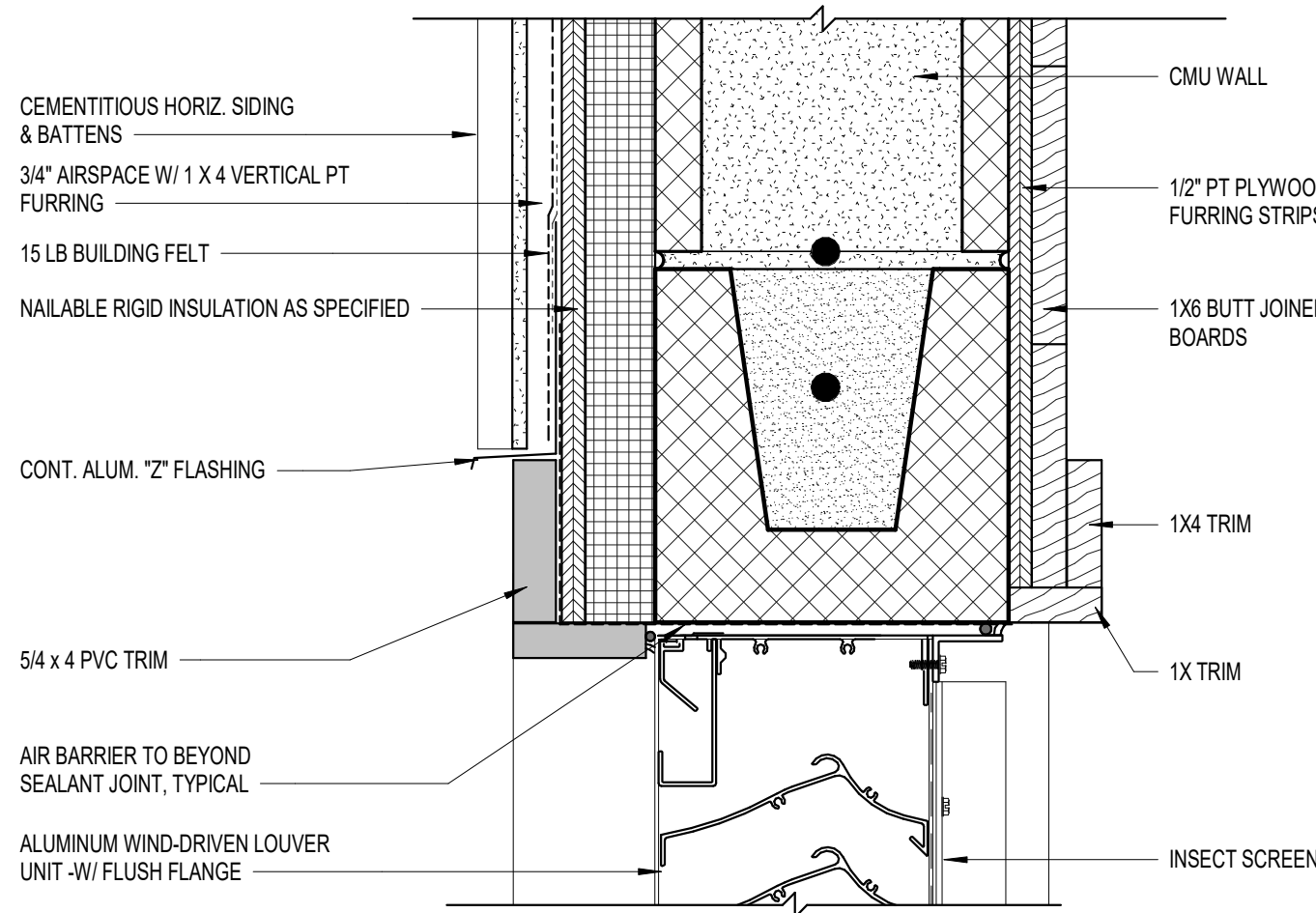
**H1 DOOR HEAD - EXTERIOR**

SCALE: 3" = 1'-0"



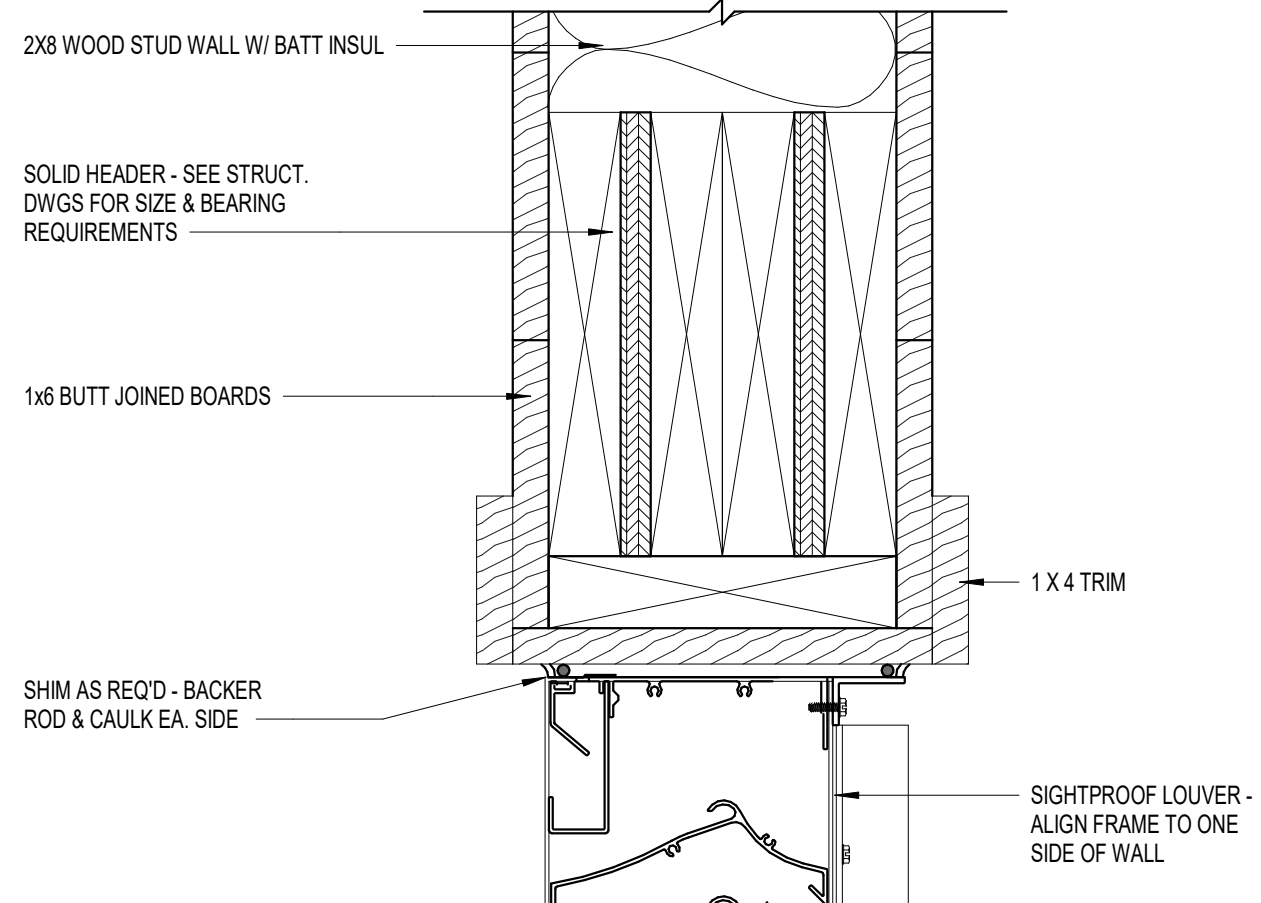
**H2 WINDOW HEAD**

SCALE: 3" = 1'-0"



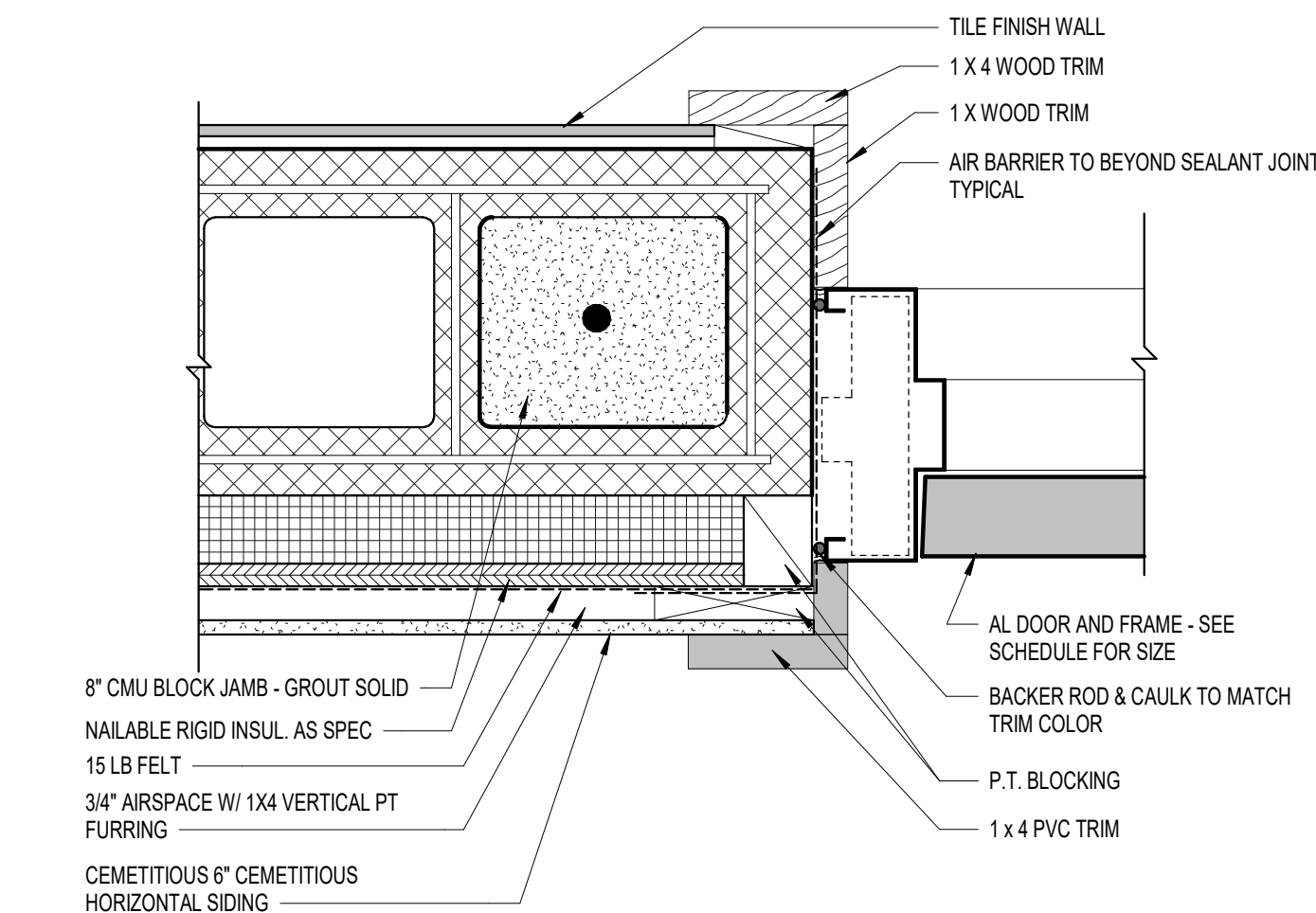
**H3 LOUVER HEAD - EXTERIOR**

SCALE: 3" = 1'-0"



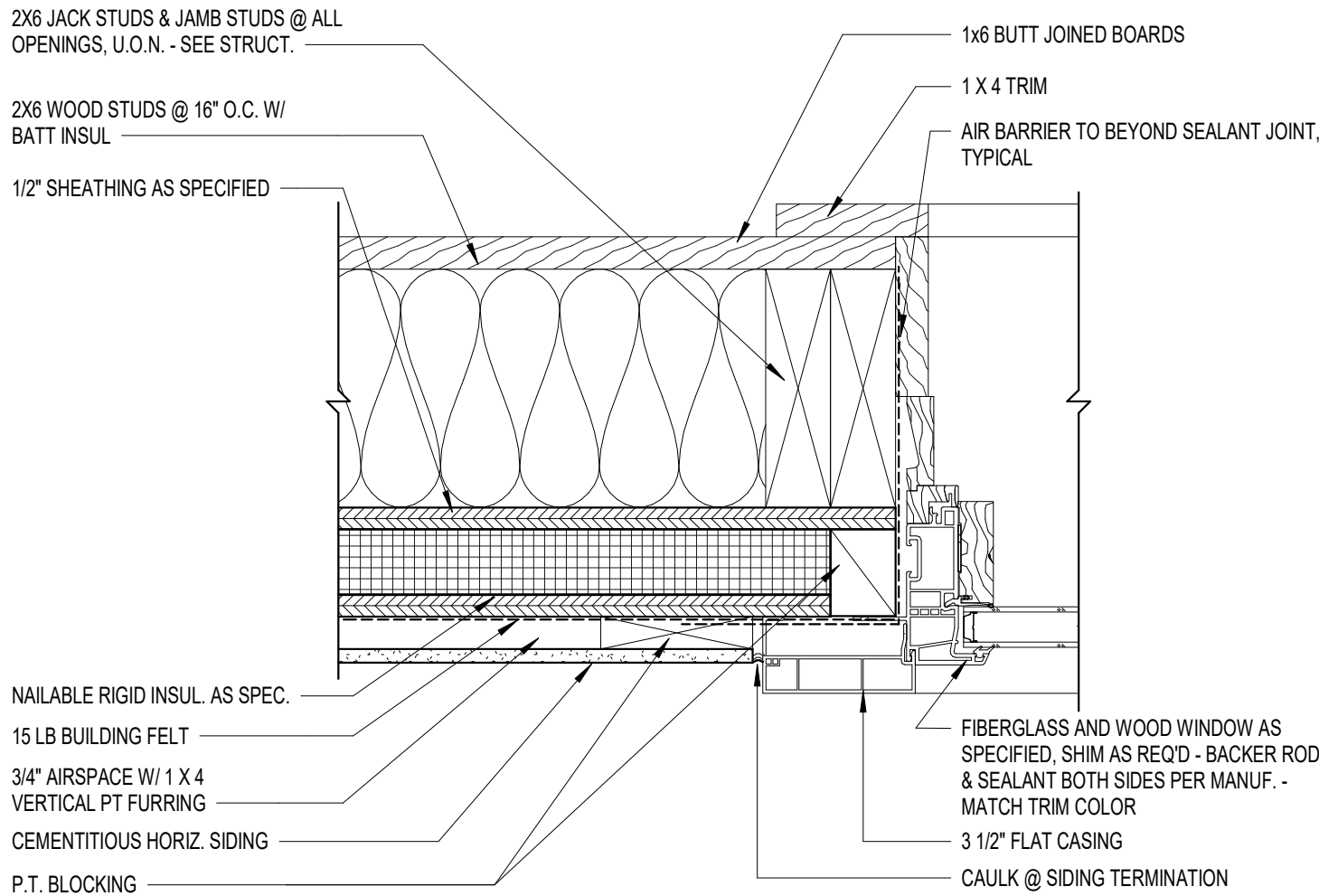
**H5 LOUVER HEAD - INTERIOR**

SCALE: 3" = 1'-0"



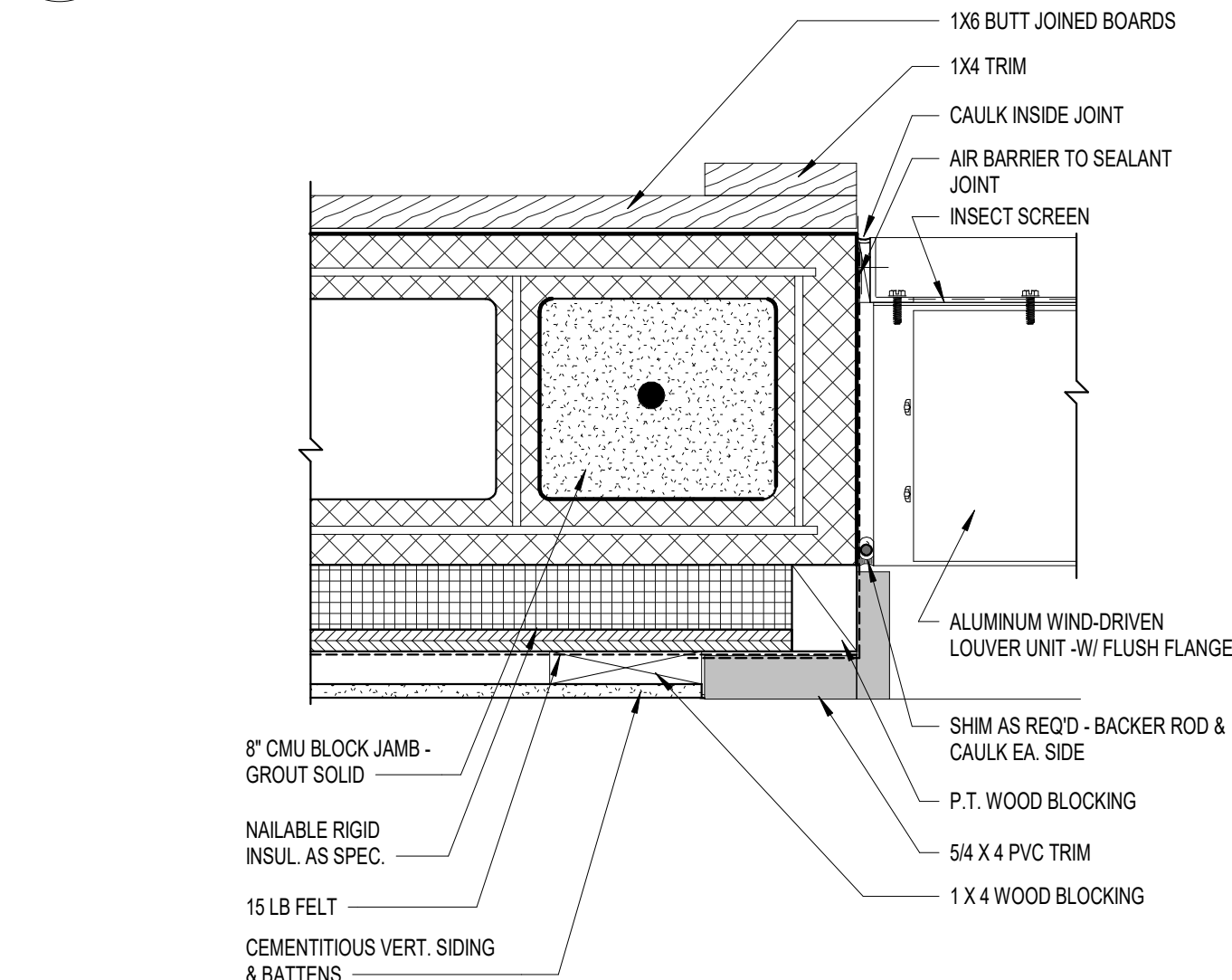
**J1 DOOR JAMB - EXTERIOR**

SCALE: 3" = 1'-0"



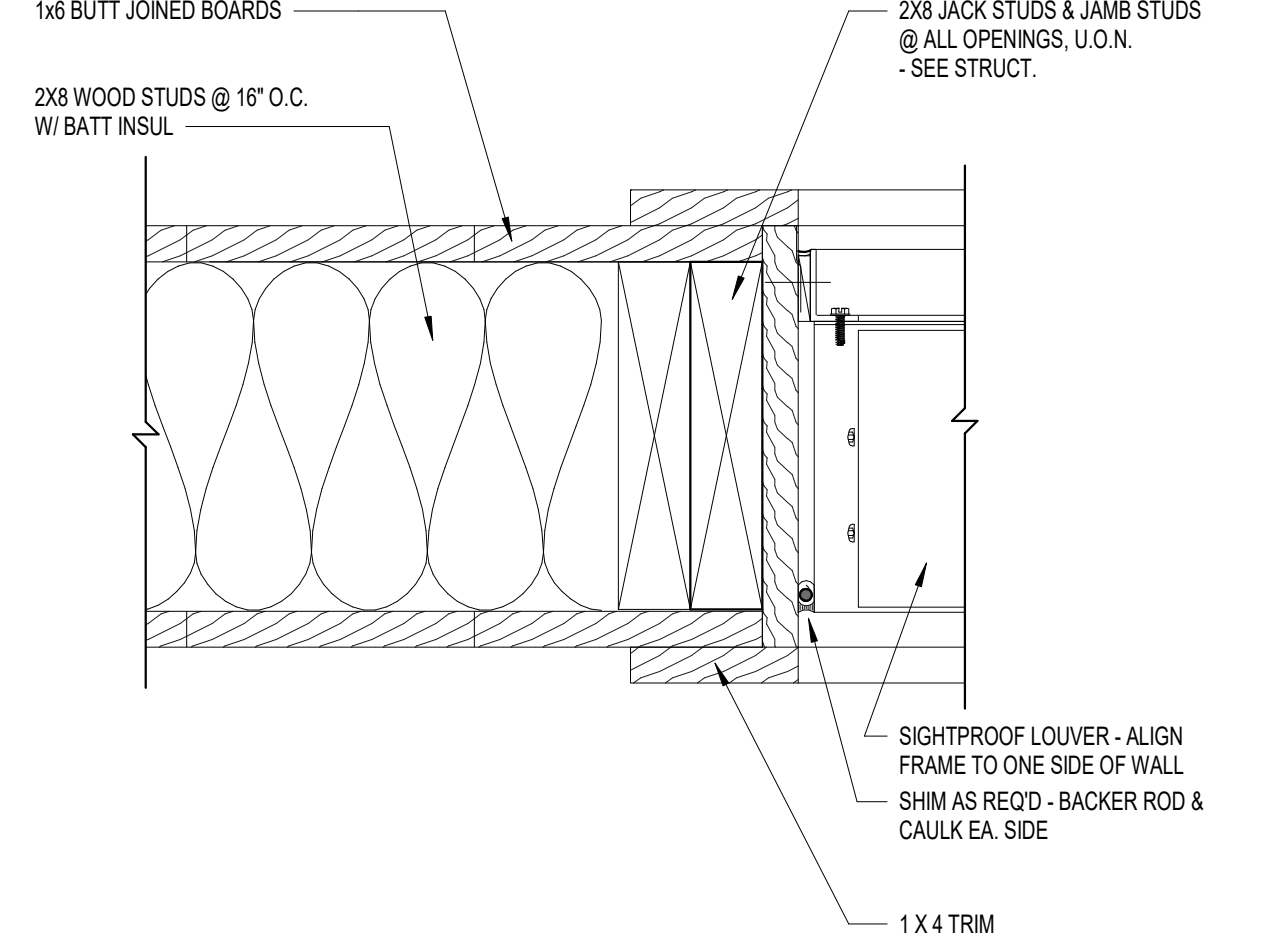
**J2 WINDOW JAMB**

SCALE: 3" = 1'-0"



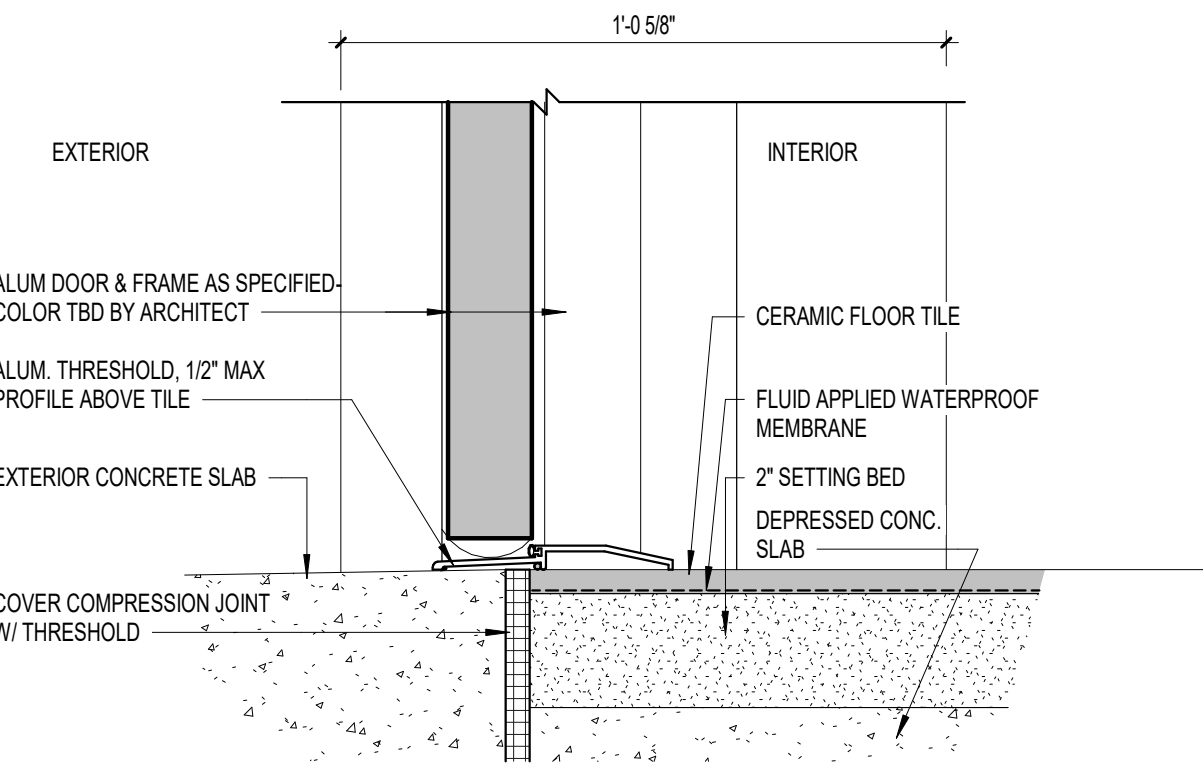
**J3 LOUVER JAMB - EXTERIOR**

SCALE: 3" = 1'-0"



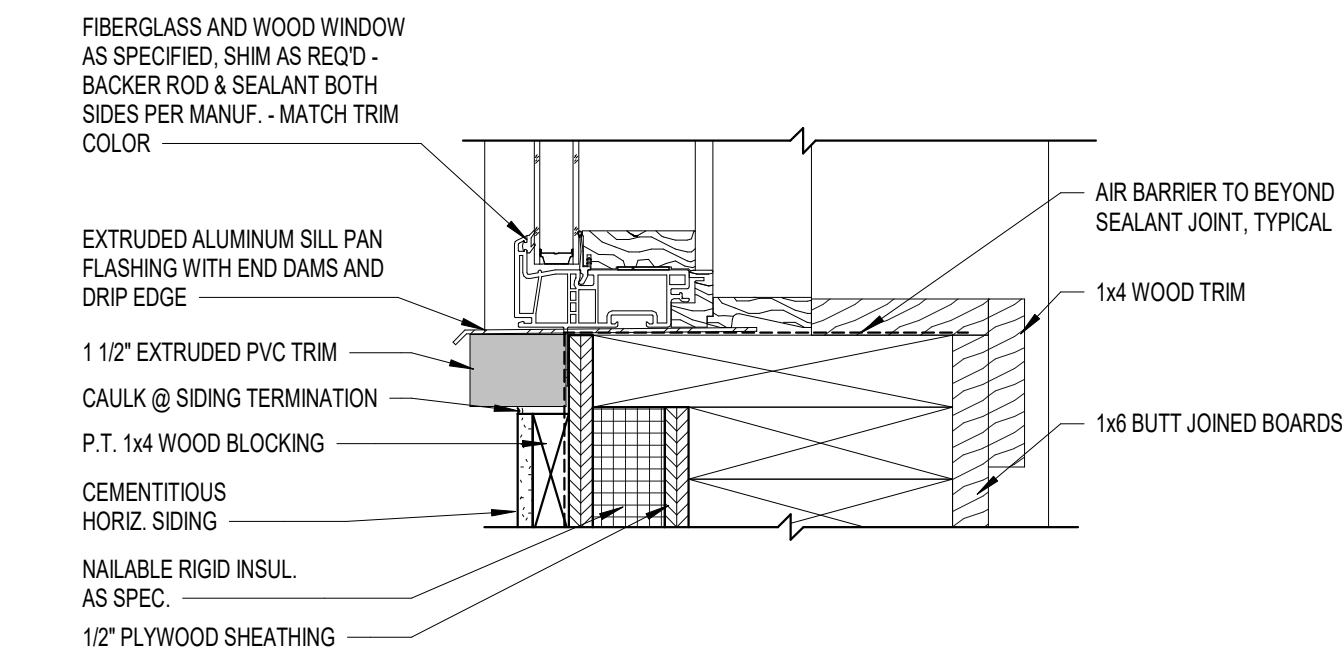
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SCALE: 3" = 1'-0"



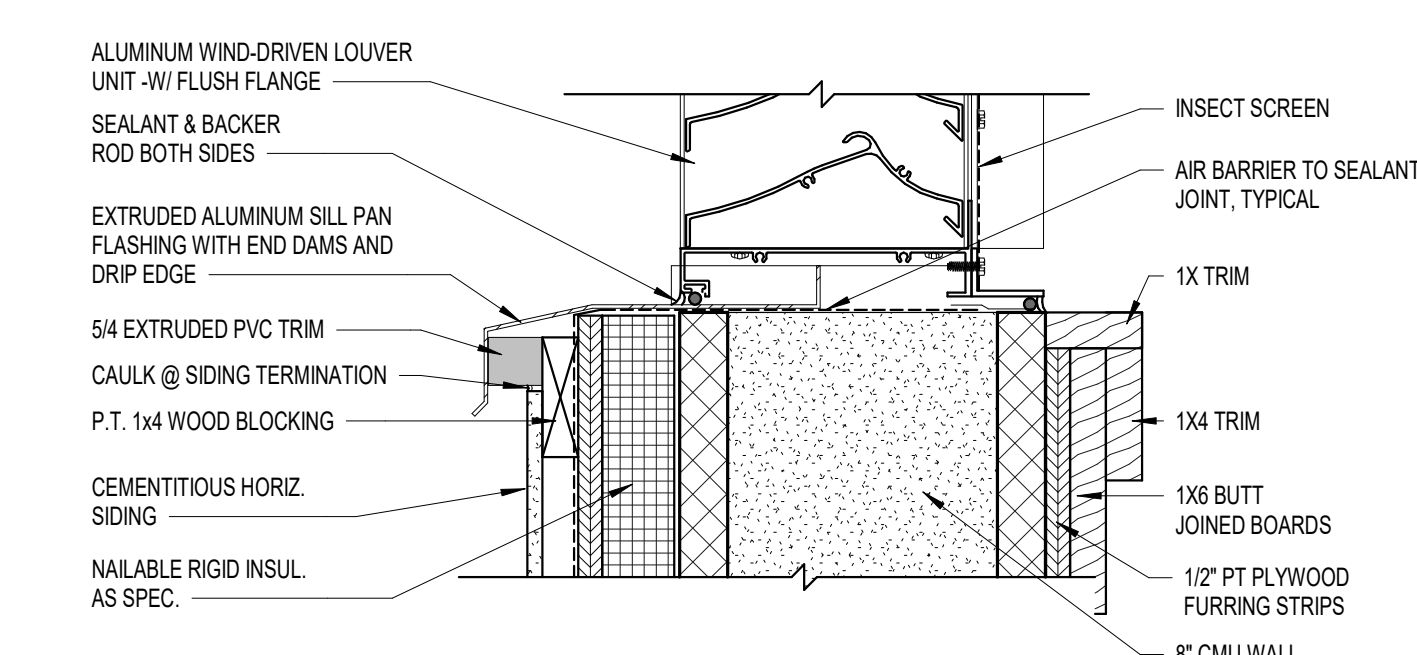
**S1 DOOR SILL - EXTERIOR**

SCALE: 3" = 1'-0"



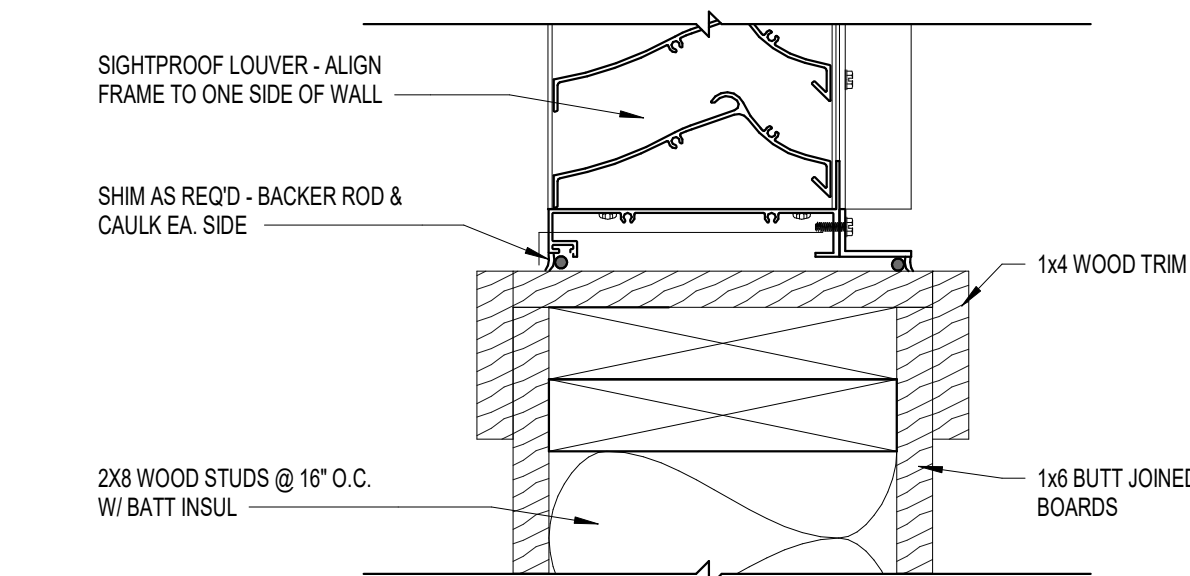
**S2 WINDOW SILL**

SCALE: 3" = 1'-0"



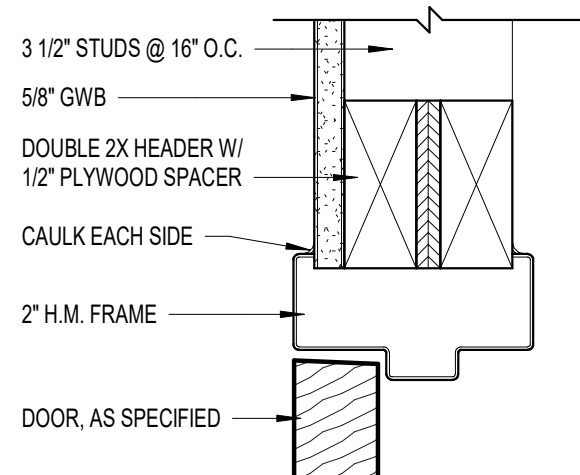
**S3 LOUVER SILL - EXTERIOR**

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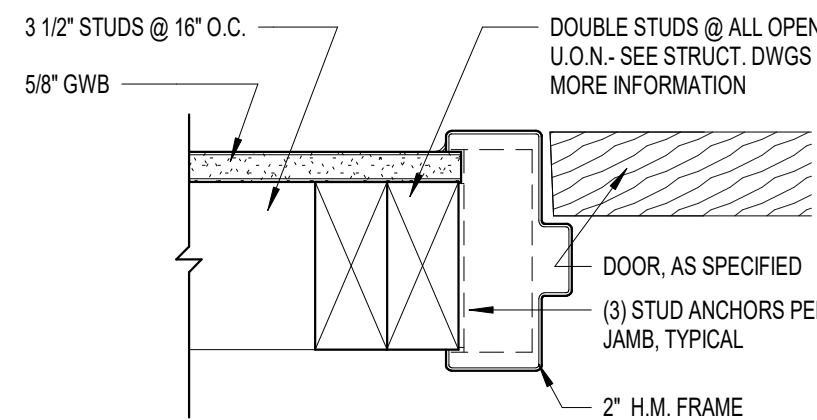
**S5 LOUVER SILL - INTERIOR**

SCALE: 3" = 1'-0"



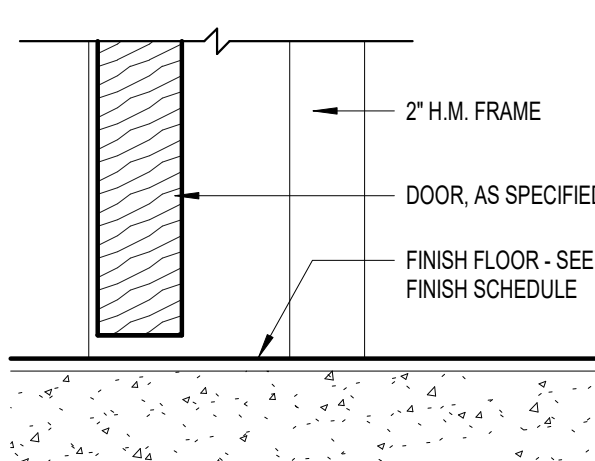
**H6 DOOR HEAD - INTERIOR**

SCALE: 3" = 1'-0"



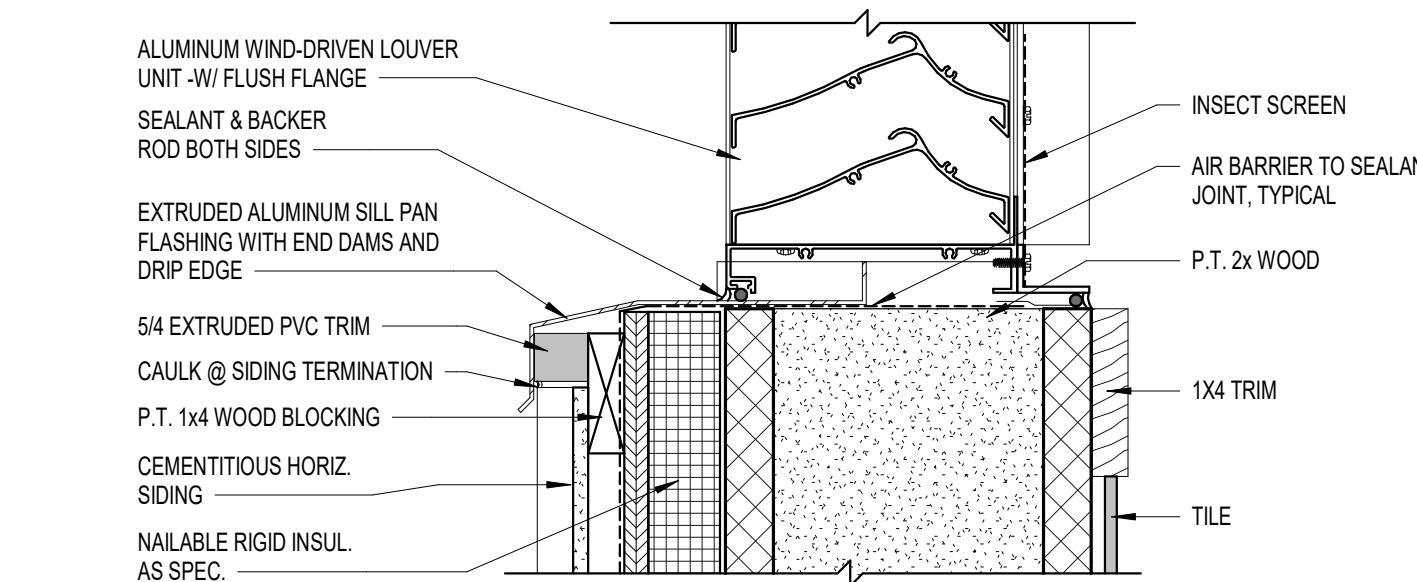
**J6 DOOR JAMB - INTERIOR**

SCALE: 3" = 1'-0"



**S6 DOOR SILL - INTERIOR**

SCALE: 3" = 1'-0"



**S4 LOUVER SILL - EXTERIOR**

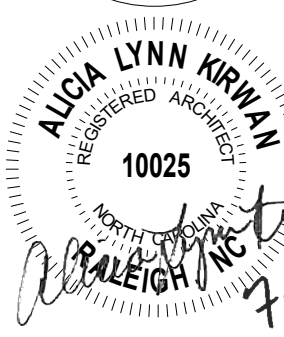
SCALE: 3" = 1'-0"

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architecture

sfkarchitecture.com

301 Glenwood Ave., Suite 200 Raleigh, NC 27603 (919) 224-0750

seals



REVISIONS

# date note

PROJECT STATUS  
Construction Documents For Bid

OWNER ID  
SCO ID#  
20-22411-02A

Finch & Associates  
309 North Boylan Avenue  
Raleigh, NC 27603-1402  
T 919 | 833-1212  
F 919 | 834-3203  
NCBELS Lic. No. P-1845  
NCBOL1 Lic. No. C-656

**FINCH**  
& ASSOCIATES  
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PETTIGREW STATE PARK  
CAMPGROUND AND OFFICE IMPROVEMENTS  
2252 LAKE SHORE ROAD  
CRESWELL, NORTH CAROLINA

DRAWN TMM

CHECKED ALK

PROJECT NO. 1361-20

DATE 07/27/2025

SHEET NAME HEAD, JAMB, SILL

DETAILS

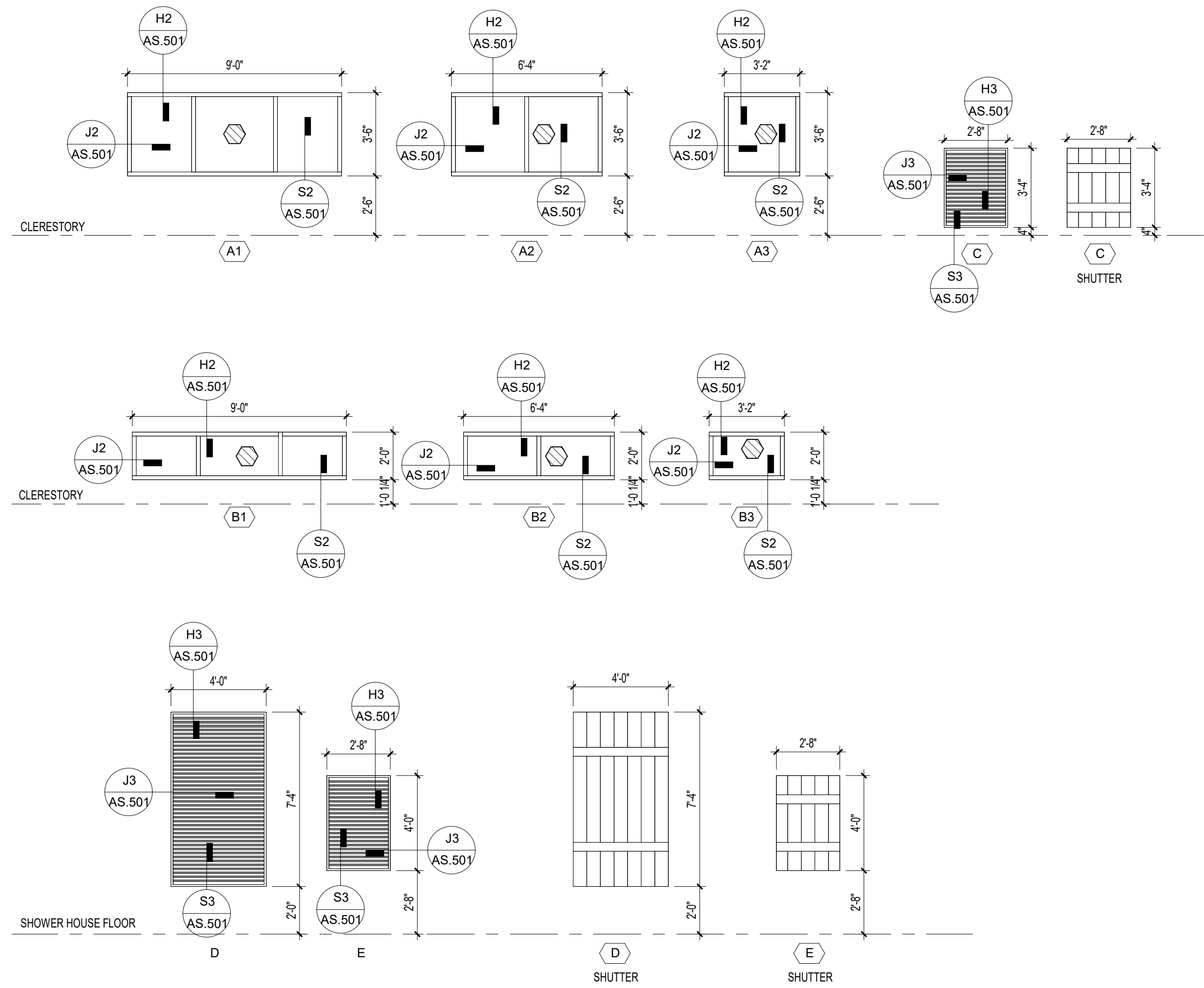
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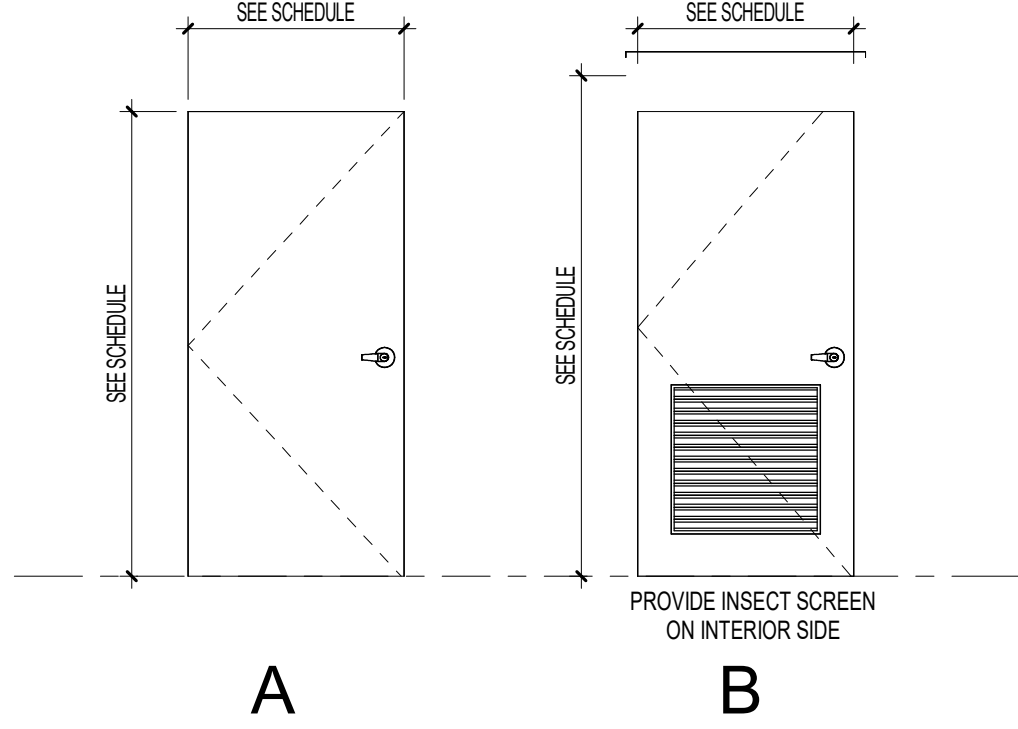
WINDOWS & LOUVER SCHEDULE

SCALE 1/4" = 1'-0"



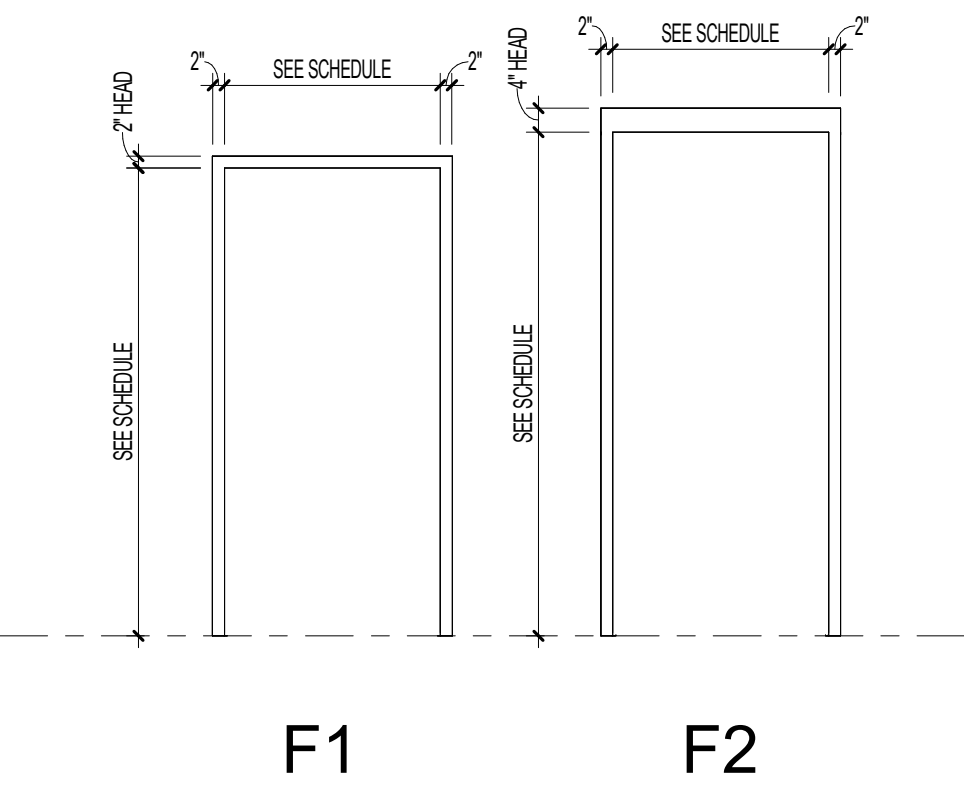
DOOR ELEVATIONS

SCALE 3/8" = 1'-0"



FRAME TYPES

SCALE 3/8" = 1'-0"



DOOR SCHEDULE

NUMBER	TO	FROM	DOOR					FRAME			FIRE RATING	HW SET	HEAD	JAMB	SILL	GLAZING	REMARKS	
			CNT	WIDTH	HGT	THK	TYPE	MAT'L	FINISH	TYPE								MAT'L
100	WOMEN	COVERED PORCH	1	36"	78"	1 3/4"	A	AL	ALUM	F2	AL	AL	NA	1	H1	J1	S1	NA
101	FAMILY	COVERED PORCH	1	36"	78"	1 3/4"	A	AL	ALUM	F2	AL	AL	NA	2	H1	J1	S1	NA
102	MEN	COVERED PORCH	1	36"	78"	1 3/4"	A	AL	ALUM	F2	AL	AL	NA	1	H1	J1	S1	NA
103	JAN./STORAGE		1	36"	80"	1 3/4"	B	AL	ALUM	F2	AL	AL	NA	3	H1	J1	S1	NA
104	ELEC	JAN./STORAGE	1	28"	84"	1 3/4"	A	AL	ALUM	F1	AL	AL	NA	4	H4	J4	S4	NA
105	CHASE	JAN./STORAGE	1	28"	84"	1 3/4"	A	AL	ALUM	F1	AL	AL	NA	4	H6	J6	S6	NA

FINISH SCHEDULE

NUMBER	NAME	FLOOR FINISH	BASE FINISH	WALL FINISH	CEILING FINISH	COMMENTS
100	COVERED PORCH	CONC	-	SIDING	STRUCT	
101	WOMEN	TILE	TILE	TILE	STRUCT	
102	FAMILY	TILE	TILE	TILE	STRUCT	
103	MEN	TILE	TILE	TILE	STRUCT	
104	JAN./STORAGE	CONC	-	CMU	STRUCT	
105	ELEC	CONC	-	GWB	STRUCT	
106	CHASE	CONC	-	CMU	GWB	

DOOR ABBREVIATIONS

AL	ALUMINUM	WD	WOOD
GL	GLASS	FRP	FIBERGLASS REINFORCED POLYESTER
HM	HOLLOW METAL	NA	NOT APPLICABLE

DOOR REMARKS

- WEATHERSTRIP FRAME TOP AND BOTH JAMBS AND INSTALL SWEEPSTRIP WEATHER BARRIER AT BOTTOM AS SPECIFIED.
- PROVIDE PUSH BUTTON AUTOMATIC DOOR OPEN DEVICE.
- PROVIDE MAGNETIC HOLD OPEN DEVICE.

DOOR GENERAL NOTES

- A. DOORS AND DOOR HARDWARE TO BE ADA COMPLIANT WITH LOCAL BUILDING & FIRE CODES.
- B. SEE FLOOR PLANS AND PARTITION TYPES FOR THROAT DEPTHS.
- C. UNDERCUT DOOR TO CLEAR TOP OF FLOOR FINISHES BY 1/4", U.O.N.
- D. LOCK CORES TO BE COMPATIBLE WITH BUILDING STANDARD CYLINDERS AND KEYED TO MASTER SYSTEM. COORDINATE WITH BUILDING ENGINEER.
- E. THE HARDWARE SET IS FURNISHED AS INFORMATION AND AS GUIDE ONLY THE COMPLETE QUANTITY REQUIREMENTS FOR EACH OPENING SHALL BE THE RESPONSIBILITY OF GC.

ROOM FINISH ABBREVIATIONS

FLOOR FINISH		WALL FINISH		CEILING MATERIAL	
CONC	CONCRETE	PT	PAINT	EXP	EXPOSED STRUCT
PLT	PORCELAIN TILE	EP	EPOXY PAINT	AS	AS SPECIFIED
QT	QUARRY TILE	CT	CERAMIC TILE		
WALL MATERIAL		BASE FINISH			
CMU	CONCRETE MASONRY UNITS	R	RUBBER		
GWB	GYPSUM WALL BOARD	PLTB	PORCELAIN TILE BASE		
		QT	QUARRY TILE		

ROOM FINISH REMARKS

- IMPACT RESISTANT GYPSUM WALLBOARD TO BE FULL HEIGHT.
- PROVIDE WALL PROTECTION AT ADJACENT WALLS TO MOP SINK IN CUSTODIAL CLOSETS

GLAZING LEGEND

	TYPE A	1" TEMPERED LOW E GLAZING
--	--------	---------------------------

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301 Glenwood Ave., Suite 200  
Raleigh, NC 27603  
800.222.0770



REVISIONS  
# date note

PROJECT STATUS  
Construction Documents For Bid

OWNER ID  
SCO ID#  
20-22411-02A

Finch & Associates  
309 North Boylan Avenue  
Raleigh, NC 27603-1402  
T 919 | 833-1212  
F 919 | 834-3203  
NCBELS Lic. No. P-1845  
NCBOL1 Lic. No. C-656

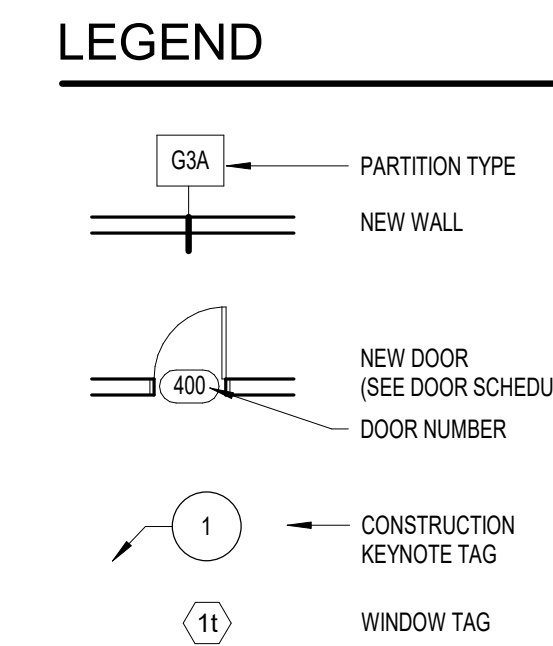
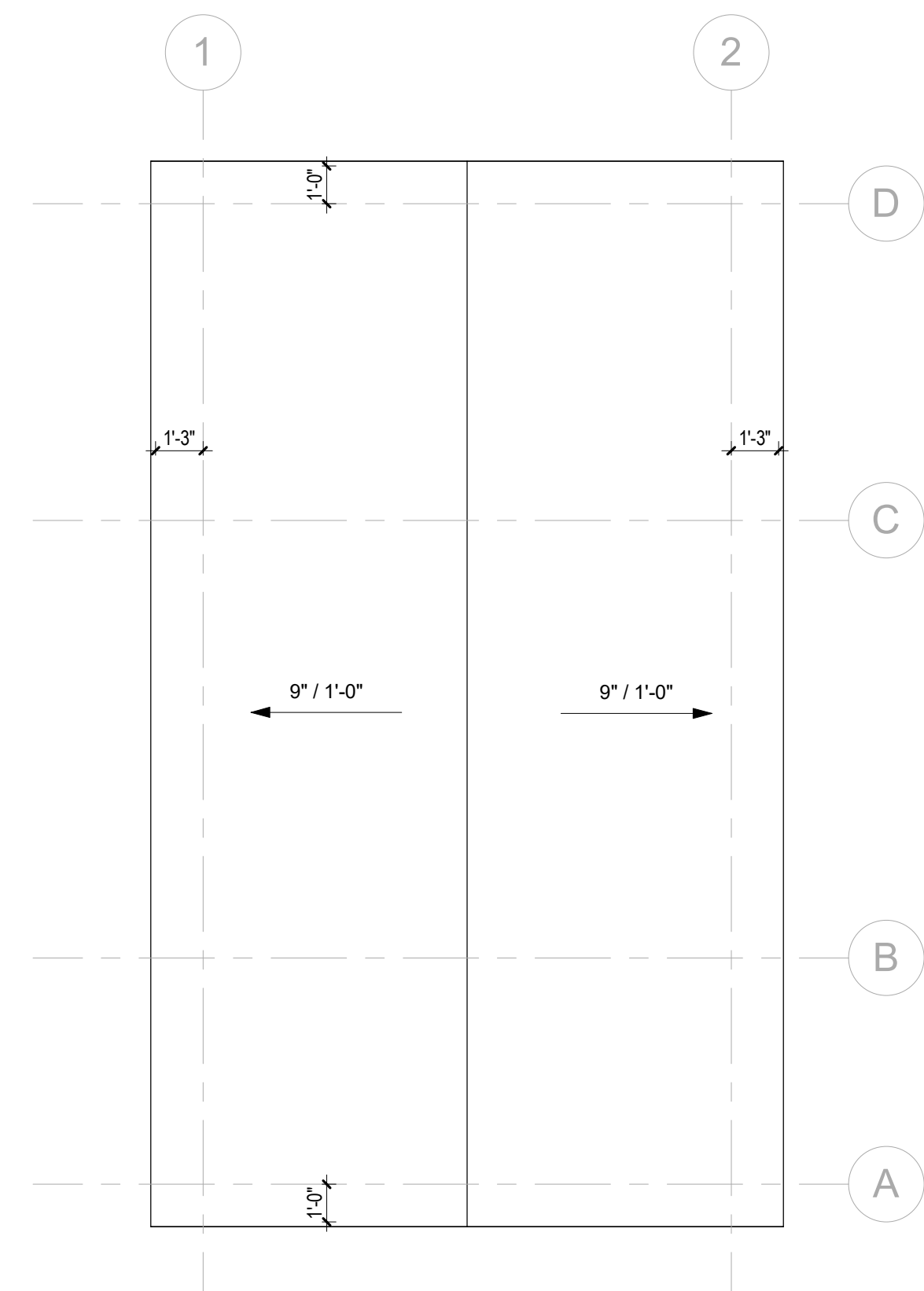
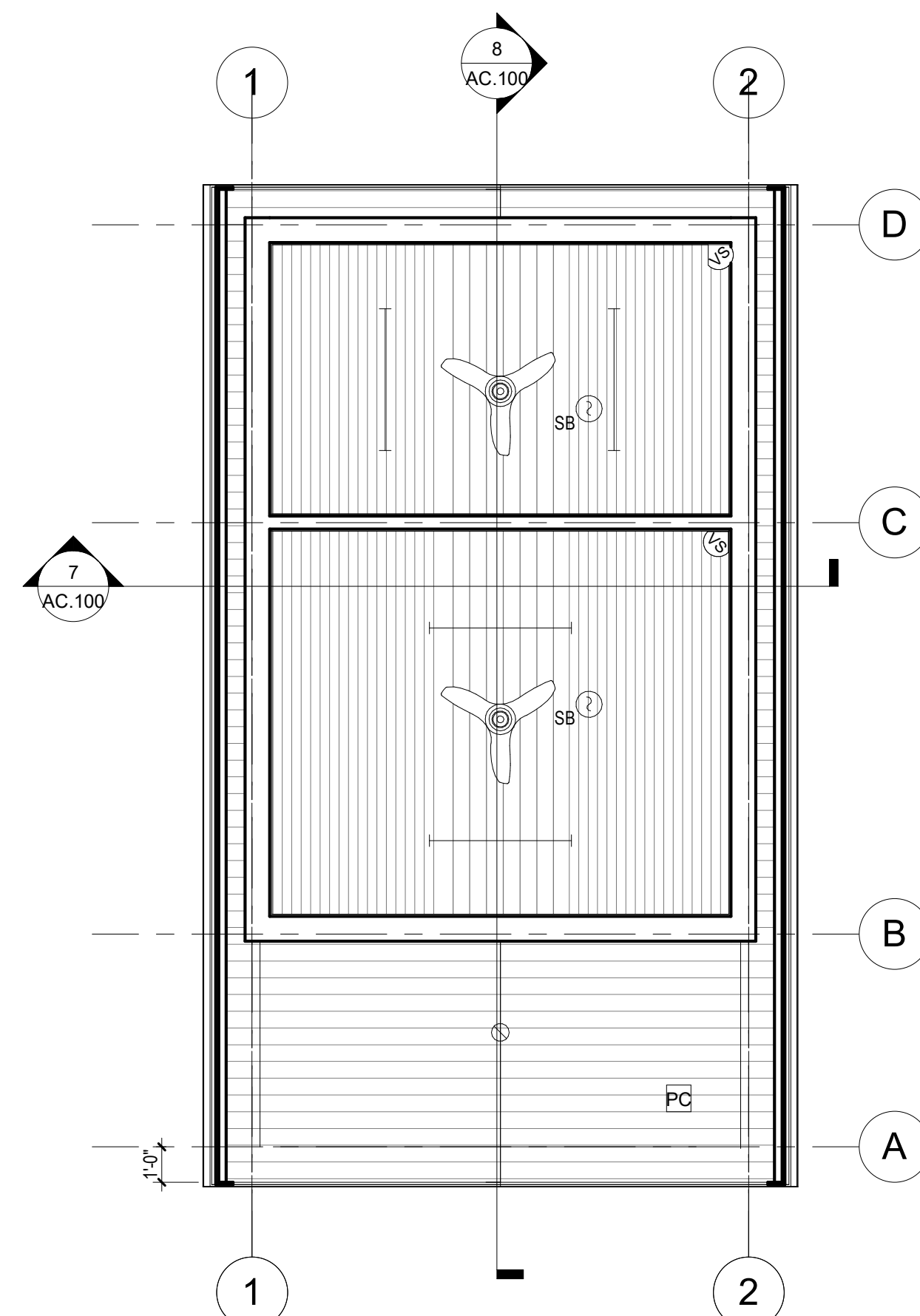
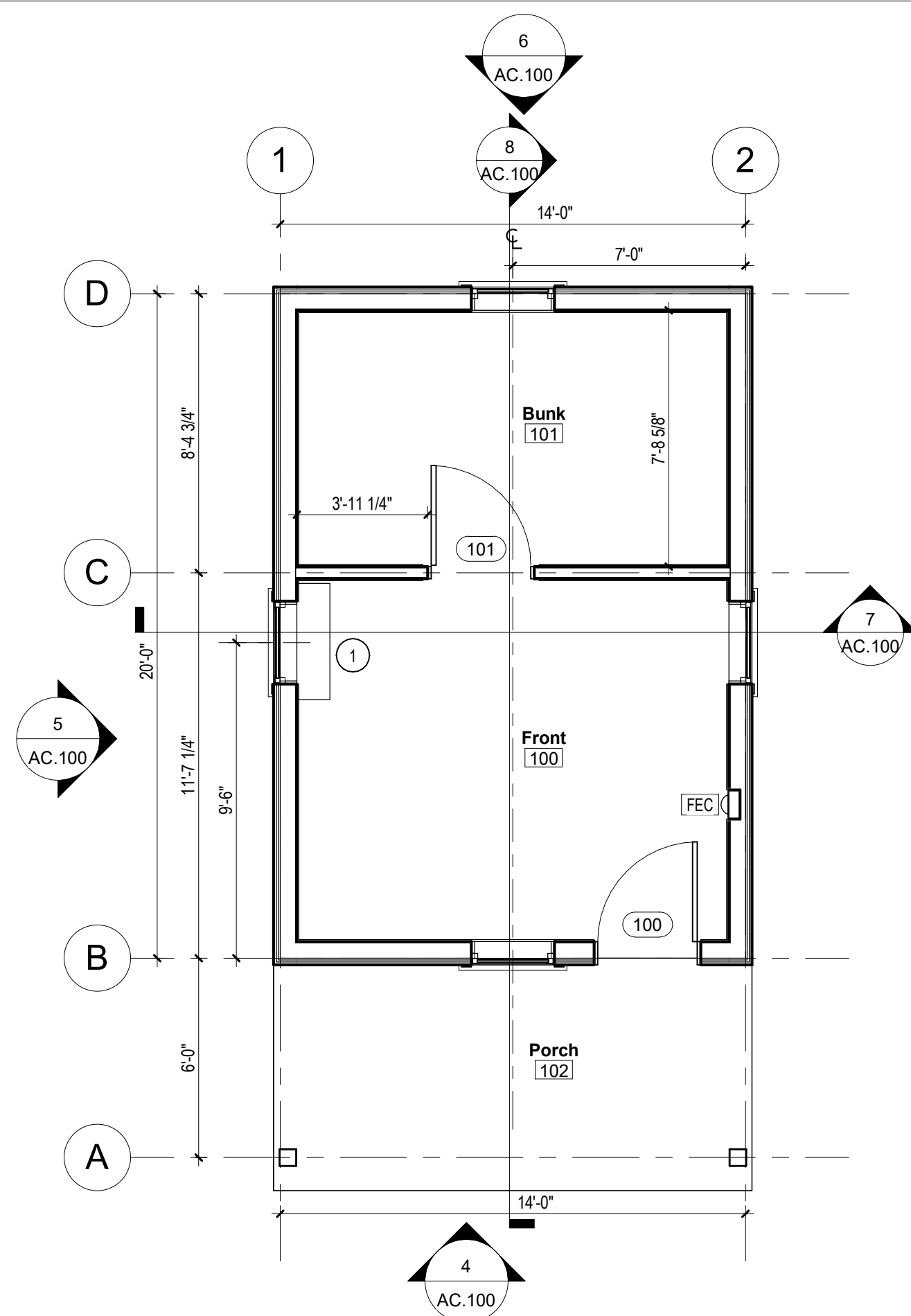
FINCH & ASSOCIATES  
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PETTIGREW STATE PARK  
CAMPGROUND AND OFFICE IMPROVEMENTS  
2252 LAKE SHORE ROAD  
CRESWELL, NORTH CAROLINA

DRAWN TMM  
CHECKED ALK  
PROJECT NO. 1361-20  
DATE 07/27/2025  
SHEET NAME SCHEDULES & DETAILS  
SHEET NO.

AS.600

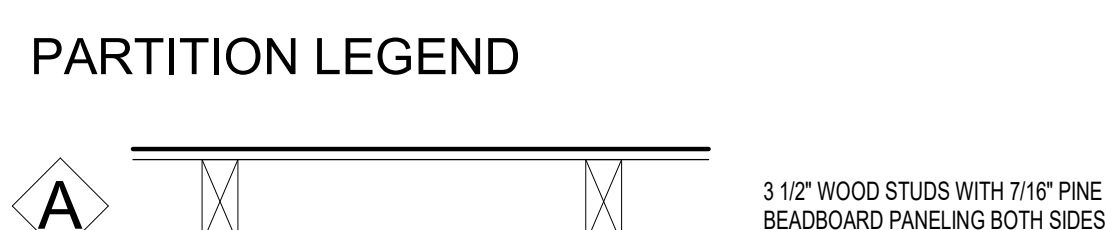




# GENERAL CONSTRUCTION NOTES

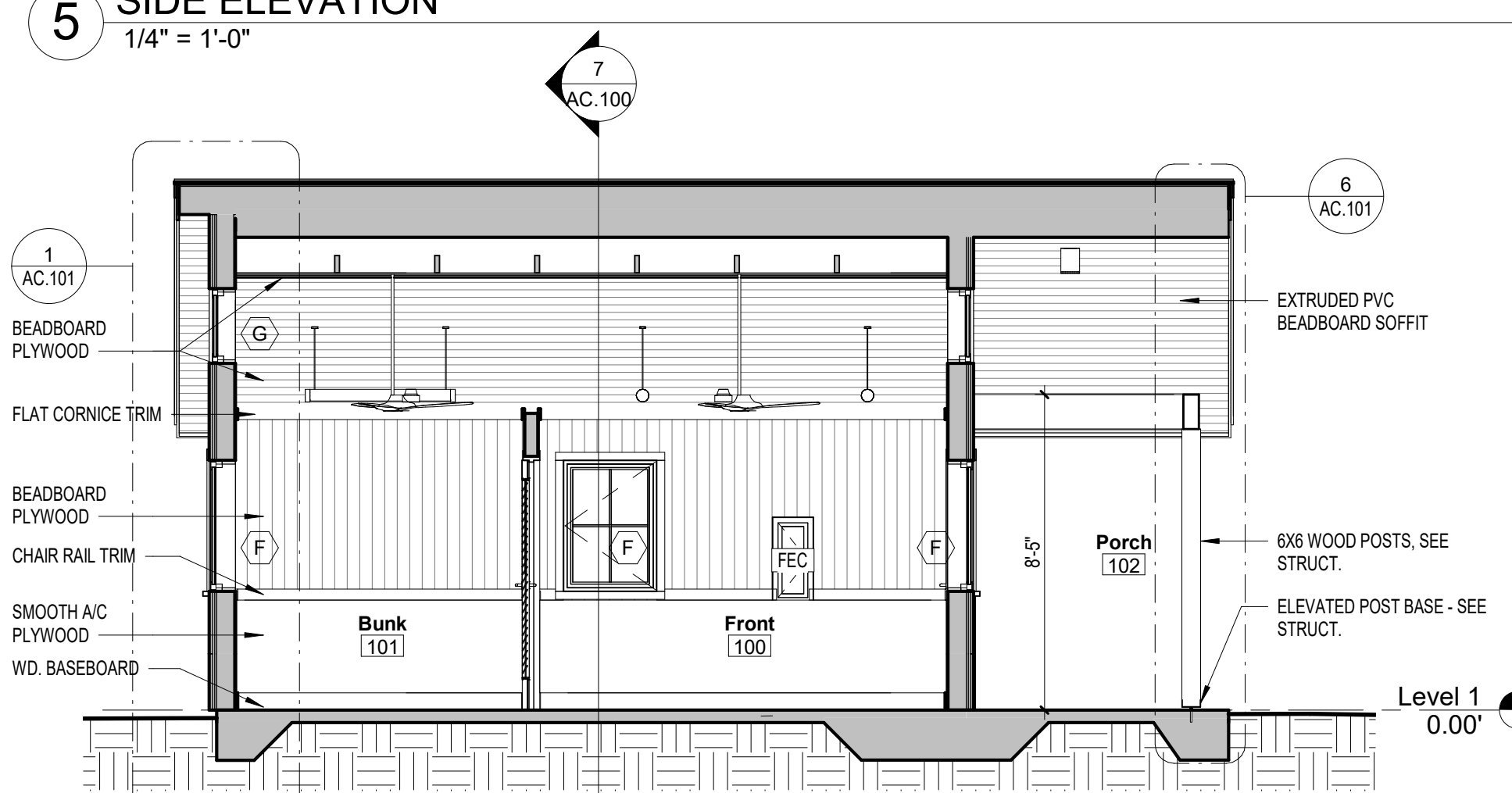
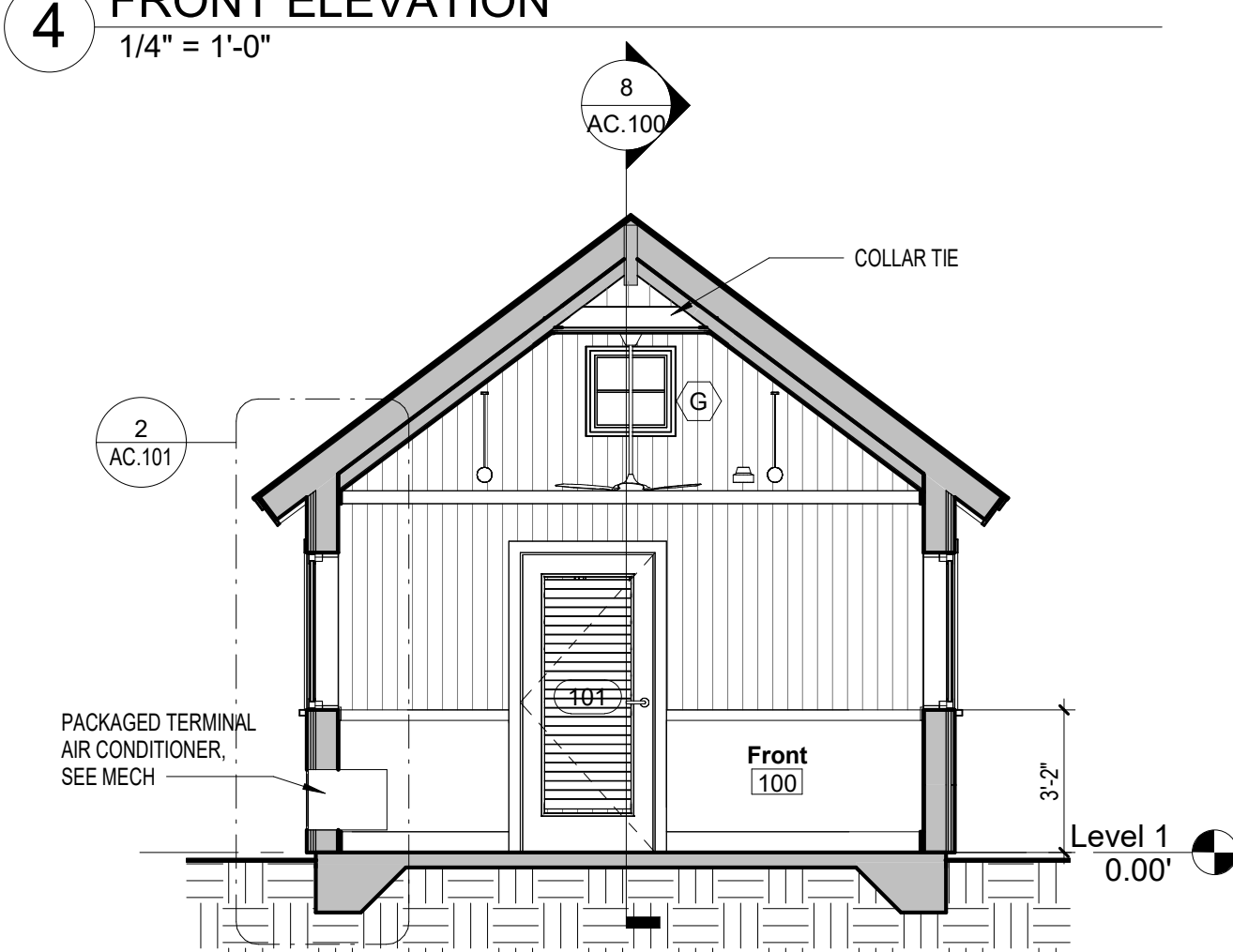
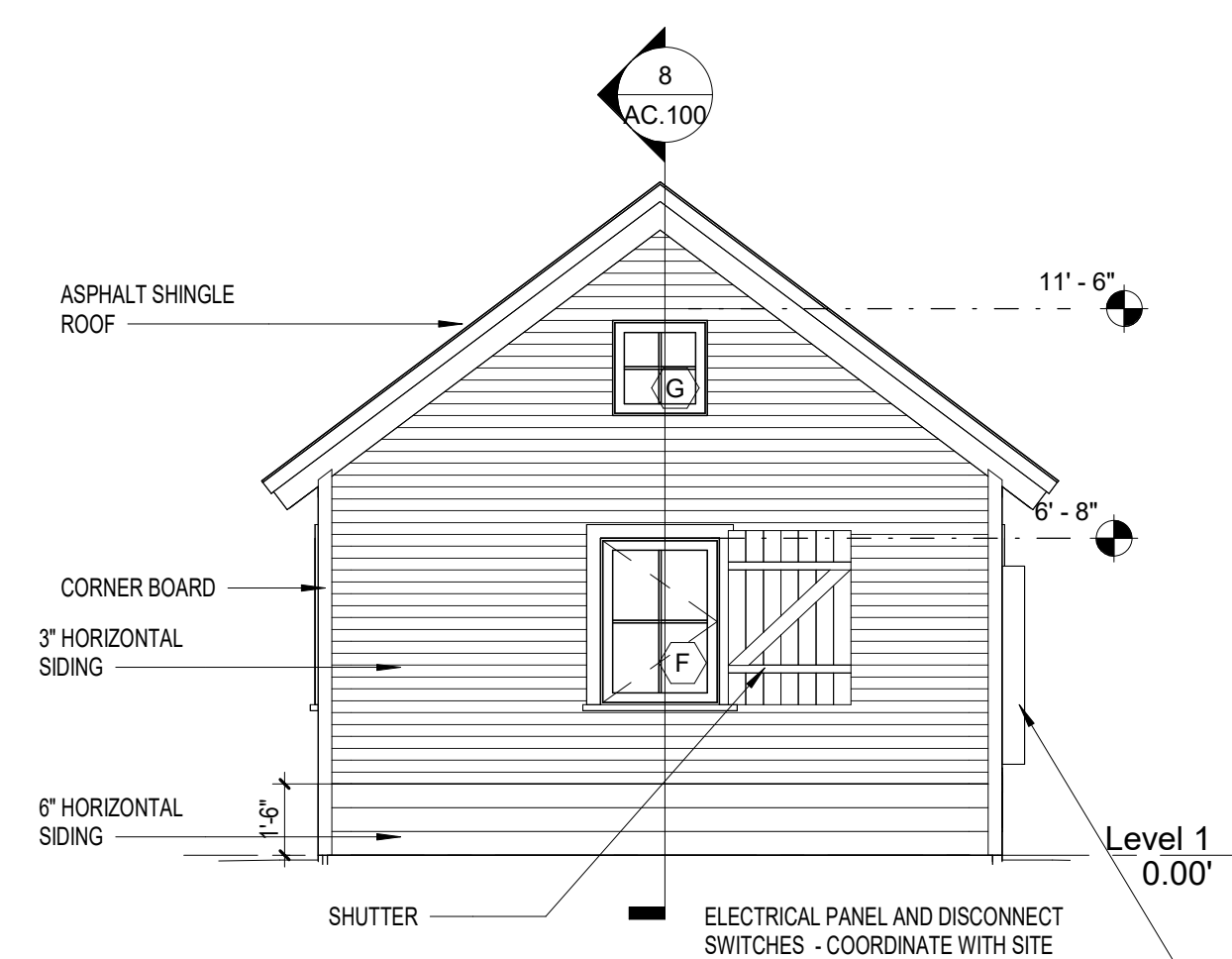
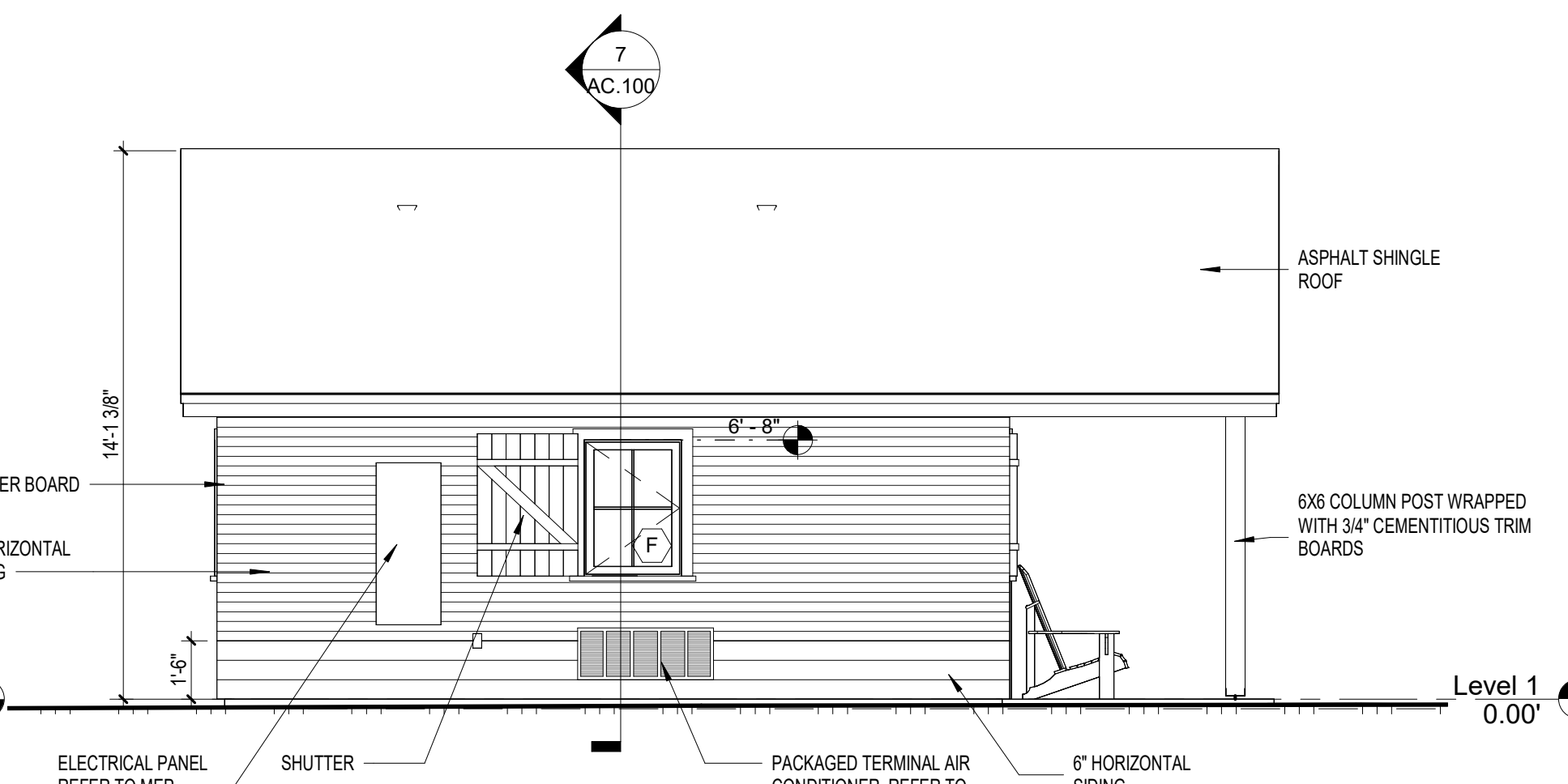
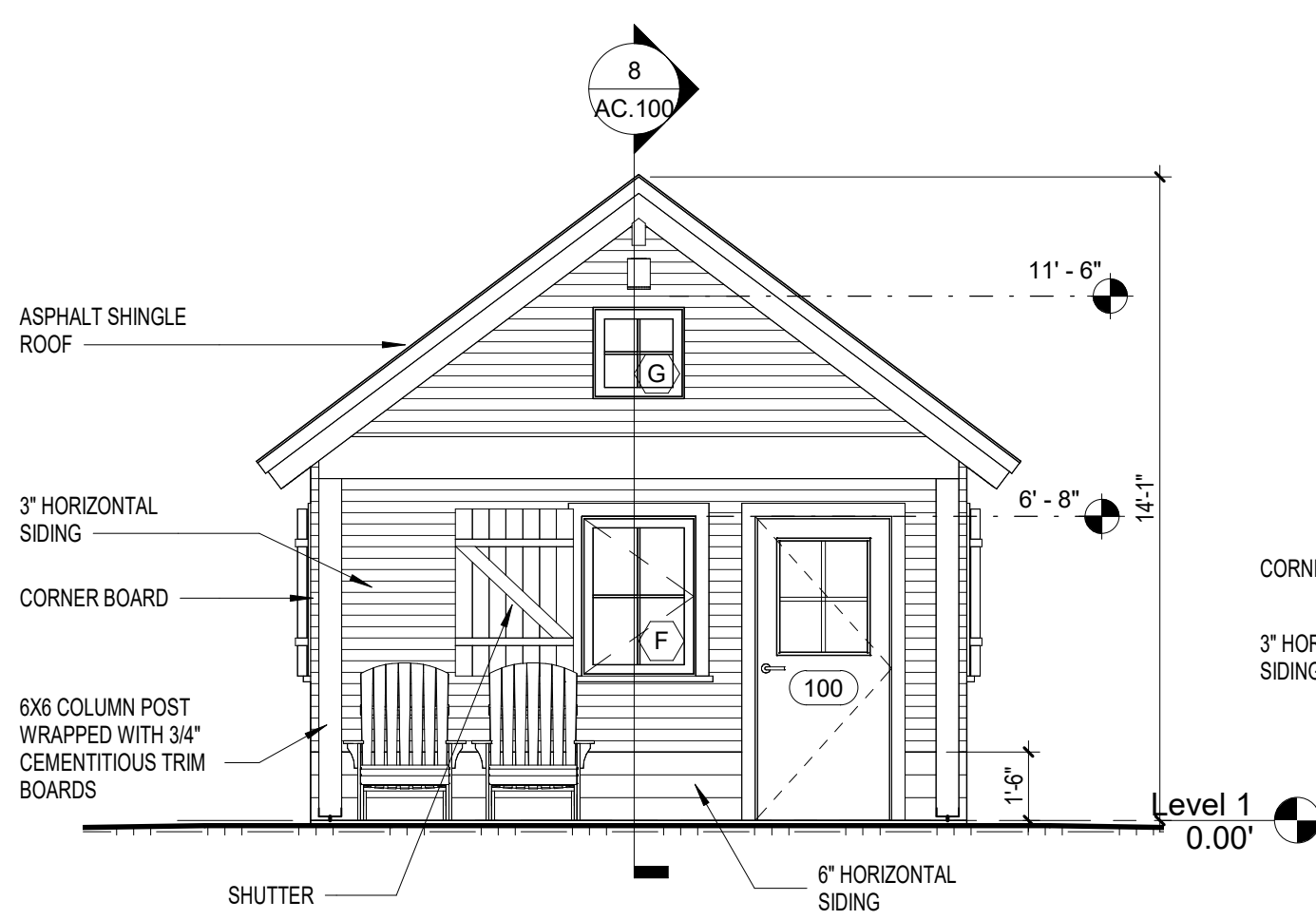
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1. CONTRACTOR TO PROTECT ALL EXISTING SITE AND/OR BUILDING ELEMENTS, LIGHTING AND/OR EQUIPMENT, REPAIR OR REPLACEMENT WILL BE THE RESPONSIBILITY OF THE CONTRACTOR.
2. CONTRACTOR IS TO COORDINATE ACCESS TO THE SITE WITH THE OWNER.
3. CONTRACTOR IS TO EXPECT LIMITED PARKING AND LIMITED ACCESS FOR DUMPSTER PRIOR TO SITE PREPARATION.
4. CONTRACTOR IS TO MAINTAIN THE JOB SITE(S) IN A CLEAN AND ORDERLY MANNER. THE CONTRACTOR SHALL DISPOSE ALL EQUIPMENT AND REMOVE WASTE, MATERIALS AND DEBRIS AT THE COST OF EACH WORK DAY.
5. CONTRACTOR TO COORDINATE WITH OWNER ALL ACCESS TO PLUMBING OR ELECTRICAL SERVICE. CONNECTION TO UTILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
6. ANY INTERRUPTION OF ELECTRICAL OR PLUMBING SERVICE SHALL BE COORDINATED WITH THE OWNER.
7. CONTRACTOR IS RESPONSIBLE FOR REINSTALLATION OF ANY COMPONENTS REMOVED TO COMPLETE THE WORK.
8. IN PREPARATION FOR THE WORK THE CONTRACTOR IS TO VISIT THE SITE AND NOTE THE EXISTING CONDITIONS OF THE SITE THROUGH PHOTOGRAPHIC OR VIDEOGRAPHIC MEANS AND PROVIDE THAT RECORD TO THE OWNER PRIOR TO COMMENCING ANY WORK.
9. CONTRACTOR TO PROTECT ALL AREAS OUTSIDE AREA OF WORK FROM DAMAGE, PREVENT SPILLAGE OF DUST FROM WORK.
10. CONTRACTOR TO PROVIDE SIGNAGE TO PREVENT ENTRY OF NON-CONSTRUCTION PERSONNEL INTO AREAS OF WORK. PROVIDE CLEAR SIGNAGE DELINEATING ACCESS TO SITE.



## PLAN KEY NOTES

① PACKAGED TERMINAL AIR CONDITIONER, SEE MECHANICAL DRAWINGS



REVISIONS		
#	date	note

PROJECT STATUS	Construction Documents for Bid
OWNER ID	20-22411-02A

Finch & Associates  
309 North Boylan Avenue  
Raleigh, NC 27603-1402

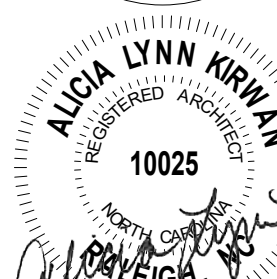
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F 919 | 834-3203

NCBELS Lic. No. P-1845  
NCBOL1 Lic. No. C-656

**FINCH**  
FINCH & ASSOCIATES  
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PETTIGREW STATE PARK  
GROUND AND OFFICE IMPROVEMENTS  
2252 LAKE SHORE ROAD  
CRESWELL, NORTH CAROLINA

**Skinner | Farlow | Kirwan**  
architecture  
sfkarchitecture.com 301 Glenwood Ave. Suite 270  
Raleigh, NC 27603

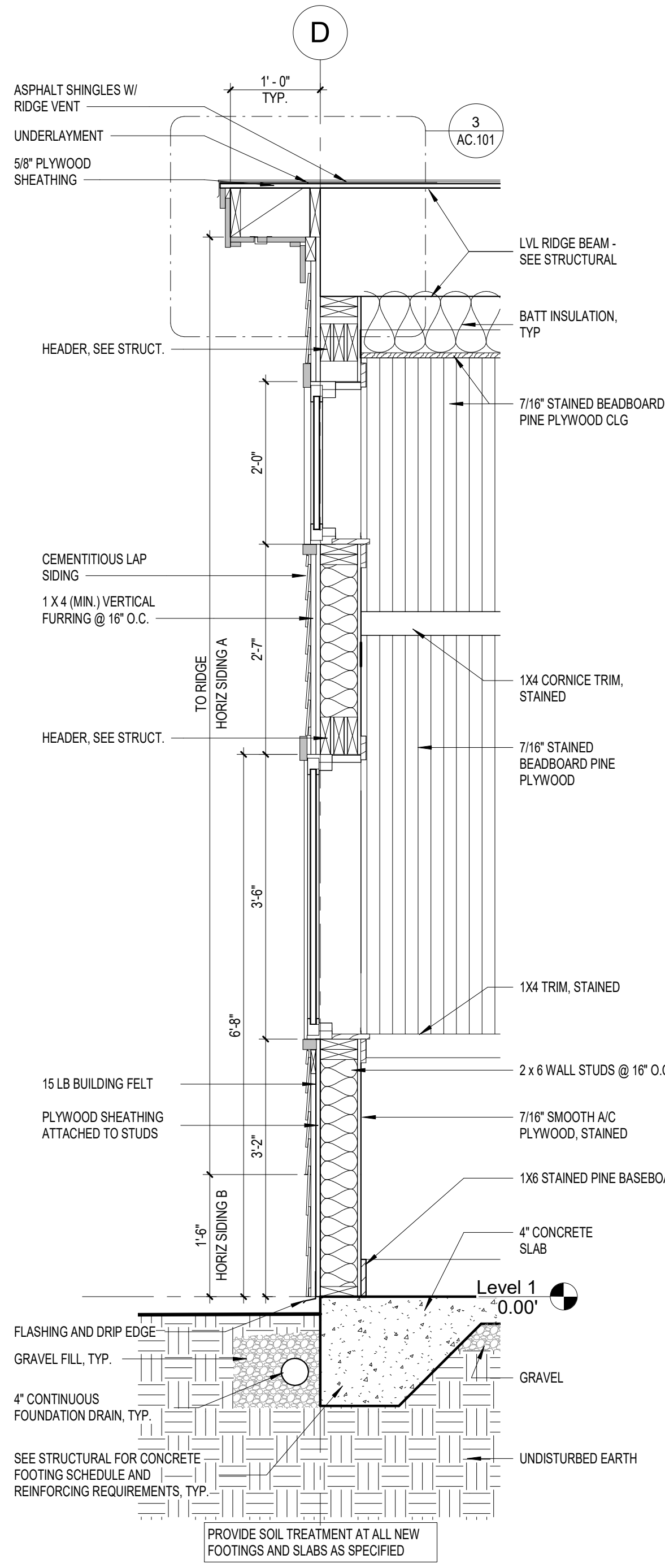


DRAWN	TMM
CHECKED	ALK
PROJECT NO.	1381-20
DATE	07/27/2025
SHEET NAME	PLANS, ELEVATIONS & SECTIONS
SHEET NO.	AC100

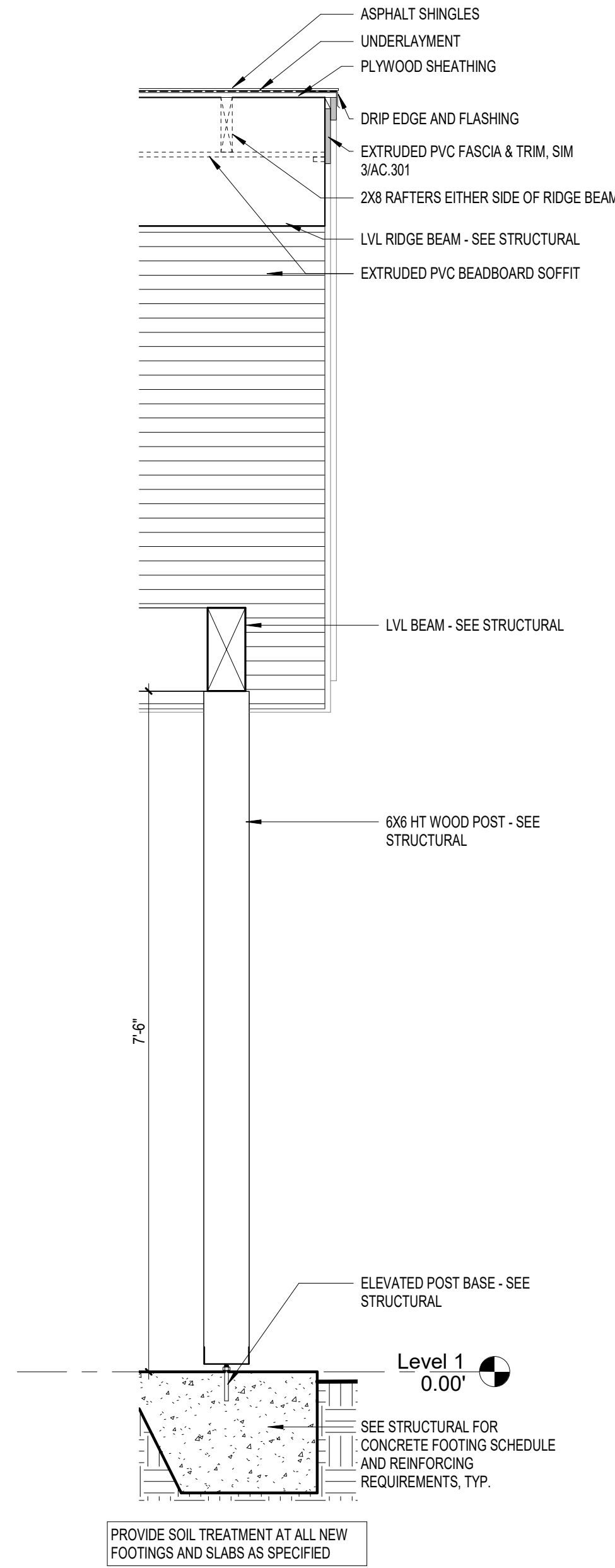
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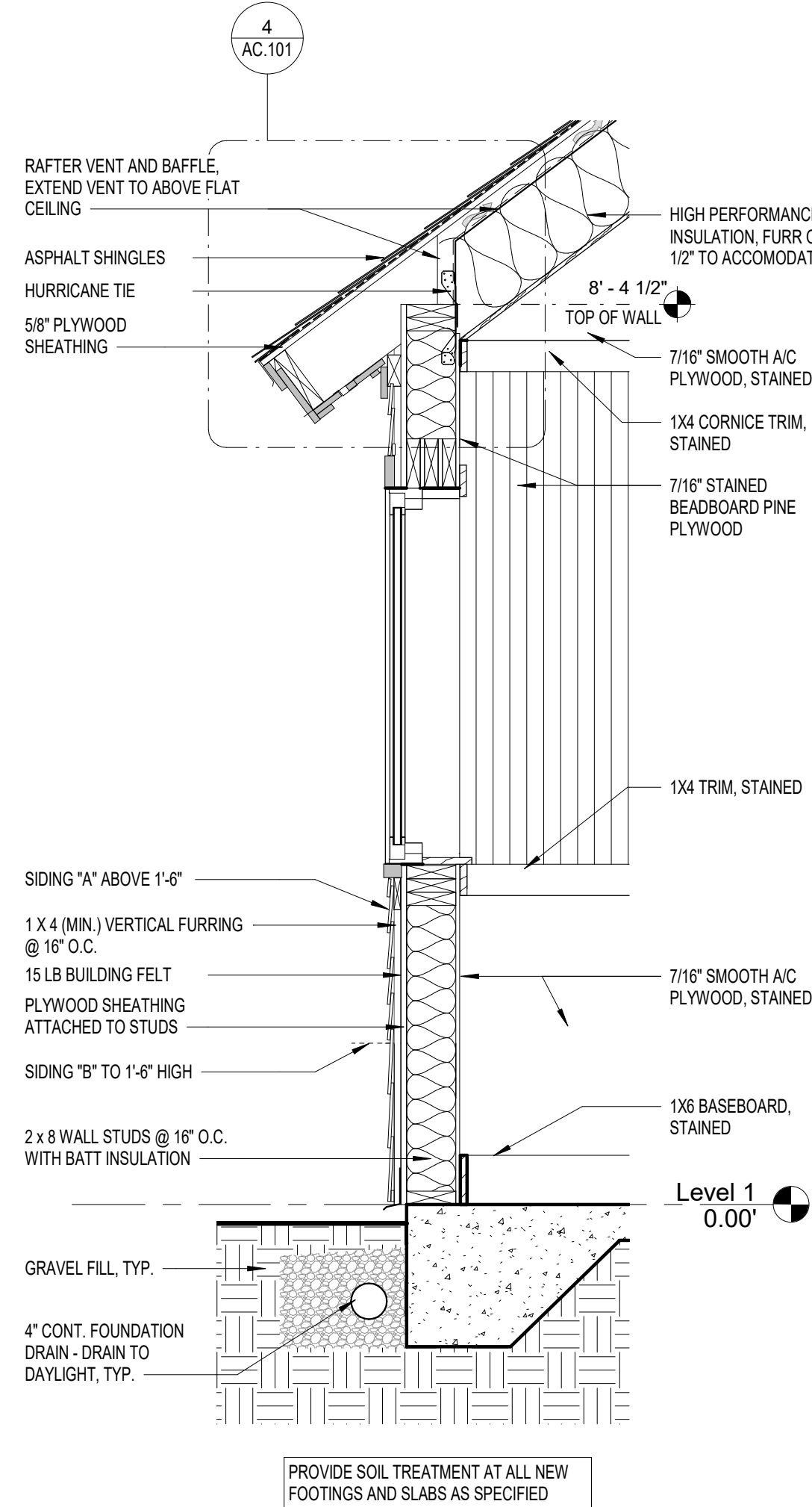
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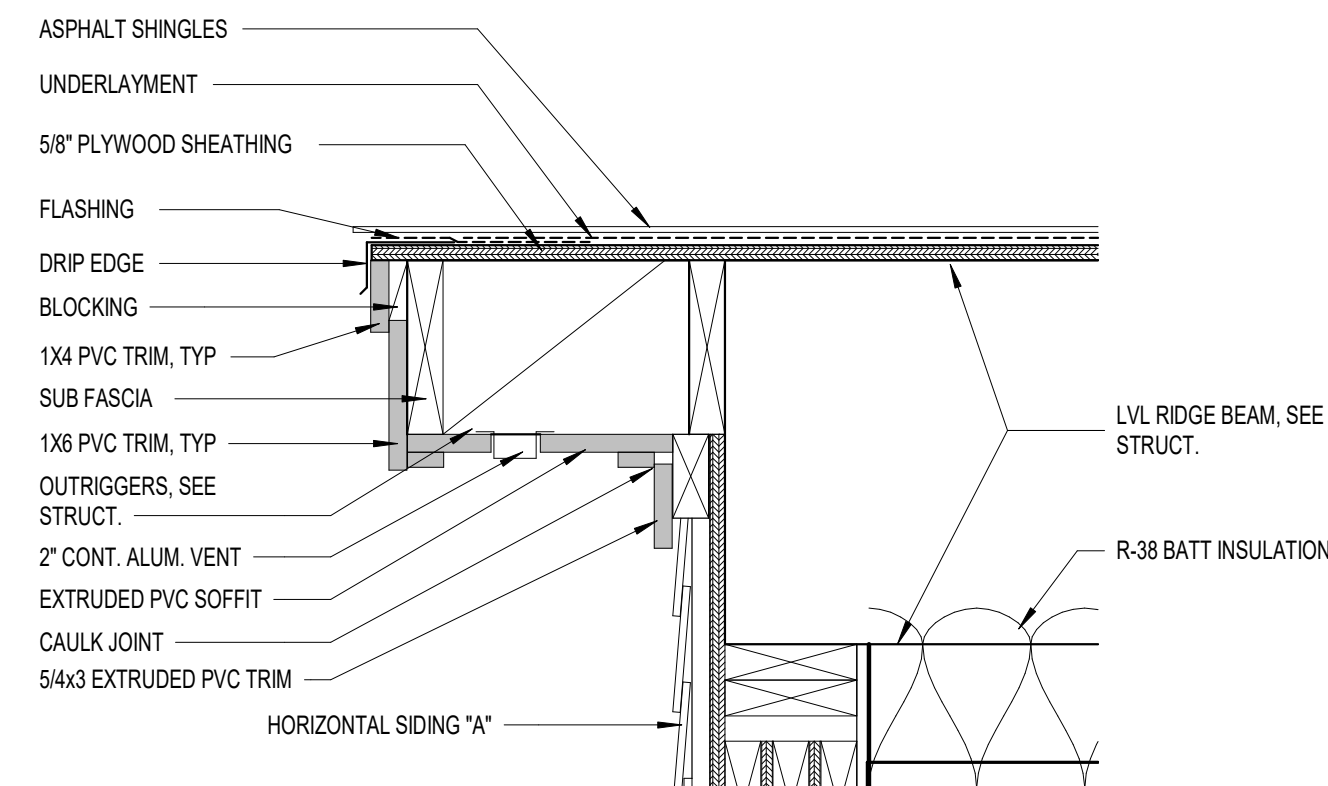
1 WALL SECTION  
3/4" = 1'-0"



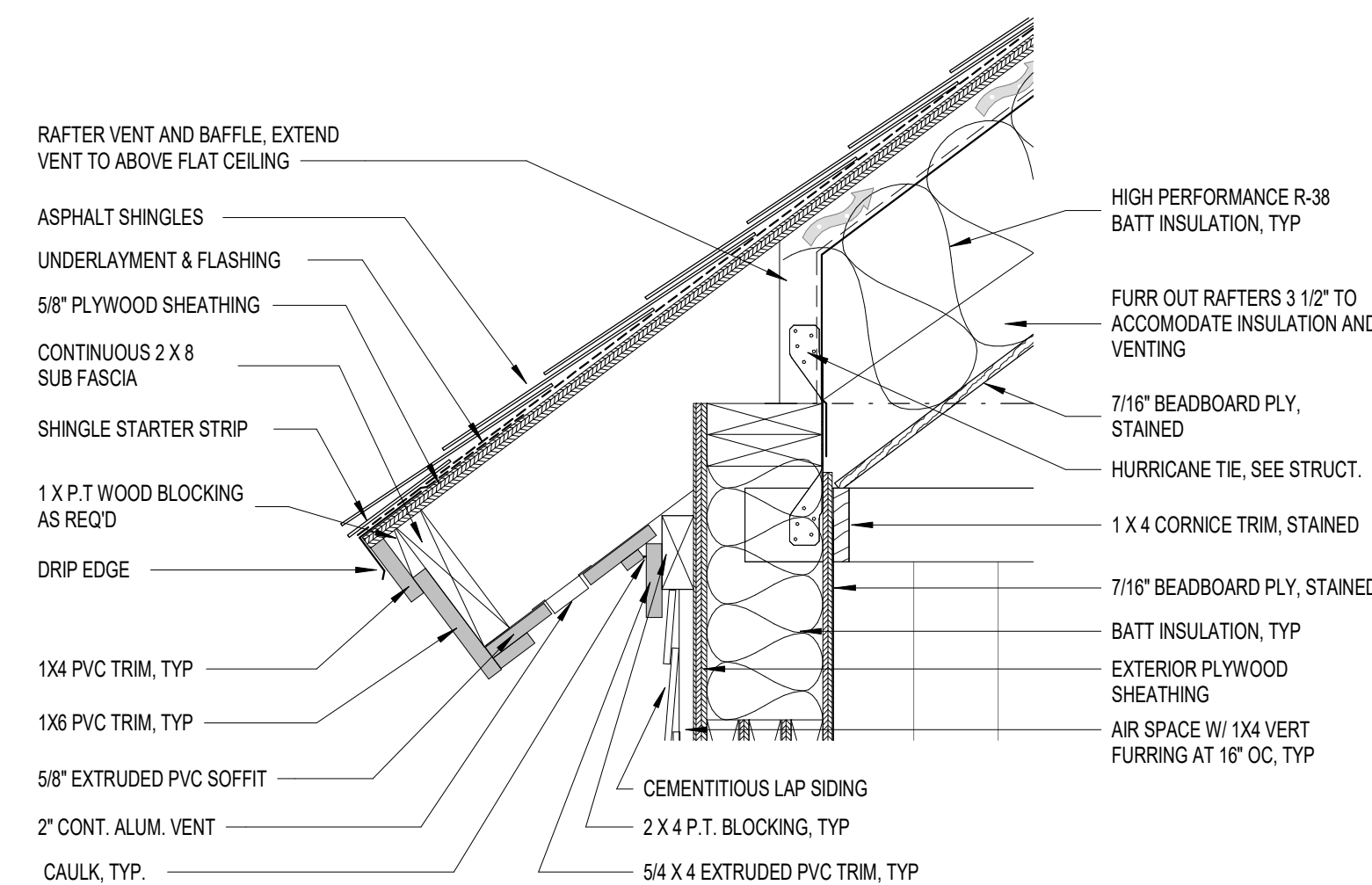
6 SECTION AT PORCH  
3/4" = 1'-0"



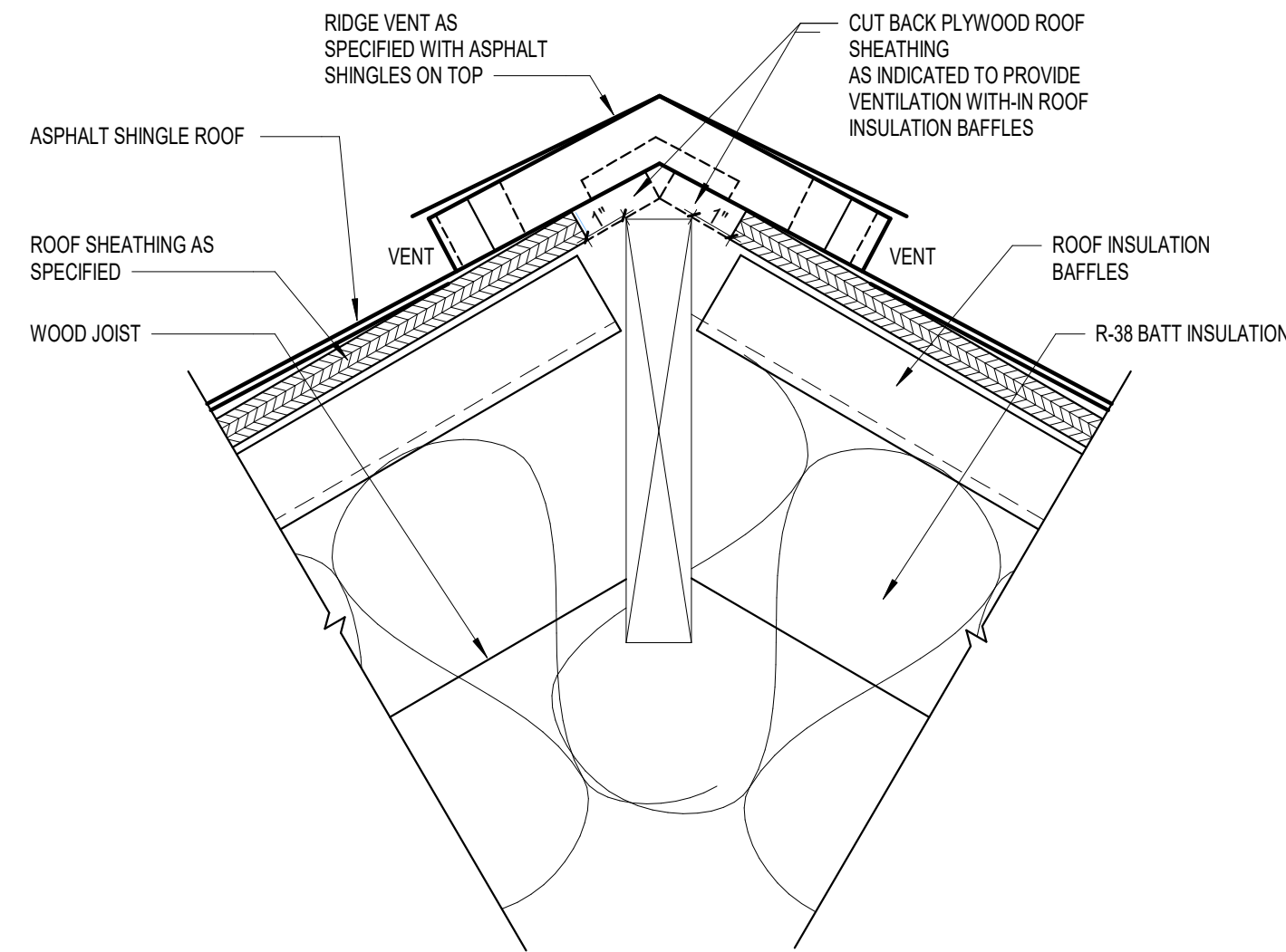
2 WALL SECTION  
3/4" = 1'-0"



3 RAKE EDGE  
1 1/2" = 1'-0"



4 EAVE DETAIL  
1 1/2" = 1'-0"



5 Ridge Vent  
3" = 1'-0"

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architecture  
skfarchitecture.com



REVISIONS		
#	date	note

PROJECT STATUS  
Construction Documents for Bid  
OWNER ID  
20-22411-02A

Finch & Associates  
309 North Boylan Avenue  
Raleigh, NC 27603-1402  
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**FINCH**  
FINCH & ASSOCIATES  
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CHECKED	ALK
PROJECT NO.	1381-20
DATE	07/27/2025
SHEET NAME	WALL SECTIONS
SHEET NO.	AC.101



DOOR SCHEDULE																	
NUMBER	TO	FROM	DOOR						FRAME		FIRE RATING	HW SET	HEAD	JAMB	SILL	GLAZING	REMARKS
			CNT	WDTH	HGT	THK	TYPE	MAT'L	FINISH	MAT'L	FINISH						
100	Front	Porch	1	36"	80"	1 3/4"	B	WD	STN	WD	STN	NA	5	H1	J1	S1	TEMPERED
101	Bunk	Front	1	36"	80"	1 3/4"	C	WD	STN	WD	STN	NA	6	H3	H3	S3	NA

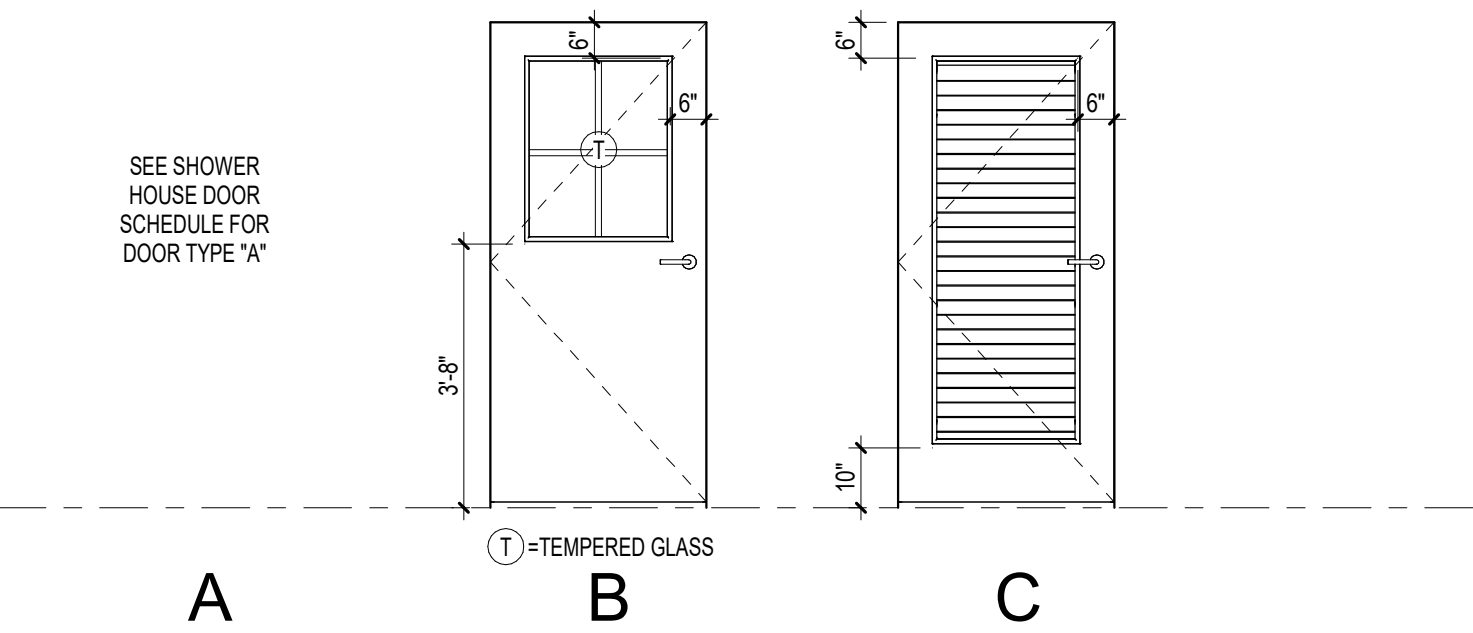
DOOR ABBREVIATIONS						DOOR REMARKS											
AL	ALUMINUM	STN	STAIN	WD	WOOD	1. WEATHERSTRIP FRAME TOP AND BOTH JAMBS AND INSTALL SWEEPSTRIP WEATHER BARRIER AT BOTTOM AS SPECIFIED.											
GL	GLASS			NA	NOT APPLICABLE												
DOOR GENERAL NOTES																	
A. DOORS AND DOOR HARDWARE TO BE ADA COMPLIANT WITH LOCAL BUILDING & FIRE CODES.									E. ALL SINGLE DOORS TO RECEIVE 1-1/2" PAIR BUTT HINGES.								
B. SEE FLOOR PLANS AND PARTITION TYPES FOR THROAT DEPTHS									F. THE HARDWARE SET IS FURNISHED AS INFORMATION AND AS GUIDE ONLY THE COMPLETE QUANTITY REQUIREMENTS FOR EACH OPENING SHALL BE THE RESPONSIBILITY OF GC.								
C. UNDERCUT DOOR TO CLEAR TOP OF FLOOR FINISHES BY 1/4", U.O.N.																	
D. LOCK CORES TO BE COMPATIBLE WITH BUILDING STANDARD CYLINDERS AND KEYED TO MASTER SYSTEM. COORDINATE WITH BUILDING ENGINEER.																	

ROOM FINISH SCHEDULE								
NUMBER	NAME	FLOOR		WALL		CEILING		ROOM FINISH REMARKS
		FINISH	BASE	MATERIAL	FINISH	MATERIAL	FINISH	
100	Front	SEALED CONC	WOOD	WOOD	STN	WOOD	STN	1, 2
101	Bunk	SEALED CONC	WOOD	WOOD	STN	WOOD	STN	1, 2
102	Porch	CONC	-		SIDING	PVC	WOOD	

ROOM FINISH ABBREVIATIONS		ROOM FINISH REMARKS	
CONC	CONCRETE	1. STRUCTURAL TONGUE & GROOVE BOARDS AT CEILING 2. ROLLER SHADES PROVIDED AT LOWER WINDOWS - SEE FURNITURE PLAN BELOW FOR LOCATIONS.	
EP	EPOXY PAINT		
STN	STAINED		
PT	PAINT		
SC	SEALED CONCRETE		

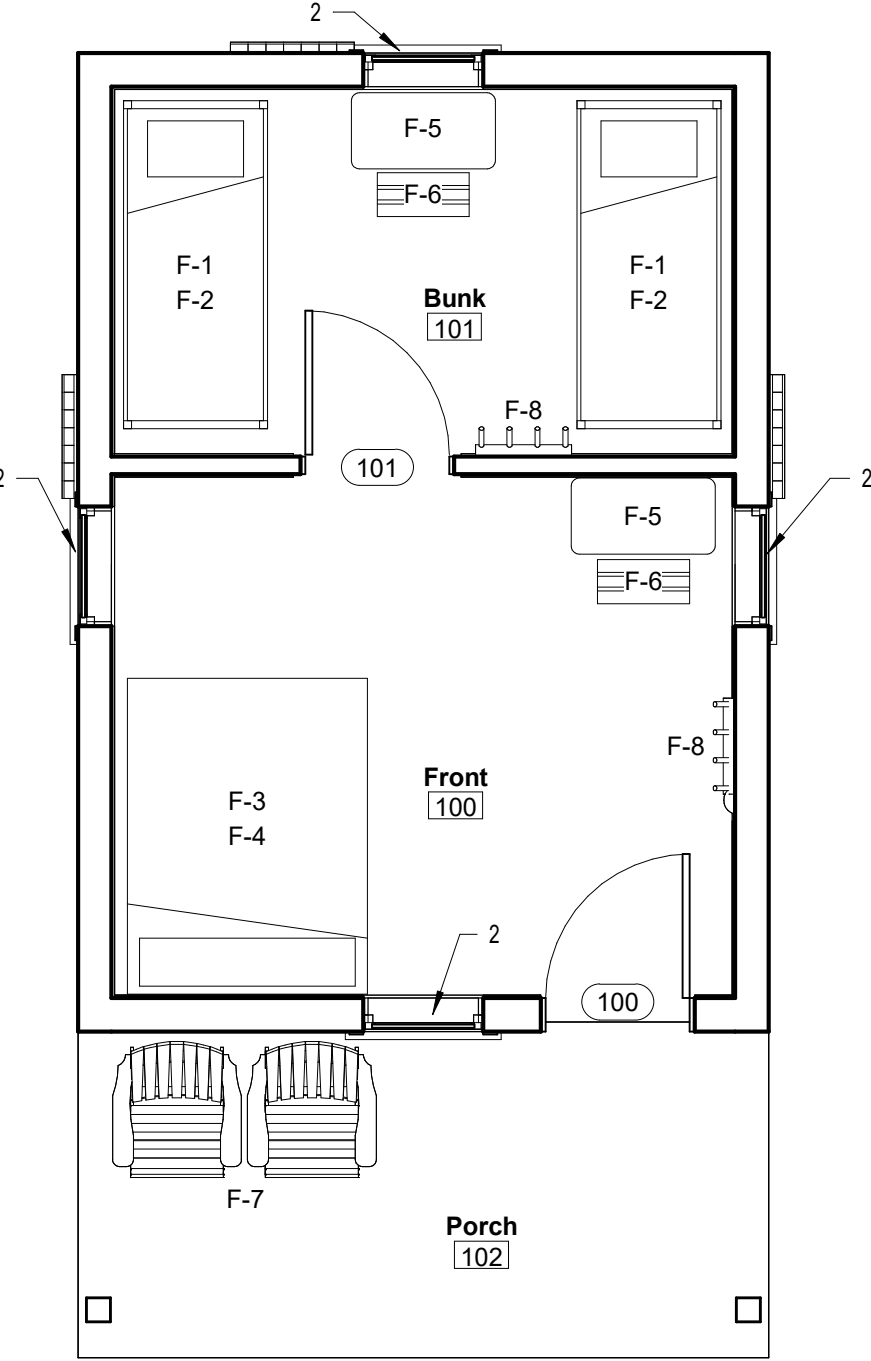
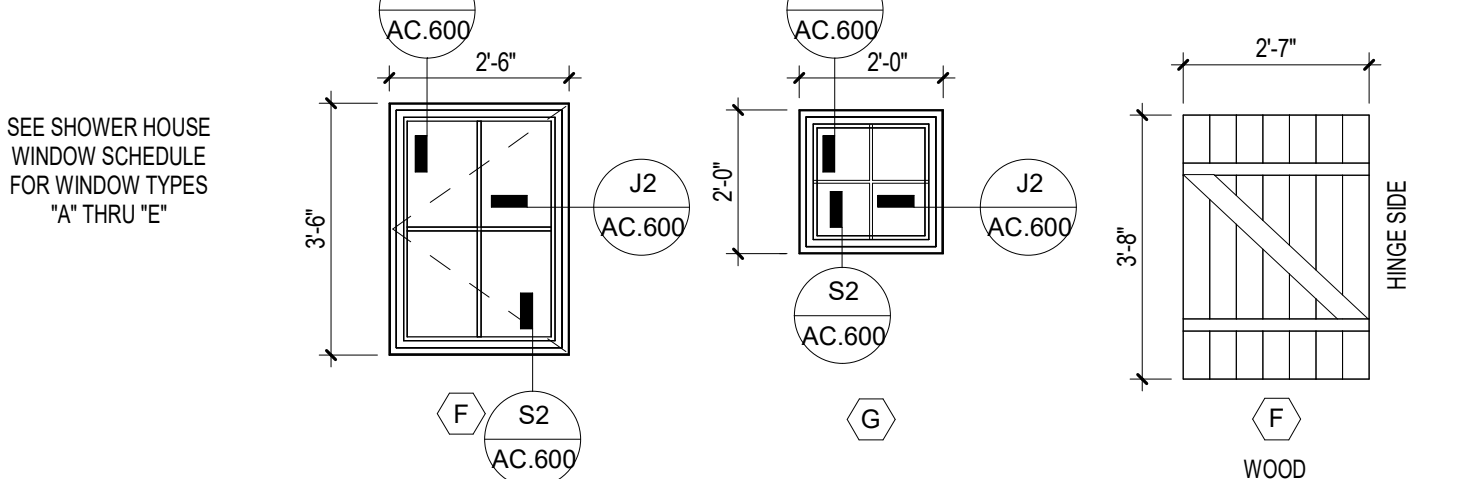
## DOOR ELEVATIONS

SCALE 3/8" = 1'-0"



## WINDOW SCHEDULE

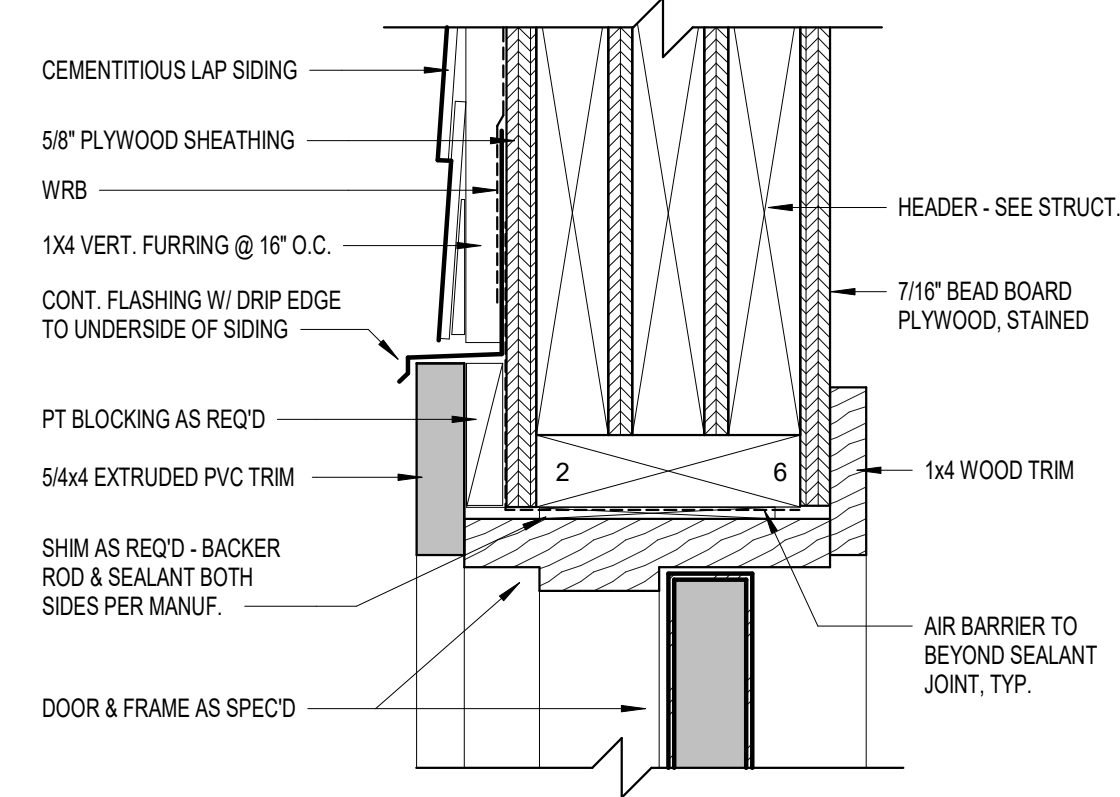
SCALE 3/8" = 1'-0"



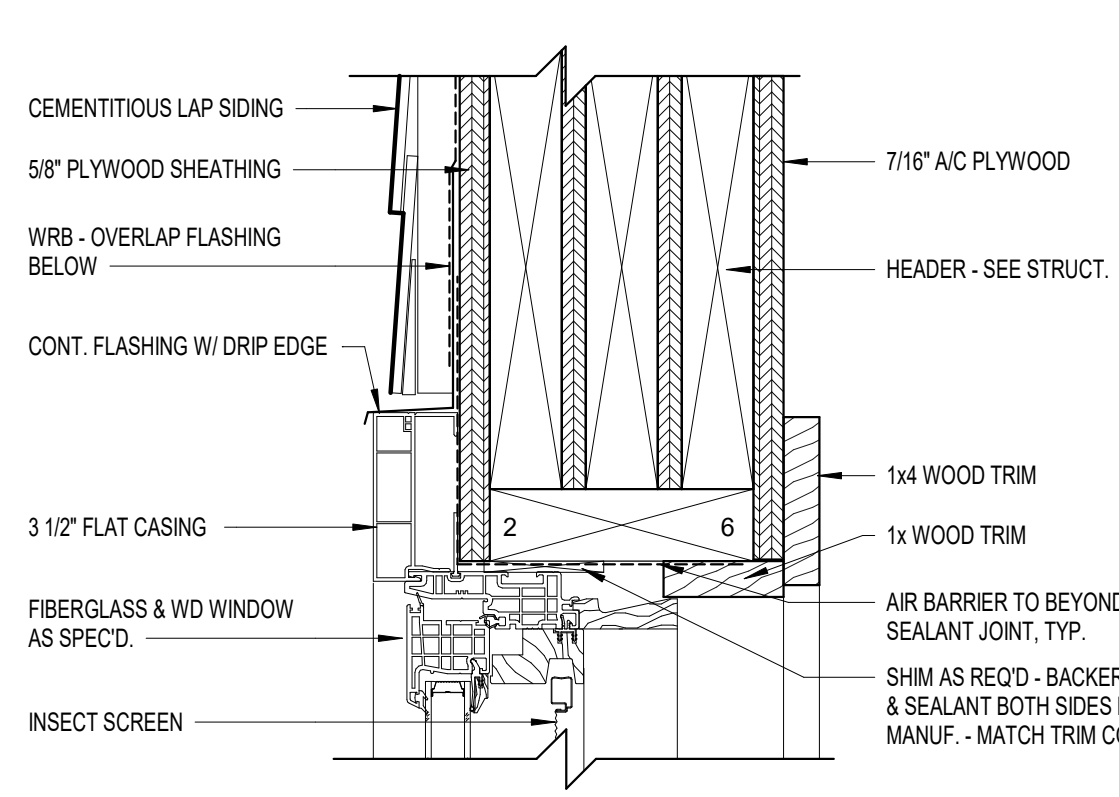
1 CABIN FURNITURE PLAN  
SCALE: 1/4" = 1'-0"

## FURNITURE SCHEDULE

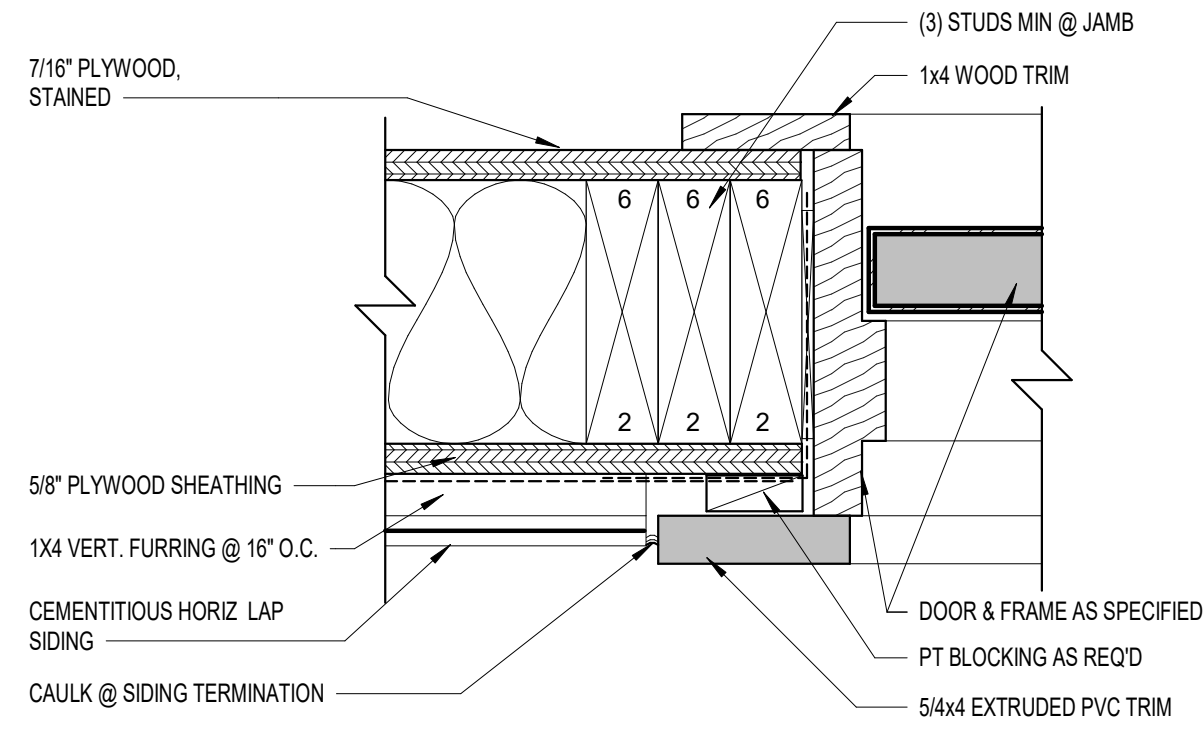
Type Mark	Description
F-1	Twin size Bunk Bed - Light Honey Finish, Conestoga Style, anchor posts to wall, contractor to provide blocking
F-2	30" x 74" Twin Mattress, Bed Bug Resistant
F-3	Full Bed -Light honey finish, Conestoga Style
F-5	Fold Down Table- Light Honey Finish, Wall Mounted, Conestoga Style
F-6	Log Bench - Light honey finish, Conestoga Style
F-7	Adirondack Double Seater Tete Tete - Natural Stain
F-8	Log Wall Hooks - Light honey finish if available



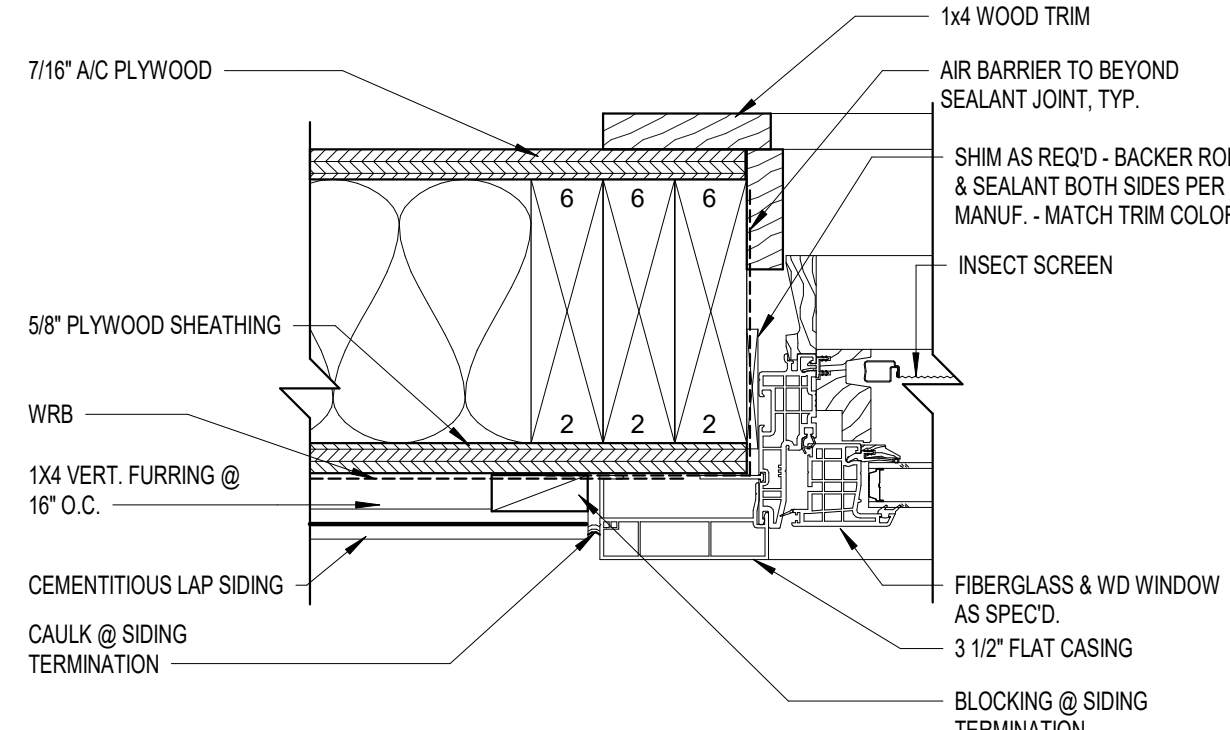
H1 HEAD @ DOOR  
SCALE: 3\"/>



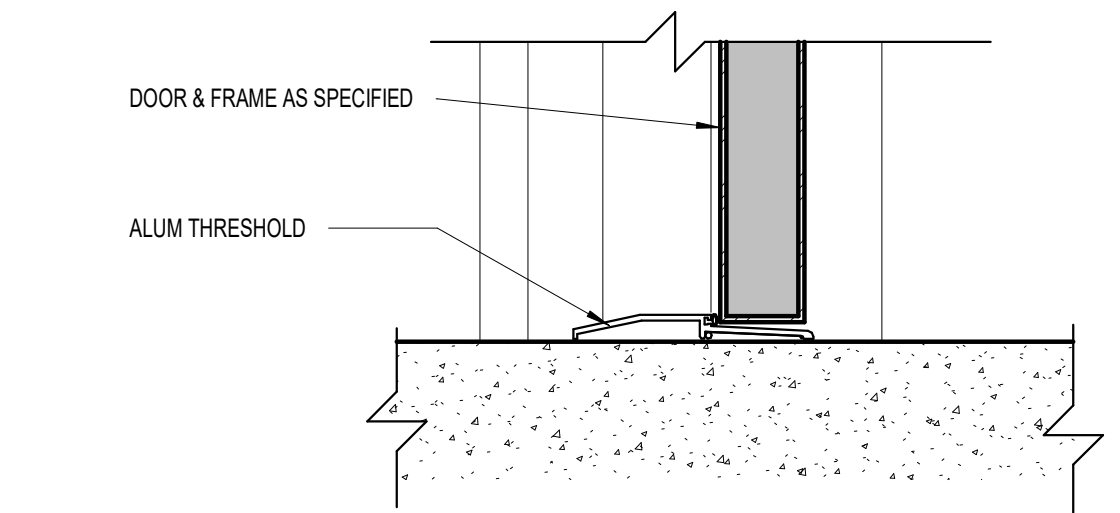
H2 HEAD @ WINDOW  
SCALE: 3\"/>



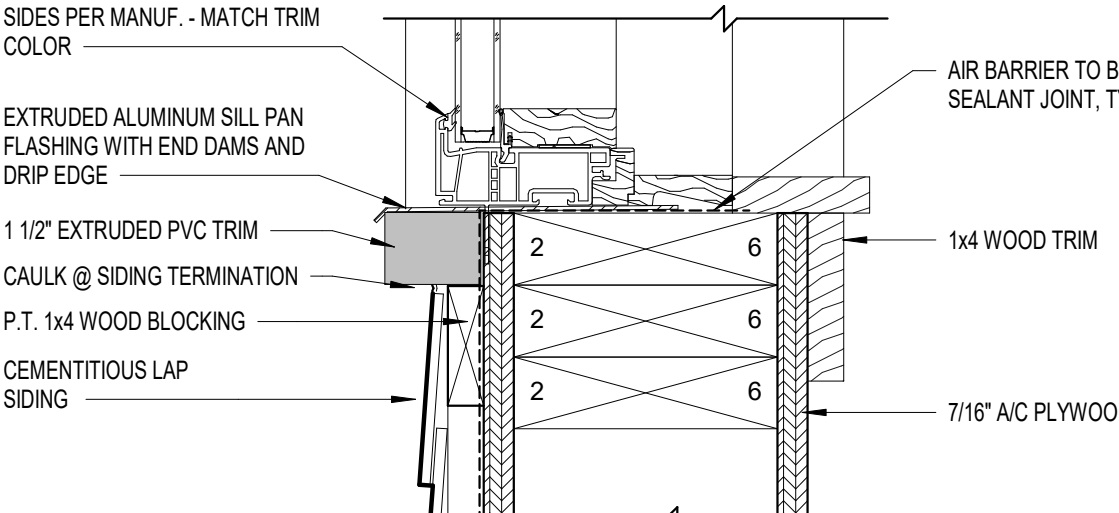
J1 JAMB @ DOOR  
SCALE: 3\"/>



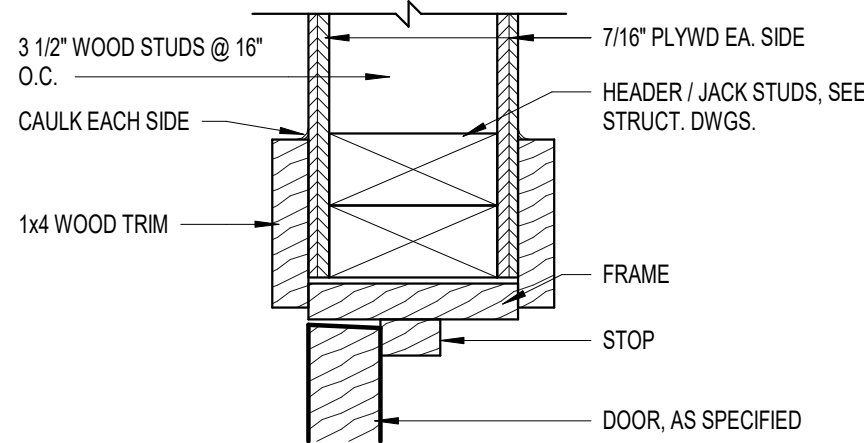
J2 JAMB @ WINDOW  
SCALE: 3\"/>



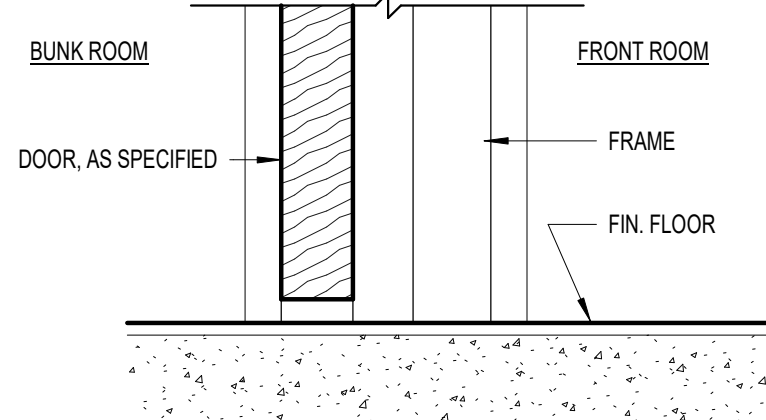
S1 SILL @ DOOR  
SCALE: 3\"/>



S2 SILL @ WINDOW  
SCALE: 3\"/>



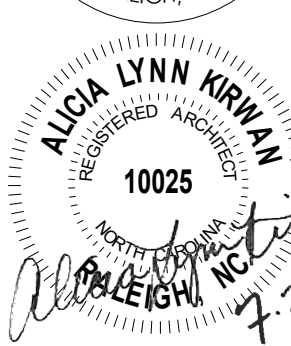
H3 HEAD/JAMB @ INTERIOR DOOR  
3\"/>



S3 SILL @ INTERIOR DOOR  
3\"/>

Skinner | Farlow | Kirwan  
architecture  
sfxarchitecture.com

304 Glenwood Ave. Suite 270  
Raleigh, NC 27603  
919-232-0010



REVISIONS		
#	date	note

PROJECT STATUS  
Construction Documents for Bid  
OWNER ID  
20-22411-02A

Finch & Associates  
309 North Boylan Avenue  
Raleigh, NC 27603-1402  
T 919 | 833-1212  
F 919 | 834-3203  
NCBELS Lic. No. P-1845  
NCBOL1 Lic. No. C-656

FINCH & ASSOCIATES  
engineering landscape architecture and surveying

PETTIGREW STATE PARK  
CAMPGROUND AND OFFICE IMPROVEMENTS  
2252 LAKE SHORE ROAD  
CRESWELL, NORTH CAROLINA

DRAWN	TMM
CHECKED	ALK
PROJECT NO.	1381-20
DATE	07/27/2025
SHEET NAME	SCHEDULES & DETAILS
SHEET NO.	AC.600



GENERAL NOTES:

1.

THE STRUCTURAL DRAWINGS MUST BE USED IN CONJUNCTION WITH THE ARCHITECTURAL, CIVIL, MECHANICAL, PLUMBING, AND ELECTRICAL DRAWINGS, AND THE SPECIFICATIONS. THE CONTRACTOR MUST VERIFY THE REQUIREMENTS OF OTHER TRADES AS TO SLEEVES, CHASES, HANGERS, INSERTS, ANCHORS, HOLES, AND ADDITIONAL ITEMS TO BE PLACED OR SET IN THE STRUCTURAL WORK.
2.

THIS STRUCTURE HAS BEEN DESIGNED IN ACCORDANCE WITH THE PROVISIONS OF THE NORTH CAROLINA STATE BUILDING CODE, 2018 EDITION.
3.

THE CONTRACTOR MUST PROVIDE TEMPORARY SHORING AND BRACING REQUIRED TO ERECT AND HOLD THE STRUCTURE IN PROPER ALIGNMENT UNTIL PERMANENT SUPPORTS AND LATERAL BRACING ARE IN PLACE.
4.

THE CONTRACTOR MUST FIELD VERIFY THE DIMENSIONS, ELEVATIONS, AND OTHER REQUIREMENTS NECESSARY FOR THE PROPER CONSTRUCTION AND ALIGNMENT OF THE STRUCTURE.
5.

DISCREPANCIES BETWEEN DRAWINGS, BETWEEN THE DRAWINGS AND THE SPECIFICATIONS, OR WITHIN THE SPECIFICATIONS, MUST BE BROUGHT TO THE ATTENTION OF THE ARCHITECT AND ENGINEER DURING THE BIDDING PROCESS IN TIME TO PERMIT CLARIFICATION BY ADDENDUM. IF INCONSISTENCIES, DISCREPANCIES OR CONTRADICTIONS IN THE CONTRACT DOCUMENTS ARE DISCOVERED AFTER THE CLOSE OF BIDDING QUESTIONS, THE CONTRACTOR MUST BE DEEMED BY SUBMITTAL OF THEIR BID, TO HAVE BID THE MOST COSTLY AS TO LABOR, MATERIALS, DURATION, SEQUENCE AND METHOD OF CONSTRUCTION TO PROVIDE THE WORK.
6.

DESIGN CRITERIA:

CLASSIFICATION OF BUILDING  
RISK CATEGORY..... II

LIVE LOADS - UNIFORM:  
SLAB ON GRADE.....100 PSF  
ROOF (LIVE LOAD REDUCTION NOT UTILIZED)..... 20 PSF

SNOW LOADS:  
GROUND SNOW LOAD.....10 PSF  
SLOPED ROOF LOAD.....7.7 PSF  
IMPORTANCE FACTOR (Is)..... 1.0  
THERMAL FACTOR (Ct)..... 1.0  
EXPOSURE FACTOR (Ce)..... 1.1

WIND LOADS:  
ULTIMATE DESIGN WIND SPEED (VULT)..... 125 MPH  
EXPOSURE CATEGORY..... D  
INTERNAL PRESSURE COEFFICIENT..... ±0.18  
COMPONENT AND CLADDING PRESSURES:  
WALLS, ZONE 5 (10 SF)..... 49 PSF  
ROOF, ZONE 3 (10 SF)..... 95 PSF  
ULTIMATE WIND BASE SHEARS (FOR MWFRS):  
SHOWER HOUSE Vx.....19.9 KIPS  
SHOWER HOUSE Vy.....31.6 KIPS  
CABINS Vx..... 2.8 KIPS  
CABINS Vy.....1.9 KIPS

SEISMIC LOADS:  
SITE CLASSIFICATION..... D  
SEISMIC DESIGN CATEGORY..... B  
IMPORTANCE FACTOR (IE)..... 1.0  
SPECTRAL RESPONSE ACCELERATIONS:  
Ss.....0.097.....S1.....0.051  
SMS.....0.155.....SM1.....0.123  
SPS.....0.103.....SP1.....0.082  
ANALYSIS PROCEDURE.....EQUIVALENT LATERAL FORCE  
LATERAL FORCE RESISTING SYSTEM:  
CABIN.....LIGHT-FRAME WOOD WALLS  
SHEATHED WITH WOOD  
STRUCTURAL PANELS RATED  
WIND LOAD CONTROLS  
SHOWER HOUSE.....INTERMEDIATE REINFORCED  
MASONRY WIND LOAD  
CONTROLS

RESPONSE MODIFICATION COEFFICIENT (R):  
CABIN.....6.5  
SHOWER HOUSE.....3.5

SEISMIC RESPONSE COEFFICIENT (Cs):  
CABIN.....0.025  
SHOWER HOUSE.....0.046

SEISMIC BASE SHEAR (V):  
CABIN.....0.2 KIPS  
SHOWER HOUSE.....5.0 KIPS

FOUNDATION NOTES:

1.

FOUNDATIONS HAVE BEEN DESIGNED IN ACCORDANCE WITH THE RECOMMENDATIONS IN THE SUBSURFACE EXPLORATION AND GEOTECHNICAL ENGINEERING REPORT PREPARED BY TERRACON, DATED MAY 27, 2022.
2.

FOUNDATIONS HAVE BEEN DESIGNED FOR A NET ALLOWABLE SOIL BEARING PRESSURE OF 1,000 PSF.
3.

PRIOR TO PLACING FOUNDATION CONCRETE, ALL FOUNDATION EXCAVATIONS MUST BE INSPECTED BY THE OWNER'S GEOTECHNICAL TESTING AGENCY TO EXPLORE THE EXTENT OF LOOSE, SOFT, EXPANSIVE, OR OTHERWISE UNSATISFACTORY SOIL MATERIAL AND TO VERIFY DESIGN BEARING PRESSURE. DIRECTION FOR CORRECTIVE ACTION WILL BE PROVIDED BY THE SPECIAL INSPECTOR WHERE UNSATISFACTORY SOILS ARE PRESENT.
4.

NO UNBALANCED BACKFILLING MUST BE DONE AGAINST MASONRY OR CONCRETE WALLS UNLESS WALLS ARE SECURELY BRACED AGAINST OVERTURNING, EITHER BY TEMPORARY CONSTRUCTION BRACING OR BY PERMANENT CONSTRUCTION.
5.

CONTROL GROUNDWATER AND SURFACE RUNOFF THROUGHOUT THE CONSTRUCTION PROCESS. INUNDATION AND LONG TERM EXPOSURE OF BEARING SURFACES WHICH RESULT IN DETERIORATION OF BEARING MUST BE PREVENTED.

CAST-IN-PLACE CONCRETE NOTES:

1.

CONCRETE MUST BE IN ACCORDANCE WITH AMERICAN CONCRETE INSTITUTE (ACI) 301 AND 318.
2.

CONCRETE MUST BE NORMAL WEIGHT AND MUST OBTAIN 28 DAY COMPRESSIVE STRENGTHS OF 3,000 PSI.
3.

REINFORCING MATERIALS MUST BE AS FOLLOWS:  
A. REINFORCING BARS - ASTM A615, GRADE 60, DEFORMED.  
B. WELDED WIRE REINFORCEMENT - ASTM A1064, WELDED STEEL WIRE REINFORCEMENT; PROVIDE SHEET TYPE, ROLL TYPE IS NOT ACCEPTABLE.
4.

ALL REINFORCING STEEL AND EMBEDDED ITEMS SUCH AS ANCHOR RODS AND WELD PLATES MUST BE ACCURATELY PLACED AND ADEQUATELY TIED AND SUPPORTED BEFORE CONCRETE IS PLACED TO PREVENT DISPLACEMENT BEYOND PERMITTED TOLERANCES.
5.

LAP CONTINUOUS REINFORCING STEEL 57 X BAR DIAMETER, TYPICAL UNLESS OTHERWISE NOTED.
6.

CONCRETE IN AREAS EXPOSED TO WEATHER (SUCH AS EXTERIOR SLABS-ON-GRADE) MUST BE AIR ENTRAINED.

CONCRETE MASONRY NOTES:

1.

CONCRETE MASONRY MATERIALS AND CONSTRUCTION MUST CONFORM TO THE AMERICAN CONCRETE INSTITUTE (ACI) 530.
2.

CONCRETE MASONRY UNITS MUST CONFORM TO ASTM C90 AND MUST BE MADE WITH LIGHTWEIGHT AGGREGATE. MINIMUM NET AREA COMPRESSIVE STRENGTH OF MASONRY UNITS MUST BE 2,800 PSI AT 28 DAYS.
3.

COMPRESSIVE STRENGTH OF MASONRY MUST BE DETERMINED BY THE UNIT STRENGTH METHOD AS SET FORTH IN ACI 530.1. THE NET AREA COMPRESSIVE STRENGTH OF MASONRY, fm, MUST BE 2,000 PSI AT 28 DAYS.
4.

MORTAR MUST BE TYPE 'M' OR 'S' AND MUST COMPLY WITH ASTM C270, PROPORTIONS OR PROPERTIES SPECIFICATION.
5.

GROUT MUST COMPLY WITH EITHER THE PROPORTIONS OR PROPERTIES SPECIFICATION OF ASTM C476 AND AS FOLLOWS:  
A. PROPORTIONS SPECIFICATION: THIS MIX CANNOT CONTAIN ADMIXTURES. WATER MUST BE ADDED IN THE FIELD IN ORDER TO ACHIEVE A SLUMP OF 8-11 INCHES WHEN PLACED IN THE CONCRETE MASONRY UNITS. MORTAR, PEA-GRAVEL CONCRETE, OR "CHAT" MIXES ARE NOT ACCEPTABLE SUBSTITUTES FOR THE SPECIFIED GROUT.
6.

REINFORCING STEEL MUST COMPLY WITH ASTM A615, GRADE 60. SHOP FABRICATE REINFORCING BARS WHICH ARE SHOWN TO BE BENT OR HOOKED.
7.

ALL BOND BEAMS, REINFORCED CELLS AND CELLS WITH EXPANSION BOLTS, EMBED PLATES OR OTHER ANCHORS AND ALL CELLS BELOW GRADE MUST BE GROUTED SOLID. GROUT PROCEDURE MUST COMPLY WITH ACI 530.1.
8.

ALL CMU WALLS MUST BE REINFORCED CONTINUOUSLY FROM FOUNDATION TO TOP OF WALL. WHERE REINFORCING IS INTERRUPTED, OFFSET AND LAP ADDITIONAL BARS PER THE "TYPICAL OFFSET SPLICE AT MASONRY WALL DETAILS."
9.

PROVIDE REINFORCING BARS OF THE GIVEN SIZE AND SPACING SHOWN. LAP CONTINUOUS REINFORCING STEEL 72 X BAR DIAMETERS UNLESS OTHERWISE NOTED.
10.

PROVIDE STANDARD 9 GAGE LADDER TYPE HORIZONTAL JOINT REINFORCING IN CMU WALLS AT 16 INCHES ON CENTER AND IN TWO JOINTS IMMEDIATELY ABOVE AND BELOW ALL OPENINGS, EXTENDING A MINIMUM OF 2 FEET BEYOND THE JAMB ON EACH SIDE OF THE OPENING, EXCEPT AT CONTROL JOINTS.
11.

ALL NON-BEARING MASONRY WALLS MUST BE REINFORCED WITH #4 VERTICAL BARS AT 40 INCHES ON CENTER. TYPICAL UNLESS OTHERWISE NOTED. ALL NON-BEARING MASONRY WALLS MUST BE BRACED PER "TYPICAL NON-BEARING MASONRY PARTITION DETAILS".
12.

PROVIDE REINFORCING STEEL DOWELS OF THE SAME SIZE AND SPACING AS VERTICAL REINFORCING FROM THE SUPPORTING STRUCTURE. DOWEL MUST HAVE STANDARD ACI HOOKS.
13.

PROVIDE HORIZONTAL BOND BEAMS WITH CONTINUOUS REINFORCING AS SHOWN IN THE SECTIONS AND DETAILS. DISCONTINUE ALL HORIZONTAL REINFORCING AT CONTROL JOINTS.

ROUGH CARPENTRY NOTES:

1.

ROUGH CARPENTRY MUST BE IN ACCORDANCE WITH THE AMERICAN WOOD COUNCIL (AWC) "NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION."
2.

UNLESS OTHERWISE NOTED, USE 'COMMON' NAILS AND ALL NAILING MUST CONFORM TO THE "FASTENING SCHEDULE" TABLE 2304.10.1 OF THE BUILDING CODE.
3.

WOOD FRAMING MEMBERS MUST COMPLY WITH PS 20 "AMERICAN SOFTWOOD LUMBER STANDARD" AND THE FOLLOWING REQUIREMENTS:  
A. MOISTURE CONTENT - SEASONED, WITH 15 PERCENT MAXIMUM MOISTURE CONTENT.
4.

WOOD STRUCTURAL PANELS (WSP) MUST COMPLY WITH PS 1 "U.S. PRODUCT STANDARD FOR CONSTRUCTION AND INDUSTRIAL PLYWOOD" FOR PLYWOOD CONSTRUCTION PANELS AND THE FOLLOWING REQUIREMENTS:  
A. EXTERIOR WALL AND SHEAR WALL SHEATHING: 1/2" INCH, APA RATED SHEATHING, EXPOSURE 1 DURABILITY CLASSIFICATION.  
B. ROOF SHEATHING: 5/8" INCH, APA RATED SHEATHING, EXPOSURE 1 DURABILITY CLASSIFICATION. PROVIDE TONGUE-AND-GROOVE EDGES OR USE "PLY-CLIPS" AT MID-SPAN BETWEEN EACH SUPPORT.
5.

ALL WOOD FRAMING MEMBERS PERMANENTLY EXPOSED TO THE WEATHER AND ALL SILL PLATES IN CONTACT WITH CONCRETE MUST BE PRESERVATIVE-TREATED. REFER TO THE SPECIFICATIONS.
6.

STEEL PLATE CONNECTORS MUST COMPLY WITH ASTM A 36 SPECIFICATIONS (Fy= 36 KSI). BOLTS CONNECTING WOOD MEMBERS MUST COMPLY WITH ASTM A307 COMMON STEEL BOLTS, AND MUST BE 12 INCH DIAMETER, UNLESS OTHERWISE NOTED.
7.

METAL FRAMING ANCHORS, HOLD DOWNS, HURRICANE TIES, HANGERS, ETC. MUST COMPLY WITH ASTM A653 AND BE CAPABLE OF SUPPORTING THE REACTIONS SHOWN. WHERE PRODUCTS OF A SPECIFIC MANUFACTURER ARE SHOWN, EQUAL PRODUCTS OF ANOTHER MANUFACTURER MAY BE USED IF APPROVED.
8.

PROVIDE BRIDGING FOR ALL ROOF RAFTERS. MAXIMUM SPACING MUST BE 8'-0", UNLESS OTHERWISE NOTED.
9.

PROVIDE HEADERS OF THE SAME CROSS SECTION AS JOISTS OR RAFTERS TO FRAME AROUND ALL OPENINGS TO SUPPORT SHEATHING, UNLESS OTHERWISE NOTED OR DETAILED ON THE DRAWINGS.
10.

WHERE MULTIPLE FRAMING MEMBERS ARE INDICATED, SCAB CONTINGENT MEMBERS TOGETHER WITH 16d NAILS AT 12 INCHES ON CENTER, ALTERNATING AT 2 INCHES FROM EACH EDGE.
11.

ALL CONNECTION HARDWARE IN CONTACT WITH PRESERVATIVE TREATED WOOD MUST BE HOT-DIP GALVANIZED COATED.

HEAVY TIMBER CONSTRUCTION NOTES:

1.

HEAVY TIMBER CONSTRUCTION MUST BE IN ACCORDANCE WITH THE AMERICAN FOREST AND PAPER ASSOCIATION (AF&PA) "NATIONAL DESIGN STANDARDS" .
2.

HEAVY TIMBER FRAMING MATERIALS MUST COMPLY WITH THE FOLLOWING:  
A. MOISTURE CONTENT - SEASONED, WITH 15 PERCENT MAXIMUM MOISTURE CONTENT.  
B. GRADE - NO. 1.  
C. SPECIES - SOUTHERN PINE.
3.

HEAVY TIMBER DECKING MATERIALS MUST COMPLY WITH THE FOLLOWING:  
A. MOISTURE CONTENT - 15 PERCENT MAXIMUM MOISTURE CONTENT.  
B. GRADE - SELECT DECKING.
4.

DECKING MUST BE 2 INCH NOMINAL TONGUE AND GROOVE AND MUST BE INSTALLED IN A SIMPLE SPAN LAYUP.
5.

UNLESS OTHERWISE INDICATED OR SPECIFIED, FASTENER TYPE, SPACING AND INSTALLATION FOR HEAVY TIMBER DECKING MUST CONFORM TO AITC RECOMMENDATIONS FOR THE DECKING THICKNESS AND TYPE USED.
6.

STEEL PLATE CONNECTORS MUST COMPLY WITH ASTM A36 SPECIFICATIONS (Fy = 36 KSI). BOLTS CONNECTING WOOD MEMBERS MUST COMPLY WITH ASTM A307 COMMON STEEL BOLTS, AND MUST BE 1 INCH DIAMETER UNLESS OTHERWISE NOTED.
7.

ALL TRUSS AND FRAMING CONNECTORS MUST BE PAINTED BLACK WITH A RUST INHIBITIVE PRIMER. COMMON WASHERS MUST BE USED UNDER EACH BOLT HEAD AND NUT.
8.

BOLT HOLES MUST BE CAREFULLY CENTERED AND DRILLED NOT MORE THAN 1/16 INCH LARGER THAN THE BOLT DIAMETERS.
9.

ALL MEMBERS IN HEAVY TIMBER TRUSSES MUST BE PRECISION CUT AND FIT TIGHTLY TOGETHER BEFORE BOLTING JOINTS.

STRUCTURAL STEEL NOTES:

1.

STRUCTURAL STEEL MUST BE IN ACCORDANCE WITH THE AMERICAN INSTITUTE OF STEEL CONSTRUCTION (AISC) 360.
2.

STRUCTURAL STEEL MUST COMPLY WITH THE FOLLOWING SPECIFICATIONS:  
A. STRUCTURAL STEEL SHAPES, PLATES AND BARS UNLESS OTHERWISE NOTED - ASTM A36, Fy = 36 KSI  
B. HOLLOW STRUCTURAL SECTIONS (HSS):  
a. SQUARE AND RECTANGULAR - ASTM A500, GRADE C, Fy = 50 KSI
3.

WELDING MUST BE IN ACCORDANCE WITH AWS D1.1, "STRUCTURAL WELDING CODE - STEEL." WELD ELECTRODES MUST BE E70XX LOW HYDROGEN. UNLESS OTHERWISE NOTED, PROVIDE CONTINUOUS FILLET WELDS WITH MINIMUM SIZE REQUIRED BY TABLE J2.4 AISC 360.
4.

HOT-DIP GALVANIZE AFTER FABRICATION THE FOLLOWING:  
A. ANGLES AND PLATES SUPPORTING MASONRY IN EXTERIOR WALLS.  
B. LINTELS AND LINTEL ASSEMBLIES SUPPORTING MASONRY IN EXTERIOR WALLS.

POST-INSTALLED ANCHOR NOTES:

1.

ALL POST INSTALLED ANCHORS INDICATED ON THE DRAWINGS ARE BY HILTI, INC. AND MUST BE CONSIDERED THE BASIS OF DESIGN PRODUCT. WHERE NOT EXPLICITLY INDICATED IN THE DRAWINGS, THE FOLLOWING ANCHORS/ADHESIVES MUST BE USED:  
A. ANCHORAGE TO CONCRETE  
1. ADHESIVE ANCHORS FOR CRACKED AND UNCRACKED CONCRETE USE:  
a. HILTI HIT-HY 200 SAFE SET SYSTEM WITH HILTI HOLLOW DRILL BIT (TE-CD OR TE-YD) AND VC 20/40 VACUUM SYSTEM (VC 20-U OR VC40U) WITH STEEL THREADED ROD PER ICC ESR-3187.  
2. SCREW ANCHORS FOR CRACKED AND UNCRACKED CONCRETE USE:  
a. HILTI KWIK HUS EZ SCREW ANCHORS PER ICC ESR-3027.  
B. REBAR DOWELING INTO CONCRETE  
1. ADHESIVE ANCHORS FOR CRACKED AND UNCRACKED CONCRETE USE:  
a. HILTI HIT-HY 200 SAFE SET SYSTEM WITH HILTI HOLLOW DRILL BIT (TE-CD OR TE-YD) AND VC 20/40 VACUUM SYSTEM (VC 20-U OR VC 40-U) WITH CONTINUOUSLY DEFORMED REBAR PER ICC ESR-3187.  
C. ANCHORAGE TO SOLID GROUTED MASONRY  
1. ADHESIVE ANCHORS USE:  
a. HILTI HIT-HY 270 MASONRY ADHESIVE ANCHORING SYSTEM (ICC PENDING).  
b. STEEL ANCHOR ELEMENT MUST BE HILTI HAS-E CONTINUOUSLY THREADED ROD.  
2. MECHANICAL ANCHORS USE:  
a. HILTI KWIK HUS EZ SCREW ANCHORS PER ICC ESR 3056.  
D. ANCHORAGE TO HOLLOW / MULTI-WYTHE MASONRY  
1. ADHESIVE ANCHORS USE:  
a. HILTI HIT-HY 270 MASONRY ADHESIVE ANCHORING SYSTEM PERICCESR-3342.  
b. STEEL ANCHOR ELEMENT MUST BE HILTI HAS-E CONTINUOUSLY THREADED ROD OR CONTINUOUSLY DEFORMED STEEL REBAR.  
c. THE APPROPRIATE SIZE SCREEN TUBE MUST BE USED PER ADHESIVE MANUFACTURER'S RECOMMENDATION.
2.

ALTERNATE POST INSTALLED ANCHOR PRODUCTS MAY BE SUBMITTED TO THE ENGINEER FOR REVIEW AND POSSIBLE APPROVAL. ALL SUBSTITUTION REQUESTS MUST BE ACCOMPANIED BY AN ICC ESR SHOWING COMPLIANCE WITH THE RELEVANT BUILDING CODE FOR SEISMIC USES, LOAD RESISTANCE, INSTALLATION CATEGORY, AND COMPREHENSIVE INSTALLATION INSTRUCTIONS. ADHESIVE ANCHOR EVALUATION WILL ALSO CONSIDER CREEP, IN-SERVICE TEMPERATURE AND INSTALLATION TEMPERATURE. ALTERNATE PRODUCTS MAY REQUIRE MODIFICATIONS TO ANCHOR DIAMETER, SPACING, AND EMBEDMENT.
3.

INSTALL ANCHORS PER THE MANUFACTURER INSTRUCTIONS, AS INCLUDED IN THE ANCHOR PACKAGING.
4.

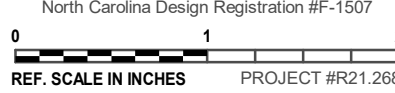
THE CONTRACTOR MUST ARRANGE FOR AN ANCHOR MANUFACTURER'S REPRESENTATIVE TO PROVIDE ONSITE INSTALLATION TRAINING FOR ALL OF THEIR ANCHORING PRODUCTS SPECIFIED. THE STRUCTURAL ENGINEER OF RECORD MUST RECEIVE DOCUMENTED CONFIRMATION THAT ALL OF THE CONTRACTOR'S PERSONNEL WHO INSTALL ANCHORS ARE TRAINED PRIOR TO THE COMMENCEMENT OF ANCHOR INSTALLATION.
5.

ANCHOR CAPACITY IS DEPENDANT UPON SPACING BETWEEN ADJACENT ANCHORS AND PROXIMITY OF ANCHORS TO EDGE OF CONCRETE. INSTALL ANCHORS IN ACCORDANCE WITH SPACING AND EDGE CLEARANCES INDICATED ON THE DRAWINGS.
6.

EXISTING REINFORCING BARS IN THE CONCRETE STRUCTURE MAY CONFLICT WITH SPECIFIC ANCHOR LOCATIONS. UNLESS NOTED ON THE DRAWINGS THAT THE BARS CAN BE CUT, THE CONTRACTOR MUST LOCATE THE POSITION OF THE REINFORCING BARS AT THE LOCATIONS OF THE CONCRETE ANCHORS, BY FERROSCAN OR GPR.
7.

ALL POST INSTALLED ANCHORS REQUIRE CONTINUOUS INSPECTIONS BY THE OWNER'S MATERIALS TESTING AGENCY TO VERIFY INSTALLATION HAS BEEN PERFORMED IN ACCORDANCE WITH THE MANUFACTURER'S WRITTEN INSTRUCTIONS.

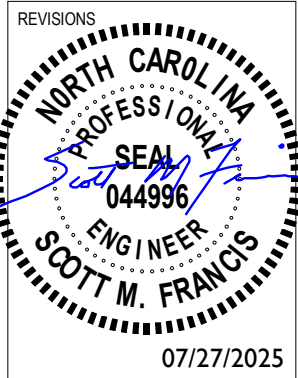
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now

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PROJECT STATUS:  
CONSTRUCTION  
DOCUMENTS FOR BID  
OWNER ID:  
SCO ID# 20-22411-02A

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NCBOL1 Lic. No. C-656



Pettigrew State Park  
Campground and Office Improvements  
2252 Lake Shore Road  
Creswell, North Carolina

DRAWN	LM
CHECKED	SMF
PROJECT NO.	1381-20
DATE	07/27/2025
SHEET NAME	GENERAL NOTES
SHEET NO.	S001


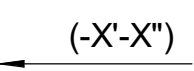
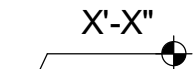
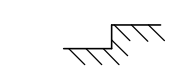
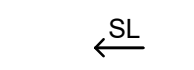
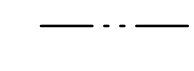
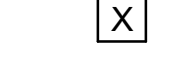




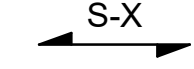




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ABBREVIATIONS:

AFF	ABOVE FINISHED FLOOR	HVY	HEAVY
ARCH	ARCHITECT	INT	INTERIOR
BD	BAR DIAMETER	JBE	JOIST BEARING ELEVATION
BF	BRACED FRAME	JT	JOINT
BEJ	BUILDING EXPANSION JOINT	KCJ	KEYED CONSTRUCTION JOINT
BLDG	BUILDING	L	LOW
BM	BEAM	LLH	LONG LEG HORIZONTAL
BOD	BOTTOM OF DECK	LLV	LONG LEG VERTICAL
BOT, B	BOTTOM	LSH	LONG SIDE HORIZONTAL
BRG	BEARING	LSV	LONG SIDE VERTICAL
BTWN	BETWEEN	LTWT	LIGHTWEIGHT
C TO C	CENTER TO CENTER	LWC	LIGHTWEIGHT CONCRETE
CFMF	COLD-FORMED METAL FRAMING	MAS	MASONRY
		MATL	MATERIAL
CJ	CONTROL JOINT	MAX	MAXIMUM
CL	CENTERLINE	MECH	MECHANICAL
CLR	CLEAR	MF	MOMENT FRAME
CMU	CONCRETE MASONRY UNIT	MFR	MANUFACTURER
COL	COLUMN	MID	MIDDLE
CONC	CONCRETE	MIN	MINIMUM
CONN	CONNECTION	MOD	MODIFY
CONSTR	CONSTRUCTION	MOS	MIDDEPTH OF SLAB
CONT	CONTINUOUS	NOM	NOMINAL
COORD	COORDINATE	NTS	NOT TO SCALE
CTR	CENTER	OC	ON CENTER
CTRD	CENTERED	OPH	OPPOSITE HAND
CV	CURTAIN WALL	OPNG	OPENING
DBL	DOUBLE	PAF	POWDER ACTUATED FASTENER
DC	DIAPHRAGM CHORD	PAR	PARALLEL
DCJ	DOWELED CONSTRUCTION JOINT	PC	PIECE
		PEMB	PRE-ENGINEERED METAL BUILDING
DIA, Ø	DIAMETER	PEN	PENETRATE, PENETRATION
DJ	DOUBLE JOIST	PERP	PERPENDICULAR
DWGS	DRAWINGS	PL	PLATE
EA	EACH	R	RADIUS
EF	EACH FACE	REF	REFERENCE, REFER TO
EJ	EXPANSION JOINT	REINF	REINFORCE, REINFORCED, REINFORCING
EL	ELEVATION	REQD	REQUIRED
ELEV	ELEVATOR	REQMTS	REQUIREMENTS
EMBED	EMBEDMENT	SCHED	SCHEDULE
EOD	EDGE OF DECK	SF	STEPPED FOOTING
EOS	EDGE OF SLAB	SGB	STEPPED GRADE BEAM
EQ	EQUAL	SIM	SIMILAR
EW	EACH WAY	SJ	SAWED JOINT
EXIST	EXISTING	SL	SLOPE
EXP	EXPANSION	SOG	SLAB-ON-GRADE
EXT	EXTERIOR	SPF	SIDEPLATE FRAME
FD	FLOOR DRAIN	STD	STANDARD
FDN	FOUNDATION	TBE	TRUSS BEARING ELEVATION
FO	FACE OF	T&B	TOP & BOTTOM
FF EL	FINISHED FLOOR ELEVATION	T&G	TONGUE AND GROOVE
		THK	THICKNESS
FIN	FINISH	TOC	TOP OF CONCRETE
FIN FLR	FINISHED FLOOR	TOF	TOP OF FOOTING
FOB	FACE OF BUILDING	TOM	TOP OF MASONRY
FOC	FACE OF CONCRETE	TOP	TOP OF PEDESTAL
FOM	FACE OF MASONRY	TOS	TOP OF STEEL
FOS	FACE OF SLAB/ STUD	TS	THICKENED SLAB
FRMG	FRAMING	TYP	TYPICAL
FTG	FOOTING	UON	UNLESS OTHERWISE NOTED
FV, ±	FIELD VERIFY	VERT	VERTICAL
GALV	GALVANIZED	W/	WITH
GEN	GENERAL	WP	WORKING POINT
GR BM	GRADE BEAM	WSP	WOOD STRUCTURAL PANEL(S)
H	HIGH	WWR	WELDED WIRE REINFORCING
HK	HOOK		
HORIZ	HORIZONTAL		
HSS	HOLLOW STRUCTURAL SECTION		
HT	HEIGHT		

PLAN LEGEND:

TOM = +X'-X"	=	TOP OF MASONRY ELEVATION MEASURED FROM REFERENCED FINISHED FIRST FLOOR ELEVATION = 0'-0"
TBE = +X'-X"	=	TRUSS BEARING ELEVATION MEASURED FROM REFERENCED FINISHED FIRST FLOOR ELEVATION = 0'-0"
BOD = +X'-X"	=	BOTTOM OF DECK ELEVATION MEASURED FROM REFERENCED FINISHED FIRST FLOOR ELEVATION = 0'-0"
	=	FLOOR / ROOF OPENING
	=	TOP OF FOOTING ELEVATION MEASURED FROM REFERENCED FINISHED FIRST FLOOR ELEVATION = 0'-0"
	=	TOP OF SLAB ELEVATION MEASURED FROM REFERENCED FINISHED FIRST FLOOR ELEVATION = 0'-0"
	=	CHANGE IN ELEVATION - REF ARCH DWGS FOR DIMENSIONS
	=	DIRECTION OF SLOPE
	=	KCJ, CJ, OR SJ LINE ON PLAN
	=	PLAN KEY NOTE MARK
	=	COLUMN GRID MARK
	=	SECTION/DETAIL NUMBER/LETTER
	=	SECTION/DETAIL MARK
	=	SHEET NUMBER WHERE SECTION/DETAIL MARK IS DRAWN
SW-X	=	SHEAR WALL MARK
WFX	=	WALL FOOTING MARK
CFX	=	COLUMN FOOTING MARK
±	=	FIELD VERIFY
	=	SLAB MARK / SPAN DIRECTION
	=	ROOF HIP/ RIDGE LINE
	=	HOLD DOWN ANCHOR, REF SHEAR WALL SCHEDULE

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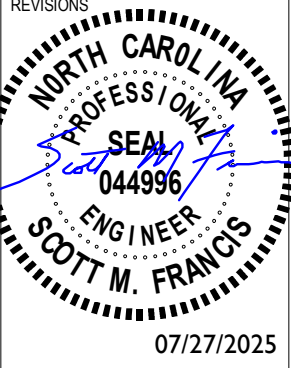
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01"=1'-0"

0 1 2  
REF. SCALE IN INCHES PROJECT #R21.268

SCO ID#: 20-22411-02A Construction Documents For Bid

REVISIONS



07/27/2025


PROJECT STATUS

CONSTRUCTION DOCUMENTS FOR BID

OWNER ID

SCO ID# 20-22411-02A

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Pettigrew State Park  
Campground and Office Improvements  
2252 Lake Shore Road  
Creswell, North Carolina

DRAWN LM

CHECKED SMF

PROJECT NO. 1381-20

DATE 07/27/2025

SHEET NAME ABBREVIATIONS AND PLAN LEGEND

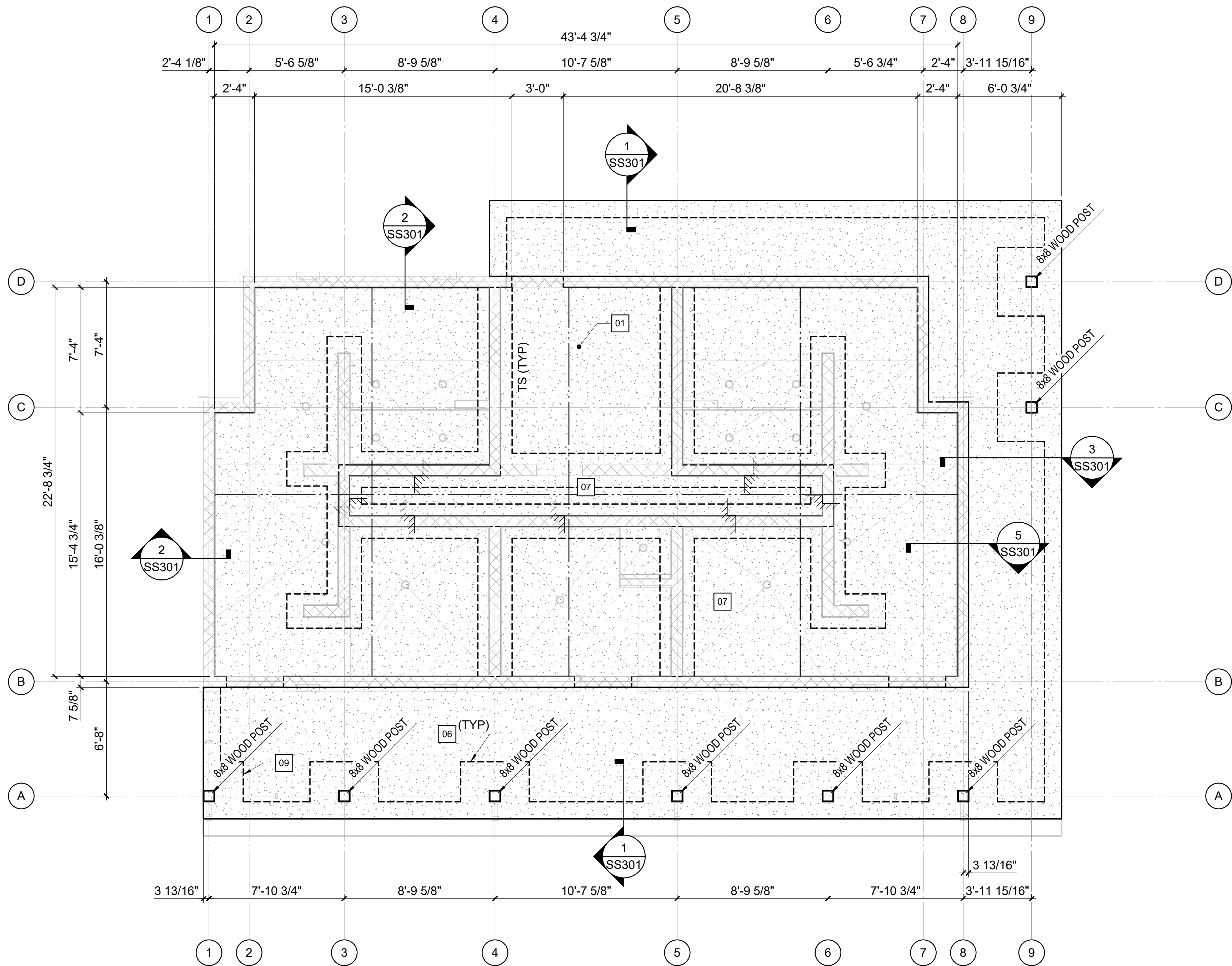
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1 SLAB-ON-GRADE PLAN - SHOWER HOUSE  
1/4" = 1'-0"



SLAB-ON-GRADE NOTES

- A. SLAB-ON-GRADE JOINTS MUST BE SAWED JOINTS OR KEYED CONSTRUCTION JOINTS UNLESS SPECIFICALLY DENOTED TO BE KEYED CONSTRUCTION JOINTS. CONTRACTOR SHALL COORDINATE ALL SLAB JOINTS WITH JOINTS IN BONDED FLOOR FINISHES. REFER TO ARCHITECTURAL DRAWINGS FOR FLOOR FINISH JOINT LOCATIONS.
- B. PLACE 1 - #4 x 3'-0" IN MIDDLE OF SLAB AT REENTRANT CORNERS WHERE A SLAB CONTROL JOINT DOES NOT OCCUR.
- C. REFER TO ARCHITECTURAL DRAWINGS FOR EXACT LIMITS OF SLAB DEPRESSIONS.
- D. FLOOR DRAINS AND FLOOR SINKS ARE NOT SHOWN ON PLAN. REFER TO PLUMBING DRAWINGS FOR LOCATIONS.
- E. REFER TO CIVIL DRAWINGS FOR EXTERIOR CONCRETE SLABS AND PAVING.

KEY NOTES

- 01 4" CONCRETE SLAB-ON-GRADE OVER VAPOR RETARDER AND 4" DEPTH OF POROUS FILL UNLESS OTHERWISE INDICATED. REINFORCE SLAB WITH 6x6 W2.1xW2.1 WELDED WIRE REINFORCING PLACED 1 1/2" CLEAR BELOW TOP OF SLAB. MAINTAIN REINFORCEMENT IN POSITION ON BOLSTERS, CHAIRS OR SPACERS DURING CONCRETE PLACEMENT.
- 06 4'-0"x4'-0"x1'-0" THICKENED SLAB WITH (4) 3'-6" LONG #5 EACH WAY.
- 07 DEPRESS FLOOR 2" FOR TILE MORTAR BED REFER TO ARCH PLANS FOR LIMITS.
- 09 2'-8" x 4'-0" x 1'-0" THICKENED SLAB WITH (4) #5 EACH WAY.

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Campground and Office Improvements  
2252 Lake Shore Road  
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DRAWN	LM
CHECKED	SMF
PROJECT NO.	1381-20
DATE	07/27/2025
SHEET NAME	SLAB-ON-GRADE PLAN - SHOWER HOUSE
SHEET NO.	SS102

REVISIONS

07/27/2025

PROJECT STATUS  
CONSTRUCTION  
DOCUMENTS FOR BID

OWNER ID  
SCO ID# 20-22411-02A

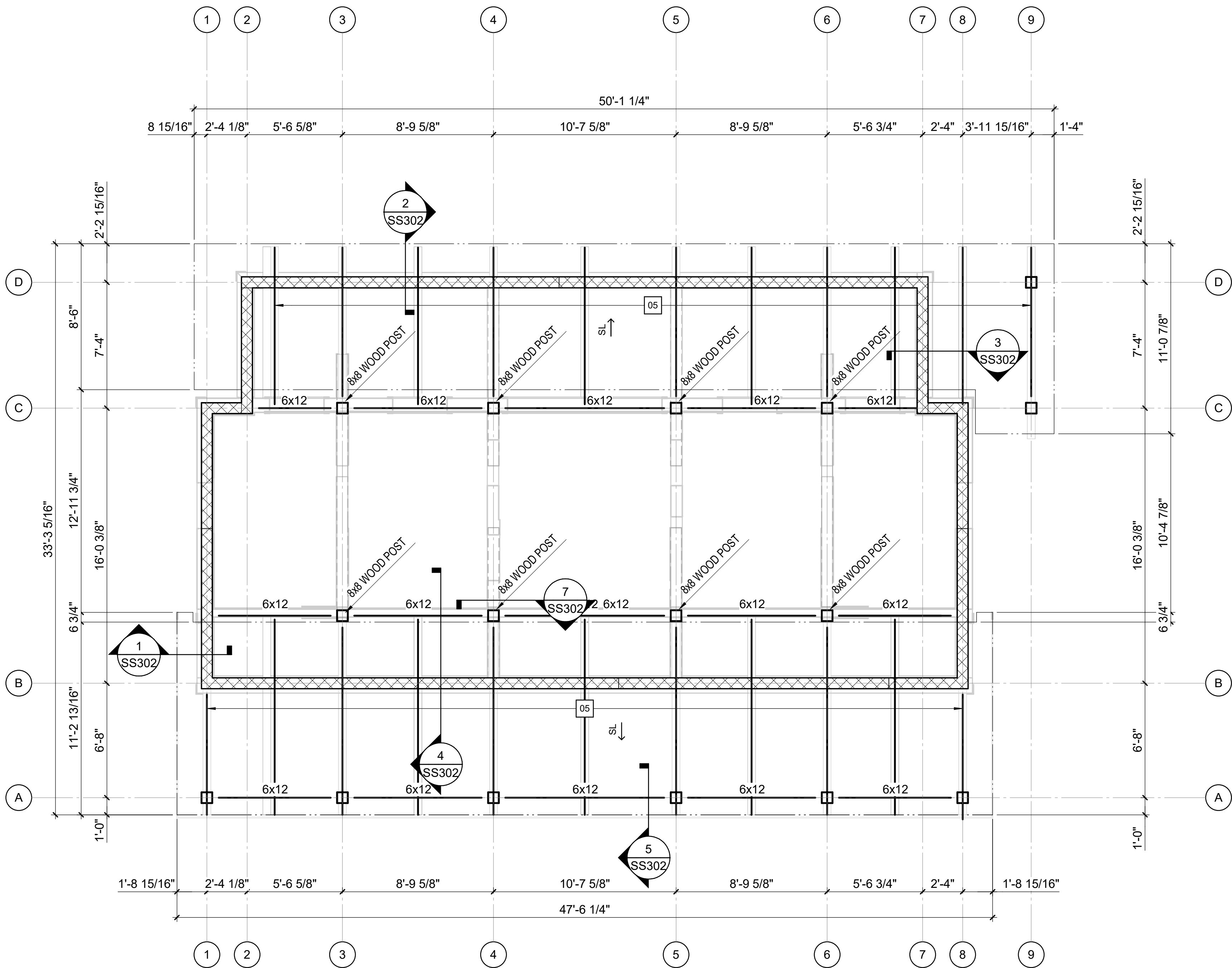
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# 1 LOW ROOF FRAMING PLAN - SHOWER HOUSE

1/4" = 1'-0"



## FRAMING PLAN NOTES

- A. REFER TO FOUNDATION PLAN AND ARCHITECTURAL DRAWINGS FOR DIMENSIONS NOT SHOWN.

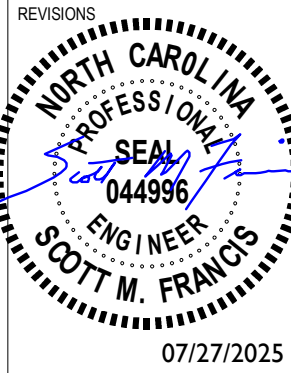
## KEY NOTES

- 05 6x12 RAFTERS WITH 2x6 TONGUE AND GROOVE DECKING WITH 1/2\"/>

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SCO ID# 20-22411-02A

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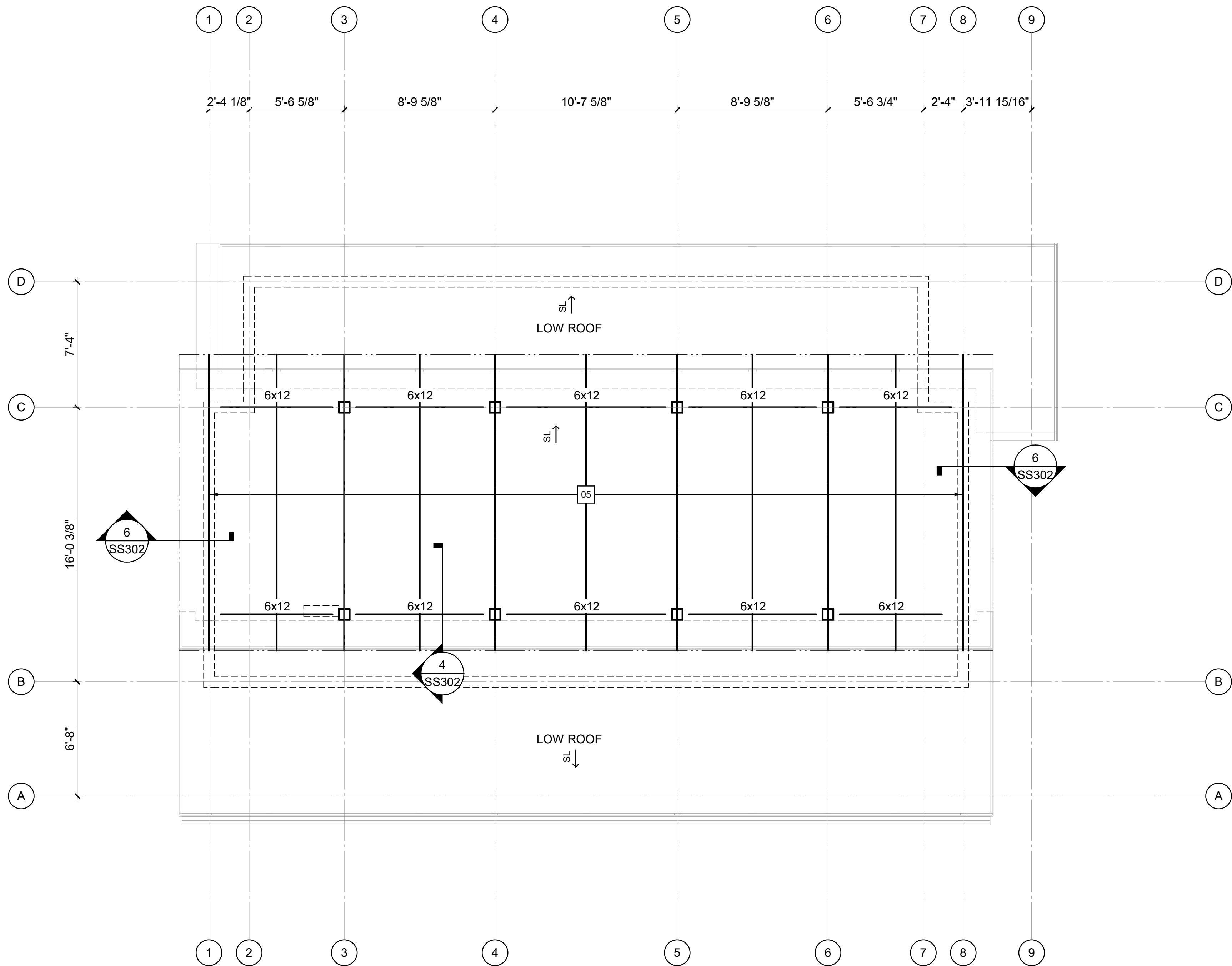
Pettigrew State Park  
Campground and Office Improvements  
2252 Lake Shore Road  
Creswell, North Carolina

DRAWN LM  
CHECKED SMF  
PROJECT NO. 1381-20  
DATE 07/27/2025  
SHEET NAME LOW ROOF FRAMING PLAN - SHOWER HOUSE  
SHEET NO. SS103



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1 HIGH ROOF FRAMING PLAN - SHOWER HOUSE  
1/4" = 1'-0"



FRAMING PLAN NOTES

- A. REFER TO FOUNDATION PLAN AND ARCHITECTURAL DRAWINGS FOR DIMENSIONS NOT SHOWN.

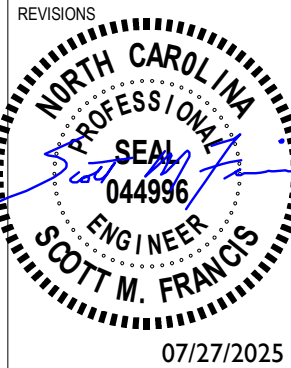
KEY NOTES

- 05 6x12 RAFTERS WITH 2x6 TONGUE AND GROOVE DECKING WITH 1/2" PLYWOOD SHEATHING ON TOP.

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PROJECT STATUS  
CONSTRUCTION  
DOCUMENTS FOR BID  
OWNER ID  
SCO ID# 20-22411-02A

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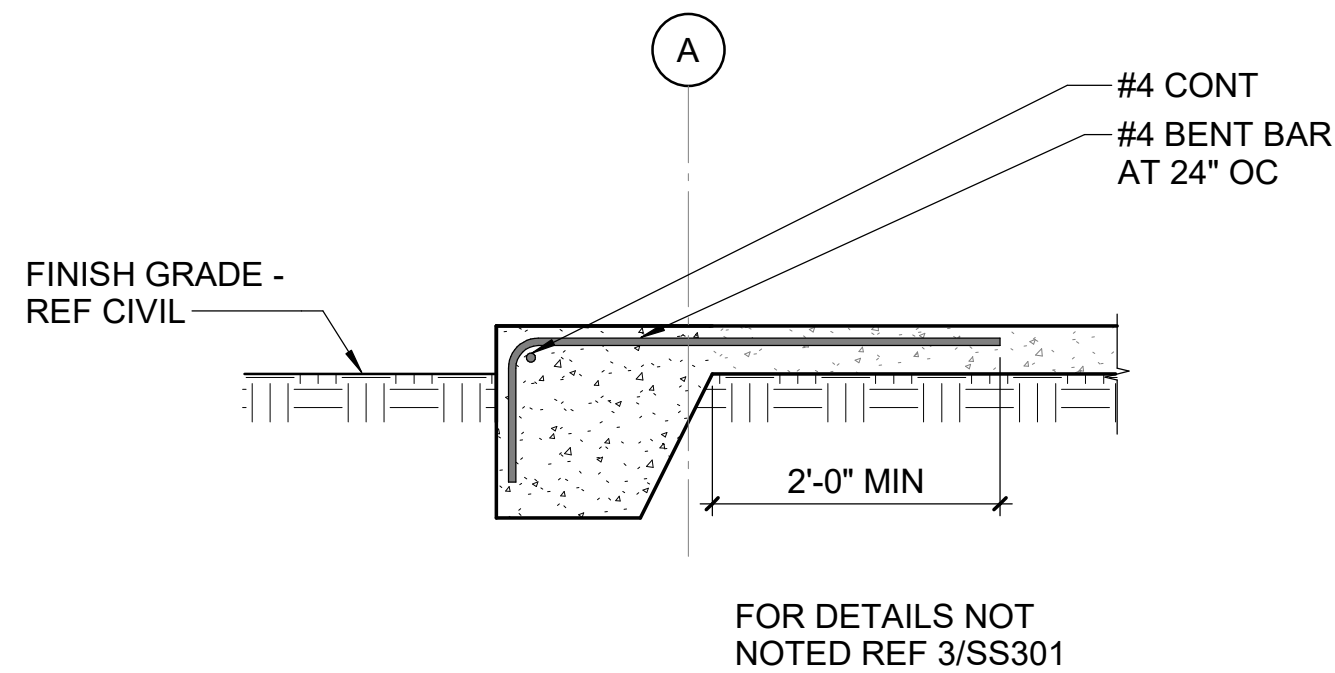
Pettigrew State Park  
Campground and Office Improvements  
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Creswell, North Carolina

DRAWN LM  
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PROJECT NO. 1381-20  
DATE 07/27/2025  
SHEET NAME HIGH ROOF FRAMING PLAN - SHOWER HOUSE  
SHEET NO. SS104

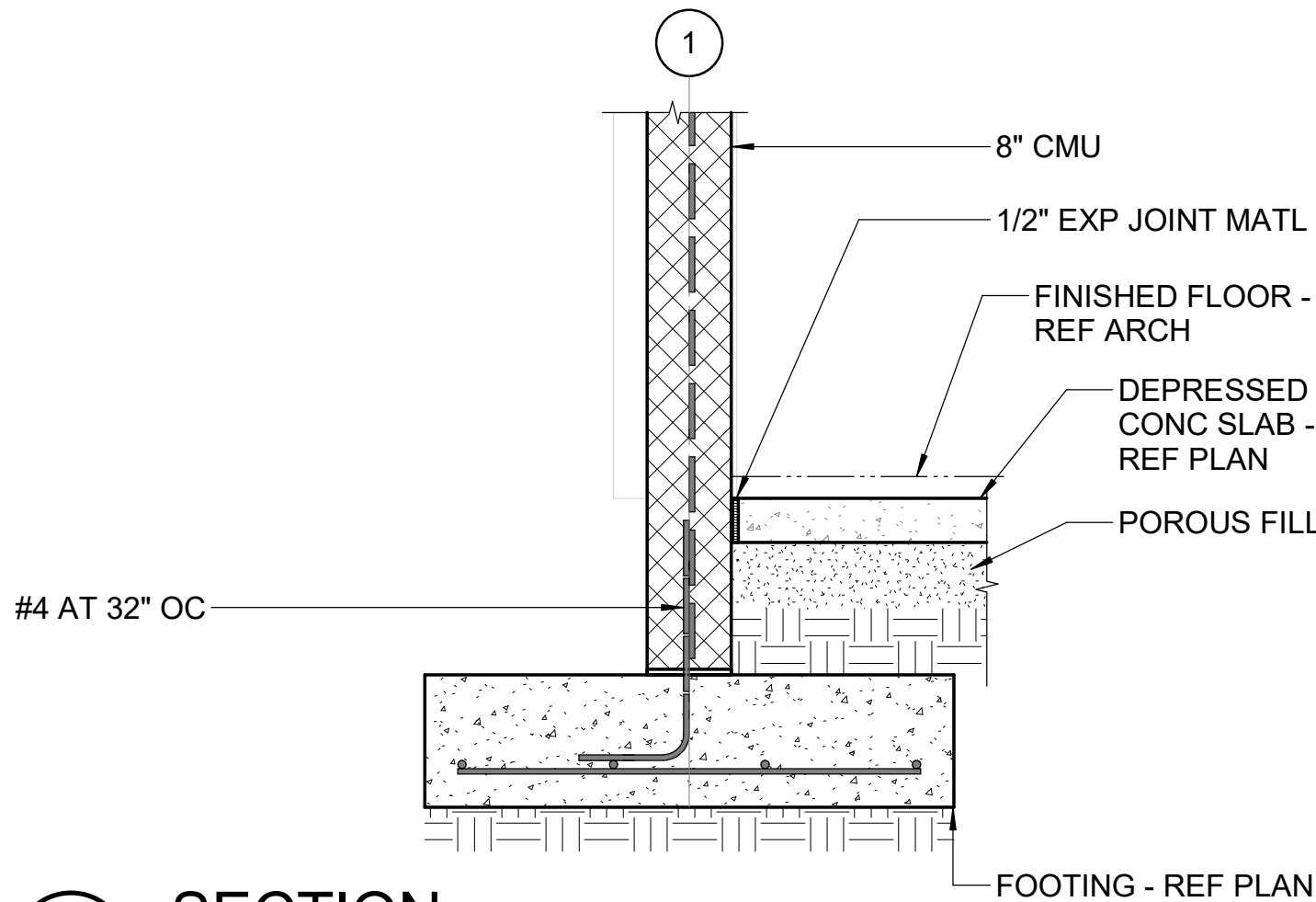
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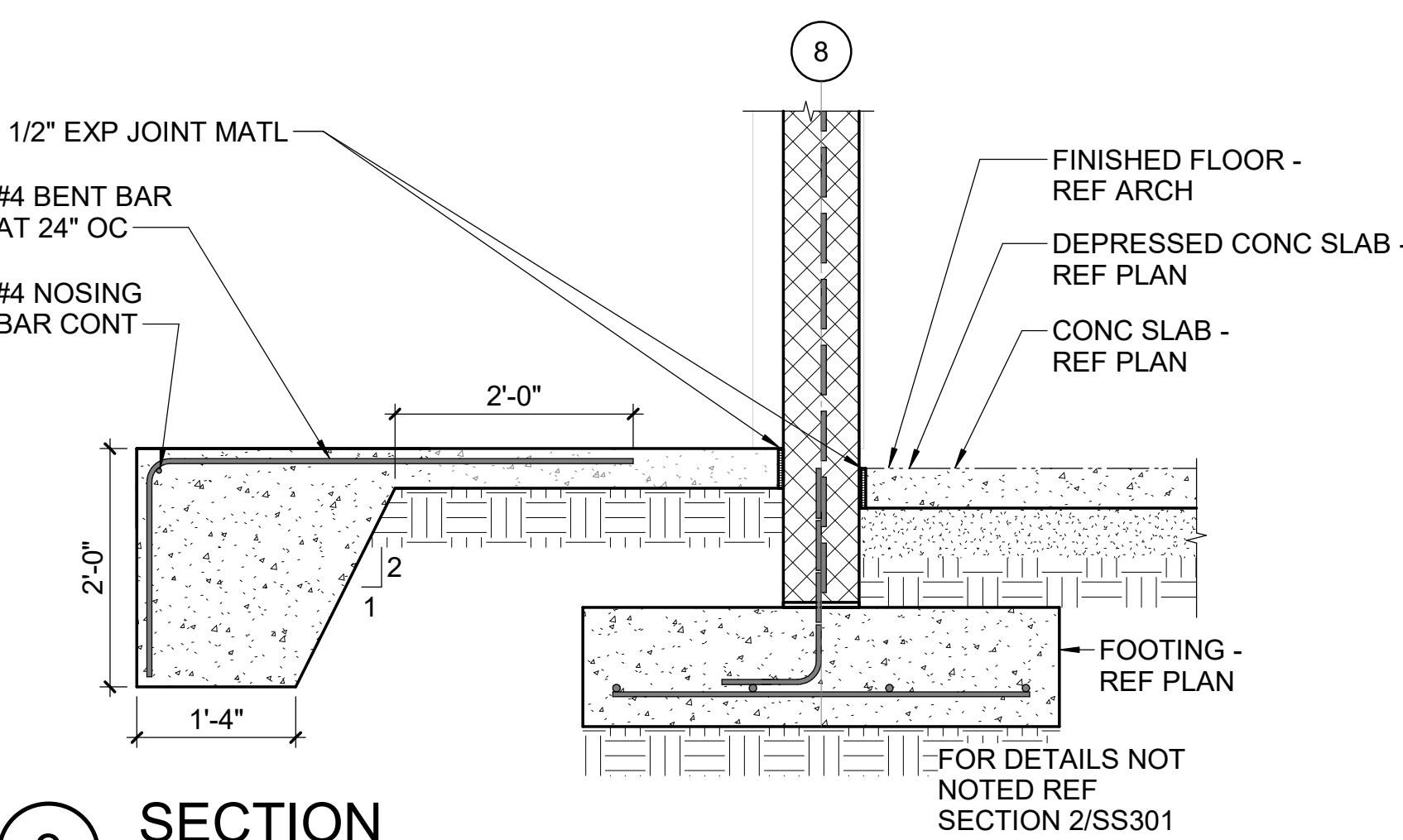
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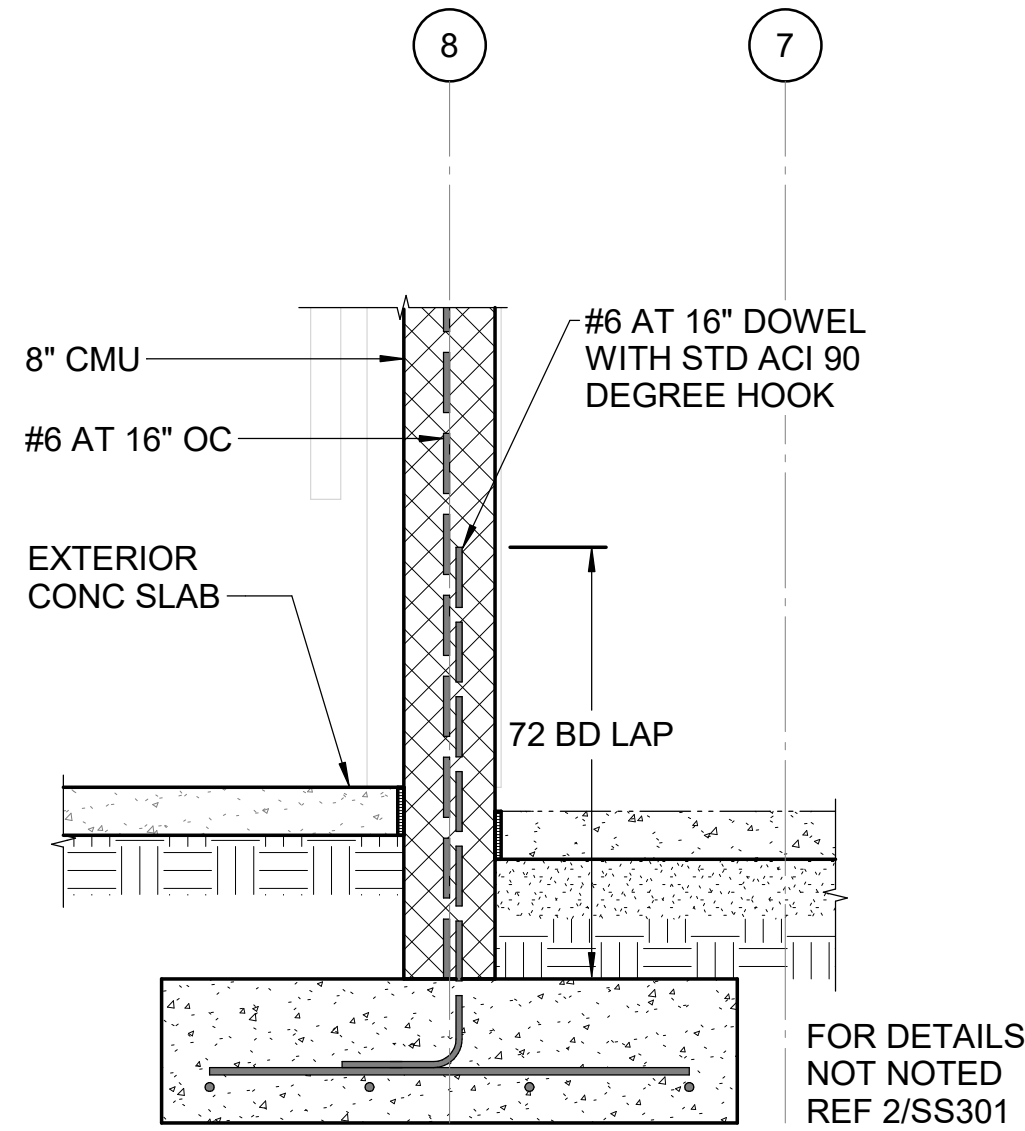
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3/4" = 1'-0"



3 SECTION  
3/4" = 1'-0"



5 SECTION  
3/4" = 1'-0"



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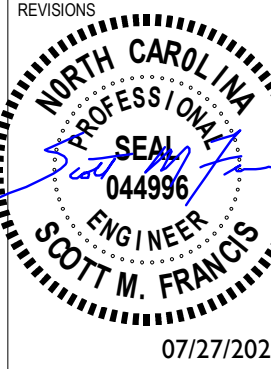
Pettigrew State Park  
Campground and Office Improvements  
2252 Lake Shore Road  
Creswell, North Carolina

DRAWN	LM
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PROJECT NO.	1381-20
DATE	07/27/2025
SHEET NAME	SECTIONS - SHOWER HOUSE
SHEET NO.	SS301

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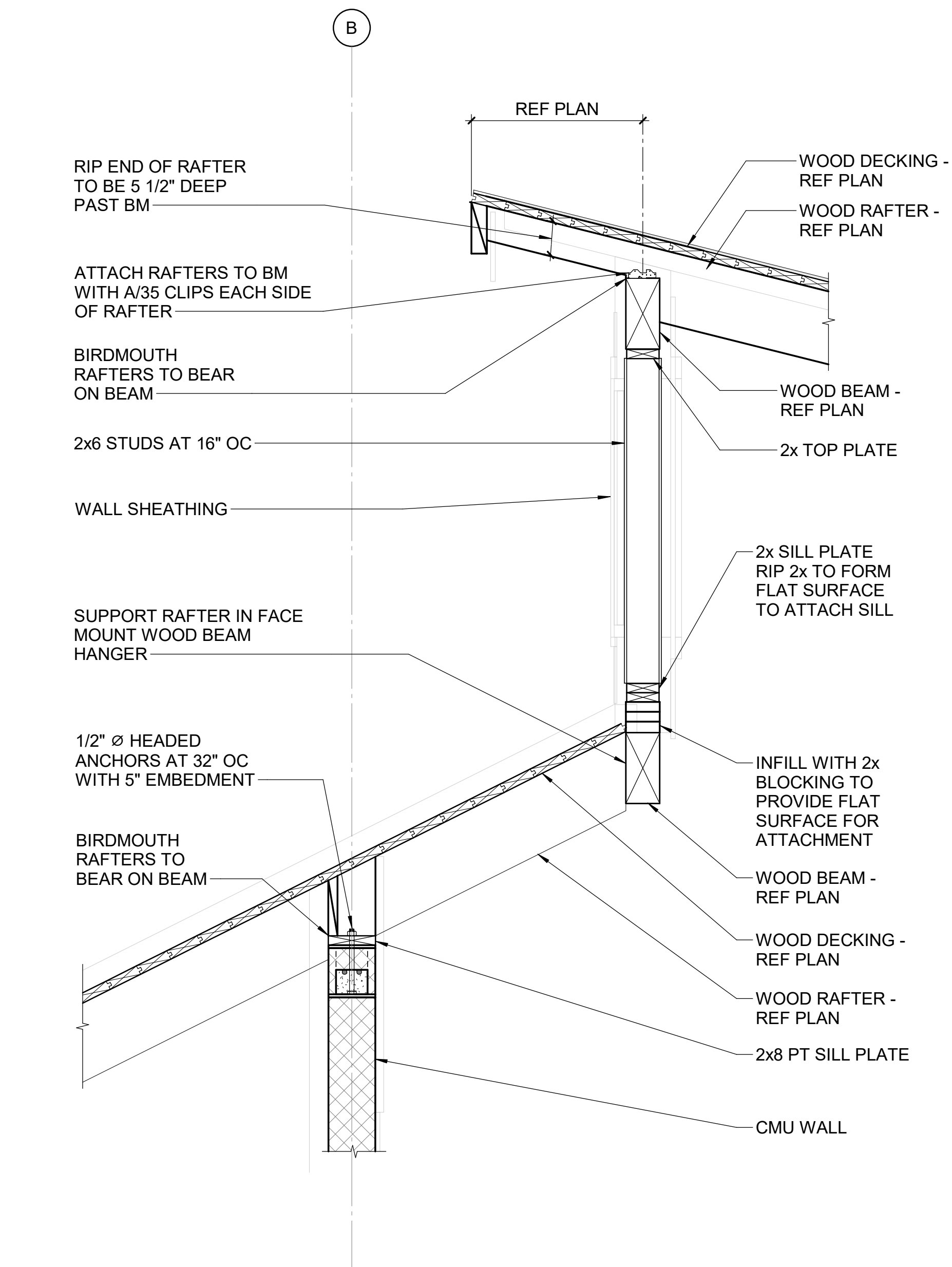
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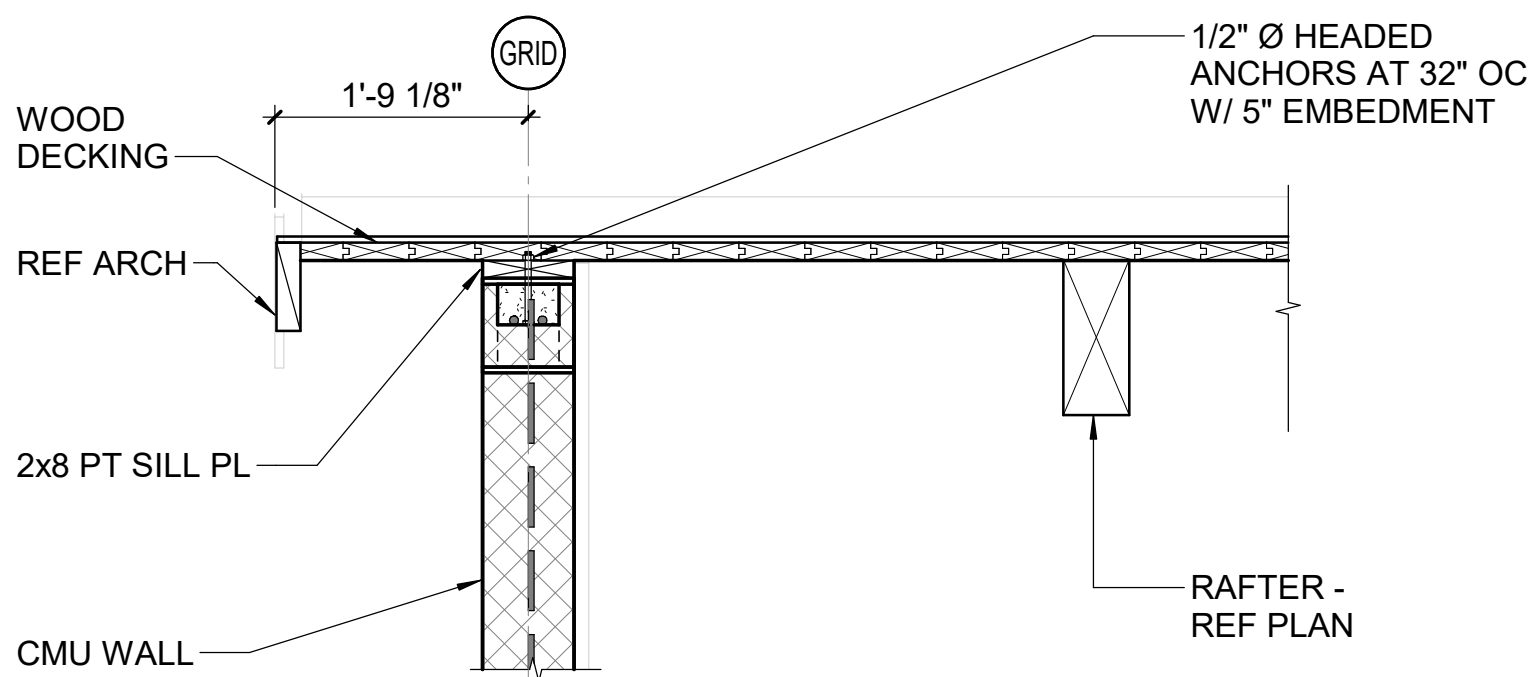
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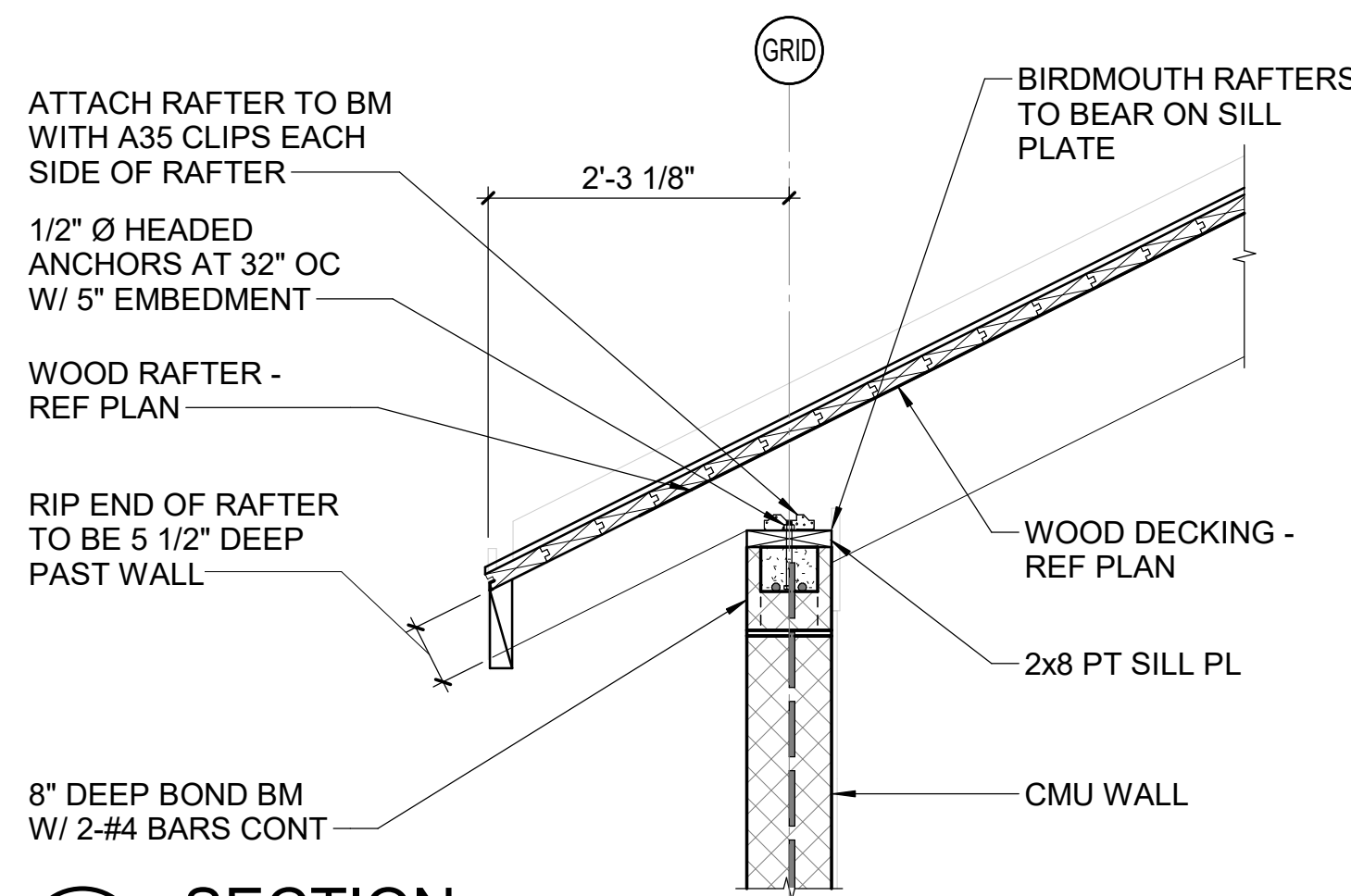
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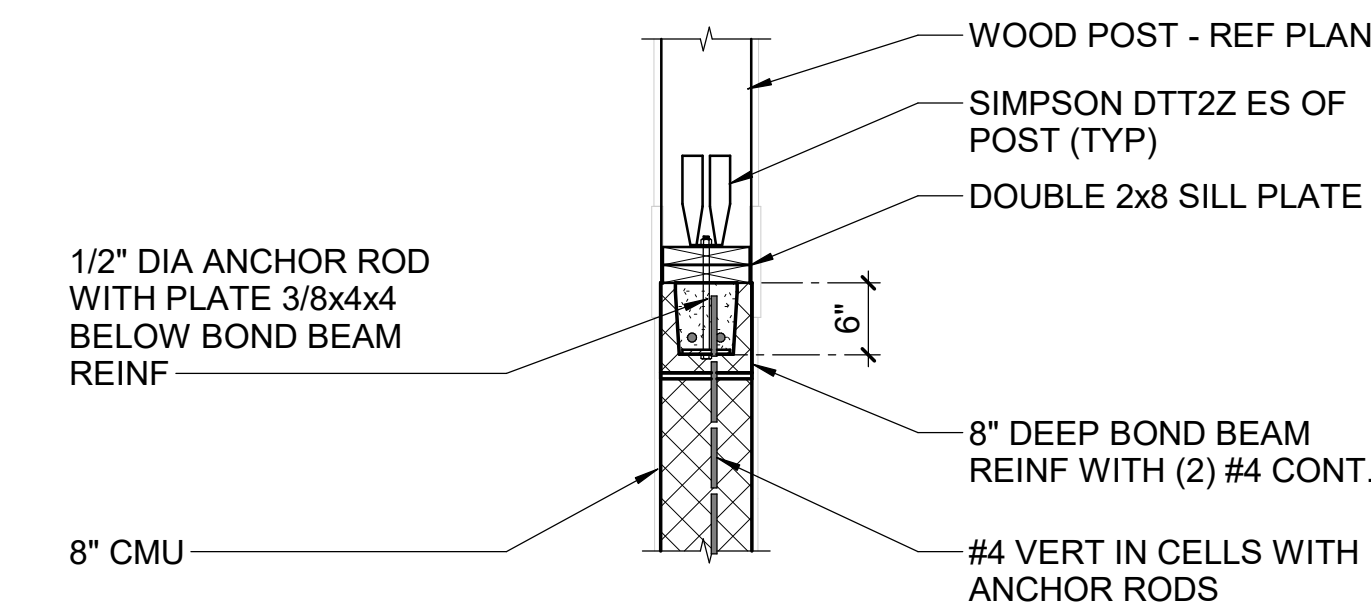
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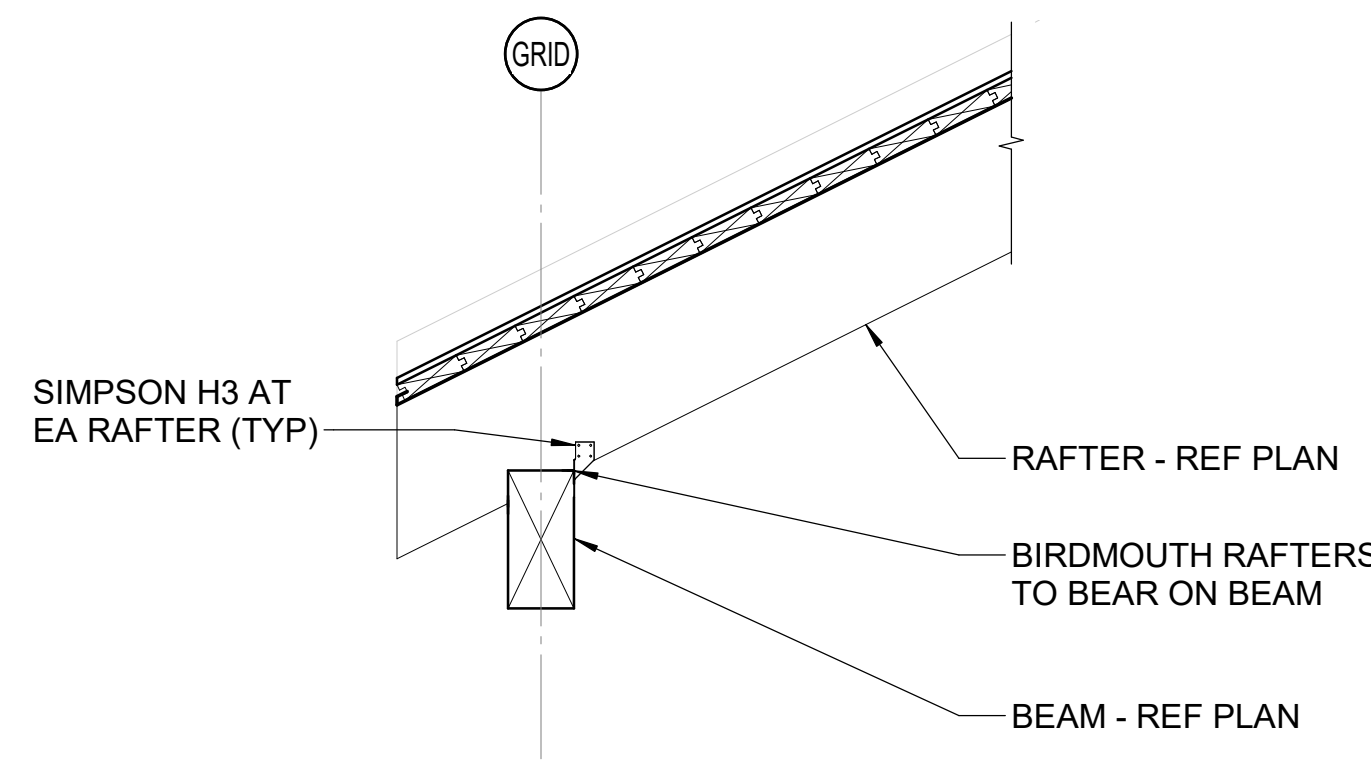
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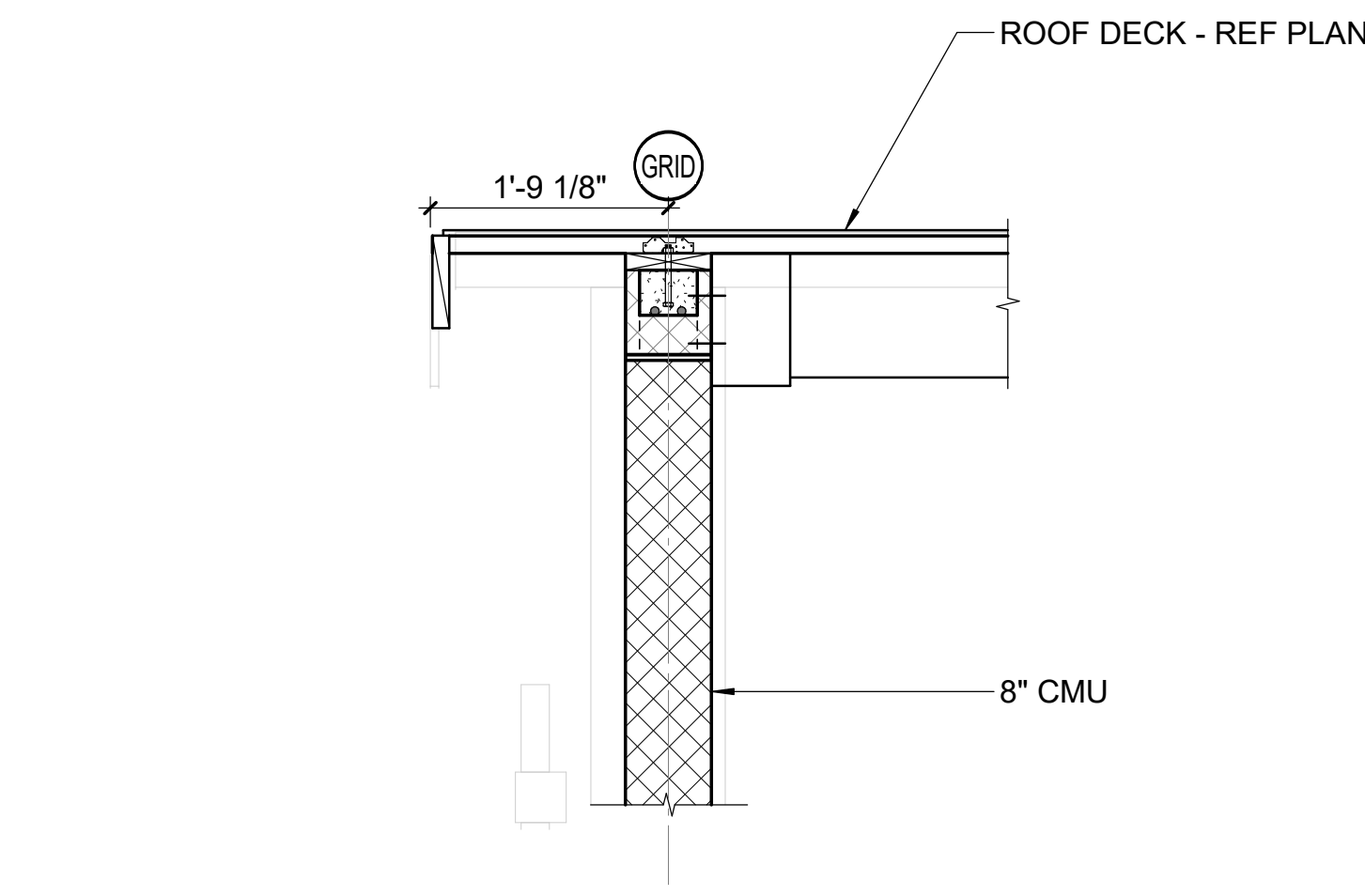
2 SECTION  
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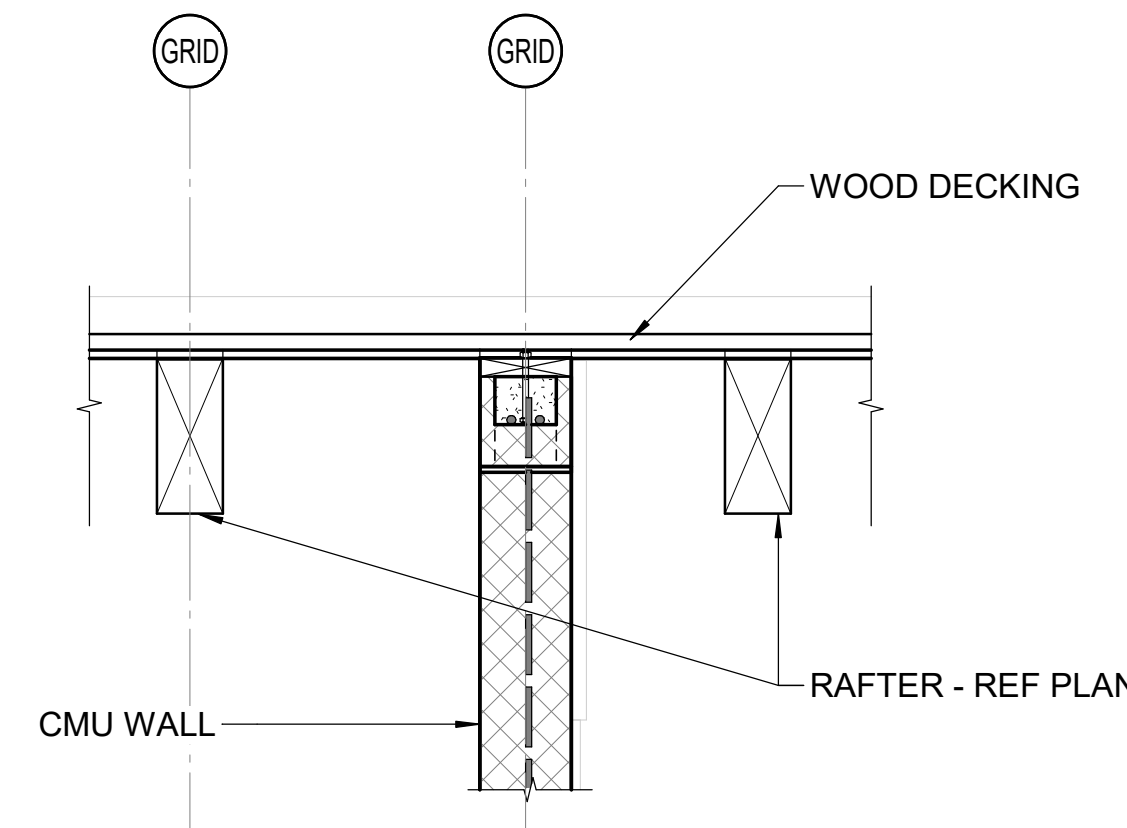
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3/4" = 1'-0"



5 SECTION  
3/4" = 1'-0"



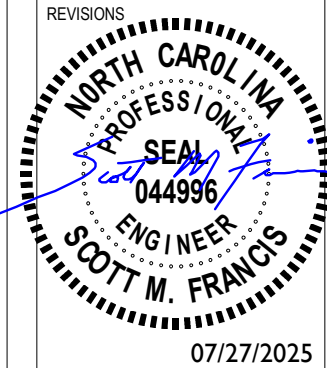
6 SECTION  
3/4" = 1'-0"



3 SECTION  
3/4" = 1'-0"

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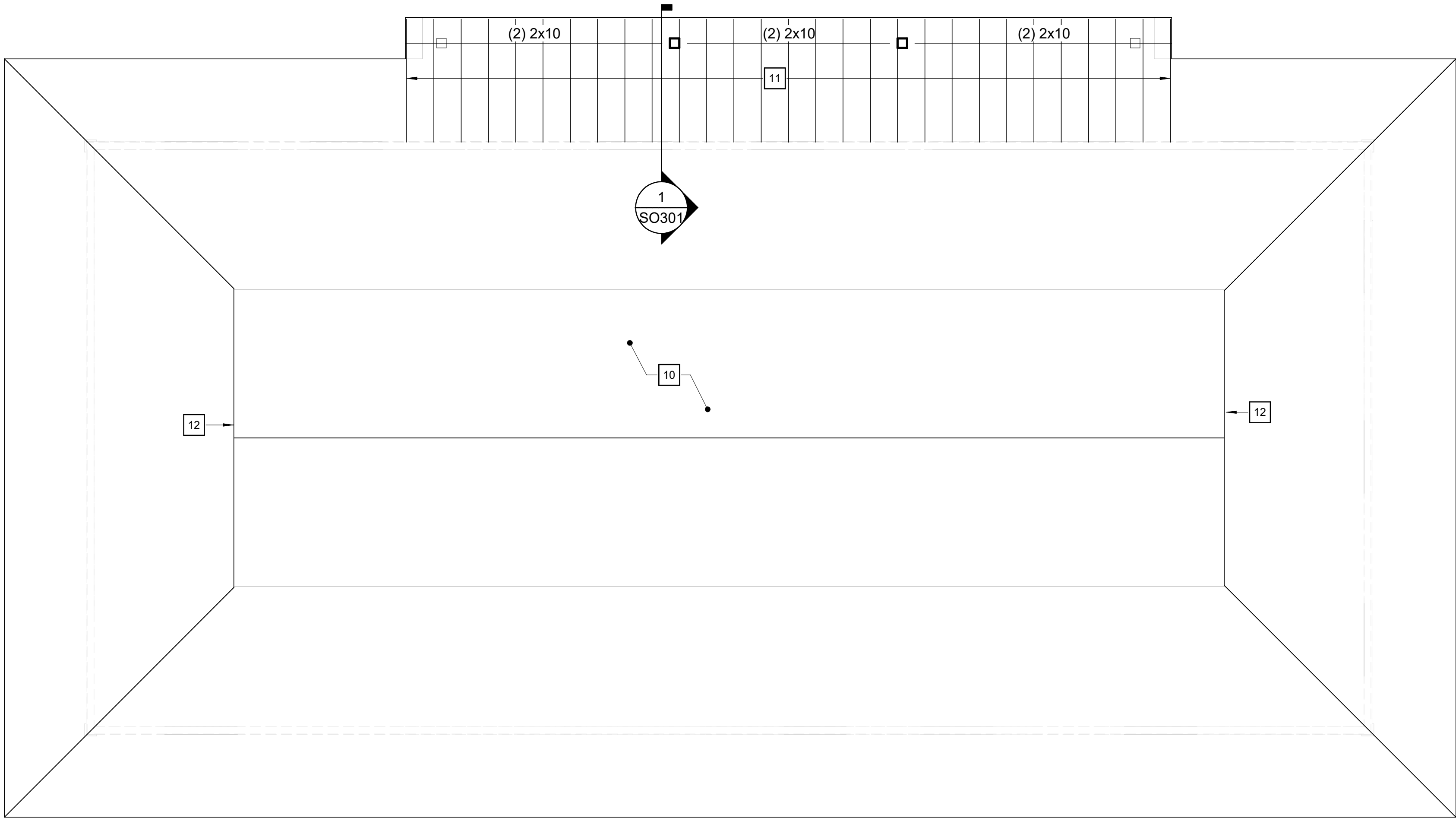
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PROJECT NO. 1381-20  
DATE 07/27/2025  
SHEET NAME  
SECTIONS - SHOWER HOUSE  
SHEET NO.  
**SS302**

SCO ID#: 20-22411-02A Construction Documents For Bid

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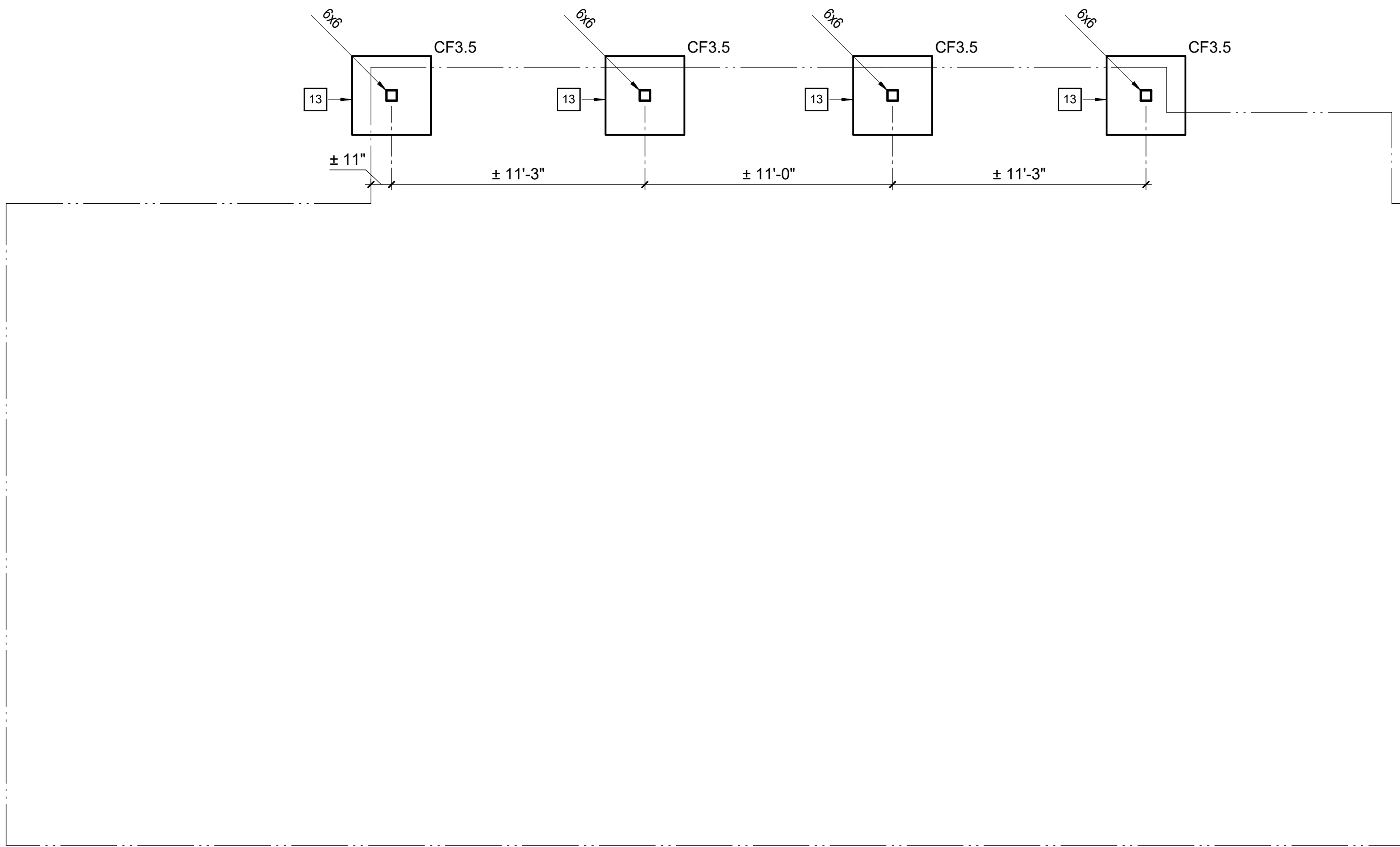
## 1 FOUNDATION PLAN

1/4" = 1'-0"



## 2 ROOF FRAMING PLAN

1/4" = 1'-0"



### FOUNDATION / SLAB-ON-GRADE PLAN NOTES

- REFER TO ARCHITECTURAL DRAWINGS FOR DIMENSIONS TO NONBEARING WALLS, WALL CONTROL JOINTS AND OPENINGS.
- UNLESS OTHERWISE NOTED, ALL ELEVATIONS ARE BASED ON A FINISHED FIRST FLOOR REFERENCE OF 0'-0". REFER TO ARCHITECTURAL DRAWINGS FOR FINISHED FLOOR MATERIAL.
- TOP OF ALL FOOTINGS MUST BE AT ELEVATION -1'-4" UNLESS OTHERWISE NOTED.
- UTILITY LOCATIONS ARE NOT SHOWN ON PLAN. THE CONTRACTOR MUST COORDINATE THE LOCATIONS, SIZES, AND INVERTS OF UTILITIES. AT LOCATIONS WHERE UTILITIES PASS BELOW THE TOP OF FOOTING ELEVATION, STEP THE TOP OF FOOTING DOWN ON EACH SIDE PER THE "STEPPED FOOTING DETAIL" AND SLEEVE THE UTILITY THROUGH THE FOUNDATION WALL. THE CONTRACTOR MAY, AT THEIR OPTION, SLEEVE THE UTILITY THROUGH THE FOUNDATION PER THE "UTILITY SLEEVE DETAIL." ALL PENETRATIONS IN MASONRY WALLS GREATER THAN 1'-4" REQUIRE A BOND BEAM LINTEL.
- UNLESS OTHERWISE INDICATED, EXTEND WALL FOOTINGS A MINIMUM OF 6 INCHES BEYOND ENDS OF WALLS.

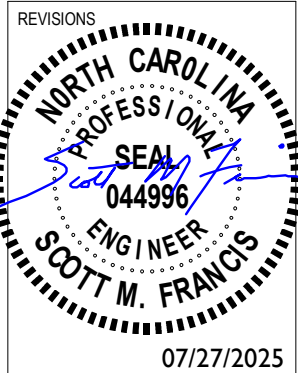
### FRAMING PLAN NOTES

- REFER TO FOUNDATION PLAN AND ARCHITECTURAL DRAWINGS FOR DIMENSIONS NOT SHOWN.
- EXISTING MANSARD FRAMING TO BE REMOVED (REFERENCE ARCHITECTURAL DRAWINGS). FRAMING MUST BE REMOVED WITHOUT CUTTING ANY TRUSS MEMBERS.

### Key Notes

- EXISTING ROOF TO REMAIN UNLESS NOTED OTHERWISE.
- 2x6 RAFTERS. SPACING TO MATCH EXISTING TRUSS SPACING.
- 2x4 16" ON CENTER WITH EXTERIOR SHEATHING INFILL WALL BETWEEN EXISTING ROOF SLOPES.
- TOP OF FOOTING ELEVATION = BOTTOM OF SLAB

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CONSTRUCTION DOCUMENT  
REVIEW  
OWNER ID  
SCO ID# 20-22411-02A

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F 919 | 834-3203  
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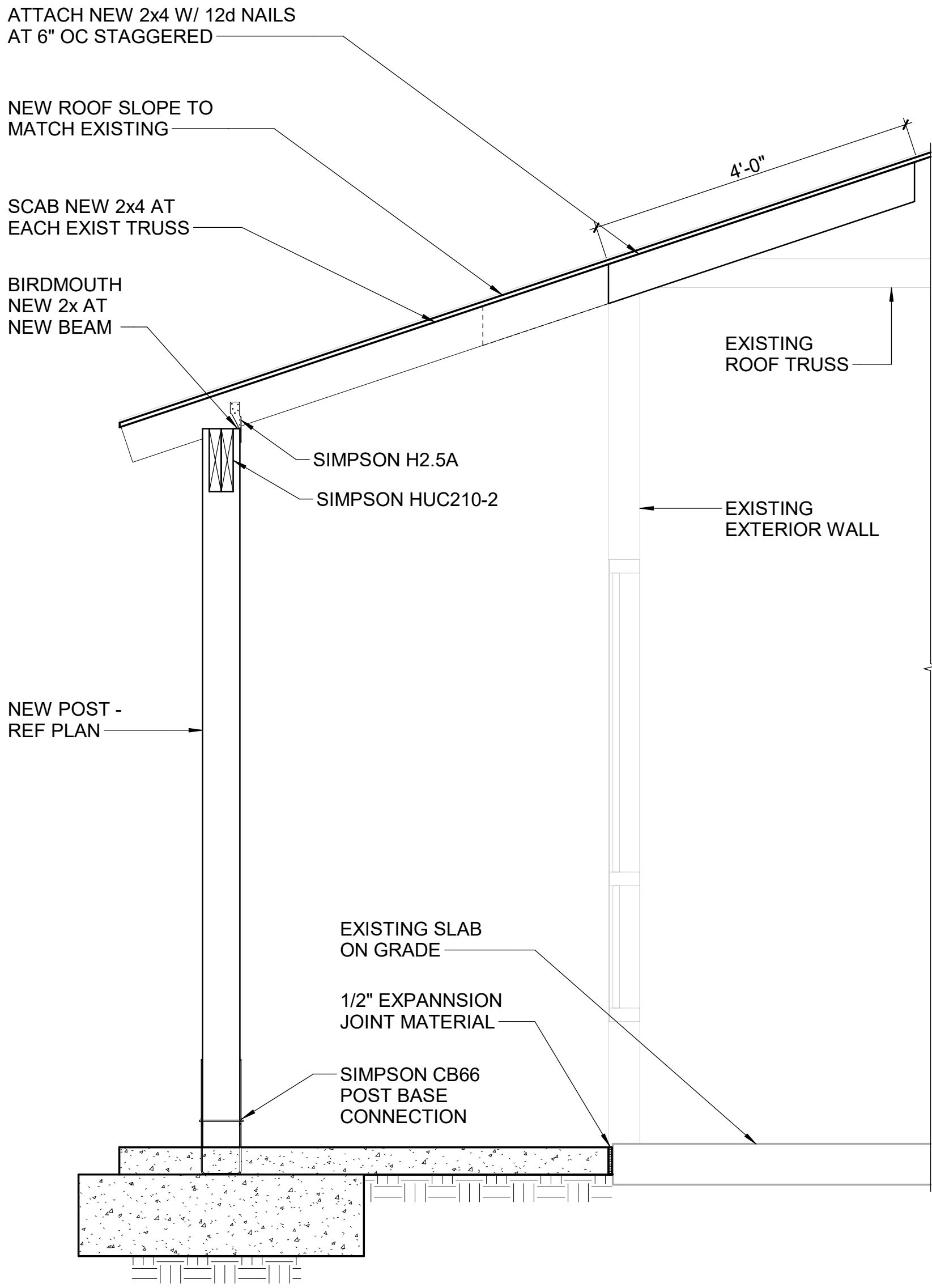
Pettigrew State Park  
Campground and Office Improvements  
2252 Lake Shore Road  
Creswell, North Carolina

DRAWN	LM
CHECKED	SMF
PROJECT NO.	1381-20
DATE	07/27/2025
SHEET NAME	FOUNDATION & ROOF FRAMING PLAN
SHEET NO.	S0101



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1 SECTION  
3/4" = 1'-0"



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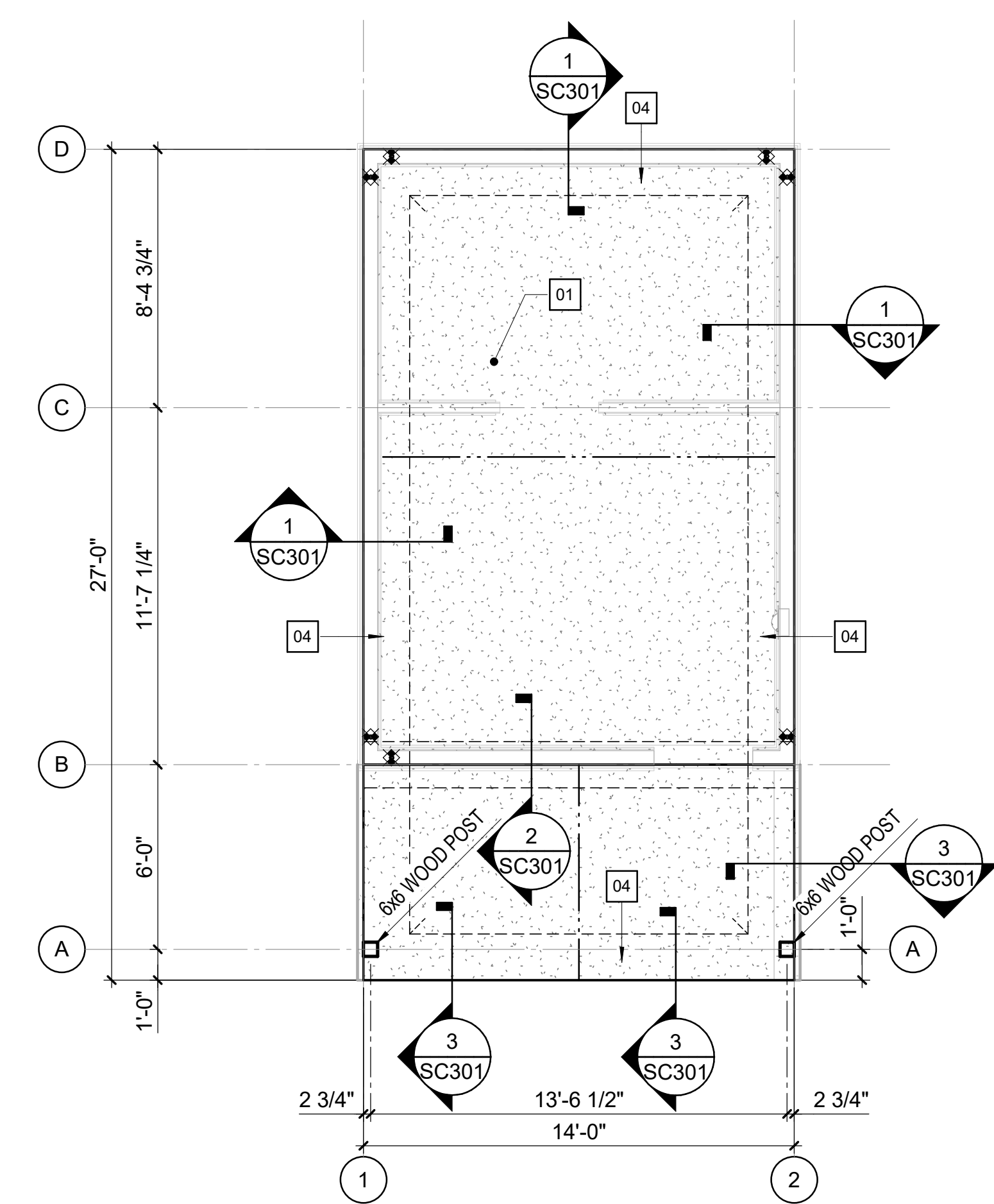
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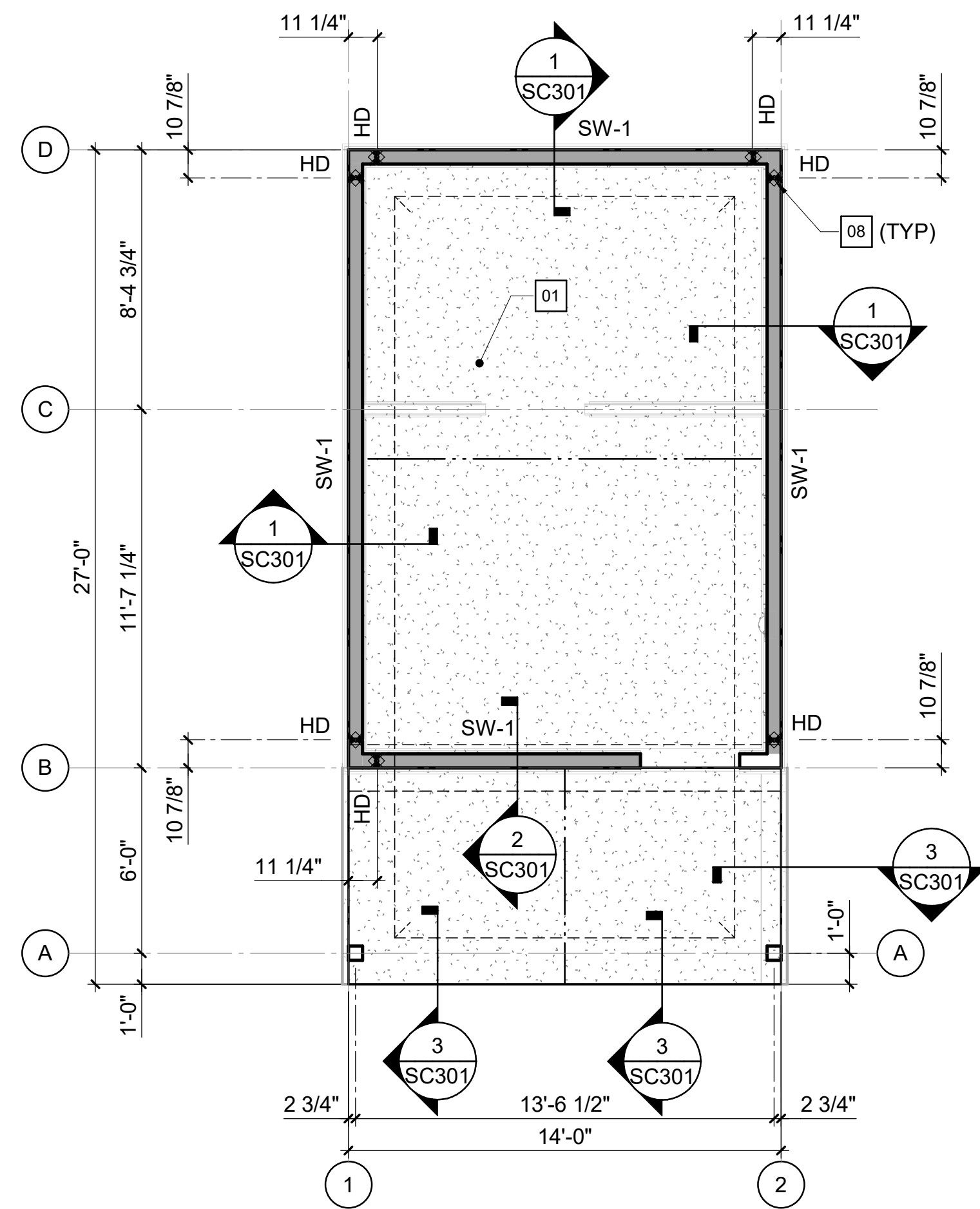
Pettigrew State Park  
Campground and Office Improvements  
2252 Lake Shore Road  
Creswell, North Carolina

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CHECKED	SMF
PROJECT NO.	1381-20
DATE	07/27/2025
SHEET NAME	SECTION
SHEET NO.	S0301

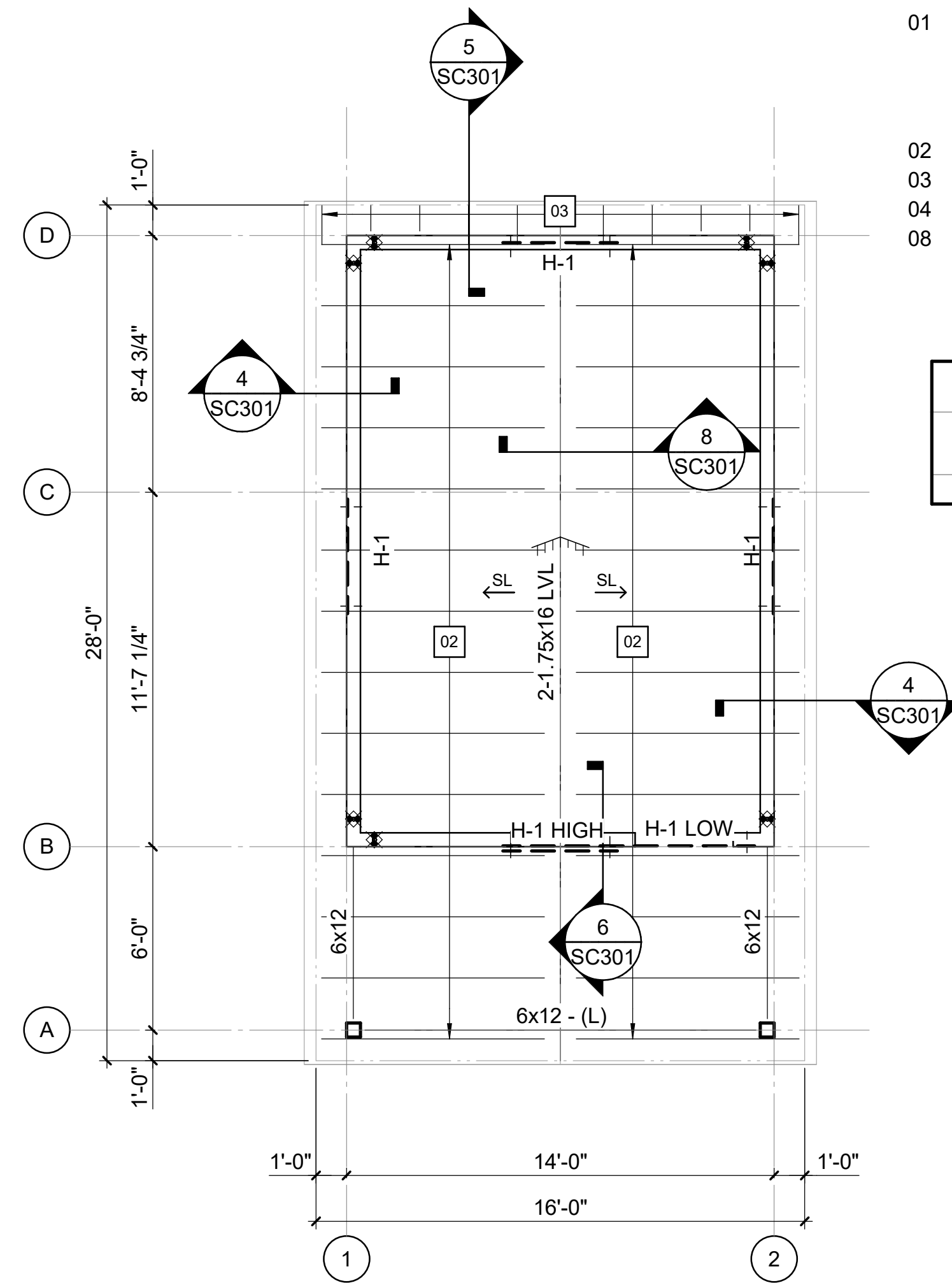
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1 FOUNDATION PLAN - CABIN  
1/4" = 1'-0"



2 BEARING WALL PLAN - CABIN  
1/4" = 1'-0"



3 ROOF FRAMING PLAN - CABIN  
1/4" = 1'-0"

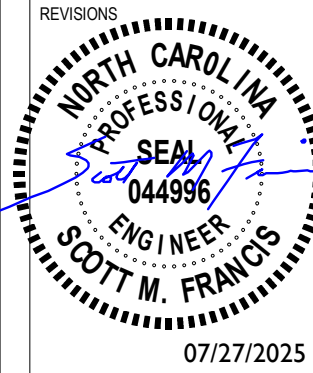
### FOUNDATION / SLAB-ON-GRADE PLAN NOTES

- REFER TO ARCHITECTURAL DRAWINGS FOR DIMENSIONS TO NONBEARING WALLS, WALL CONTROL JOINTS AND OPENINGS.
- UNLESS OTHERWISE NOTED, ALL ELEVATIONS ARE BASED ON A FINISHED FIRST FLOOR REFERENCE OF 0'-0". REFER TO ARCHITECTURAL DRAWINGS FOR FINISHED FLOOR MATERIAL.
- TOP OF ALL FOOTINGS MUST BE AT ELEVATION -1'-4" UNLESS OTHERWISE NOTED.
- SLAB-ON-GRADE JOINTS MUST BE SAWED JOINTS OR KEYED CONSTRUCTION JOINTS UNLESS SPECIFICALLY DENOTED TO BE KEYED CONSTRUCTION JOINTS. CONTRACTOR SHALL COORDINATE ALL SLAB JOINTS WITH JOINTS IN BONDED FLOOR FINISHES. REFER TO ARCHITECTURAL DRAWINGS FOR FLOOR FINISH JOINT LOCATIONS.
- PLACE 1 - #4 x 3'-0" IN MIDDLE OF SLAB AT REENTRANT CORNERS WHERE A SLAB CONTROL JOINT DOES NOT OCCUR.
- REFER TO CIVIL DRAWINGS FOR EXTERIOR CONCRETE SLABS AND PAVING.

### KEY NOTES

- 4" CONCRETE SLAB-ON-GRADE OVER VAPOR RETARDER AND 4" DEPTH OF POROUS FILL UNLESS OTHERWISE INDICATED. REINFORCE SLAB WITH 6x6 W2.1xW2.1 WELDED WIRE REINFORCING PLACED 1 1/2" CLEAR BELOW TOP OF SLAB. MAINTAIN REINFORCEMENT IN POSITION ON BOLSTERS, CHAIRS OR SPACERS DURING CONCRETE PLACEMENT.
- 2X8 RAFTERS AT 24" ON CENTER WITH 5/8" PLYWOOD ROOF SHEATHING.
- 2x6 OUTLOOKERS AT 24" ON CENTER MAX.
- 1'-4" THICK TURN DOWN SLAB.
- HOLD DOWN ANCHOR. SIMPSON HD3B OR EQUIVALENT.

HEADER SCHEDULE			
MARK	SIZE	JACK STUDS	FULL-HEIGHT STUDS
H-1	(3) 2x8 w/ (2) 1/2" SPACERS	2	2



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Construction Document  
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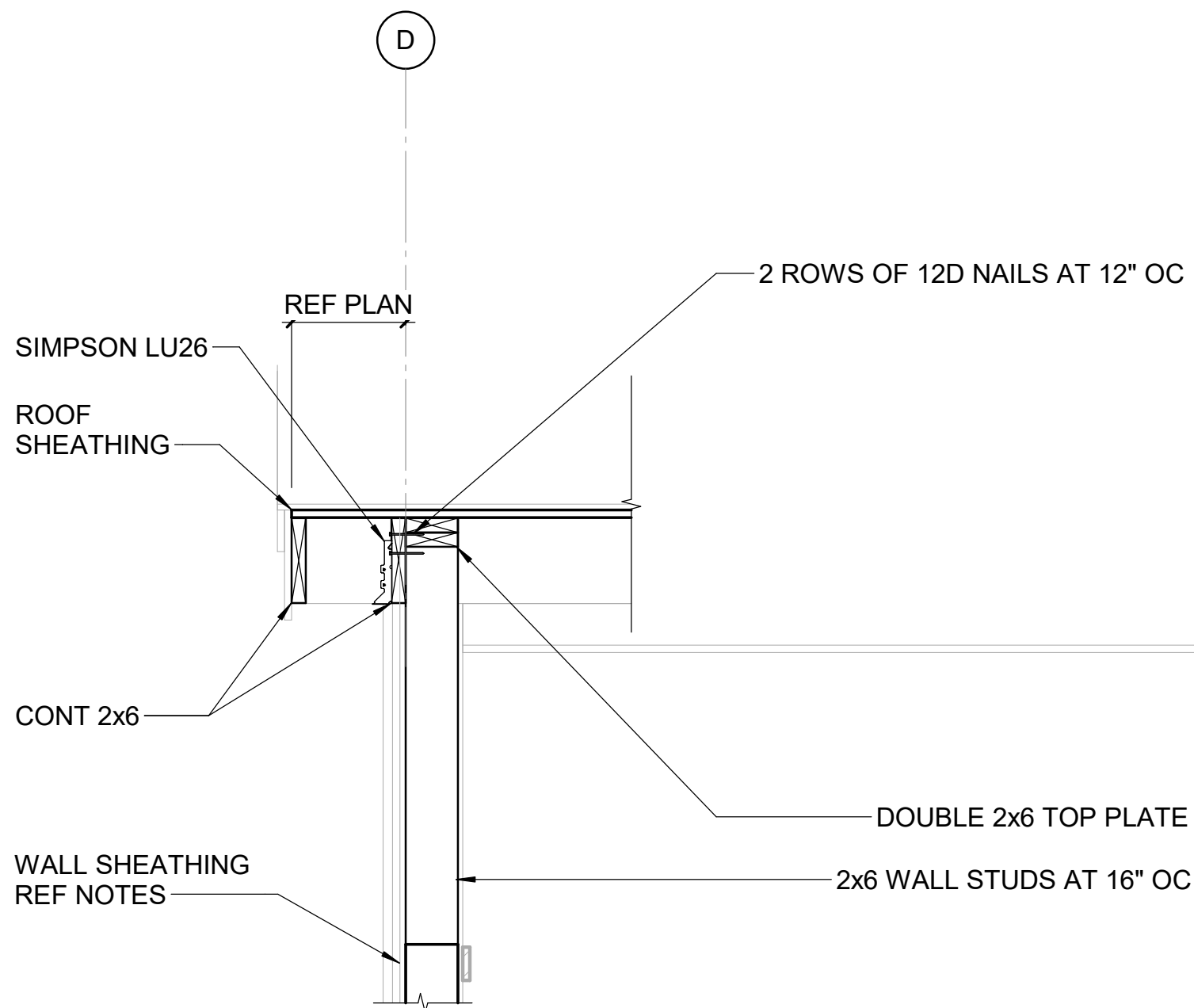
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PETTIGREW STATE PARK  
CAMPGROUND AND OFFICE IMPROVEMENTS  
2252 LAKE SHORE ROAD  
CRESWELL, NORTH CAROLINA

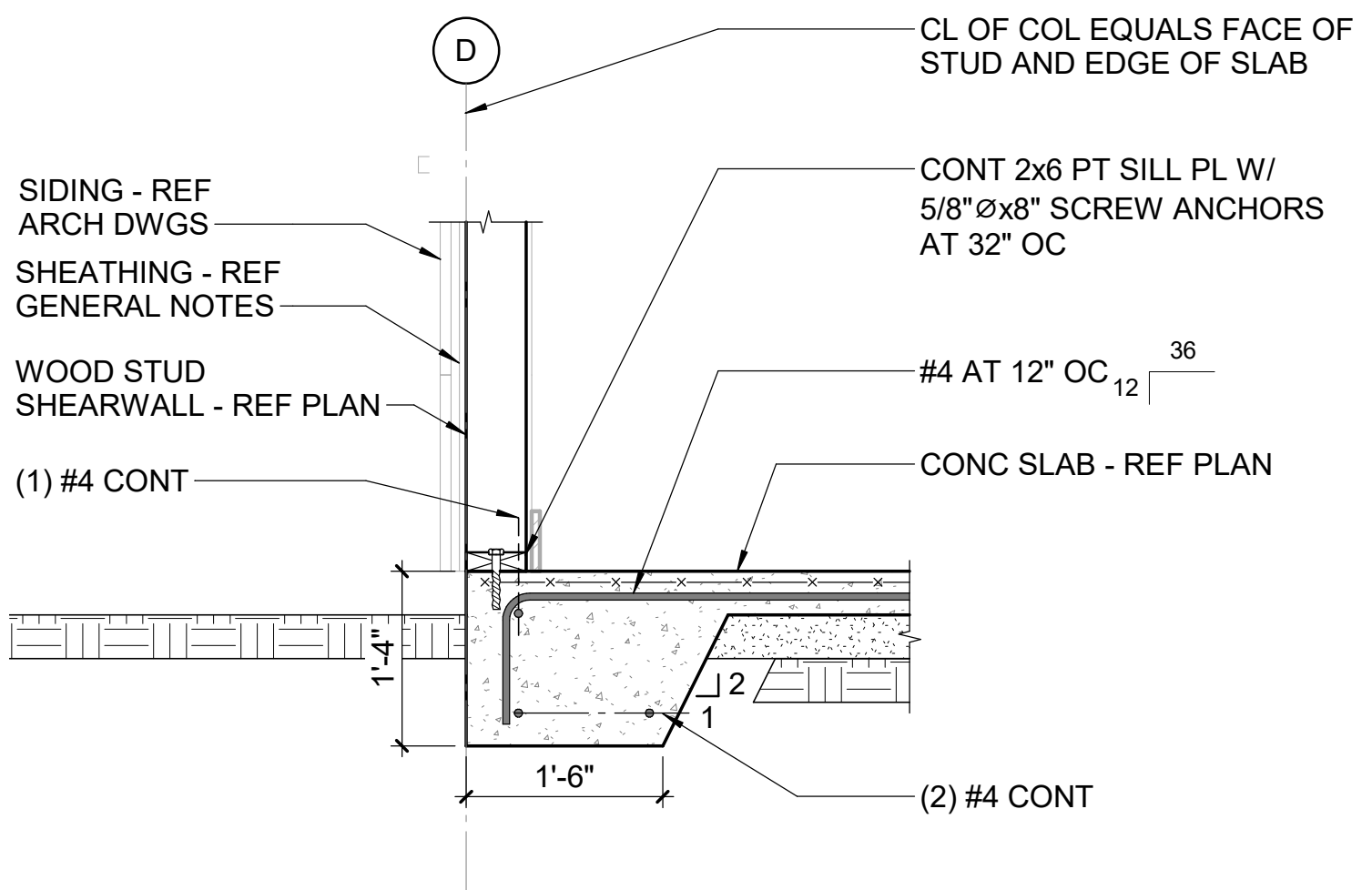
DRAWN LM  
CHECKED SMF  
PROJECT NO. 1381-20  
DATE 07/27/2025  
SHEET NAME CABIN PLANS  
SHEET NO. SC101



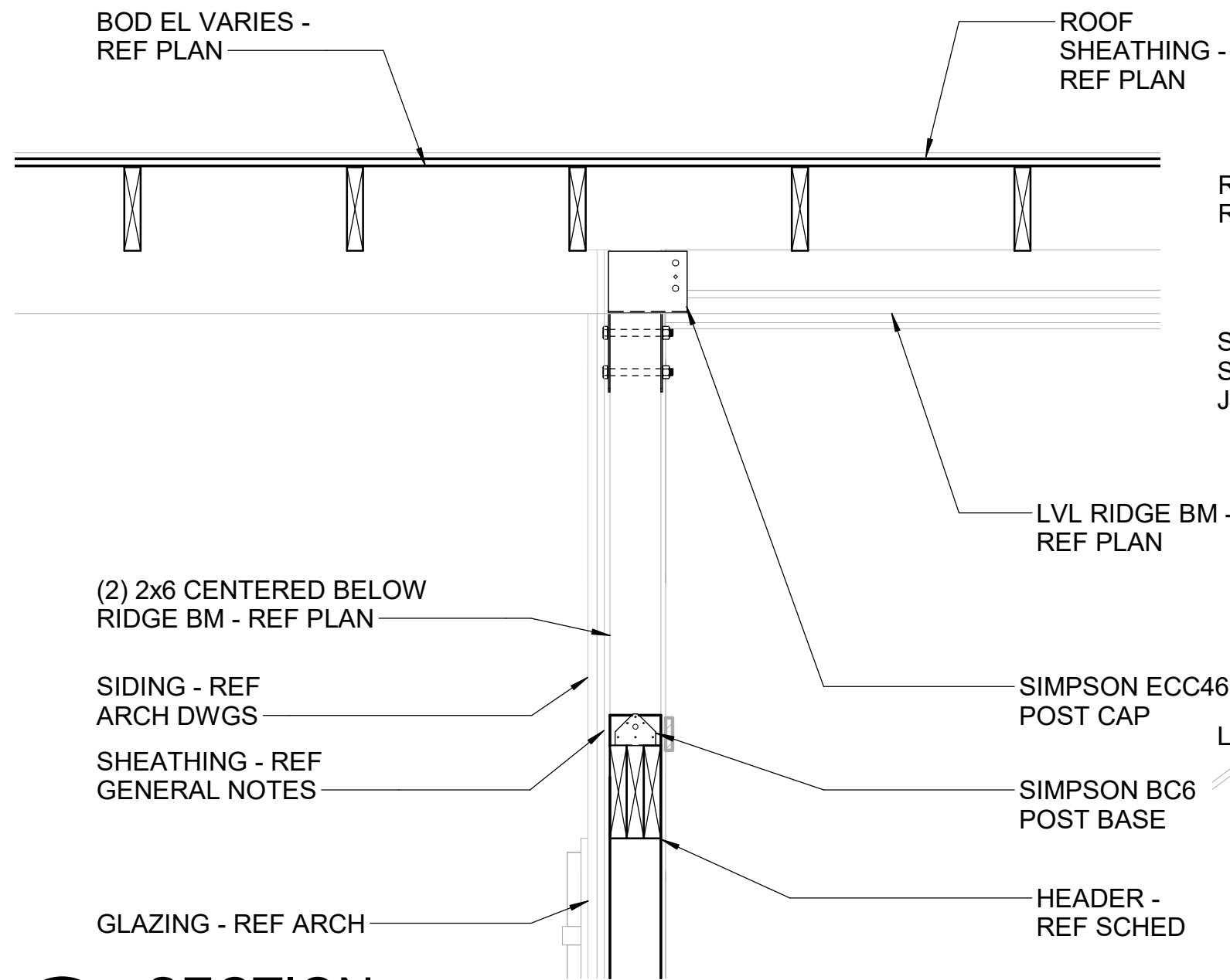
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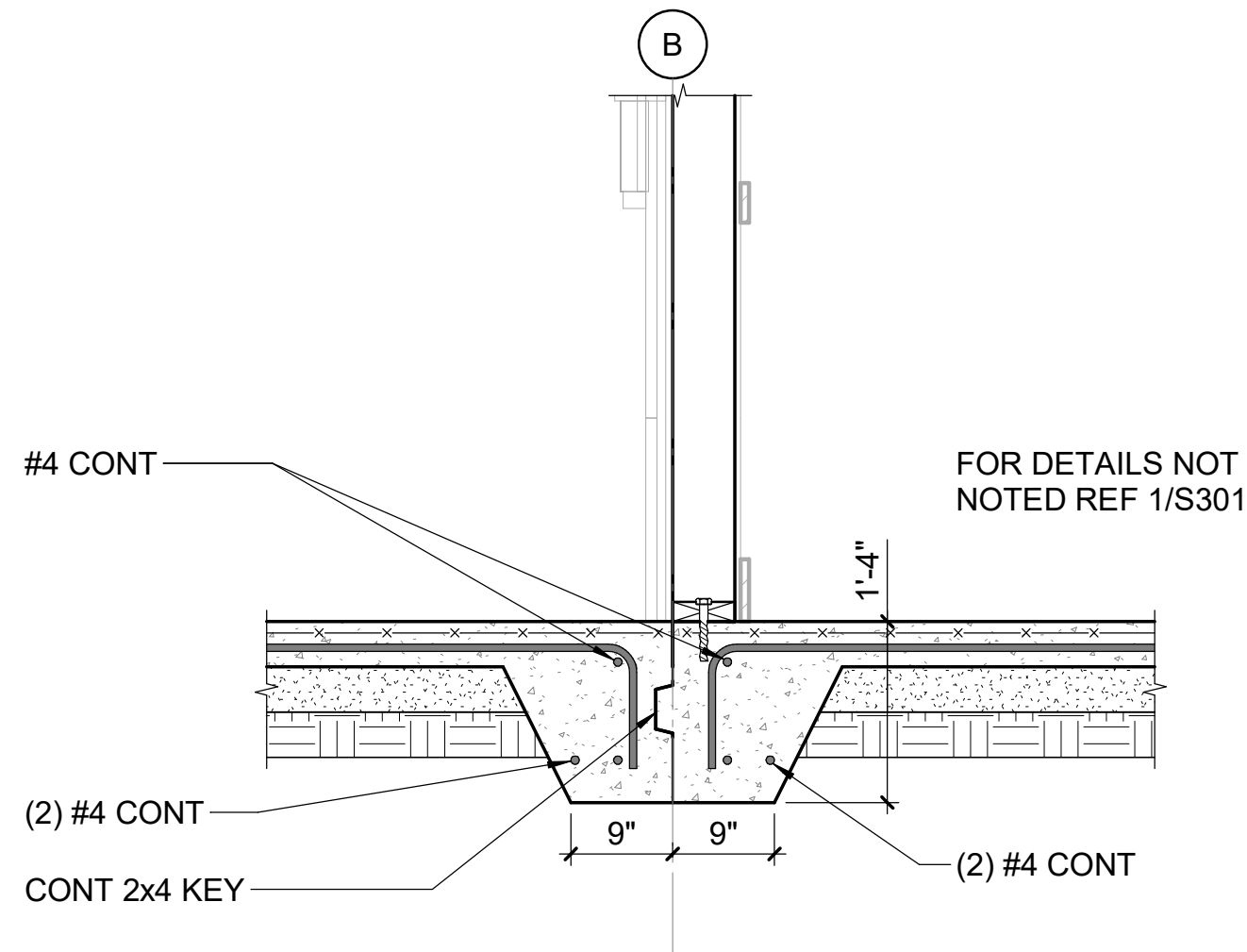
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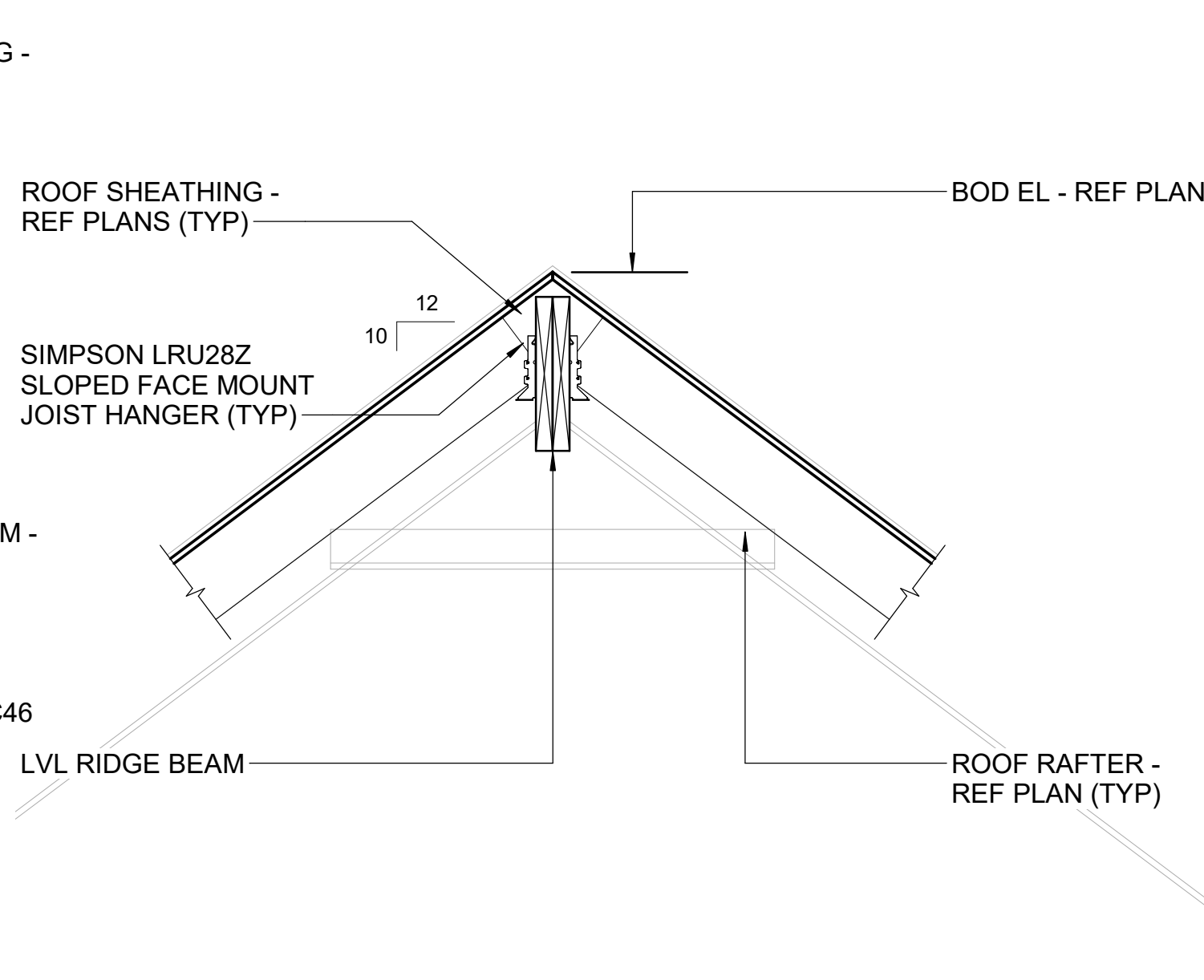
1 SECTION  
3/4" = 1'-0"



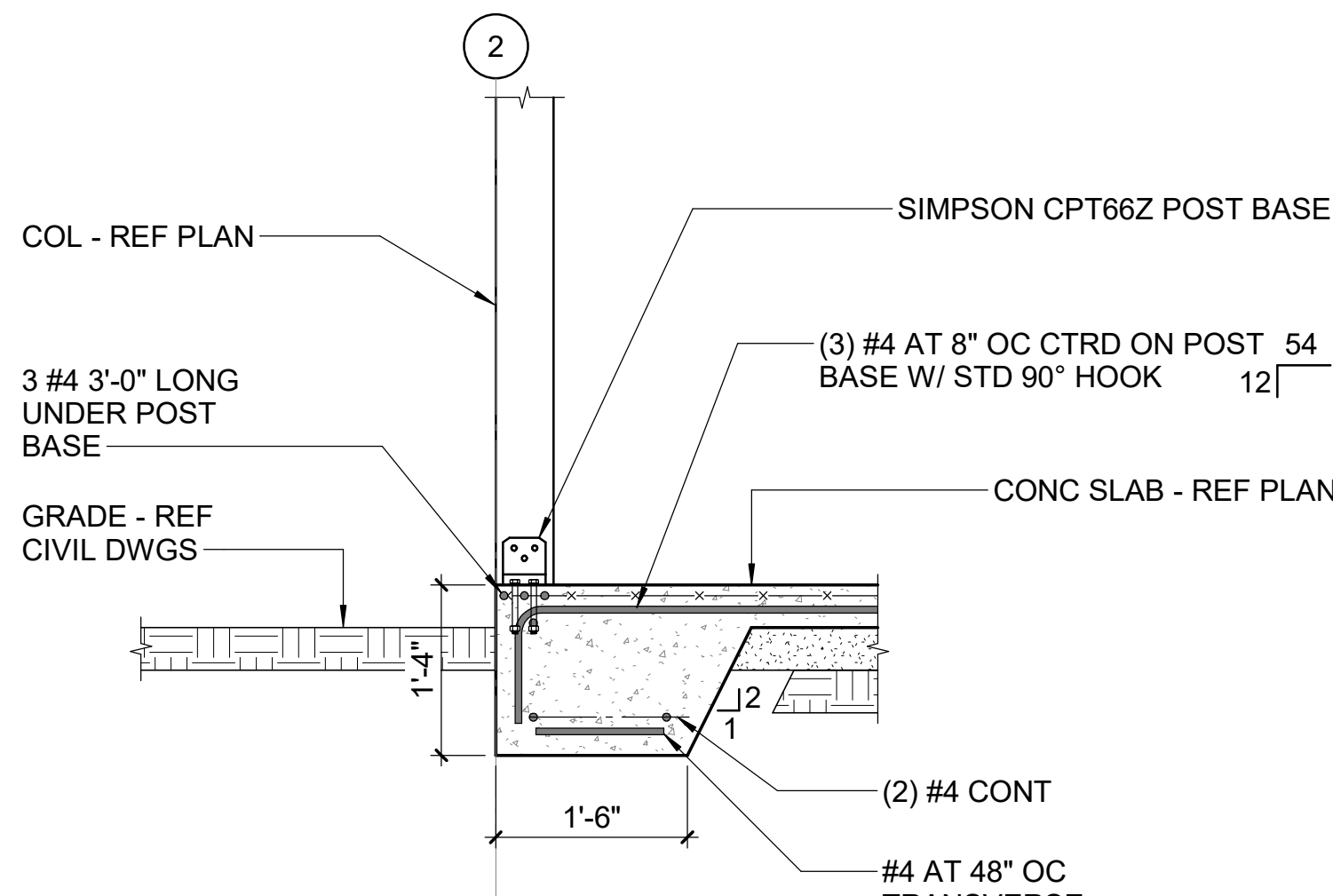
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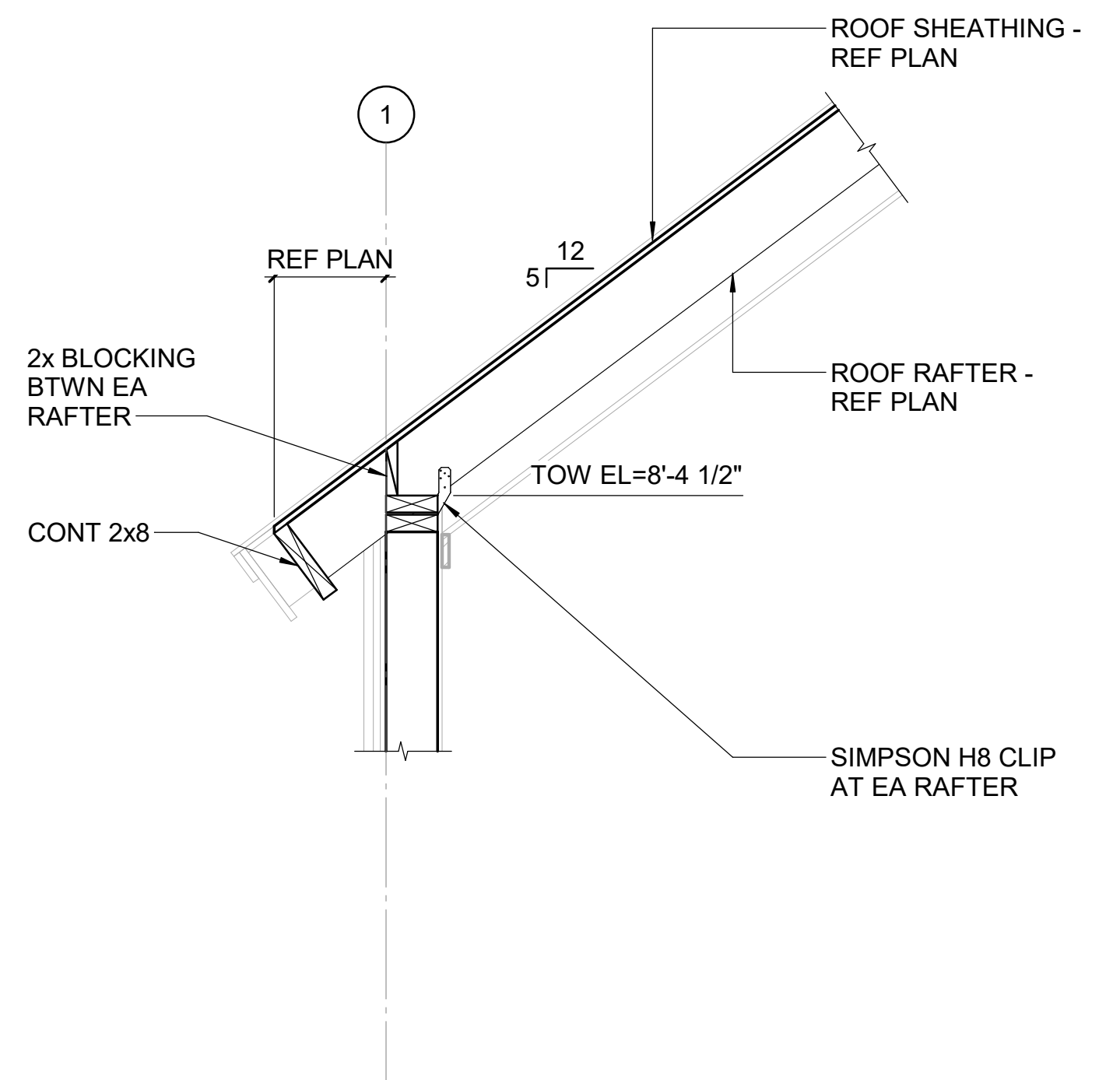
2 SECTION  
3/4" = 1'-0"



8 SECTION  
3/4" = 1'-0"



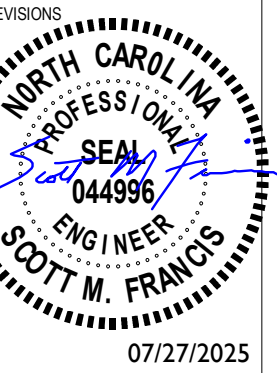
3 SECTION  
3/4" = 1'-0"



4 SECTION  
3/4" = 1'-0"

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SCO ID# 20-22411-02A

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PETTIGREW STATE PARK  
CAMPGROUND AND OFFICE IMPROVEMENTS  
2252 LAKE SHORE ROAD  
CRESWELL, NORTH CAROLINA

DRAWN LM  
CHECKED SMF  
PROJECT NO. 1381-20  
DATE 07/27/2025  
SHEET NAME SECTIONS  
SHEET NO. SC301





NTS (DENOTED TS ON PLAN)



NTS



NTS (DENOTED TS/KCJ ON PLAN)



NTS



NTS



NTS (DENOTED SJ ON PLAN)



NTS



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TELEVISIONS

**SEAL**  
044996

**SCOTT M. FRANCIS**

07/27/2025

PROJECT STATUS	CONSTRUCTION
DOCUMENTS FOR BID	
OWNER ID	
CO ID# 20-22411-02A	

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**Pettigrew State Park  
Campground and Office Improvements  
2252 Lake Shore Road  
Creswell, North Carolina**

LAWN	LM
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PROJECT NO.	1381-20
DATE	07/27/2025
SHEET NAME	
TYPICAL DETAILS	
SHEET NO.	
S501	







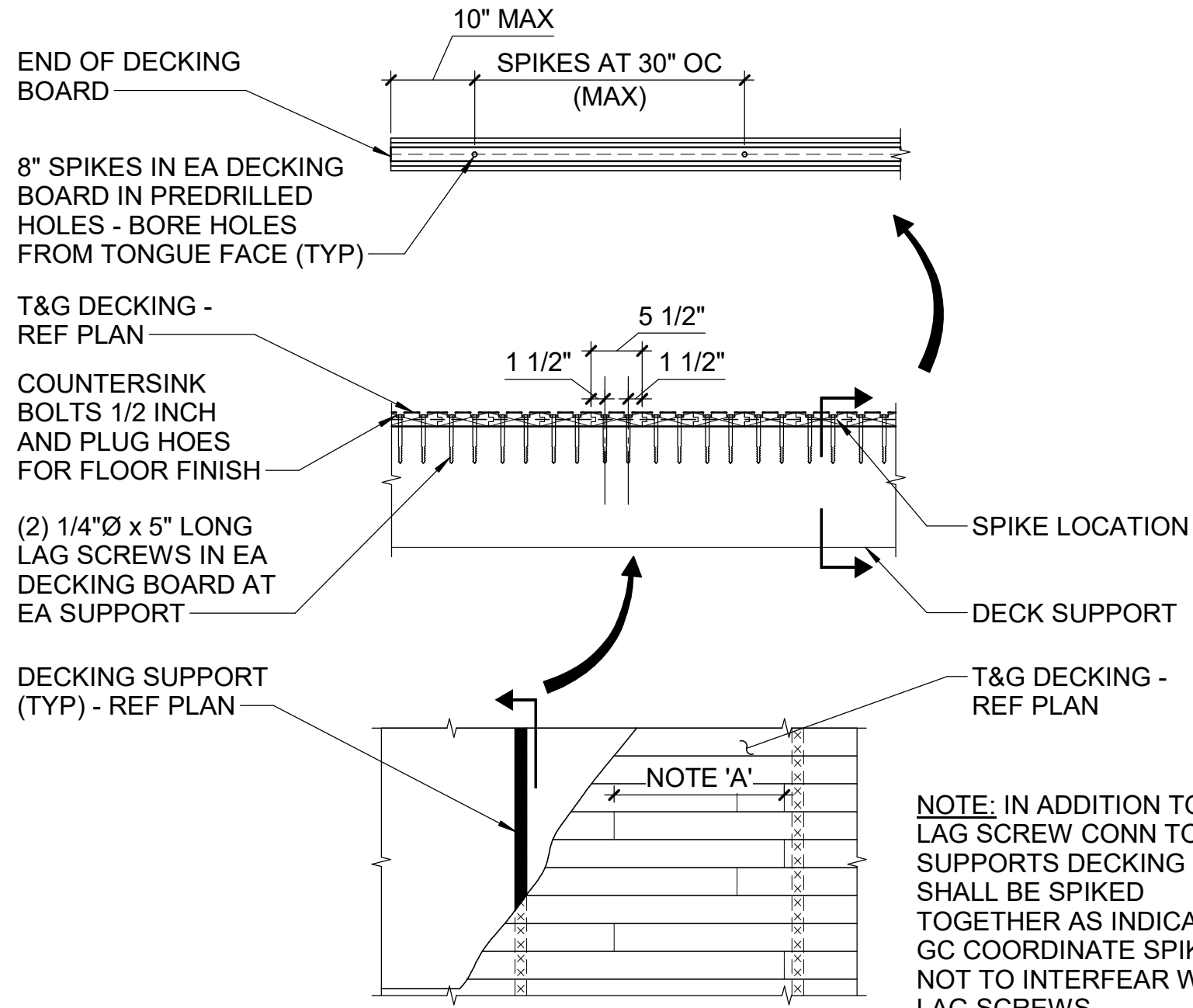
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SHEARWALL SCHEDULE				
SHEARWALL	CHORD STUDS	ANCHOR TYPE	ANCHOR ROD DIAMETER	THRU BOLTS
SW-1	(2) 2x6	SIMPSON HD3B	5/8"	(2) 5/8"
SW-2	(2) 2x6	SIMPSON HD7B	7/8"	(3) 3/4"

**GENERAL:** THE LATERAL LOADS ON THIS BUILDING ARE RESISTED BY A COMBINATION OF 'DIAPHRAGM' ACTION OF THE FLOORS AND ROOF TO TRANSMIT LOADS IN THE HORIZONTAL PLANES, AND SHEAR WALLS TO TRANSMIT LOADS IN THE VERTICAL PLANES.

**SHEAR WALLS:** ALL SHEAR WALL PANEL EDGES MUST BE BRACED BY 2 INCH NOMINAL OR WIDER FRAMING.

**ROOF/ FLOOR DIAPHRAGM NAILING SCHEDULE:** EXCEPT WHERE OTHERWISE NOTED OR DETAILED, PLYWOOD ROOF SHEATHING MUST BE NAILED W/ 8d NAILS AT 6" OC AT PANEL EDGES, 12" OC FIELD. BLOCK UNSUPPORTED EDGES.

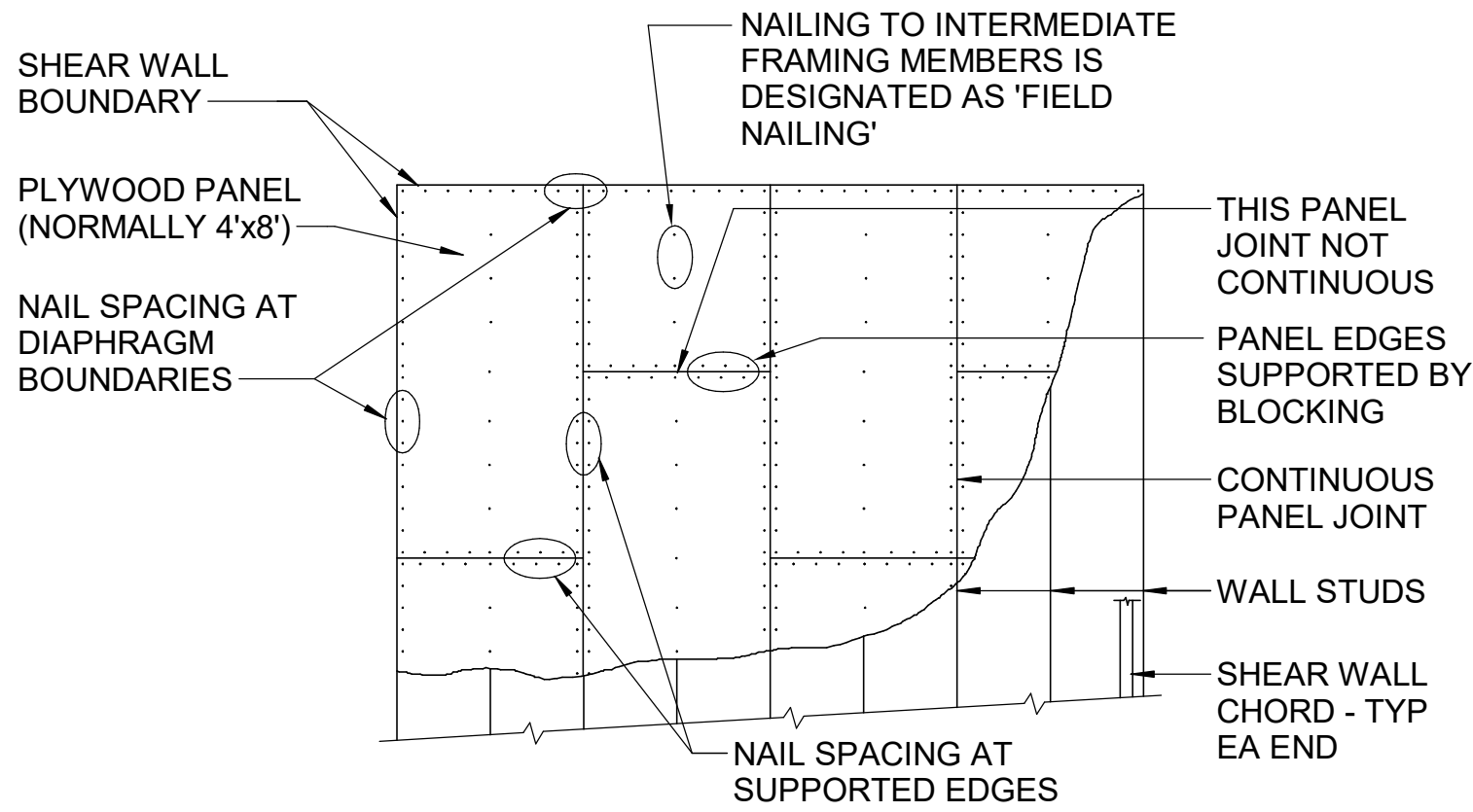


TYPICAL 2x6 DECKING ATTACHMENT

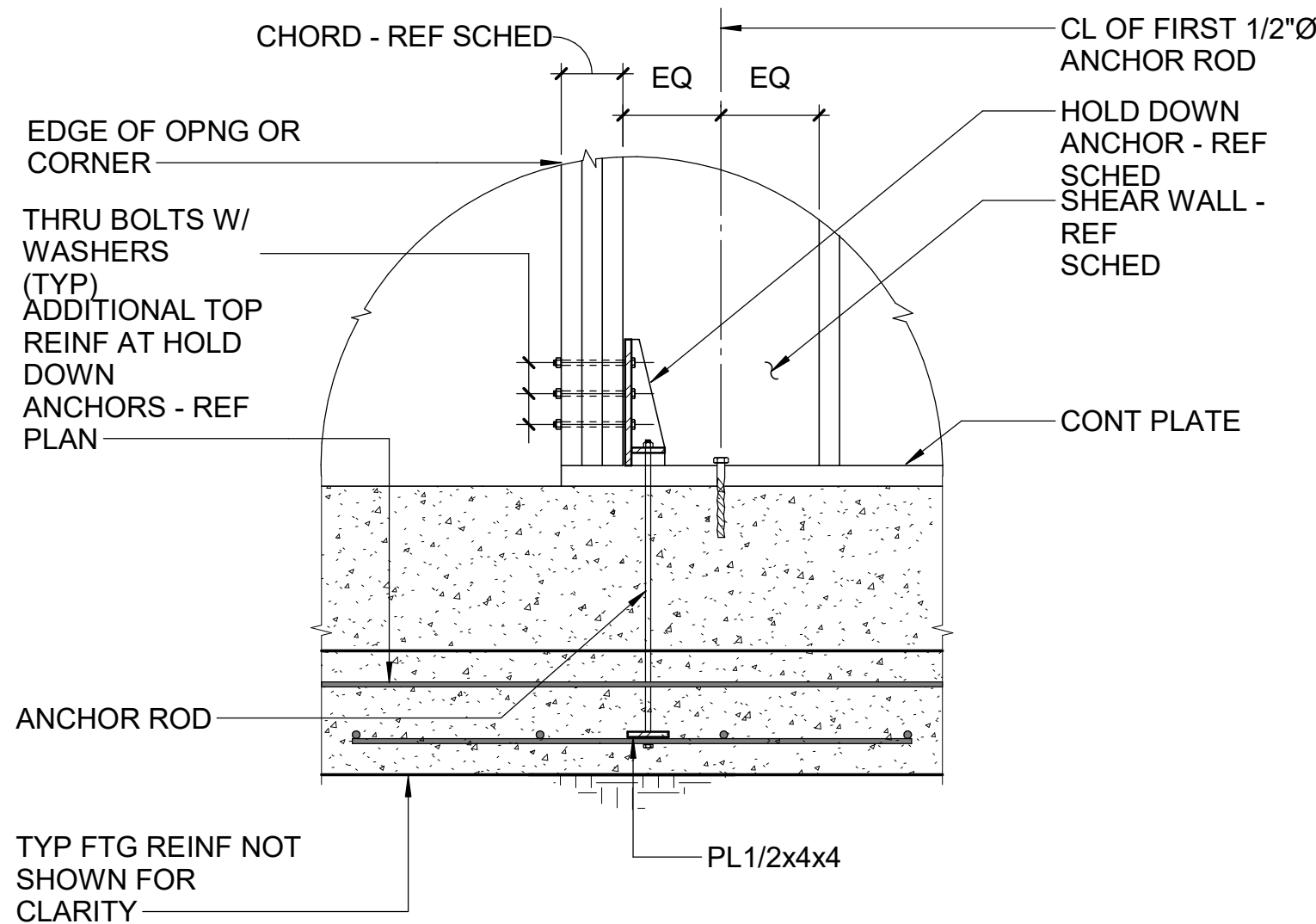
NOTES:

- ALL DECKING MATERIAL SHALL BE GOVERNED BY THE LENGTH REQUIREMENTS INDICATED
  - NOT LESS THAN 40% TO BE 14FT AND LONGER WITH AT LEAST 20% EQUAL TO OR GREATER IN LENGTH THAN THE MAXIMUN SPAN.
  - NOT 10% TO BE LESS THAN, 10'-0".
  - NOT 1% TO BE 4'-0" TO 5'-0"
- DECKING SHALL BE OF VISUALLY GRADED SURFACE DRY COMERCIAL GRADE SOUTHERN PINE WITH 19% OR LESS MOISTURE CONTENT GRADED UNDER SPIB RULES
- DECKING SHALL BE GRADE STAMPED ON END TO NOT EFFECT FLOOR FINISHES
- DECKING SHALL BE CONTROLLED RANDOM LAY UNDER THE CONSTRAINTS INDICATED
- ALL FRAMING SHALL BE IN ACCORDANCE WITH THE LATEST ADDITION OF THE AITC TIMBER CONSTRUCTION MANUAL

DEFINITION OF TERMS:

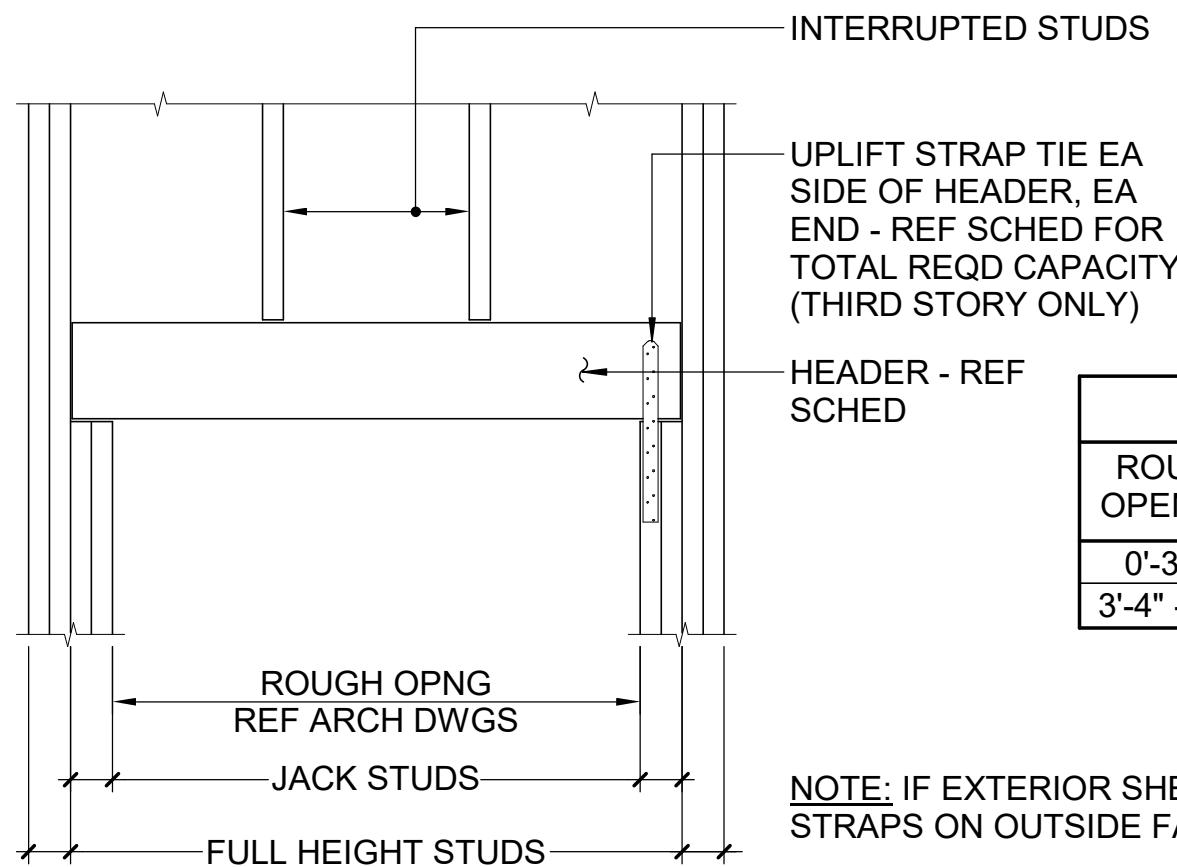


SHEAR WALL



TYPICAL HOLD DOWN ANCHOR DETAIL

NTS



HEADER SCHEDULE			
ROUGH OPENING	SIZE	EXTERIOR NO. OF STUDS	
		KING	JACK
0'-3"-3"	(3) 2x6	1	1
3'-4" - 9'-0"	(3) 2x10	2	2

**NOTE:** IF EXTERIOR SHEATHING IS INSTALLED IMMEDIATELY, UPLIFT STRAPS ON OUTSIDE FACE OF HEADER MAY BE ELIMINATED.

TYPICAL SHEATHING DIAPHRAGM DETAILS

NTS

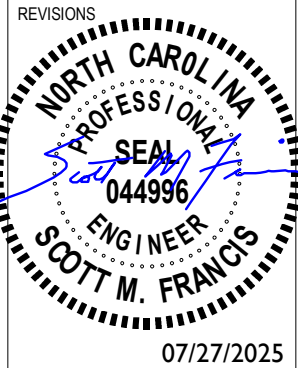
TYPICAL FRAMED OPENING DETAIL AND SCHEDULES

NTS

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SHEET NAME	TYPICAL DETAILS
SHEET NO.	S503