

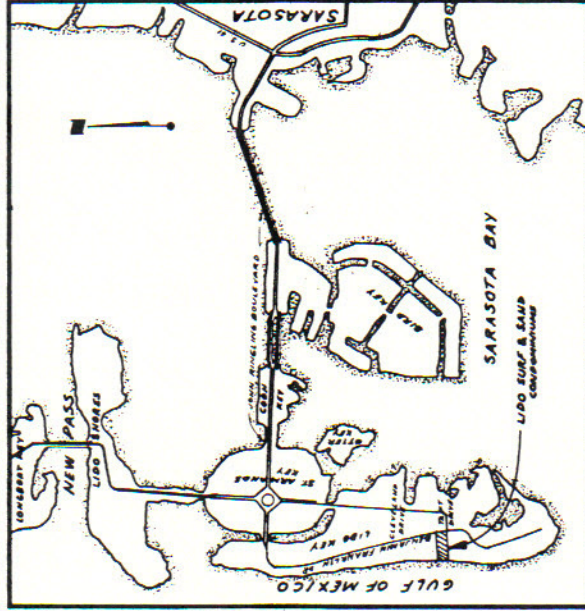
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LIDO SURF & SAND, A CONDOMINIUM

SEC. 35, TWP. 36 S., RGE. 17 E.
CITY OF SARASOTA, COUNTY OF SARASOTA
STATE OF FLORIDA

NOTES

1. OWNERSHIP OF UNITS IN THE BUILDINGS EXTENDS FROM THE PLANE OF UNFINISHED FLOORS TO THE PLANE OF UNFINISHED CEILINGS, AND FROM THE PLANE OF THE INTERIOR SIDE OF THE OUTSIDE BLOCK WALLS OR THE PLANES OF THE INTERIOR SIDES OF THE PARTITION STUDS AS THE CASE MAY BE, AS INDICATED HEREON. OWNERSHIP OF PORCHES ANNEXED TO RESPECTIVE UNITS EXTENDS FROM THE PLANE OF UNFINISHED FLOOR TO THE PLANE OF THE UNFINISHED CEILING, AND FROM THE PLANE OF THE UNFINISHED WALL TO THE PLANES OF THE OUTSIDE PERIMETER OF THE PORCH AS INDICATED HEREON, NOTWITHSTANDING THE LOCATION OF WALLS, FLOORS AND CEILINGS AS DESCRIBED HEREON. THE ACTUAL LOCATIONS OF WALLS, FLOORS AND CEILINGS AS THE SAME MAY FROM TIME TO TIME EXIST SHALL GOVERN. THE TERM "PORCH" INCLUDES ELEVATED GARDEN DECK.
2. PORCHES SHALL BE PART OF AND APPURTENANT TO THE UNITS TO WHICH THEY ARE ANNEXED.
3. STRATHMORE REALTY CORPORATION HEREBY RESERVES TO ITSELF, ITS SUCCESSORS AND ASSIGNS THE EXCLUSIVE RIGHT TO INSTALL AND MAINTAIN IN, ON OR OVER THE COMMON AND LIMITED COMMON ELEMENTS OF THIS CONDOMINIUM A TELEVISION ANTENNA DISTRIBUTION SYSTEM, TOGETHER WITH EASEMENTS AS ARE NECESSARY FOR ACCESS TO ALL PARTS OF SAID SYSTEM FOR INSTALLATION, MAINTENANCE, REPAIRS AND REPLACEMENT.
4. PARKING SPACES ARE ASSIGNED IN ACCORDANCE WITH THE DECLARATION OF CONDOMINIUM. STORAGE AREAS MAY BE REASSIGNED FROM TIME TO TIME BY THE LIDO SURF AND SAND CONDOMINIUM ASSOCIATION.
5. THE DEVELOPER HEREBY RESERVES THE RIGHT TO SELL TWO OR MORE ADJACENT UNITS TO ONE PURCHASER WHO WILL COMBINE THE SAME FOR THE PURPOSE OF CREATING ONE LARGER SIZED APARTMENT. IN SUCH EVENT, THE COMBINED UNITS WILL STILL EACH BE AND REMAIN A SEPARATE CONDOMINIUM UNIT, EACH RESPONSIBLE FOR ITS RESPECTIVE CONDOMINIUM OBLIGATIONS AND ENTITLED TO ITS SEPARATE CONDOMINIUM RIGHTS EXCEPT THAT THE OWNER OF SUCH COMBINED UNITS MAY OPEN DOORWAYS, ARCHWAYS OR WALKWAYS THROUGH THE COMMON WALLS OF SUCH UNITS SO LONG AS IN SO DOING WRITTEN PERMISSION IS FIRST PROCURED FROM THE DEVELOPER OR THE OWNERS ASSOCIATION, WHOEVER IS THEN MANAGING THE AFFAIRS OF THE CONDOMINIUM, AND NO STRUCTURAL DAMAGE IS DONE NOR IS ANY DAMAGE DONE TO ANY INSTALLATIONS SERVING OTHER UNITS. PERMANENT EXCLUSIVE EASEMENTS AND LICENSES, AS THE CASE MAY BE, ARE HEREBY CREATED FOR THE BENEFIT OF ANY SUCH COMBINED UNITS FOR INGRESS AND EGRESS THROUGH SUCH AREAS OF COMMON WALLS AS MAY BE SO DEVOTED TO PASSAGE WAY USE. ANY UNITS SO COMBINED MAY THEREAFTER BE SEVERED INTO THE ORIGINAL UNITS AS THE SAME EXISTED PRIOR TO COMBINATION. THE OWNERS OF THE SAME BEING UNDER AN OBLIGATION TO RESTORE ANY WALLS THROUGH WHICH PASSAGE WAYS HAD BEEN CREATED PURSUANT TO THE FOREGOING UPON SUCH SEVERANCE. UNITS 202, 203 AND 204 ARE PRESENTLY COMBINED AS ONE APARTMENT IN ACCORDANCE WITH THE FOREGOING.



CERTIFICATE OF SURVEYOR

I, THE UNDERSIGNED LAND SURVEYOR HEREBY CERTIFY THAT A SURVEY WAS MADE OF THE LAND SHOWN HEREON AND THE IMPROVEMENTS DEPICTED HEREON AND THAT THE CONSTRUCTION OF THE IMPROVEMENTS DESCRIBED IS SUFFICIENTLY COMPLETE SO THAT THIS PLAT CONSISTING OF 16 SHEETS TOGETHER WITH THE PROVISIONS OF THE DECLARATION OF CONDOMINIUM FOR LIDO SURF AND SAND CONDOMINIUM DESCRIBING THE CONDOMINIUM PROPERTY IS AN ACCURATE REPRESENTATION OF THE IMPROVEMENTS DESCRIBED AND THAT THERE CAN BE DETERMINED THEREFROM THE IDENTIFICATION, LOCATION AND DIMENSIONS OF THE COMMON ELEMENTS AND OF EACH UNIT.

DATE OF SURVEY: Dec. 4, 1976 BY: *Charles A. Quinn, R.L.S.*
CHARLES A. QUINN, R.L.S.
FLA. CERT. NO. 1898

DESCRIPTION

A PART OF SECTION 35, TOWNSHIP 36 SOUTH, RANGE 17 EAST, LIDO KEY, CITY OF SARASOTA, COUNTY OF SARASOTA, STATE OF FLORIDA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE INTERSECTION OF THE SOUTHERLY LINE OF CLEVELAND DRIVE AND THE WESTERLY LINE OF FRANKLIN DRIVE, AS SHOWN ON THE PLAT OF LIDO BEACH DIVISION "B" AS PER PLAT THEREOF RECORDED IN PLAT BOOK 2, PAGE 207, OF THE PUBLIC RECORDS OF SARASOTA COUNTY, FLORIDA. THENCE SOUTHERLY ALONG FRANKLIN DRIVE 937.2 FEET FOR A POINT OF BEGINNING; THENCE WITH AN ANGLE OF 90 DEGREES TO THE RIGHT RUN 815 FEET, MORE OR LESS, TO WATERS OF THE GULF OF MEXICO; THENCE WITH AN ANGLE OF 90 DEGREES TO LEFT RUN 225 FEET ALONG THE GULF; THENCE WITH AN ANGLE OF 90 DEGREES TO THE LEFT RUN 815 FEET, MORE OR LESS, TO FRANKLIN DRIVE; THENCE WITH AN ANGLE OF 90 DEGREES TO THE LEFT RUN 225 FEET ALONG FRANKLIN DRIVE TO THE POINT OF BEGINNING.

LESS THE FOLLOWING DESCRIBED PROPERTY:

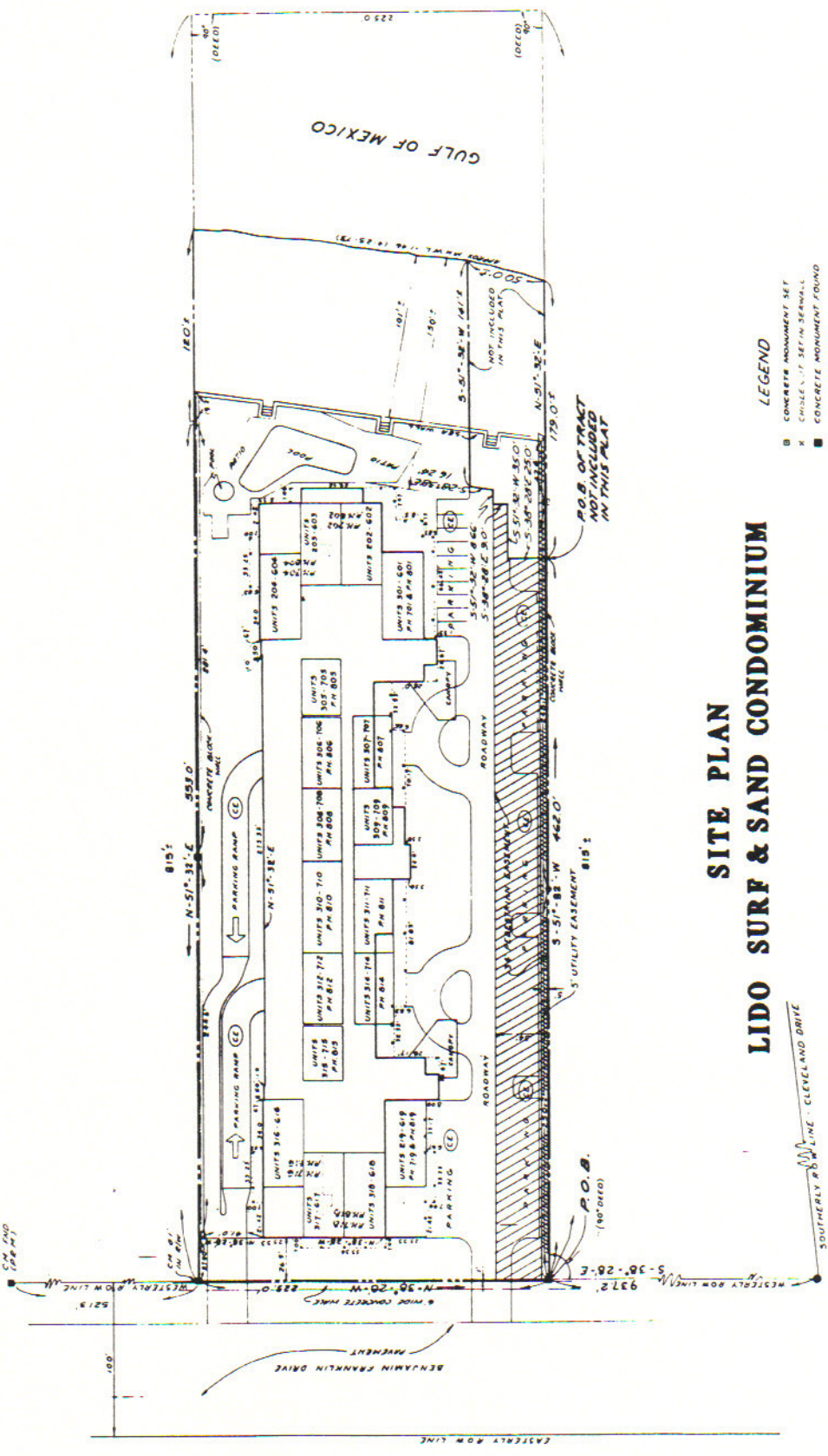
COMMENCE AT THE INTERSECTION OF THE SOUTHERLY LINE OF CLEVELAND DRIVE AND THE WESTERLY LINE OF BENJAMIN FRANKLIN DRIVE, AS SHOWN ON PLAT NO. 3 OF THE JOHN RINGLING ESTATES, INC., LIDO BEACH DIVISION "B", RECORDED IN PLAT BOOK 2, PAGE 207, PUBLIC RECORDS OF SARASOTA COUNTY, FLORIDA; THENCE S-38°-28'-E ALONG THE WESTERLY RIGHT-OF-WAY LINE OF BENJAMIN FRANKLIN DRIVE (100 FOOT RIGHT-OF-WAY), 937.2 FEET; THENCE S-51°-32'-W ALONG THE NORTHERLY LINE OF PROPERTY DESCRIBED IN OFFICIAL RECORD BOOK 988, PAGES 1493 AND 1494 OF THE FOREMENTIONED PUBLIC RECORDS A DISTANCE OF 462.0 FEET FOR A POINT OF BEGINNING; THENCE S-38°-28'-E A DISTANCE OF 25.0 FEET; THENCE S-51°-32'-W A DISTANCE OF 35.0 FEET; THENCE S-38°-28'-E A DISTANCE OF 9.0 FEET; THENCE S-51°-32'-W A DISTANCE OF 8.66 FEET; THENCE S-28°-38'-E A DISTANCE OF 16.24 FEET; THENCE S-51°-32'-W A DISTANCE OF 141 FEET, MORE OR LESS, TO THE HIGH WATER LINE OF THE GULF OF MEXICO; THENCE NORTHERLY ALONG SAID HIGH WATER LINE A DISTANCE OF 50 FEET, MORE OR LESS, TO A POINT ON A LINE LYING S-51°-32'-W A DISTANCE OF 179 FEET, MORE OR LESS, FROM THE POINT OF BEGINNING; THENCE N-51°-32'-E ALONG SAID LINE A DISTANCE OF 179 FEET, MORE OR LESS, TO THE POINT OF BEGINNING.

SUBJECT TO A 34-FOOT WIDE PEDESTRIAN EASEMENT AND 5-FOOT WIDE UTILITY EASEMENT AS SHOWN ON SHEET 2 HEREOF.

LIDO SURF & SAND, A CONDOMINIUM
IN SEC. 35, TWP. 36 S., RGE. 17 E.
SARASOTA COUNTY, FLORIDA

NOTES

1. The five foot utility easement indicated along the northerly boundary of the condominium property depicted hereon is for the non-exclusive use of any publicly franchised or regulated utility or quasi-utility company for the purpose of installation, maintenance and repair of utility service to the condominium or other properties. The 34 foot pedestrian easement indicated hereon is hereby declared and dedicated for the permanent non-exclusive use of Block 67, Plat No. 3, of the John Ringling Estates, Inc. Lido Beach Division "B", for pedestrian ingress and egress between said lands and the Gulf Beach.
2. Building dimensions shown on this sheet are to the outside face of the columns at the ground floor level. All perimeter angles of the building, and of all the units, are right angles, unless noted otherwise.
3. The approximate mean high water line shown on this survey is not a tidal property boundary line and was not located in accordance with the procedures specified in the Florida Coastal Mapping Act of 1974 (part II of Chapter 177, Florida Statutes).



LEGEND

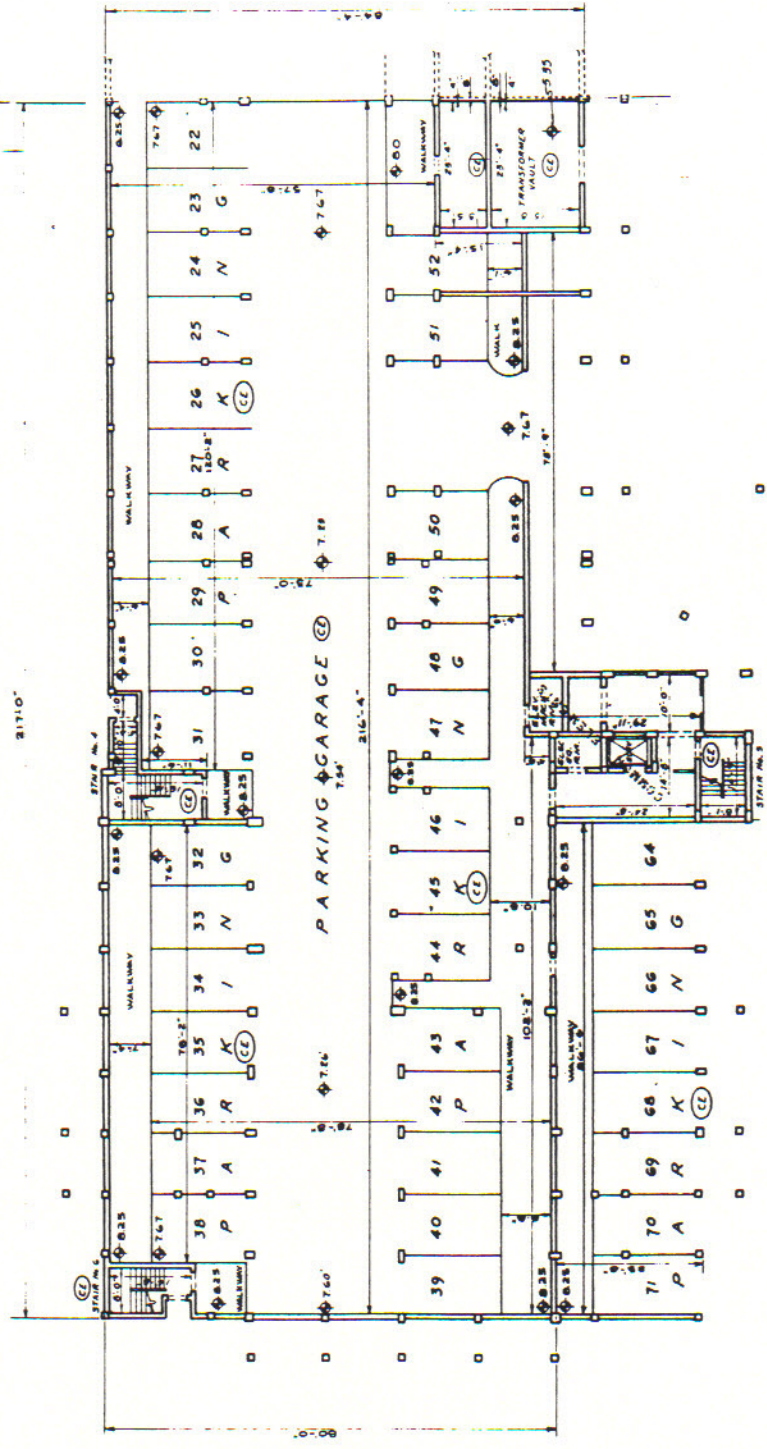
- CONCRETE MONUMENT SET
- X CHISEL POINT SET IN SEAWALL
- CONCRETE MONUMENT FOUND
- IRON PIPE FOUND
- ⊙ COMMON ELEMENTS
- ⊕ LIMITED COMMON ELEMENTS

SITE PLAN
LIDO SURF & SAND CONDOMINIUM

LIDO SURF & SAND, A CONDOMINIUM
IN SEC. 35, TWP. 36 S., RGE. 17 E.
SARASOTA COUNTY, FLORIDA



MATCH LINE
SHEET 4



**GROUND FLOOR PLAN
EAST HALF**

NOTE:
ALL WALLS ARE 6" THICK UNLESS
OTHERWISE NOTED.

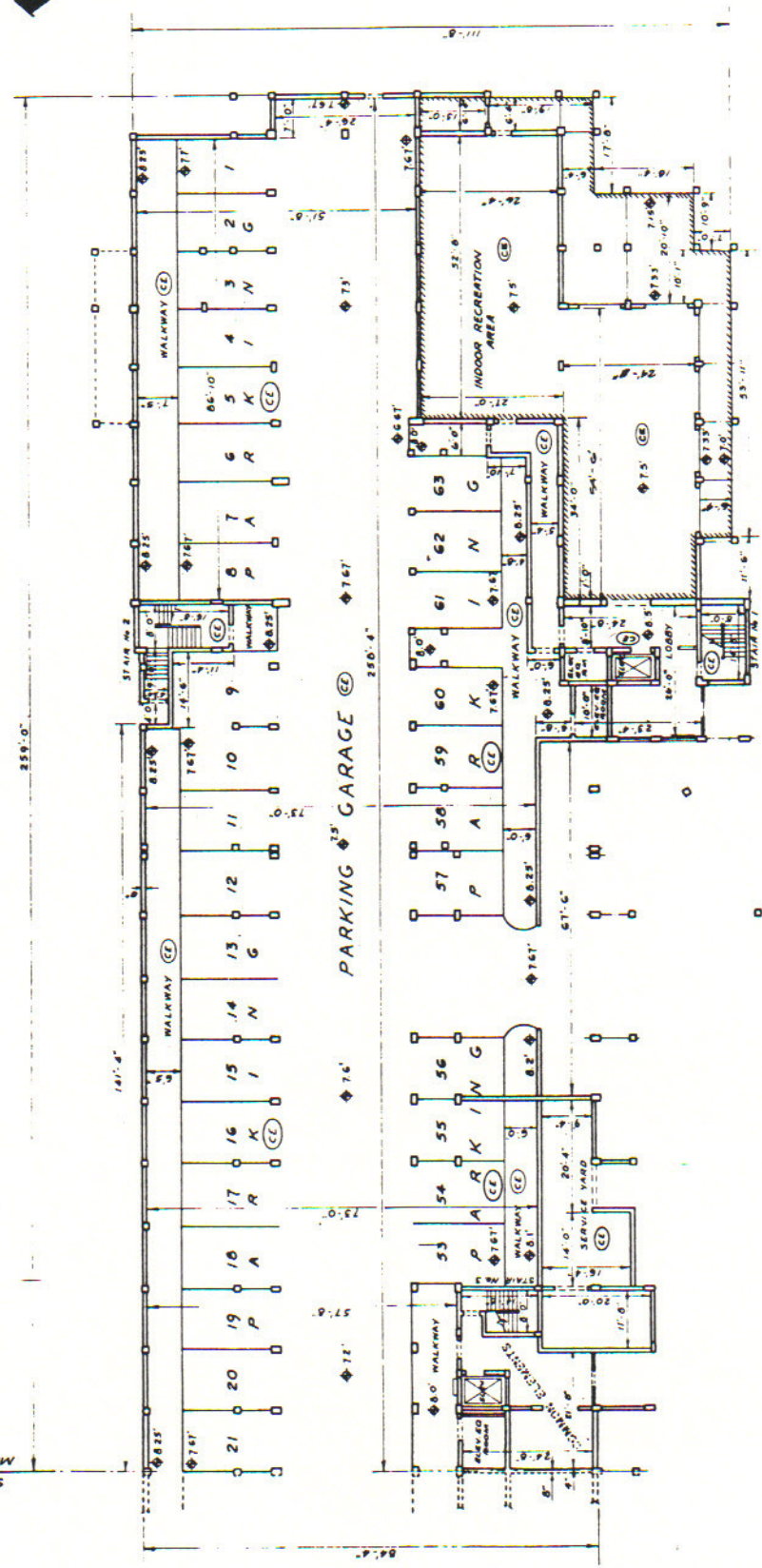
- LEGEND**
- (CL) LIMITED COMMON ELEMENTS
 - (C) COMMON ELEMENTS
 - (U) UNFINISHED FLOOR ELEVATIONS

LIDO SURF & SAND, A CONDOMINIUM

IN SEC. 35, TWP. 36 S., RGE. 17 E.
SARASOTA COUNTY, FLORIDA

CONDOMINIUM BOOK 9, PAGE 402
SHEET 4 OF 16 SHEETS

SHEET 3
MATCH LINE



GROUND FLOOR PLAN WEST HALF

NOTE:
1. ALL WALLS ARE 8" THICK UNLESS OTHERWISE NOTED.
2. THE INDOOR RECREATION AREA ABOVE, CONSISTING OF A RECREATION CARD ROOM, KITCHEN, EXERCISE ROOM, AND RELATED FACILITIES, IS PART OF THE COMMON ELEMENTS.
3. COMMON ELEMENTS ELEVATIONS ARE FROM 85' M.S.L. TO 175' M.S.L. EXTERIOR BOUNDARIES ARE SHOWN HEREON.

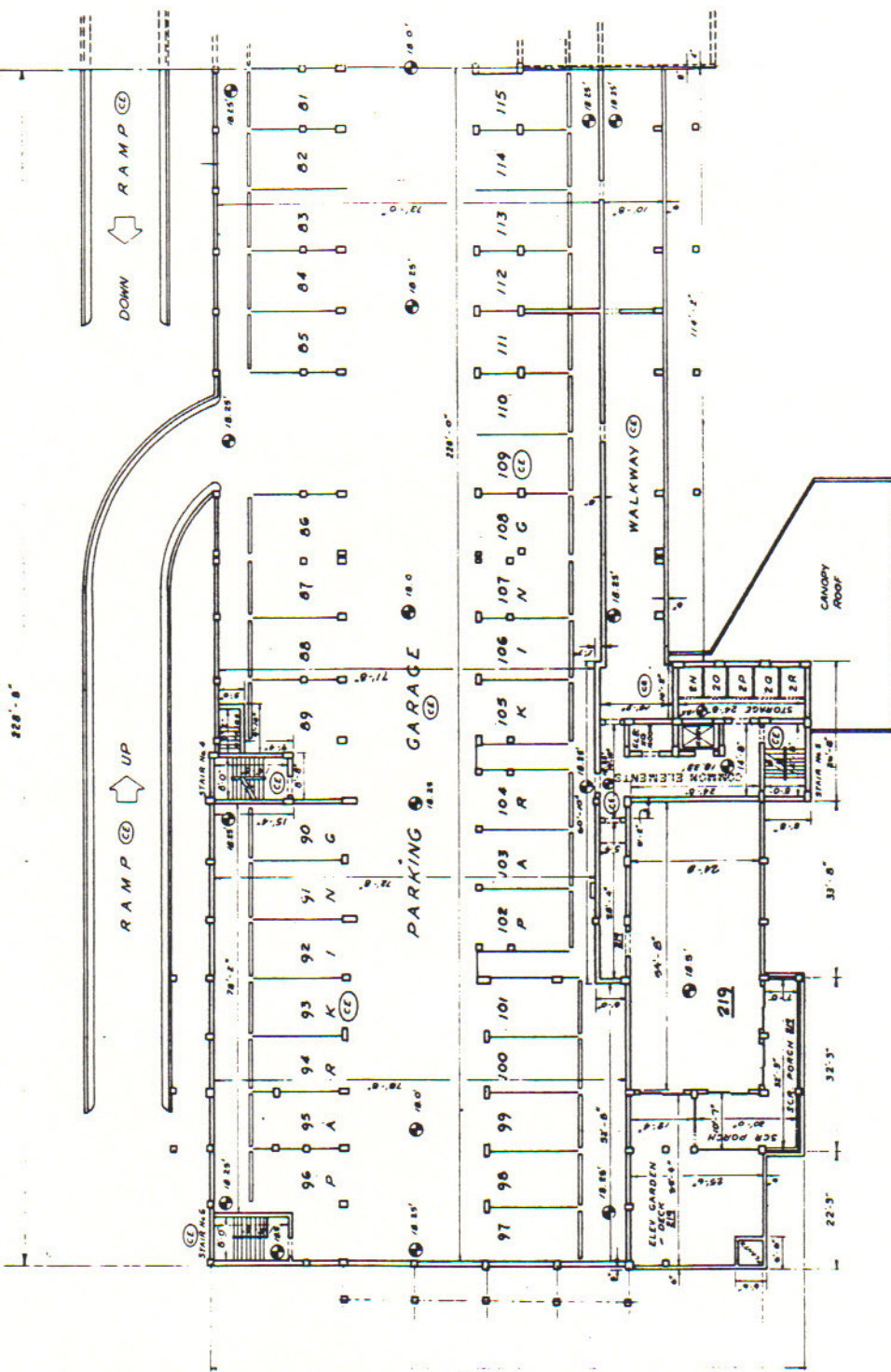
LEGEND
 (CE) LIMITED COMMON ELEMENTS
 (C) COMMON ELEMENTS
 (U) UNFINISHED FLOOR ELEVATIONS
 (---) BOUNDARY - INDOOR RECREATION AREA

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CONSULTING ENGINEERS
SARASOTA, FLORIDA

LIDO SURF & SAND, A CONDOMINIUM
IN SEC. 35, TWP. 36 S., RGE. 17 E.
SARASOTA COUNTY, FLORIDA



MATCH LINE



**2ND FLOOR PLAN
EAST HALF**

NOTE:
1 ALL WALLS ARE 8" THICK UNLESS OTHERWISE NOTED
2 ELEVATED GARDEN DECK ELEVATIONS ARE FROM 18'-0" M.S.L. TO 17' M.S.L. EXTERIOR BOUNDARIES ARE SHOWN HEREON.

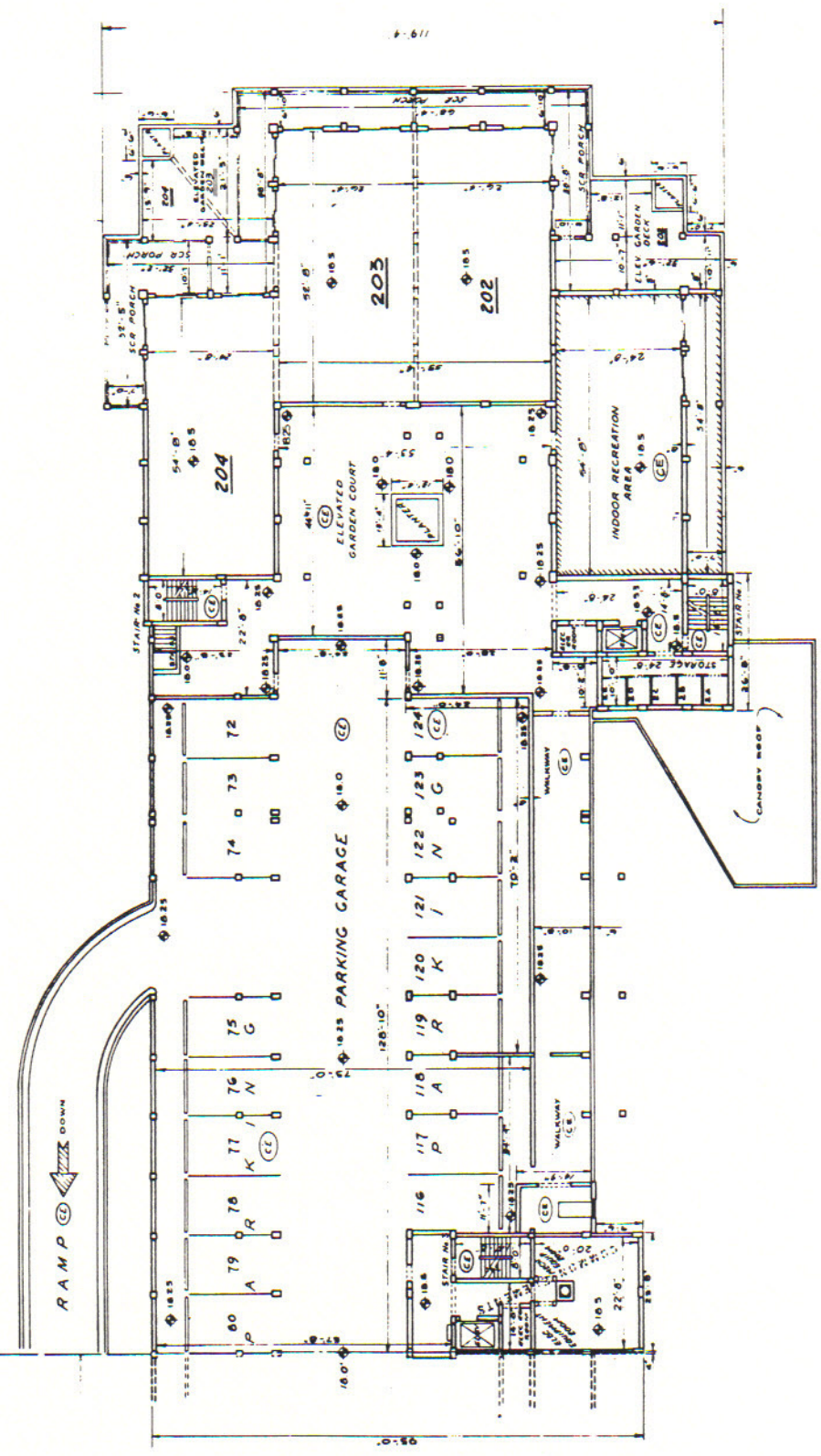
LEGEND
 (CE) LIMITED COMMON ELEMENTS
 (C) COMMON ELEMENTS
 (D) UNFINISHED FLOOR ELEVATIONS

LIDO SURF & SAND, A CONDOMINIUM
IN SEC. 35, TWP. 36 S., RGE. 17 E.
SARASOTA COUNTY, FLORIDA



SHEET 5
MATCH LINE

8'47'-2"



**2ND FLOOR PLAN
WEST HALF**

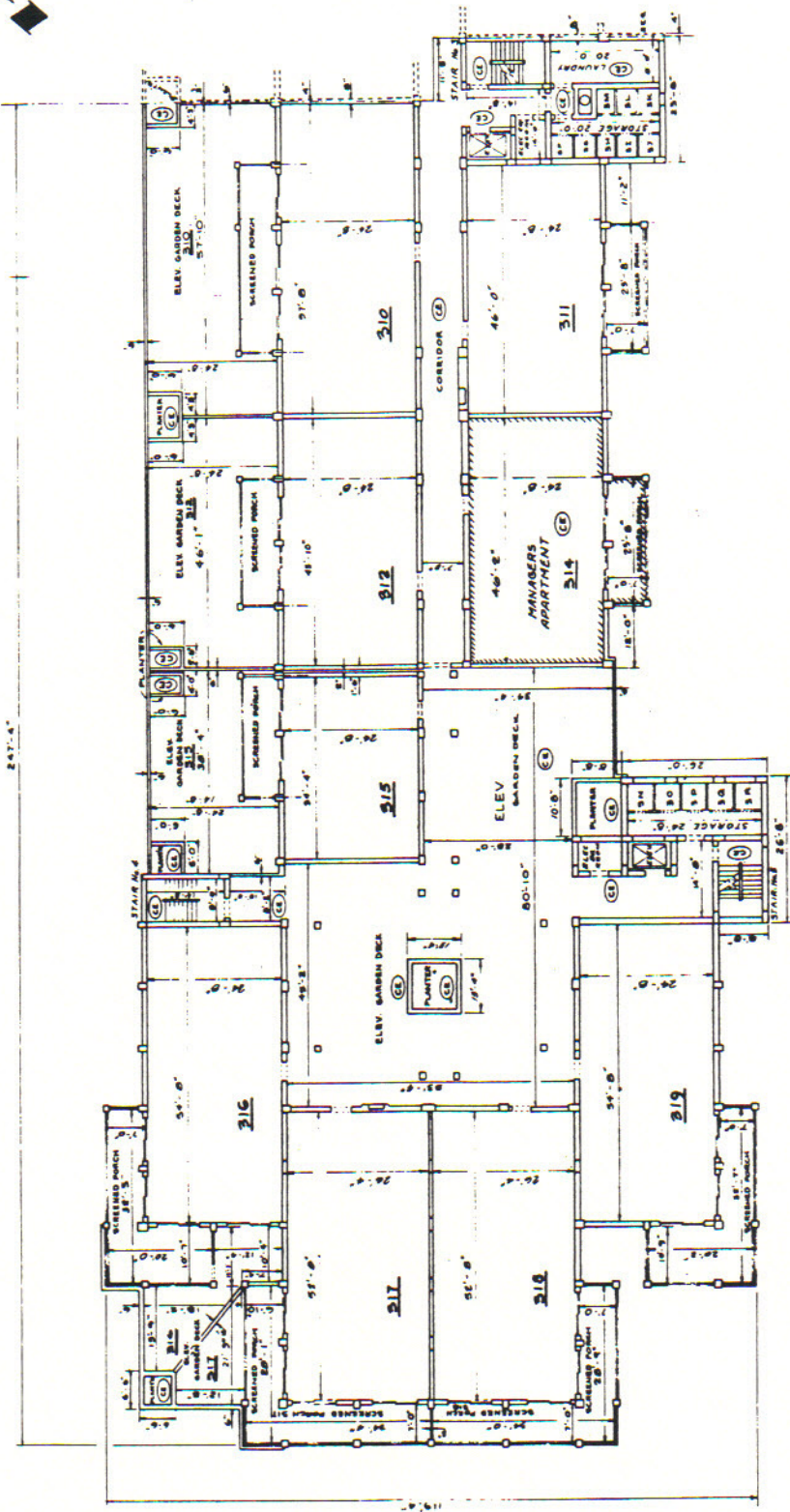
- NOTE:**
- 1 ALL WALLS ARE 6" THICK UNLESS OTHERWISE NOTED
 - 2 ELEVATED GARDEN DECK ELEVATIONS ARE FROM 10.25' MSL TO 21.71' MSL. EXTERIOR BOUNDARIES ARE SHOWN HEREON.
 - 3 THE INDOOR RECREATION STORY ABOVE IS A PART OF THE COMMONITY ELEMENTS
 - 4 RECREATION AREA ELEVATIONS ARE FROM 10.3' TO 21.71' MSL. EXTERIOR BOUNDARIES ARE SHOWN HEREON.

- LEGEND**
- (L) LIMITED COMMON ELEMENTS
 - (C) COMMON ELEMENTS
 - (U) UNFINISHED FLOOR ELEVATIONS
 - (B) BOUNDARY - INDOOR RECREATION AREA
 - (E) UNIT NUMBER

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LIDO SURF & SAND, A CONDOMINIUM
IN SEC. 35, TWP. 36 S., RGE. 17 E.
SARASOTA COUNTY, FLORIDA

MATCH LINE
SHEET 6



**3RD FLOOR PLAN
EAST HALF**

- LEGEND**
- (CE) LIMITED COMMON ELEMENTS
 - (C) COMMON ELEMENTS
 - (ALL) BOUNDARY MANAGERS APARTMENT

NOTE:

- 1 ALL WALLS ARE 8" THICK UNLESS OTHERWISE NOTED.
- 2 ELEVATED GARDEN DECK ELEVATIONS ARE SHOWN HEREON.
- 3 THE MANAGERS APARTMENT MODEL IS A PART OF THE COMMON ELEMENTS.
- 4 MANAGERS APARTMENT ELEVATIONS ARE FROM 28'5" M.S.L. TO 34'58" M.S.L. EXTERIOR BOUNDARIES ARE SHOWN HEREON.

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LIDO SURF & SAND, A CONDOMINIUM

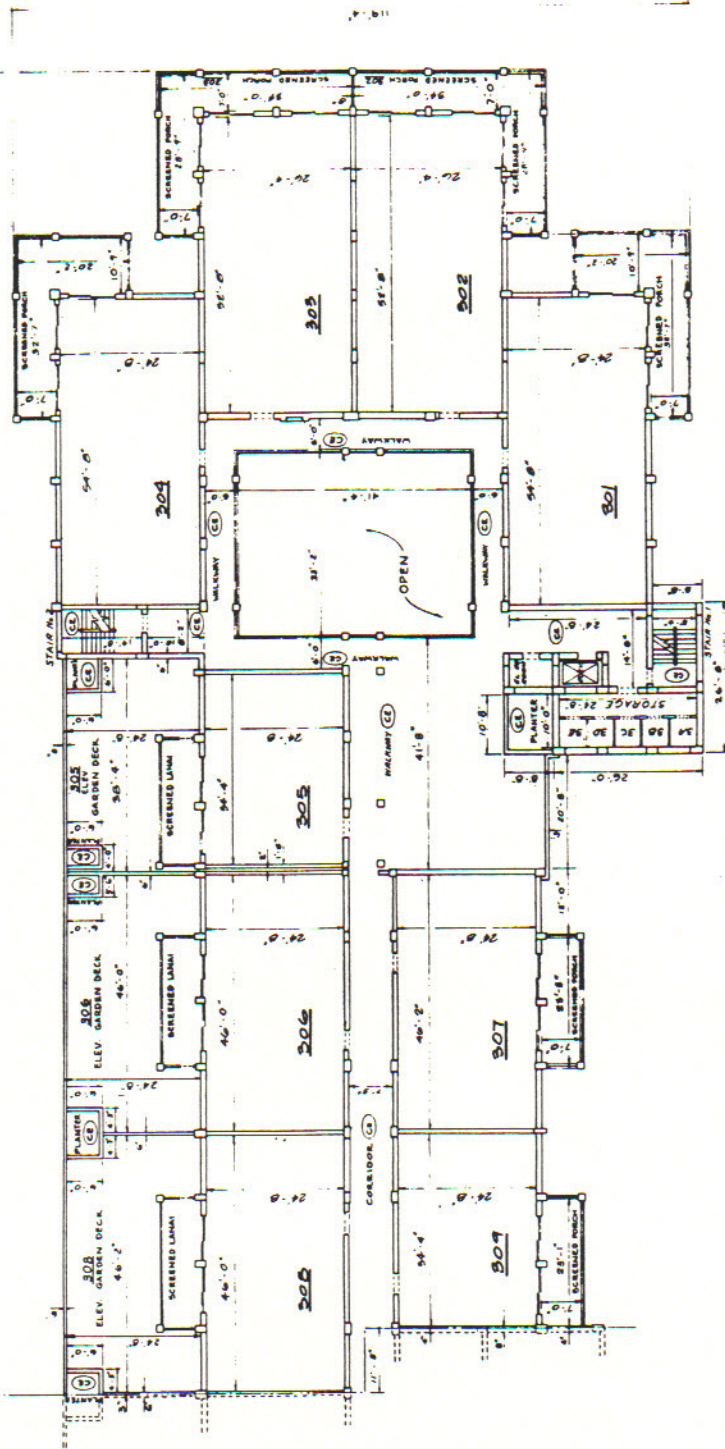
IN SEC. 35, TWP. 36 S., RGE. 17 E.
SARASOTA COUNTY, FLORIDA

CONDOMINIUM BOOK 9, PAGE 506
SHEET 8 OF 16 SHEETS

SHEET 7
MATCH LINE



235'-0"



3RD FLOOR PLAN WEST HALF

NOTE: WALLS ARE 8" THICK UNLESS
OTHERWISE NOTED
1 ELEVATED GARDEN DECK ELEVATIONS ARE
FROM 28.25' M.S.L. TO 36.50' M.S.L. EXTERIOR
BOUNDARIES ARE SHOWN HEREON.

LEGEND
LIMITED COMMON ELEMENTS
COMMON ELEMENTS

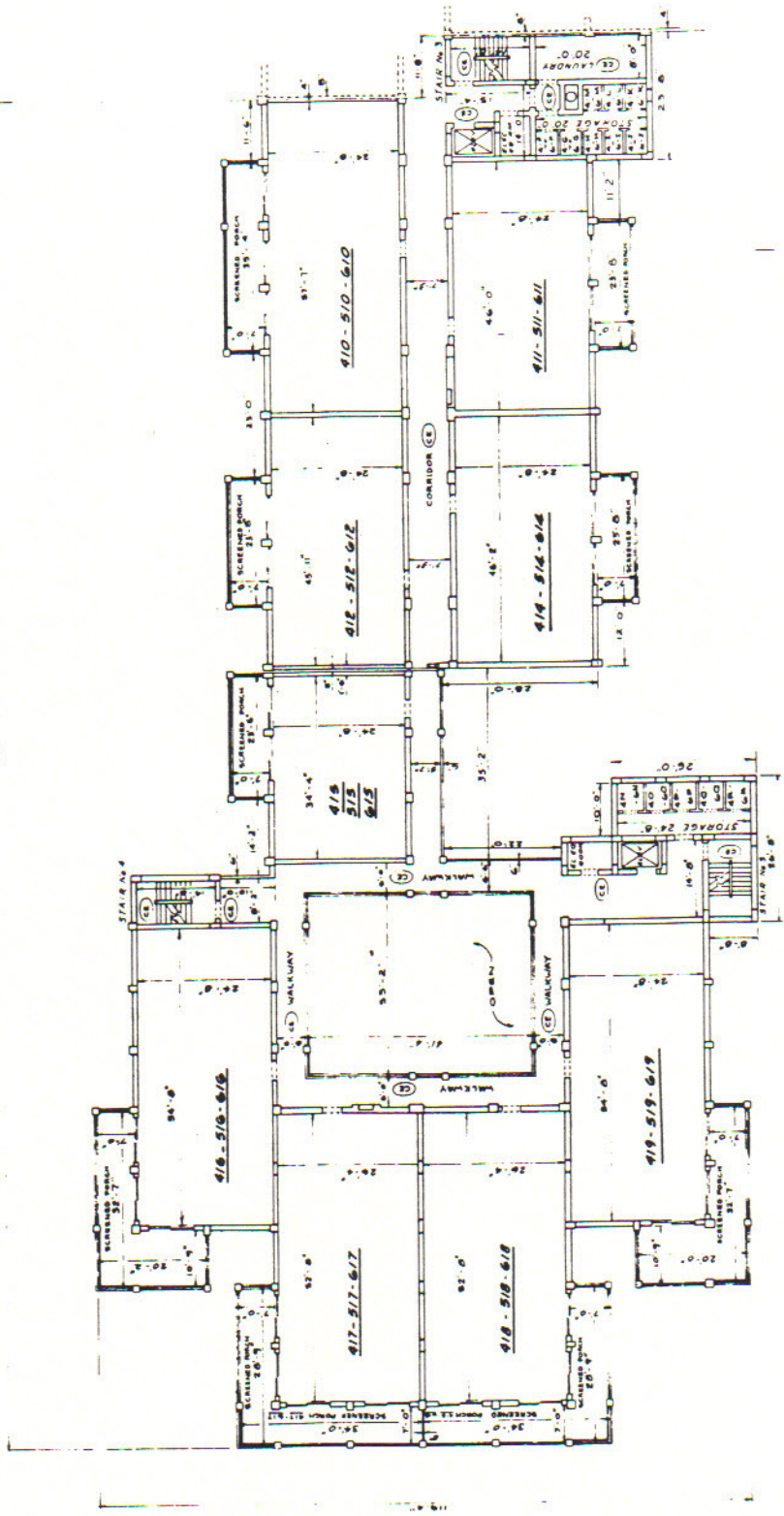
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LIDO SURF & SAND, A CONDOMINIUM
IN SEC. 35, TWP. 36 S., RGE. 17 E.
SARASOTA COUNTY, FLORIDA

MATCH LINE
SHEET 10



247-4



**FOURTH THRU SIXTH FLOOR PLAN
EAST HALF**

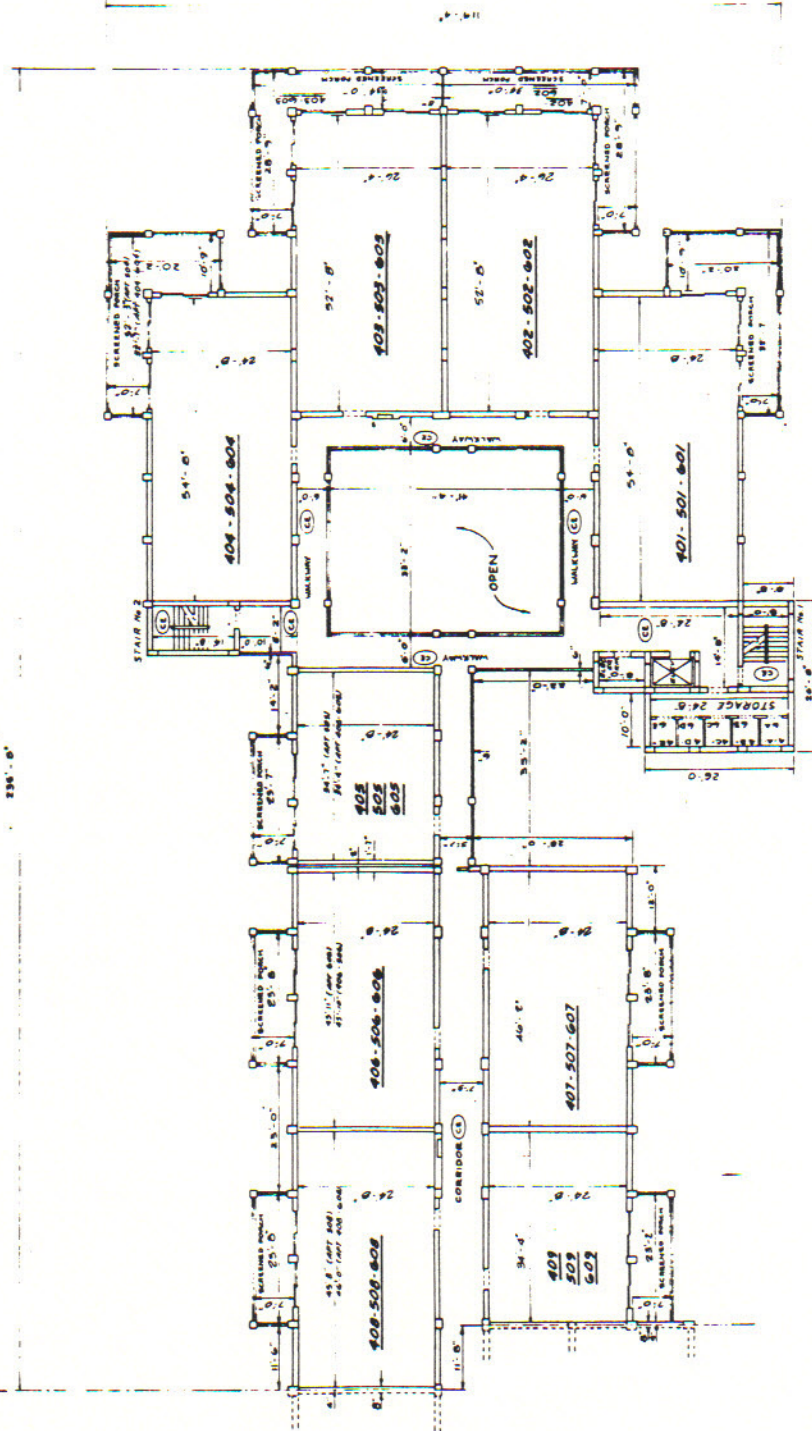
NOTE:
ALL WALLS ARE 8" THICK UNLESS
OTHERWISE NOTED.

LEGEND
LIMITED COMMON ELEMENTS
COMMON ELEMENTS

LIDO SURF & SAND, A CONDOMINIUM
 IN SEC. 35, TWP. 36 S., RGE. 17 E.
 SARASOTA COUNTY, FLORIDA

CONDOMINIUM BOOK 9, PAGE 401
 SHEET 10 OF 16 SHEETS

SHEET 9
 MATCH LINE



**FOURTH THRU SIXTH FLOOR PLAN
 WEST HALF**

NOTE:
 ALL WALLS ARE 8" THICK UNLESS
 OTHERWISE NOTED

LEGEND
 (L) LIMITED COMMON ELEMENTS
 (C) COMMON ELEMENTS

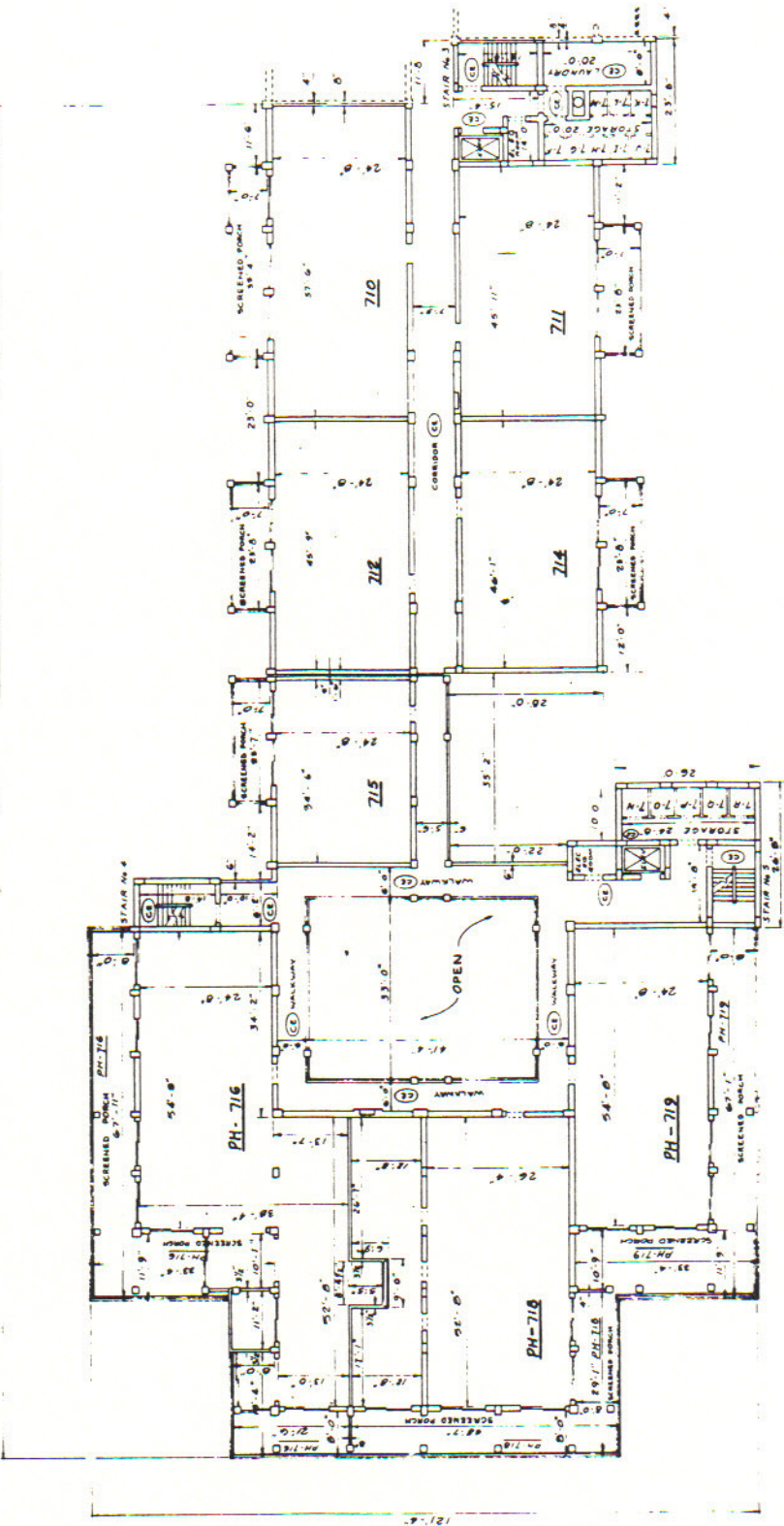
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LIDO SURF & SAND, A CONDOMINIUM
IN SEC. 35, TWP 36 S., RGE. 17 E.
SARASOTA COUNTY, FLORIDA



MATCH LINE
SHEET 12

246'-4"



**7TH FLOOR PLAN
EAST HALF**

NOTE:
ALL WALLS ARE 8" THICK UNLESS
OTHERWISE NOTED

- LEGEND**
- (CC) LIMITED COMMON ELEMENTS
 - (C) COMMON ELEMENTS

LIDO SURF & SAND, A CONDOMINIUM

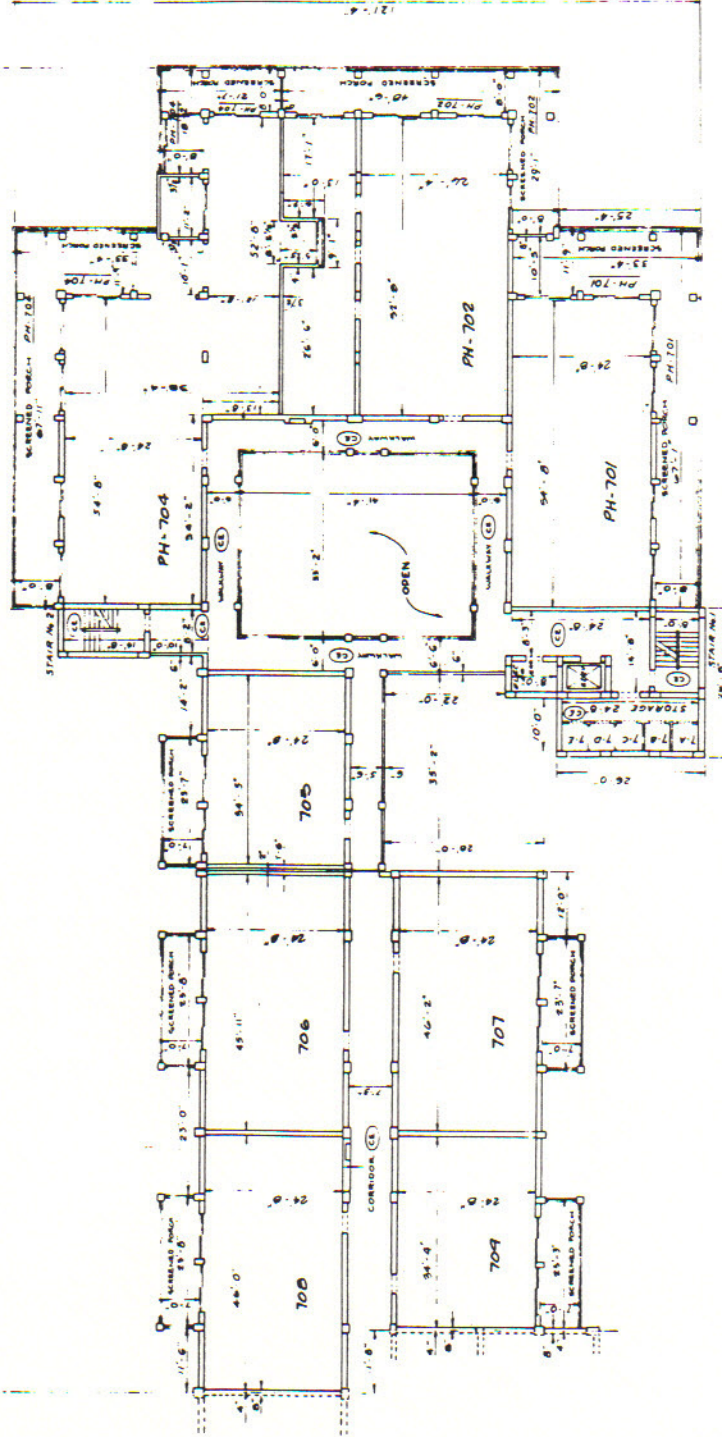
IN SEC. 35, TWP 36 S., RGE. 17 E.
SARASOTA COUNTY, FLORIDA

CONDOMINIUM BOOK 9, PAGE 401K
SHEET 12 OF 16 SHEETS

SHEET 11
MATCH LINE



234'-0"



7TH FLOOR PLAN WEST HALF

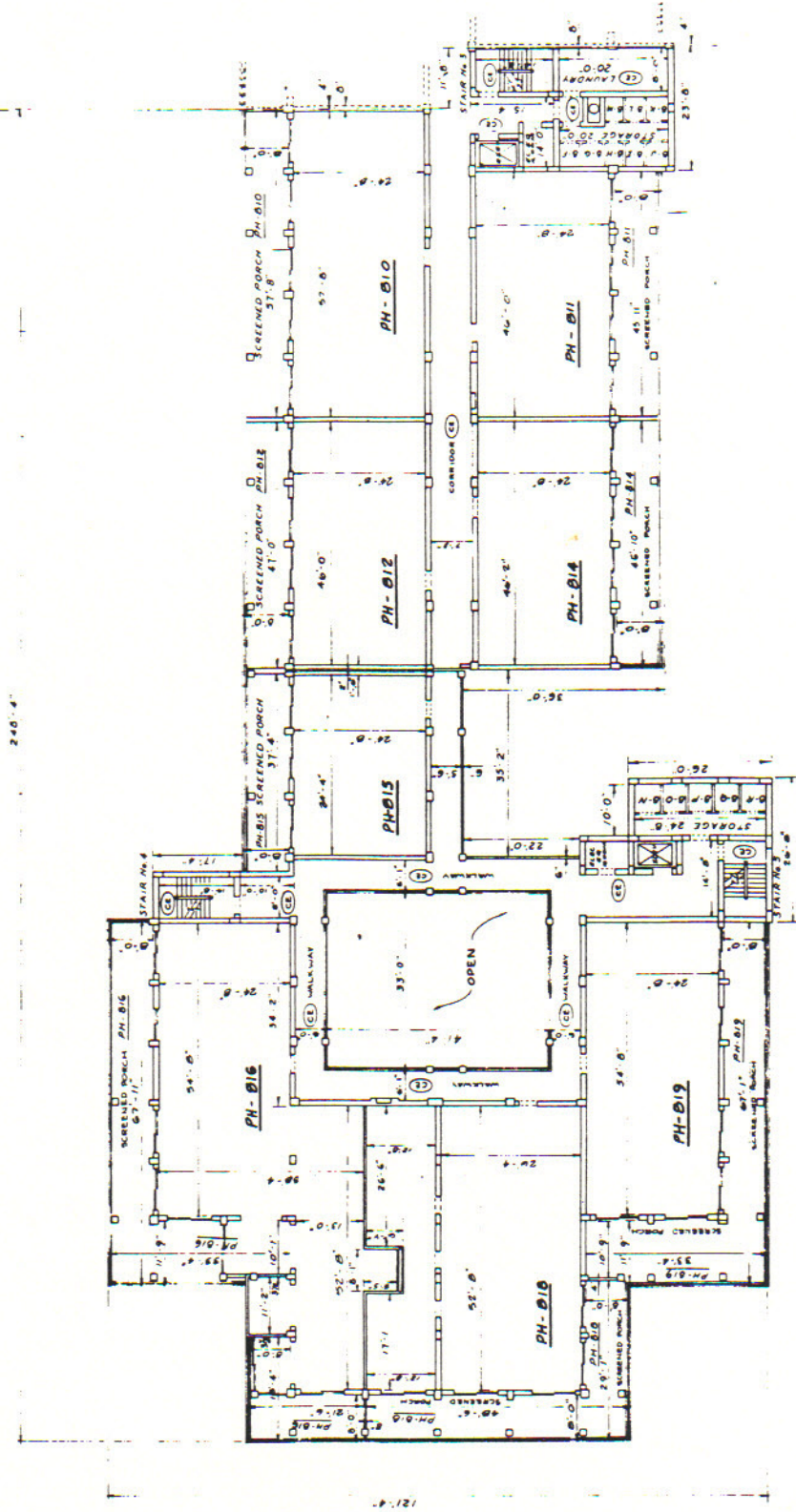
NOTE:
ALL WALLS ARE 6" THICK UNLESS
OTHERWISE NOTED

LEGEND
 (L) LIMITED COMMON ELEMENTS
 (C) COMMON ELEMENTS

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LIDO SURF & SAND, A CONDOMINIUM
IN SEC. 35, TWP. 36 S., RGE. 17 E.
SARASOTA COUNTY, FLORIDA

MATCH LINE
SCALE 1/8" = 1'-0"



**8TH FLOOR PLAN
EAST HALF**

NOTE:
ALL WALLS ARE 8" THICK UNLESS
OTHERWISE NOTED.

LEGEND
LIMITED COMMON ELEMENTS
COMMON ELEMENTS

LIDO SURF & SAND, A CONDOMINIUM

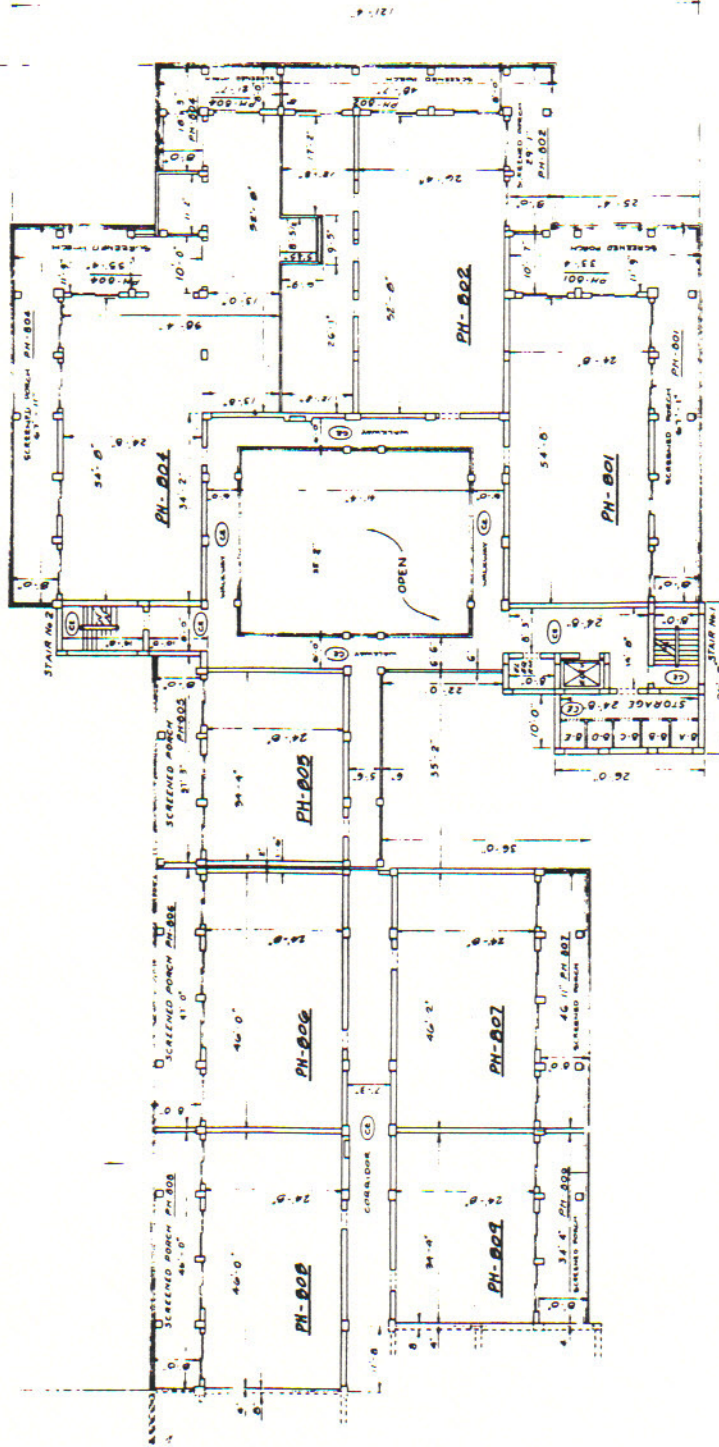
IN SEC. 35, TWP. 36 S., RGE. 17 E.
SARASOTA COUNTY, FLORIDA

CONDOMINIUM BOOK 9, PAGE 40 M
SHEET 14 OF 16 SHEETS

SHEET 13
MATCH LINE



836'-8"



8TH FLOOR PLAN WEST HALF

NOTE:
1. ALL WALLS ARE 8" THICK UNLESS OTHERWISE NOTED.

LEGEND
 (L) LIMITED COMMON ELEMENTS
 (C) COMMON ELEMENTS

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SARASOTA, FLORIDA

LIDO SURF & SAND, A CONDOMINIUM
 IN SEC. 35, TWP. 36 S., RGE. 17 E.
 SARASOTA COUNTY, FLORIDA



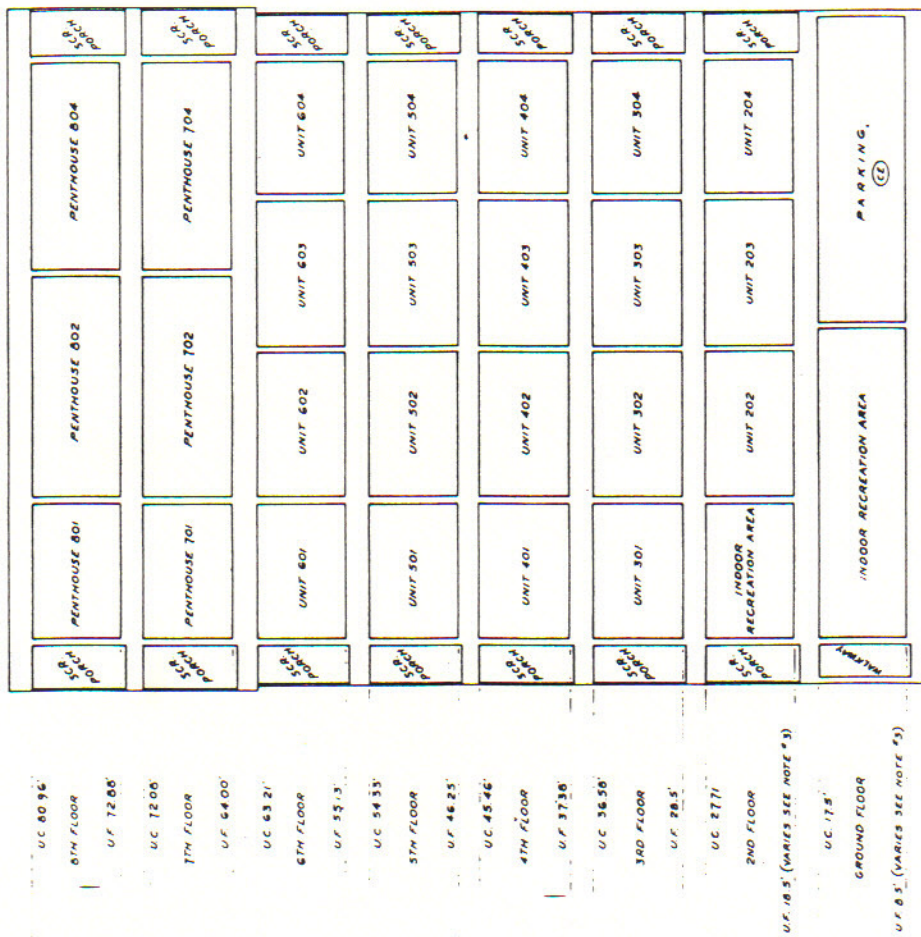
SECTION THRU EAST END
 (LOOKING EAST)
 NOT TO SCALE

SECTION THRU CENTER
 (LOOKING EAST)
 NOT TO SCALE

- LEGEND**
- (CE) LIMITED COMMON ELEMENTS
 - (C) COMMON ELEMENTS
 - UF UNFINISHED FLOOR
 - UC UNFINISHED CEILING

- NOTES**
- 1) ALL ELEVATIONS SHOWN ARE BASED ON 1929 SEA LEVEL DATUM + 0.00 FT.
 - 2) UNFINISHED FLOOR ELEVATIONS OF ALL PORCHES, TERRACES, BALCONIES, AND PATIOS SHALL BE THE SAME AS THE FLOOR ELEVATION FOR ALL FLOORS.
 - 3) FOR DRAINAGE PURPOSES, UNFINISHED FLOOR ELEVATIONS ON GROUND FLOOR VARY FROM 7.3' TO 8.5', AND THOSE OF THE 2ND FLOOR VARY FROM 18.0' TO 18.5'. SEE FLOOR PLANS OF GROUND FLOOR (SHEETS 3 & 4), AND 2ND FLOOR (SHEETS 5 & 6) TO THE 4-SYMBOL.

LIDO SURF & SAND, A CONDOMINIUM
 IN SEC. 35, TWP. 36 S., RGE. 17 E.
 SARASOTA COUNTY, FLORIDA



SECTION THRU WEST END
 (LOOKING EAST)
 NOT TO SCALE

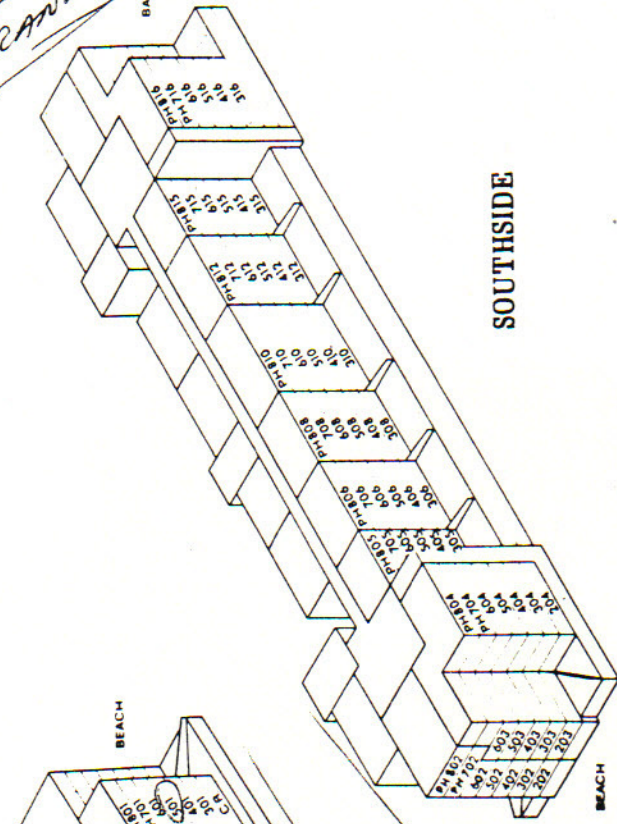
LEGEND

- (L) LIMITED COMMON ELEMENTS
- (C) COMMON ELEMENTS
- UF UNFINISHED FLOOR
- UC UNFINISHED CEILING

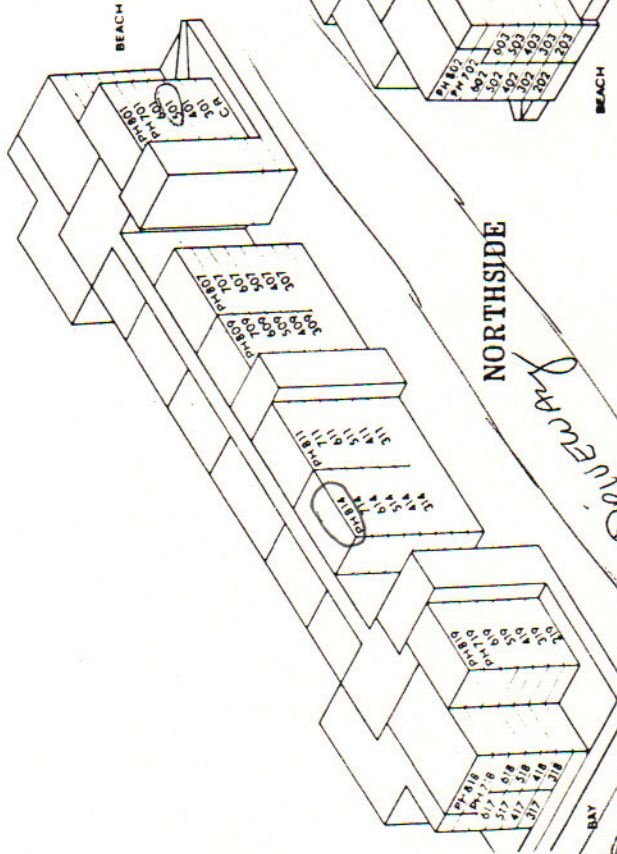
NOTES

- 1) ALL ELEVATIONS SHOWN ARE BASED ON 1989 SEA LEVEL DATUM + 0.00 FT.
- 2) UNFINISHED FLOOR ELEVATIONS OF ALL PORCHES, WALKWAYS, AND OPEN PORCHES ARE 0.25 FEET (3 INCHES) LOWER THAN THOSE SHOWN FOR ALL FLOORS.
- 3) FOR DRAINAGE PURPOSES, UNFINISHED FLOOR ELEVATIONS ON GROUND FLOOR VARY FROM .75' TO .85', AND THOSE OF THE 2ND FLOOR VARY FROM .10' TO .125'. SEE FINISHED FLOOR ELEVATIONS FOR THESE VARIATIONS. ELEVATIONS OF UNFINISHED FLOORS ARE GIVEN NEXT TO THE SYMBOL.

BEN FRANKLIN DR



SOUTHSIDE



NORTHSIDE

DR FRANKLIN DR

Penthouses
 Apt. #806, 807, 811
 Apt. #808, 812, 814 Flopped Version
 2 Bedroom - 2 Bath
 1213 Sq. Ft. Living Area
 373 Sq. Ft. Balcony

Apt. #410 to 710
 3 Bedroom - 2 1/2 Bath
 1516 Sq. Ft. Living Area
 247 Sq. Ft. Balcony



CORRIDOR



SCR. BALCONY

50mm = 15 ft
10m = 10 m.m = 3 ft

1 ft = 3.3 m.m

Penthouses

Apt. #806, 807, 811

Apt. #808, 812, 814 Flopped Version

2 Bedroom - 2 Bath

1213 Sq. Ft. Living Area

373 Sq. Ft. Balcony

UNIT
814 814

CORRIDOR

