

Hu'elani

April - June 2025 Newsletter



A message from Helen Landicho, President

Greetings Folks,

Spring is a beautiful season. The temperatures are ticking up, the days are getting longer, and it is a perfect time to organize the garage, clean out a cabinet, or spruce up the back yard.

The Board completed the House Rules project which was started two years ago when input was solicited by the Hu'elani community. The last hurdle was to incorporate the feedback from legal and approve the final version for publication and dissemination. A copy was recently mailed out to each homeowner by Hawaiiana. The updated House Rules were posted on our website along with the two policies: Fines and Corrections of Violations and Anti-Harassment. A palm tree in the clubhouse area was removed because of extensive damage by the coconut rhinoceros beetles and next a termite infestation. Keep checking your palm trees in your backyards for evidence of pest infestation and act if discovered.

There have been reports from the community regarding the condition of the road, especially in sections of the Launalele portion of the development. In October of 2024, the Board had the slurry coating (thin layer of asphalt) quoted to be able to more accurately budget the road projects. What we learned is that based on the condition of our roads, a slurry seal (\$150k) would not last more than 12-months and it would be best to sweep (\$1.4k) and patch in spots. It was decided to push the \$150K slurry seal off and apply those funds to pave (\$575k) which is in the budget for 2031. Generally, an application of slurry seals every 6-9 years can extend the life of the road, yet eventually the roadway needs to be repaved. Recognizing that the previous slurries are crumbling off in bits and chunks, we will have to assess the condition of the roadway again in 2026 to determine if we can continue sweeping and patching until the repaving, or we have to repave earlier than forecasted. For reference, the original road was laid in 2003 and the last slurry seal applied in 2020.

The management of our community takes volunteers. Robert Tremmel did an outstanding job refinishing the cabinet in the covered area of the pool deck.

Robert repaired the pool gate, changed switches for the ceiling fans, capped the valve for the ice maker in the rental unit, and put up the new Parking signs. Mark Magna installed the ceiling fans. A shout out goes to Jerry Denis, Sam Jones and Kellie Mikesell for continuing to monitor the pH and chlorine levels of the water in the spa and pool. The property runs smoothly with the help of volunteers. Please consider volunteering your time as the needs arise. Coming soon, there will be opportunities posted on the Community Facebook page.

Kind regards,
Helen

Changes to Fob Use

Due to subset of owners whose maintenance fee accounts are in serious arrears, the board has exercised the option to deactivate all key fobs/key cards to any owner that is six months behind on their account. A letter will go out notifying the owner that deactivation will take place in fifteen days unless the account is paid in full. Once the account is made whole, the key fob/key cards will be reactivated.

Celebrating Graduates

Graduation season is almost here. Hu'elani would like to celebrate with the parents, grandparents, spouses or proud sponsors. Preschool, kindergarten, middle school, high school, college, promotion, retirement, training program, you've worked hard and we want to recognize and celebrate with you.



Send Name, brief bio, plans for the next steps and photo to Kellie for publication in the next newsletter.



Social Committee

Jennifer Prais, Social Committee Chair

It's a beautiful day in the neighborhood! We have a new **Facebook group** This is a great place to find updates about social events as well as connect with neighbors and resources. Are your kids having a fundraiser? Do you need a referral for a window company? A plumber? Solar? Are you seeking a babysitter or dog watcher? This is the place

to connect. It is private so you must request to join allowing us to keep it just community members. Please be advised this is not the avenue for complaints and doing so will mean removal from this community page. Thank you and we'll be seeing you soon!



Happy Easter! Come join us for an Easter Egg hunt on Saturday April 19th. Egg hunt to start shortly after 09:00am.

Light breakfast and drinks provided.

We need volunteers to help make this event happen!

Looking for:

One volunteer to be Easter Bunny for about 30 minutes at approximately 9:45.

Costume provided.

Please note, Kellie will be present to guide cleanup.

Please note, food and beverage purchases will be reimbursed.

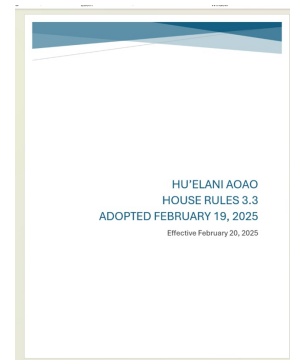
If you can volunteer your

time, please reach out to our **Site Manager**

New House Rules Version 3.3

The updated House Rules are online on our website. They have also been mailed to your home. If you did not receive them please contact Kellie. There are some big changes including pets, alcohol and smoking in the Recreation Center.

The House Rules has been a project in the works since 2022, Sam Jones coordinated input from our Homeowners. The comments were collated and incorporated into a working document by Luella Windisch. The draft was reviewed extensively by the Board

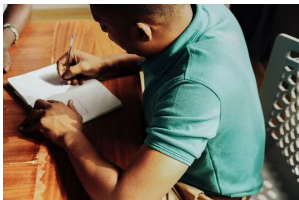


through 2023 and into 2024 where more refinement took place.. The Board, after agreement on the language, had the House Rules reviewed by Hawaiiana Legal in June of 2024.

The House Rules had to be revised again to incorporate the legal comments where the Board tried to relax the policy on Pets, but it was in conflict with the Bylaws, and to incorporate legal advice. The Fines and Corrections of Violations Policy was suggested to be separated from the House Rules to a stand alone policy. Legal also suggested the adoption of an Anti-Harassment Policy. Hence the inclusion of both policies with the House rules.

The previous Fines and Correction of Violations Policy read like a multi-revised legal contract and contained a policy on how to cut off an owner's electricity as well as other services. The tone of the Policy was revised to read and mesh with the House Rules. The extra policy on how to shut off someone's services including their electricity was not carried forward.

The Anti-Harassment Policy was suggested by legal. We were advised to have the policy on file. When/if there is a complaint, we are to investigate and document for our records. The legal system should be involved by the parties of the dispute. Domestic disputes are outside the scope of the Board's purview.



Projects in Hu'elani

The Board of Directors continues to prioritize budgeted items and develop plans to upgrade common areas as needed.

Projects or pending 2025

- 1- Phase 4 power washing scheduled for July 7th-11th
- 2- Road sweep, patched if needed
- 3- Spa autofill replacement
- 4- Updated Swimming Pool sign
- 5- Camera System upgrades
- 6- Lanai Repairs

Completed Projects in 2025

- 1- House Rules updated.
- 2- CRB damaged tree removed common area
- 3- Storm damaged 2 homes roof repaired
- 4- Entrance and Exit gate upgraded with safety edge

- 5- Visitor Parking Signs repair
- 6- PH Probe replaced for pool chemical feeder
- 7- Pool Light deep end replaced
- 8- Lower Lanai cabinet refurbished
- 9- Lower Lanai ceiling fans replaced
- 10- One (1) Spice Tree and 1 Coconut tree removed
- 11- Exterior Carpentry Repairs

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