

Friendship Station

Homesite #434

Hyde Park – A Garage

Right - Interior Unit



Hyde Park / Kensington – B

(Sample picture of finished home. Future homes may vary in appearance and will have different exterior color packages. See Exterior Color Package for Homesite Specific Colors)

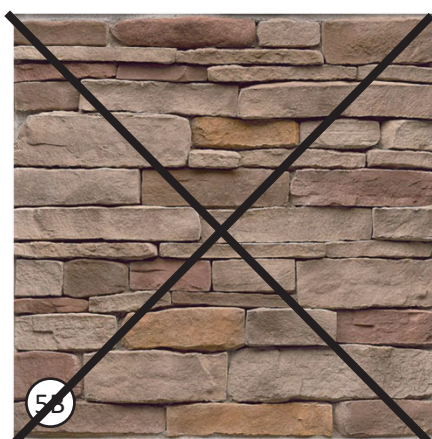
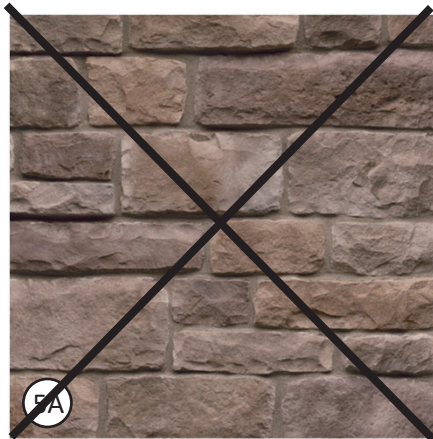
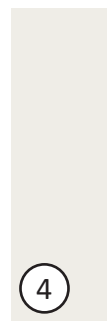


EXTERIOR COLOR PACKAGE #3012

BUYER _____

LOT/COMMUNITY 434 FS

HOME PLAN HYDE PARK A



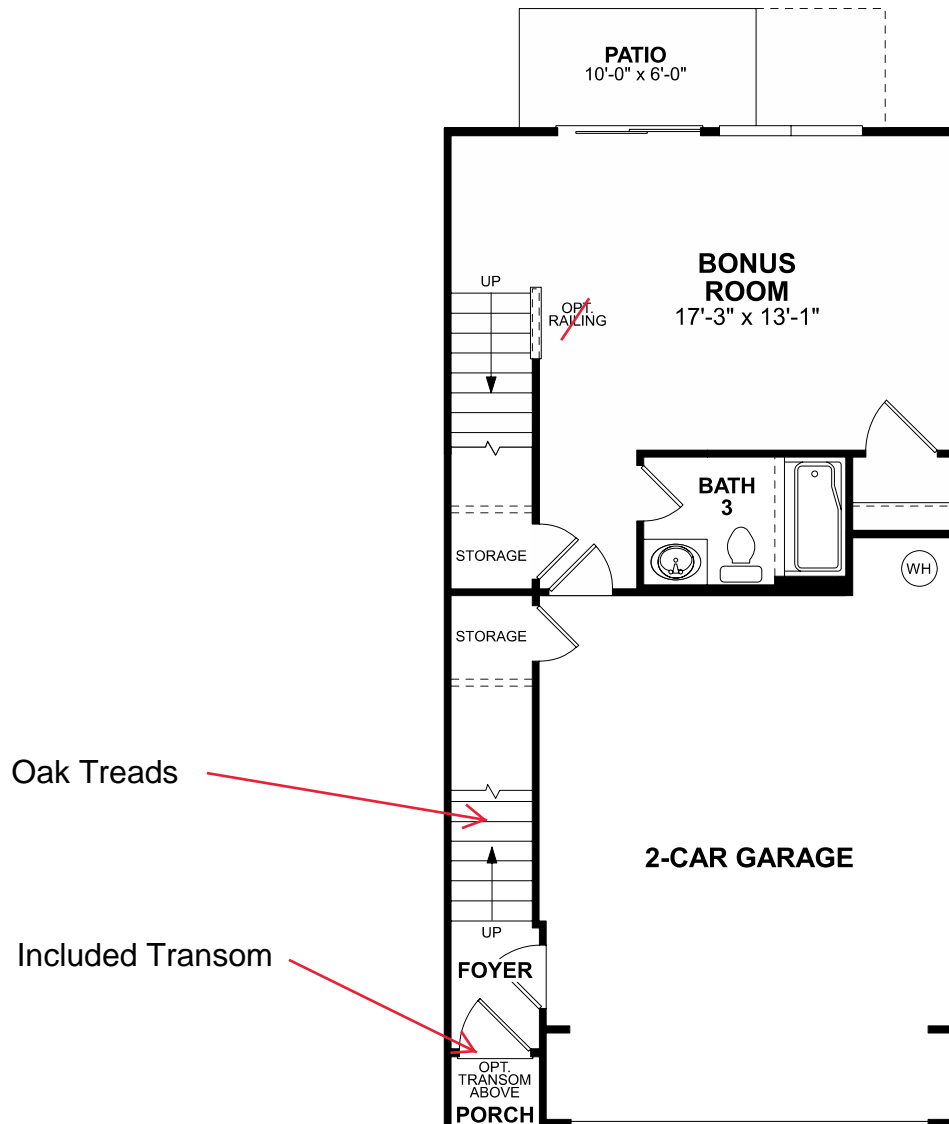
1. ROOF SHINGLE: WEATHERED WOOD
2. SIDING AND FLAT PANEL: AUSTERE GRAY SW6184
3. SHAKE AND BOARD & BATTEN: ESCAPE GRAY SW6185
4. TRIM AND GARAGE DOOR: PURE WHITE SW7005
- ~~5A/5B. STONE: BUCKTOWN HERITAGE OR CHARDONNAY LEDGESTONE~~
- ~~5C. BRICK: DOYLEAN HEIGHTS~~
6. FRONT DOOR: TRICORN BLACK SW6258
- ~~7. SHUTTERS: BLACK 002~~
8. GUTTERS: LO GLOSS WHITE
9. WINDOWS: WHITE
10. OPTIONAL METAL ROOF: DARK BRONZE



M/I HOMES REPRESENTATIVE SONNI WILSON

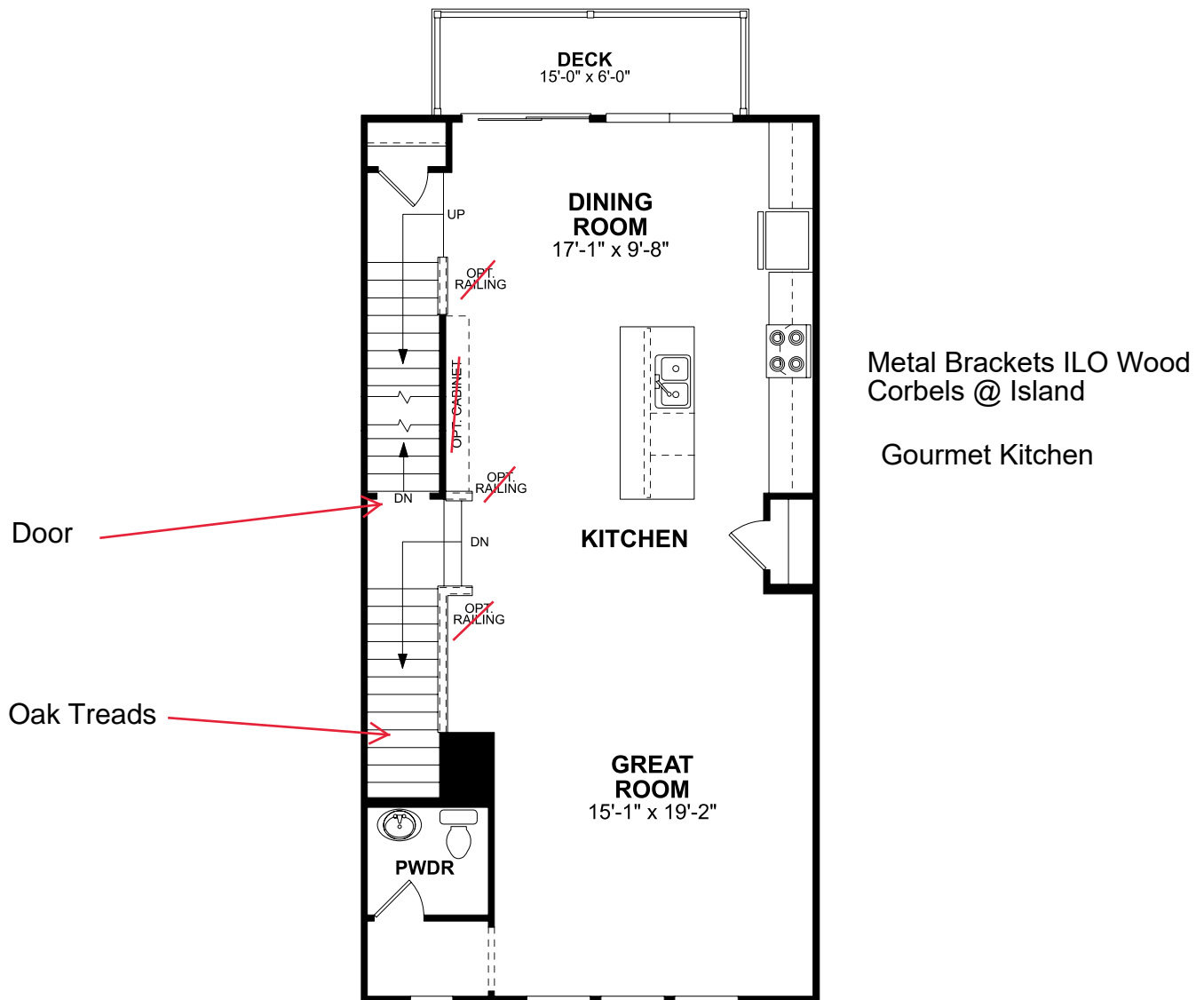
DATE 6/14/2022

FS - 434
Elevation - A
Garage Right



Selected Options:
Unselected Options: Bedroom #4/Bath 3

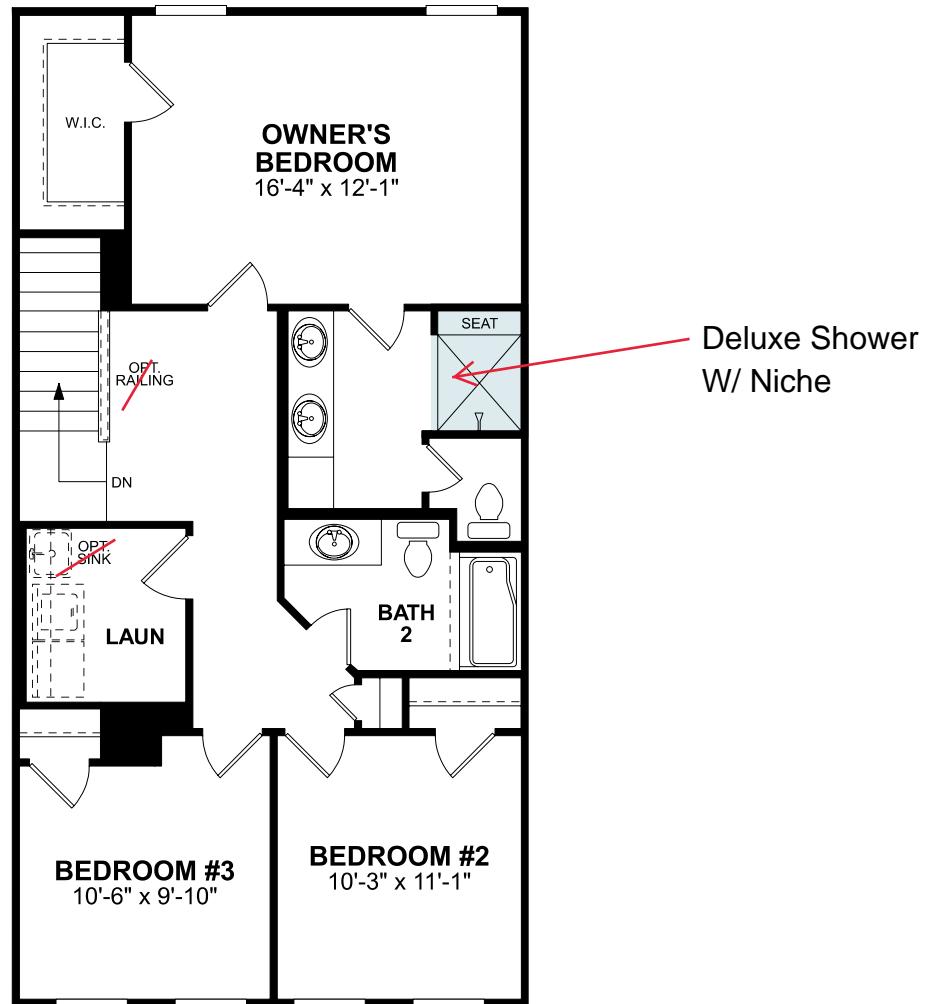
Hyde Park - Second Floor



Selected Options:

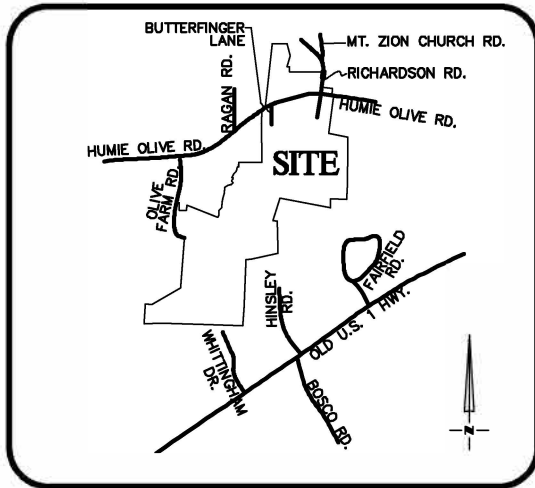
Unselected Options: Gourmet Kitchen, Fireplace, Covered Deck, Screened Deck, Elevation B, End Unit, Right End Unit, Elevation C

Hyde Park - Third Floor

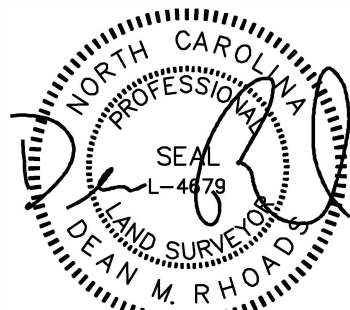


Selected Options: Deluxe Owner's Shower

Unselected Options: End Unit, Owner's Bedroom 2, Owner's Bedroom 2 Deluxe Shower

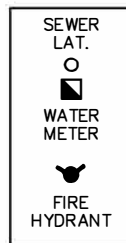


VICINITY MAP
Not To Scale



SETBACKS: (BM 2022, PG 642-648)

FRONT - 15'
SIDE - 5'
SIDE (CORNER) - 10'
REAR - 15'
DRIVEWAYS (SIDEWALK TO GARAGE) - 20'
RCA - 10'



LOT 431	
IMPERVIOUS SURFACE AREA	
DESCRIPTION	AREA
HOUSE w/ PORCH	917 S.F.
PATIO/HVAC	69 S.F.
DRIVEWAY & WALKS	334 S.F.
TOTAL (PROPOSED) =	1,320 S.F.
LOT AREA =	2,276 S.F.
% IMPERVIOUS AREA	=58.0%

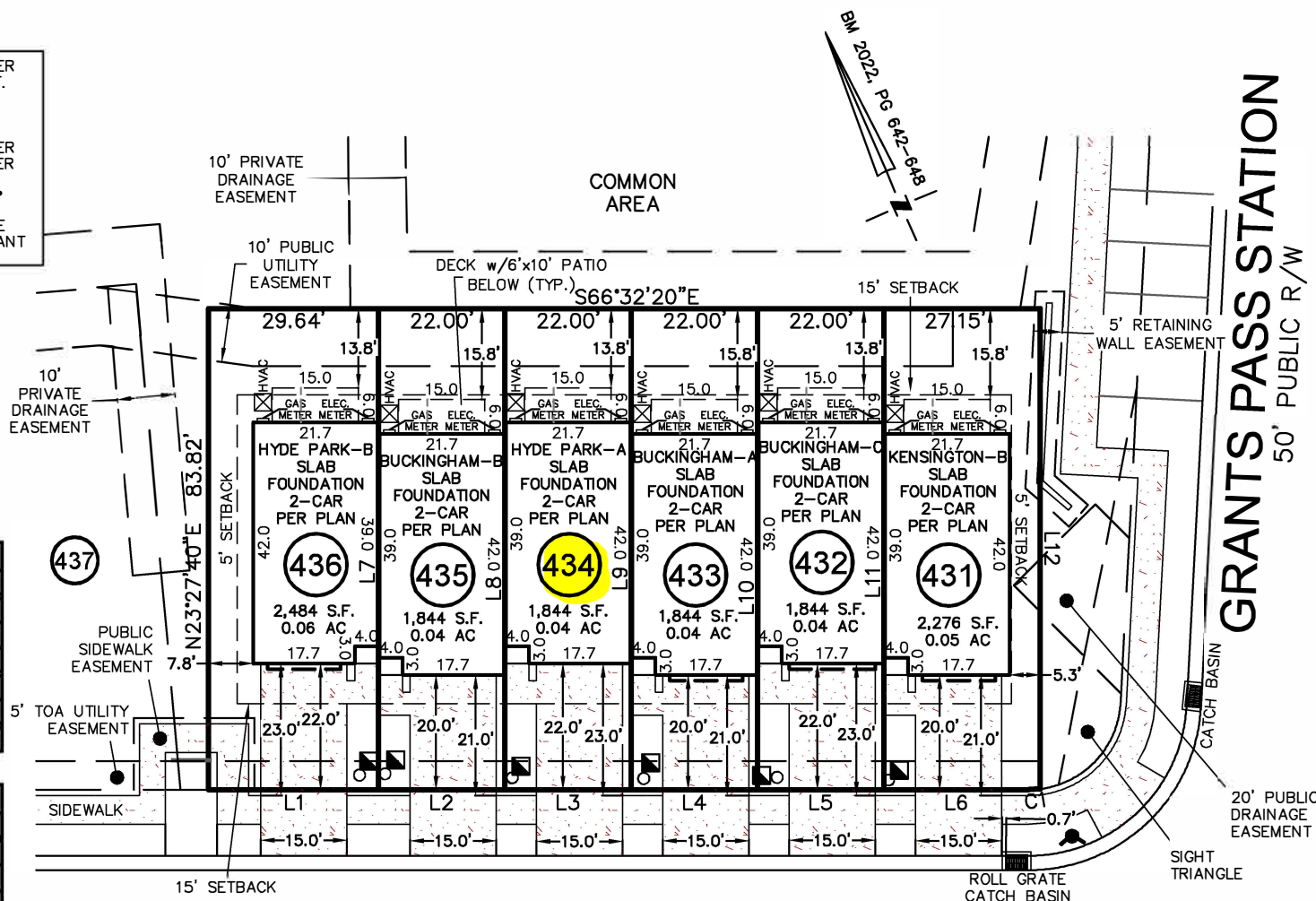
LOT 434	
IMPERVIOUS SURFACE AREA	
DESCRIPTION	AREA
HOUSE w/ PORCH	924 S.F.
PATIO/HVAC	69 S.F.
DRIVEWAY & WALKS	364 S.F.
TOTAL (PROPOSED) =	1,357 S.F.
LOT AREA =	1,844 S.F.
% IMPERVIOUS AREA	=73.6%

LOT 432	
IMPERVIOUS SURFACE AREA	
DESCRIPTION	AREA
HOUSE w/ PORCH	924 S.F.
PATIO/HVAC	69 S.F.
DRIVEWAY & WALKS	364 S.F.
TOTAL (PROPOSED) =	1,357 S.F.
LOT AREA =	1,844 S.F.
% IMPERVIOUS AREA	=73.6%

LOT 435	
IMPERVIOUS SURFACE AREA	
DESCRIPTION	AREA
HOUSE w/ PORCH	924 S.F.
PATIO/HVAC	69 S.F.
DRIVEWAY & WALKS	334 S.F.
TOTAL (PROPOSED) =	1,327 S.F.
LOT AREA =	1,844 S.F.
% IMPERVIOUS AREA	=72.0%

LOT 433	
IMPERVIOUS SURFACE AREA	
DESCRIPTION	AREA
HOUSE w/ PORCH	924 S.F.
PATIO/HVAC	69 S.F.
DRIVEWAY & WALKS	334 S.F.
TOTAL (PROPOSED) =	1,327 S.F.
LOT AREA =	1,844 S.F.
% IMPERVIOUS AREA	=72.0%

LOT 436	
IMPERVIOUS SURFACE AREA	
DESCRIPTION	AREA
HOUSE w/ PORCH	917 S.F.
PATIO/HVAC	69 S.F.
DRIVEWAY & WALKS	364 S.F.
TOTAL (PROPOSED) =	1,350 S.F.
LOT AREA =	2,484 S.F.
% IMPERVIOUS AREA	=54.3%



AUSTIN FALLS STATION

50' PUBLIC R/W



SCALE: 1" = 30'

RESIDENTIAL LAND SERVICES, PLLC.

1917 Evans Road
Cary, North Carolina 27513
Phone (919) 378-9316
Firm License # P-0873

HOUSE LOCATION PLOT PLAN

FOR

#2810, #2808, #2806, #2804, #2802, & #2800 **AUSTIN FALLS STATION**

LOTS 431-436, FRIENDSHIP STATION, SECTIONS 4-6, PHASE 2

Buckhorn Township, Wake County, North Carolina

PROPERTY OF: M/I HOMES

PLAT BOOK 2022 PAGE 642-648

DRAWN BY: JLS

DATE: JUNE 13, 2022

LINE	BEARING	DISTANCE
L1	N66°32'20"W	29.64'
L2	N66°32'20"W	22.00'
L3	N66°32'20"W	22.00'
L4	N66°32'20"W	22.00'
L5	N66°32'20"W	22.00'
L6	N66°32'20"W	25.19'
L7	N23°27'40"E	83.82'
L8	N23°27'40"E	83.82'
L9	N23°27'40"E	83.82'
L10	N23°27'40"E	83.82'
L11	N23°27'40"E	83.82'
L12	S23°27'40"W	83.70'

CURVE	RADIUS	ARC LENGTH	CH LENGTH	CH BEARING
C1	16.0	1.96'	1.96'	S 70°03'15" E

THIS PROPERTY MAY BE SUBJECT TO ANY AND ALL APPLICABLE DEED RESTRICTIONS, EASEMENTS, RIGHT-OF-WAY, UTILITIES AND RESTRICTIVE COVENANTS WHICH MAY BE OF RECORD OR IMPLIED

THIS DRAWING DOES NOT
REFLECT AS-BUILT INFORMATION

PRELIMINARY PLAT
NOT FOR RECORDATION, CONVEYANCES, OR SALES.

Smart Series

Diamond Collection C



*Subject to change without notice. Contact NHC for details.

Smart Series

Diamond Collection C



*Subject to change without notice. Contact NHC for details.

Kitchen

Cabinets	Barnett Duraform Linen (L2)
Hardware	Doors Classic Knob 3173SN & Drawers Classic Pull 3172SN
Counter	Steel Gray granite (L2) w/ Square Edge
Backsplash	4 x 16 Color Wheel Arctic White 0190 (L3) w/44 Bright White grout
Installation	1/3 Staggered Pattern
Sink	Stainless Single Bowl AS333
Faucet	Brantford 7185 SRS

Owner's Bath

Vanity	Barnett Duraform Linen (L2)
Counter	Steel Gray granite (L2) w/ Square Edge
Floor Tile	12" Cabris Iron CS23 (L2) w/ 89 Smoke Gray Grout
Installation	Straight Set
Wall Tile	12" Cabris Iron CS23 (L2) w/ 89 Smoke Gray Grout
Installation	Straight Stacked
Sink	White Rectangle Undermount
Faucet	Brantford Chrome 6610
Shower Enclosure	Semi-Frameless (Included)
Shower Seat	Ivory White (per plan)

Secondary Baths

Vanity	Barnett Duraform Linen (L2)
Counter	White w/ Ice Gray (Included cultured marble)
Floor Tile	12" Cabris Iron CS23 (L2) w/ 89 Smoke Gray Grout
Installation	Straight Set
Sink	Integrated Oval Bowl
Faucet	Brantford Chrome 6610

Powder Room

	(per plan)
Sink	Pedestal Sink (Included)
Faucet	Brantford Chrome 6610

Hard Flooring

Laminate-Timber Collective Silver Shadow (L2)

(Foyer, Great Room, Kitchen/Dining, Mudroom/Garage Entry, & Powder Room)

Carpet

Cushion Aberdeen Street II-Crystal Ball (L1)

7/16" Bonded Urethane-6#

Laundry

Floor Tile	12" Cabris Iron CS23 (L2) w/ 89 Smoke Gray Grout
Installation	Straight Set
Laundry Sink	Fiberglass, if R/I is purchased
Faucet	Chateau Chrome 7437

Light Fixtures

Owner's Bath	Chrome with Swirl Alabaster Glass SL75834 (Included)
Secondary Baths	Chrome with Swirl Alabaster Glass SL75824 (Included)
Island Pendant	Rutherford Brushed Nickel 57050/1

Wall Paint	First Star
Trim Paint	White

*** All items and finishes may not be applicable to all plans


Gourmet Kitchen Appliance Package Selection

Gourmet Kitchen - Family Appliance
Package (Stainless)




GE® 30" Combination Double Wall Oven (Stainless Steel)

by GE



GE® Top Control with Stainless Steel Interior Door Dishwasher with Sanitize Cycle & Dry Boost

by MI Homes Raleigh



GE Profile™ 30" Built-In Gas Cooktop with 5 Burners

by MI Homes Raleigh



Tapered Wood Range Hood

by MI Homes Raleigh

Washer, Dryers, and Refrigerator Are Not Included



Interior Finishes

Product Information

Cabinets

There are 3 categories of cabinets – stained, painted, and Duraform/Purestyle. The translucent finish of stained cabinets shows the wood's natural grain pattern and texture. 2 pieces of wood are never exactly alike, even when cut from the same tree. Differences in growing conditions will induce color and grain variations. Stain colors will vary between doors and drawers. A slight variation of color or natural streaking will not result in a door or drawer replacement. Painted cabinets are available in several colors and will hide grain variations, although joint separation may be more visible. Both Duraform and Purestyle are trademarked processes that bond a coating to a medium density fiberboard to achieve stability, consistency, and ease of cleaning. Samples shown during the sales process will indicate the *general* finish color of the cabinets installed in your home. All of these cabinet categories are susceptible to scratches and surface damage.

Granite and Quartz

Granite is a natural stone; each slab will have its own unique markings and veining patterns. Granite contains fissures (small hairline veins), inclusions (irregular mineral concentrations of color), and pits (tiny holes); none of which will affect the integrity of the countertop. Quartz is a combination of manmade and natural materials, creating a non-porous product. No two pieces of stone are identical, such as the pieces that make up a kitchen. Your countertop or pieces within the countertop will not be replaced due to color, pattern, or texture variation. Samples shown during the sales process will indicate the *general* color, pattern, and texture of the stone and will most likely vary from the countertops installed in the home. This variation is normal and to be expected. Countertops will not be replaced due to variation from the samples. Each slab of granite and quartz will differ in size; thus, seams may be required. Color coordinated epoxy is used to form the seams. It is possible to find some minor "flakes or chips" on the seam edges due to the hardness of materials. It is not possible to guarantee a match in color or veining when seaming materials. Seam placement is at the discretion of the fabricator.

Laminate Flooring

Laminate combines the look and feel of hardwood with scratch resistant technology. Mohawk® laminate is commonly known as 'RevWood.' The embossed top layer has an aluminum oxide coating to assist with resisting scratches; however, RevWood is not scratch proof.

Engineered Hardwood

Engineered wood adds character and personality to a home. Wood species will have differing characteristics that are a result of the soil, light, and moisture level during the growth of the tree. Slight variations in color, texture, and grain between wood planks, even those installed alongside each other, are normal and part of the natural beauty. Expansion and contraction of the planks is to be expected with temperature changes. Caution should be used when moving furniture or appliances on wood floors. High-heeled shoes and pets' nails may also damage the floor. Any of these types of damage are not covered by the builder or manufacturer's warranty. Felt furniture glides are always recommended.

Tile

Tile is durable, environmentally friendly, and can last decades. A certain degree of shade variation is inherent in all ceramic and porcelain tile. Sizes of tile will vary slightly, too. For example, a tile that is referred to as a 12" x 12" tile may actually be slightly smaller or larger than 12." Although tile is durable, cracking and chipping are possible. Grout is porous; therefore, it is recommended to apply a grout sealer.

Carpet

Carpet provides warmth and softness to any room. The majority of carpet is produced in 12-foot widths, requiring a seam in most rooms. The seam will be determined by flooring professionals based on the size of the cut or roll of carpet. The visibility of seams will vary based on texture, colors, and lighting. When a piece of carpet is bent, such as on a stair tread, the backing may be visible. "Shedding" is a normal occurrence in new carpet, this release of fibers is to be expected, the carpet is not defective. New carpet has a distinct odor that is proven to have no harmful health effects. The smell will dissipate in a short time.

Oak Treads/Handrails

A 100% color match to other woods or imitation woods when staining stair elements made of natural wood, such as treads and handrails, is not achievable. Color variations between the hard-surface flooring and stair treads/handrails is to be expected. Due to the natural variation in wood, each piece will have a variation in how it accepts the finishing process. Therefore, there is no way to assure the exact color of wood when stained.



M/I HOMES

P/W FAN PREWIRE (5)

 LED SURFACE MOUNT (4)

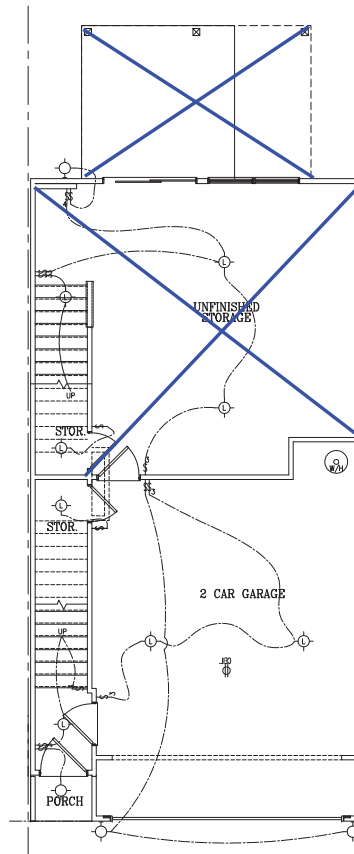
 PENDANT LIGHTS (3)

 ETHERNET (2)

 CABLE JACK (4)

 110V OUTLET (2)

HDMI HDMI PREWIRE (2)
*INSTALL 110V OUTLET ABOUT 60" AFF
& TERMINATE BY CABLE



1ST FLOOR ELECTRICAL PLAN











SCALE: 1/4"=1'-0" ON 22x34 AND 1/8"=1'-0" ON 11x17

©2019 M/I HOMES, INC.	MASTER ISSUE DATE:
	12/11/18
	DO NOT SCALE PRINTS. CONSTRUCTION SHALL BE PER INDICATED DIMENSIONS ONLY. ANY DISCREPANCIES TO BE REPORTED TO M/I HOMES FOR CLARIFICATION.
	LATEST REVISION DATE:
	05/28/22
	SUB NAME
	LDT# -
	__/__/__



HYDE PARK
GARAGE - RIGHT
1ST FLOOR ELECTRICAL PLAN - ELEV. 'A'

SHEET #
6.10

ELECTRICAL LEGEND	
OUTLET & SWITCH LOCATION WILL BE PER CODE AND MAY VARY FROM LOCATIONS	
	STANDARD SWITCH
	3 WAY SWITCH
	4 WAY SWITCH
	110 VOLT OUTLET
	CEILING FAN PICTURE
	CEILING MOUNTED LIGHT FIXTURE
	WALL MOUNTED LIGHT FIXTURE
	2 WAY FLOOD LIGHT
	EXHAUST FAN
	SMOKE DETECTOR

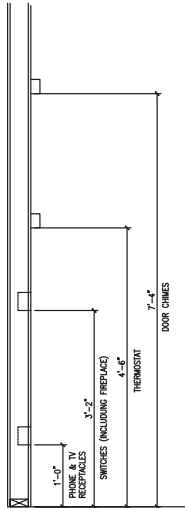
NOTE:
THIS PLAN SHOWS LIGHTING AND LIFE SAFETY ITEMS ONLY. CONVENIENCE
OUTLETS ARE PLACED IN FIELD BY ELECTRICAL CONTRACTOR BASED ON
REQUIREMENTS OUTLINED IN THE NATIONAL ELEC CODE.

GENERAL POWER AND LIGHTING NOTES:

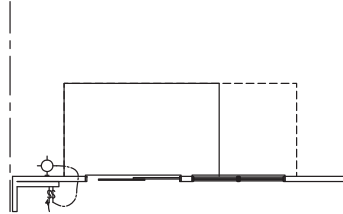
GENERAL POWER AND LIGHTING NOTES SHALL APPLY UNLESS NOTED
OTHERWISE ON PLANS. ALL WORK SHALL BE INSTALLED PER THE 2018 NC
RESIDENTIAL BUILDING CODE, AND THE NATIONAL ELECTRIC CODE. ALARM
DEVICES SHALL MEET NFPA 72.

- SMOKE ALARMS** - SHALL BE PROVIDED AS A MINIMUM OF (1) PER
FLOOR, INCLUDING BASEMENTS (IF APPLICABLE), (1) IN EACH SLEEPING
ROOM, AND (1) OUTSIDE EACH SLEEPING AREA, WITHIN THE IMMEDIATE
VICINITY OF SLEEPING ROOMS. WHEN MORE THAN ONE ALARM IS REQUIRED,
THE ALARM DEVICES SHALL BE INTERCONNECTED IN SUCH A MANNER THAT
THE ACTIVATION OF ONE ALARM WILL ACTIVATE ALL OF THE ALARMS. SMOKE
ALARMS SHALL BE HARD WIRED TO PERMANENT POWER AND SHALL HAVE
BATTERY BACK-UPS.
- SWITCHES** - FOR LIGHTING, FANS, ETC. SHALL BE INSTALLED AT
HEIGHTS ILLUSTRATED ON THIS PAGE AND SHALL BE LOCATED A MINIMUM
OF 4" FROM DOOR OPENINGS TO ALLOW FOR THE PROPER INSTALLATION
OF DOOR CABINETS, SWITCHES, THERMOSTATS, SECURITY PADS AND OTHER
SIMILAR DEVICES SHALL BE GROUPED TOGETHER AND INSTALLED
THOUGHTFULLY FOR CONVENIENCE OF USE AND TO AVOID PLACEMENT WITHIN
CENTERS OF WALL AREAS.

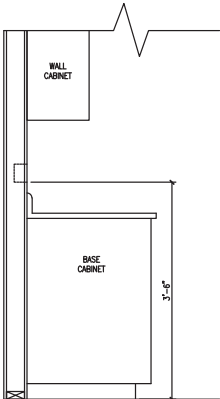
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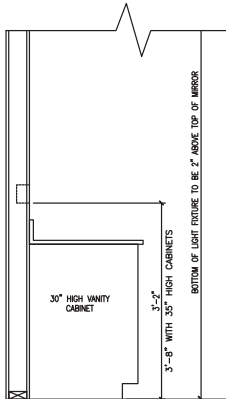
STANDARD ELECTRICAL BOX HEIGHTS



✓ OPT. 15'X6' DECK

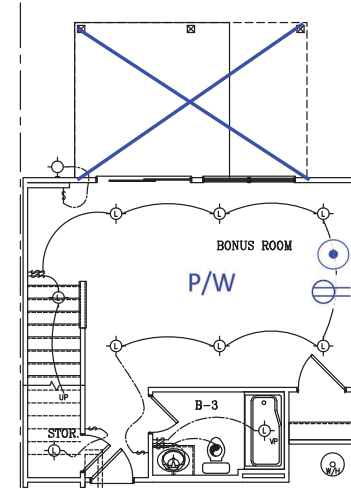


SWITCH & RECEPTACLE BOXES OVER KITCHEN CABINETS



SWITCH & RECEPTACLE BOXES OVER BATH CABINETS

TYPICAL RECEPTACLE & OUTLET HEIGHTS



✓ OPT. BONUS ROOM + BATH 3

MASTER ISSUE DATE:
12/11/18
DO NOT SCALE PRINTS
CONSTRUCTION SHALL BE
PER INDICATED DIMENSIONS
ONLY. ANY DISCREPANCIES
TO BE REPORTED TO M/I
HOMES FOR CLARIFICATION
LATEST REVISION DATE:

05/28/22

SUB NAME
LOT# -


M/I HOMES
Welcome to Better.

HYDE PARK
GARAGE - RIGHT
OPTIONAL 1ST FLOOR ELECTRICAL PLANS - ELEV. 'A'

SHEET #

6.11

OPTIONAL 1ST FLOOR ELECTRICAL PLANS

SCALE: 1/4"=1'-0" ON 22x34 AND 1/8"=1'-0" ON 11x17

ELECTRICAL LEGEND

OUTLET & SWITCH LOCATION WILL BE PER CODE AND MAY VARY FROM LOCATIONS

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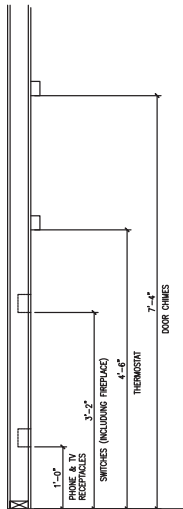
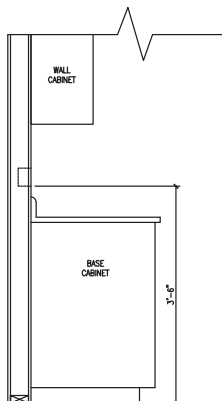
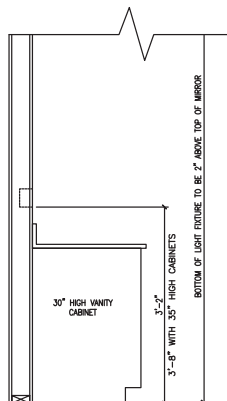
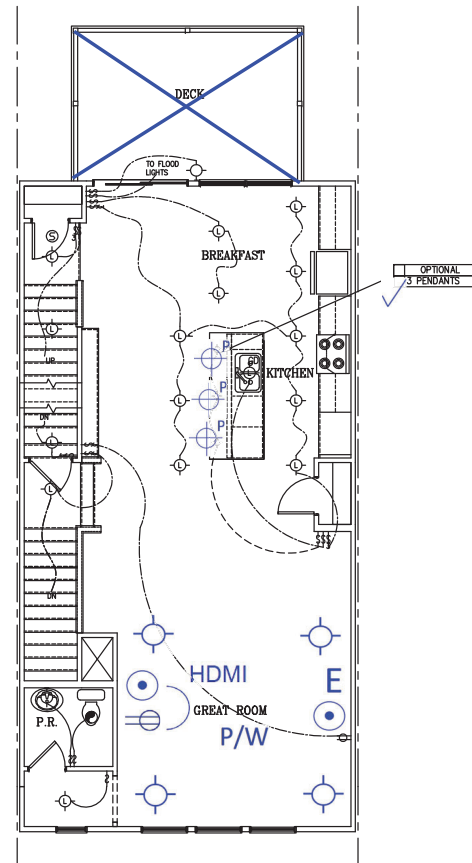
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**STANDARD ELECTRICAL BOX HEIGHTS****SWITCH & RECEPTACLE BOXES OVER KITCHEN CABINETS****SWITCH & RECEPTACLE BOXES OVER BATH CABINETS****TYPICAL RECEPTACLE & OUTLET HEIGHTS****2ND FLOOR ELECTRICAL PLAN**

SCALE: 1/4"=1'-0" ON 22x34 AND 1/8"=1'-0" ON 11x17

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05/28/22

SUB NAME

LOT# -

-/-/-

M/I HOMES
Welcome to Better.

HYDE PARK
GARAGE - RIGHT
2ND FLOOR ELECTRICAL PLAN - ELEV. 'A'

SHEET #

6.20

ELECTRICAL LEGEND

OUTLET & SWITCH LOCATION WILL BE PER CODE AND MAY VARY FROM LOCATIONS

	STANDARD SWITCH
	3 WAY SWITCH
	4 WAY SWITCH
	110 VOLT OUTLET
	CEILING FAN PREWIRE
	CEILING MOUNTED LIGHT FIXTURE
	WALL MOUNTED LIGHT FIXTURE
	2 WAY FLOOD LIGHT
	EXHAUST FAN
	SMOKE DETECTOR

NOTE:
THIS PLAN SHOWS LIGHTING AND LIFE SAFETY ITEMS ONLY. CONVENIENCE
OUTLETS ARE PLACED IN FIELD BY ELECTRICAL CONTRACTOR BASED ON
REQUIREMENTS OUTLINED IN THE NATIONAL ELEC. CODE.

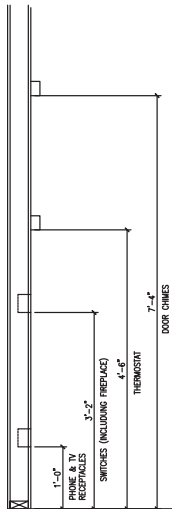
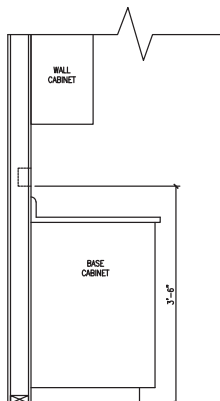
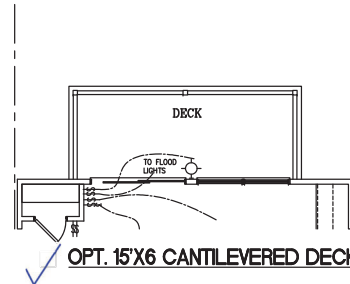
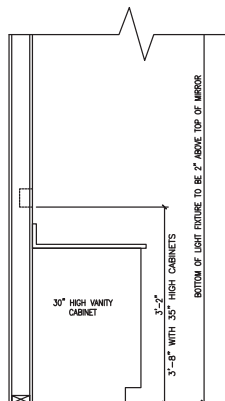
GENERAL POWER AND LIGHTING NOTES:

GENERAL POWER AND LIGHTING NOTES SHALL APPLY UNLESS NOTED
OTHERWISE ON PLANS. ALL WORK SHALL BE INSTALLED PER THE 2018 NC
RESIDENTIAL BUILDING CODE, AND THE NATIONAL ELECTRIC CODE. ALARM
DEVICES SHALL MEET NFPA 72.

1. **SMOKE ALARMS** - SHALL BE PROVIDED AS A MINIMUM OF (1) PER
FLOOR, INCLUDING BASEMENTS (IF APPLICABLE), (1) IN EACH SLEEPING
ROOM, AND (1) OUTSIDE EACH SLEEPING AREA, WITHIN THE IMMEDIATE
VICINITY OF SLEEPING ROOMS. WHEN MORE THAN ONE ALARM IS REQUIRED,
THE ALARM DEVICES SHALL BE INTERCONNECTED IN SUCH A MANNER THAT
THE ACTIVATION OF ONE ALARM WILL ACTIVATE ALL OF THE ALARMS. SMOKE
ALARMS SHALL BE HARD WIRED TO PERMANENT POWER AND SHALL HAVE
BATTERY BACK-UPS.

2. **SWITCHES** - FOR LIGHTING, FANS, ETC. SHALL BE INSTALLED AT
HEIGHTS ILLUSTRATED ON THIS PAGE AND SHALL BE LOCATED A MINIMUM
OF 4" FROM DOOR OPENINGS TO ALLOW FOR THE PROPER INSTALLATION
OF DOOR CABINETS, SWITCHES, THERMOSTATS, SECURITY PADS AND OTHER
SIMILAR DEVICES SHALL BE GROUPED TOGETHER AND INSTALLED
THOUGHTFULLY FOR CONVENIENCE OF USE AND TO AVOID PLACEMENT WITHIN
CENTERS OF WALL AREAS.

NOTE:
THIS PLAN IS A DIAGRAM SHOWING APPROX. LOCATIONS OF CONVENIENCE
OUTLETS BASED ON REQUIREMENTS FOUND IN THE NC RESIDENTIAL CODE
AND N.E.C. ACTUAL POSITIONS MAY VARY FROM WHAT IS SHOWN ON PLAN.

**STANDARD ELECTRICAL BOX HEIGHTS****SWITCH & RECEPTACLE BOXES OVER KITCHEN CABINETS****SWITCH & RECEPTACLE BOXES OVER BATH CABINETS****TYPICAL RECEPTACLE & OUTLET HEIGHTS****OPTIONAL 2ND FLOOR ELECTRICAL PLANS**

SCALE: 1/4"=1'-0" ON 22x34 AND 1/8"=1'-0" ON 11x17

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MASTER ISSUE DATE:
12/11/18
DO NOT SCALE PRINTS
CONSTRUCTION SHALL BE
PER INDICATED DIMENSIONS
ONLY. ANY DISCREPANCIES
TO BE REPORTED TO M/I
HOMES FOR CLARIFICATION

LATEST REVISION DATE

05/28/22

SUB NAME
LOT# -

M/I HOMES
Welcome to Better.

HYDE PARK
GARAGE - RIGHT
OPTIONAL 2ND FLOOR ELECTRICAL PLANS - ELEV. 'A'

SHEET #

6.21

ELECTRICAL LEGEND

OUTLET & SWITCH LOCATION WILL BE PER CODE AND MAY VARY FROM LOCATIONS

	STANDARD SWITCH
	3 WAY SWITCH
	4 WAY SWITCH
	120 VOLT OUTLET
	CEILING FAN PICTURE
	CEILING MOUNTED LIGHT FIXTURE
	WALL MOUNTED LIGHT FIXTURE
	2 WAY FLOOD LIGHT
	EXHAUST FAN
	SMOKE DETECTOR

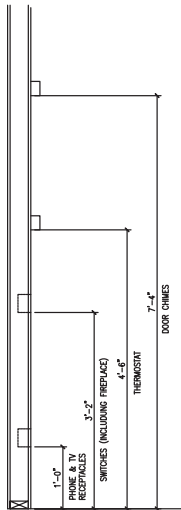
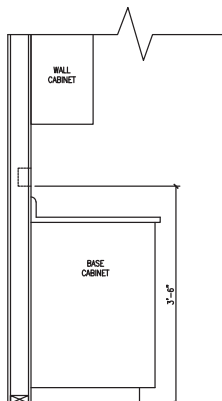
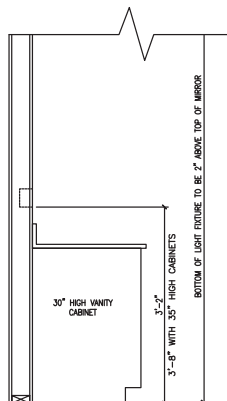
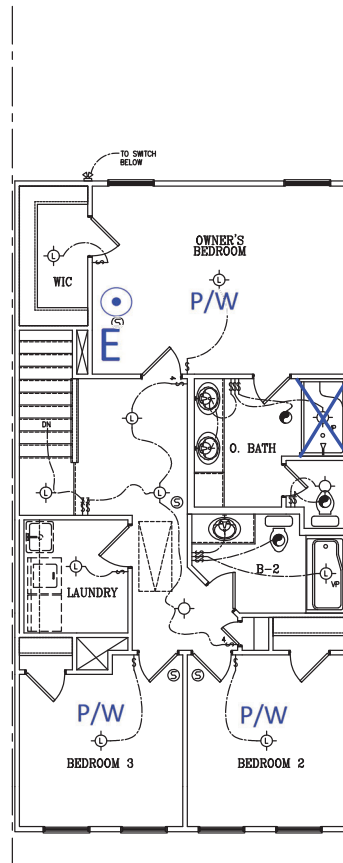
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**STANDARD ELECTRICAL BOX HEIGHTS****SWITCH & RECEPTACLE BOXES OVER KITCHEN CABINETS****SWITCH & RECEPTACLE BOXES OVER BATH CABINETS****TYPICAL RECEPTACLE & OUTLET HEIGHTS****3RD FLOOR ELECTRICAL PLAN**

SCALE: 1/4"=1'-0" ON 22x34 AND 1/8"=1'-0" ON 11x17

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SUB NAME

LOT# -

-/-/-



M/J HOMES
Welcome to Better.

HYDE PARK
GARAGE - RIGHT
3RD FLOOR ELECTRICAL PLAN - ELEV. 'A'

✓ O. BATH
DELUXE
SHOWER

SHEET #

6.30

Hyde Park

First Floor

434 FS

LOT #

SMART SERIES: GOLD/DIAMOND/PLATINUM/SAPPHIRE SPECIFICATIONS



Because we are constantly improving our product, we reserve the right to revise, change, and/or substitute product features, dimensions, specifications, architectural details, and designs without notice. In addition, options shown may not be available in all communities. This brochure is for illustration purposes only and is not part of a legal contract. Prices are subject to change without notice. Room dimensions are approximate and calculated from inside of partition. Please see a New Home Consultant for details. Printed 07-21.

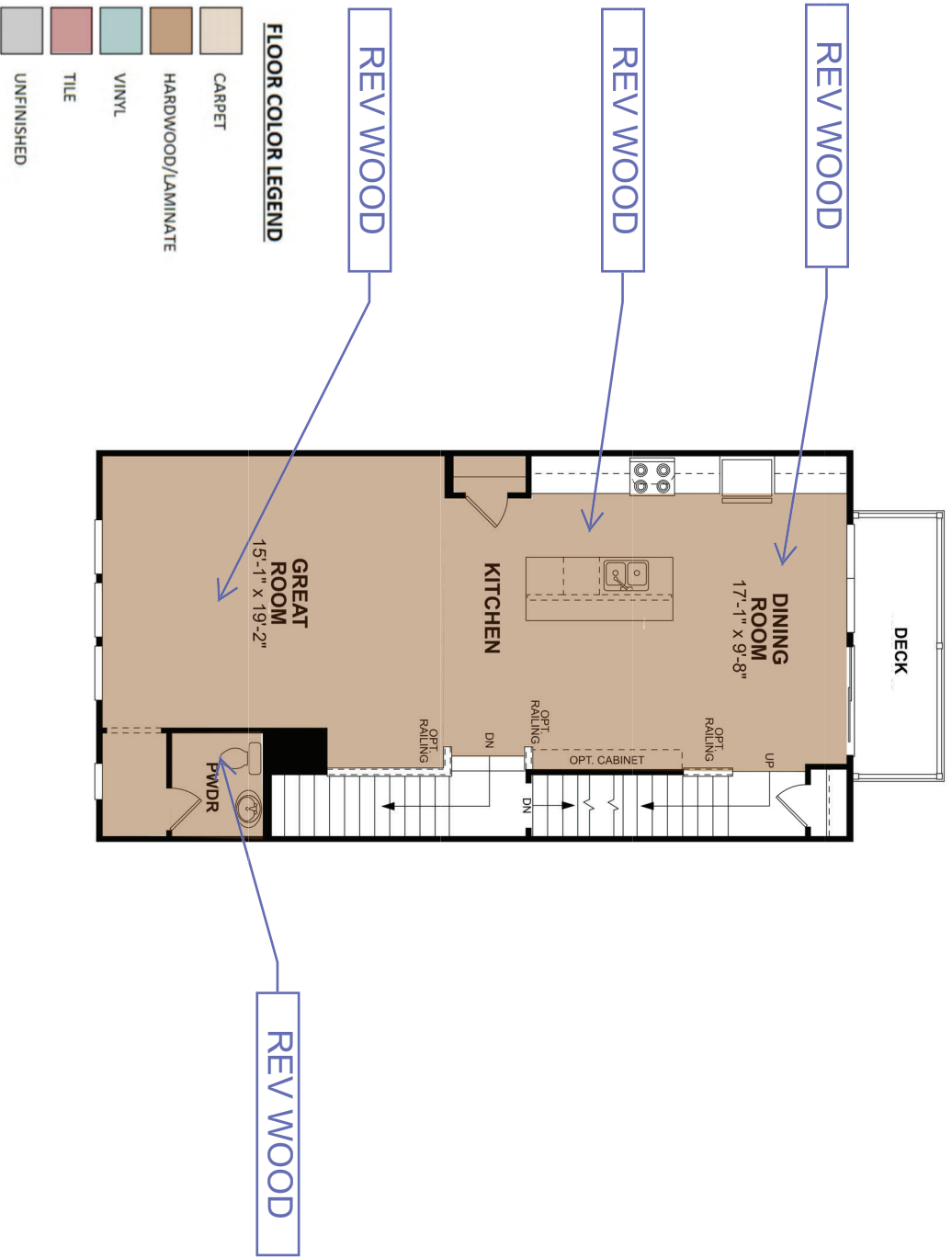


M/I HOMES

Hyde Park

Second Floor

LOT # 434 FS SMART SERIES: GOLD/DIAMOND/PLATINUM/SAPPHIRE SPECIFICATIONS



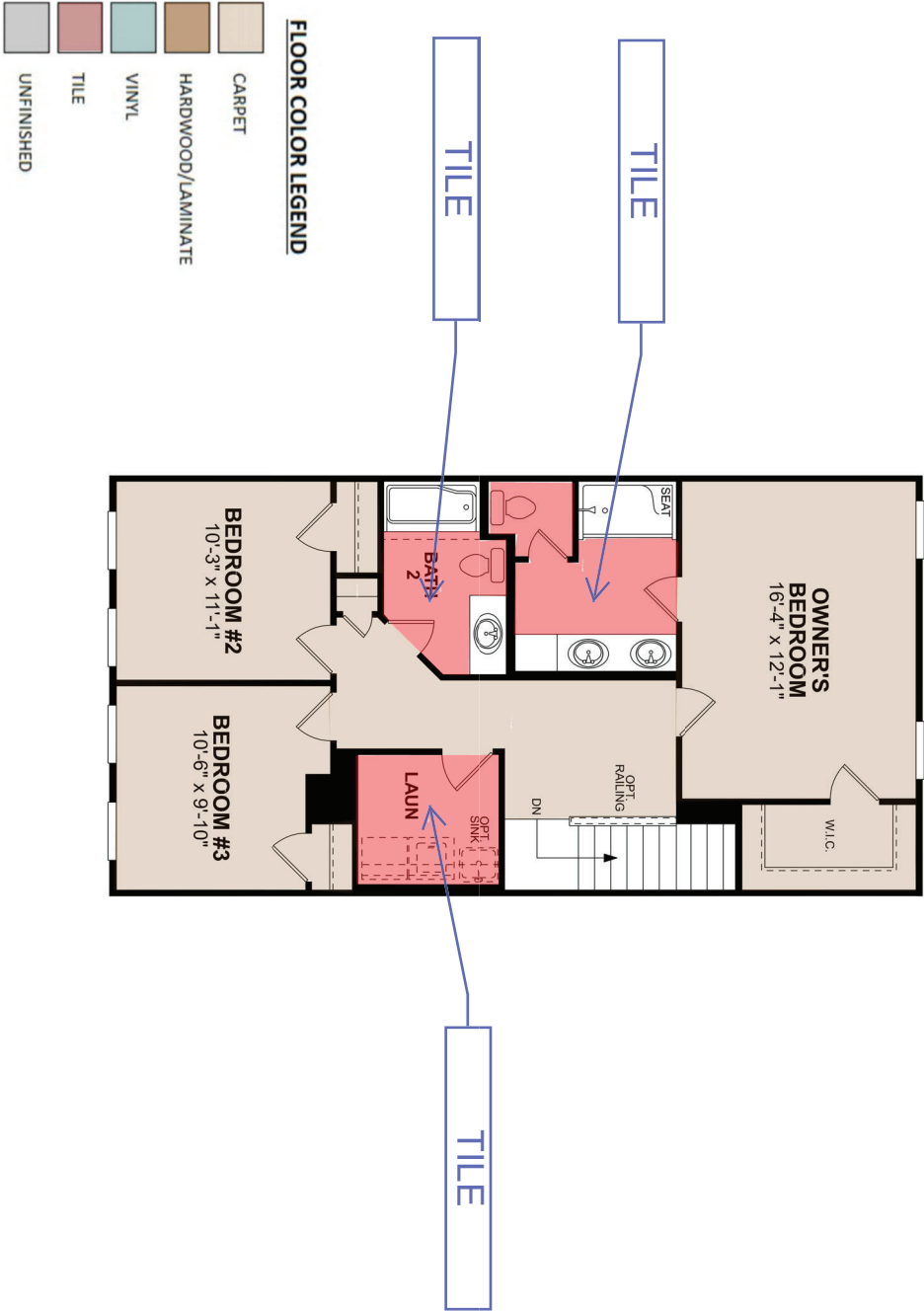
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Hyde Park

Third Floor

LOT # 434 FS

SMART SERIES: GOLD/DIAMOND/PLATINUM/SAPPHIRE SPECIFICATIONS

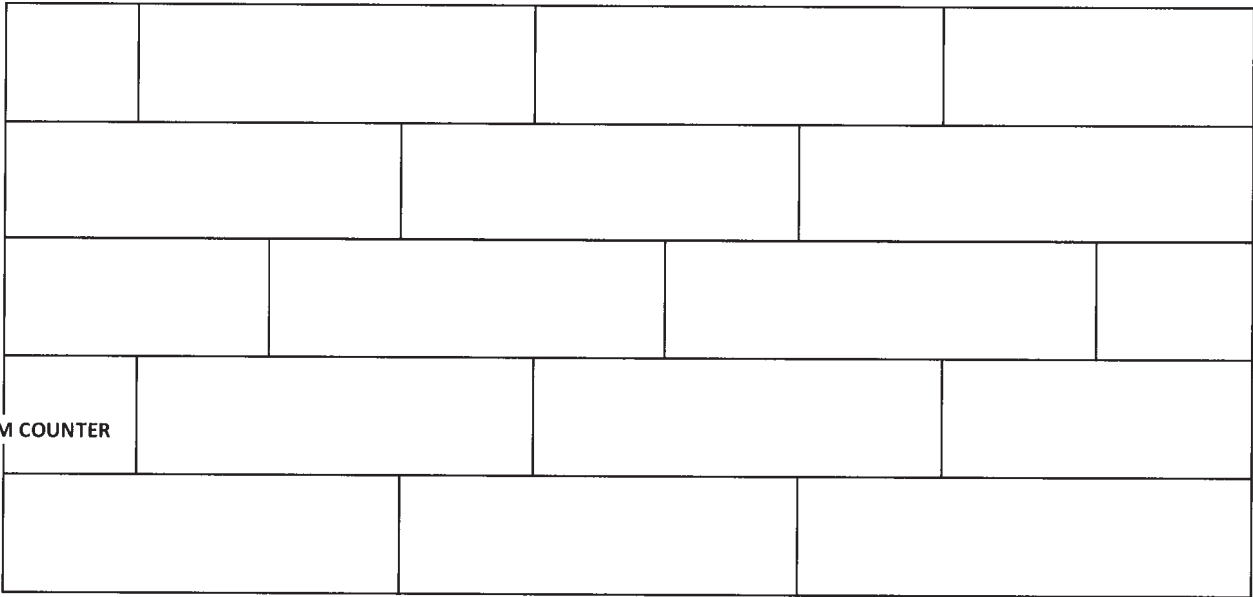


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**Kitchen Backsplash
1/3 Horizontal Staggered Pattern**

TOP OF FACEPLATES 10" FROM COUNTER



Smart Series Specifications
Effective July 16, 2021 Forward

Flatwork	LEADWALK (IF APPLICABLE)	3ft. Wide Concrete with Light Broom Finish
Structural Framing	HOUSE SHEATHING MAIN STAIRS SECONDARY STAIRCASE MAIN STAIRCASE RISERS MAIN STAIRCASE TREAD FIRST FLOOR STAIRWELL SECOND FLOOR RAILING SECOND FLOOR DECKING ROOF SHEATHING OTHER	7/16" OSB with House Wrap Closed Tread Box Stairs N/A Carpet Carpet Half Wall Standard with Painted Wall Cap Half Wall Standard with Painted Wall Cap 3/4" T&G Floor Sheathing 7/16" OSB with H-Clips Taexx Built-in Pest Control System
Exterior Finish	GUTTERS AND DOWNSPOUTS ROOF MATERIAL EXTERIOR PAINT/SIDING/TRIM	5" Ogee Gutters (Whole house) with 3"x4" Downspouts 30 Year Architectural Shingle Choice of Professionally Selected Colors
Exterior Doors & Windows	PATIO DOOR TYPE DOOR FROM GARAGE TO HOUSE GARAGE DOOR OPENER SCREENS	Metal Operable Door with Full Glass or Vinyl Slider (per plan) Metal or MDF Fire Rated Door, 2-Panel Square, Smooth Standard Chain Drive with Two Remotes Per Garage Door Screens on all operable windows
Plumbing	KITCHEN SINK KITCHEN SINK FAUCET DISPOSER SOAP DISPENSER HOSE BIBS LAUNDRY SINK	Double Bowl Undermount Stainless Steel Sink (Equal partition, 8" Deep) Moen Camerist 7840SL (Stainless finish) 1/3hp Optional 2 Standard (1 in front and 1 in rear of home) Optional
Powder Room	SINK SINK FAUCET TOILET	Standard Pedestal (Per Plan) Moen Chateau Single Handle L4625 Polished Chrome Elongated Adult Height, 1.6 gallons per flush
Secondary Bath(s)	COUNTERTOP AND SINK SINK FAUCET TUB/SHOWER COMBINATION SHOWER (PER PLAN)	Matte Finish Cultured Marble Moen Chateau Single Handle L4625 Polished Chrome One-Piece Fiberglass with Smooth Walls Fiberglass shower with fiberglass walls (included with optional showers as well)
Owner's Bath	TUB/SHOWER FAUCET TOILET COUNTERTOP AND SINK SINK FAUCET SHOWER BASE SHOWER WALLS SHOWER VALVE / FAUCET TUB TUB SURROUND TUB FAUCET OWNER'S BATH TOILET	Moen Chateau Single Handle TL183 Polished Chrome Elongated Adult Height, 1.6 gallons per flush Matte Finish Cultured Marble Moen Chateau Single Handle L4625 Polished Chrome Fiberglass Fiberglass Moen Chateau Single Handle TL182 Polished Chrome Fiberglass Soaker Tub (per plan) Fiberglass Moen Chateau T999 Polished Chrome (Per Plan. May Require Deluxe Bath Upgrade) Elongated Adult Height, 1.6 gallons per flush
HVAC & Electrical	HVAC TYPE AIR CONDITIONING ELECTRIC SERVICE SIZE CEILING FAN PREWIRE CEILING FAN CABLE OUTLETS PHONE / ETHERNET OUTLETS PLATE COLOR SECURITY SYSTEM OTHER	See Community Specifications Electric 14 SEER with non-HCFC refrigerant 200 Amp. 2 at homeowner's discretion (1 standard with optional screen porches) Optional 2 RG6 Quad shield standard 2 CAT5E standard White or Almond Preferred Partner Program Information Available Programmable Thermostat per Finished Floor (Nest Thermostat available as an upgrade)
Fireplace (Per Community/Plan)	FIREPLACE	Optional Per Plan (If selected placed per below)
Insulation, Drywall Insulation	FIREPLACE SURROUND FIREPLACE MANTLE GAS LOGS	Optional (If selected will be Slate) Optional (If selected will be Westcott) Optional (If selected included. Includes Wall Ignition Switch)
Drywall	WALLS CEILING WALL FINISH CEILING FINISH GARAGE FINISH	R-15 R-38 Smooth Smooth All Walls and Ceiling Sheetrocked but Unpainted

Smart Series Specifications
Effective July 16, 2021 Forward

Interior Trim, Doors, Shelving, Hardware		
1st & 2nd FLOOR WINDOW AND DOOR CASING TYPE	2 1/4" - 356 style. Windows are sheetrock-wrapped with stool and apron at bottom. Openings are sheetrock-wrapped as well.	
BASEBOARD TYPE	3 1/4" Baseboard	
TYPE OF CROWN	Optional	
CROWN LOCATIONS	Optional (Optional crown not installed on sloped ceiling's, rooms with 2-story ceilings or closets.)	
TYPE OF CHAIR RAIL	Optional	
CHAIR RAIL LOCATIONS	Optional	
SHOE MOULD	Painted at Baseboard; Stained at Cabinets (Stained Shoe Moulding Provided by Cabinet Supplier.)	
INTERIOR DOOR STYLE	Raised 2-Panel Square, Smooth - Finish 6'-8" Hgt. All Floors	
DINING ROOM WAINSCOTING	Optional	
ATTIC ACCESS	Pull-down stair located per plan	
BEDROOM SHELIVING TYPE	Ventilated - Free Slide	
LINEN CLOSET SHELIVING TYPE	Ventilated	
PANTRY SHELIVING TYPE	Ventilated (Tight Wire)	
LAUNDRY ROOM SHELIVING TYPE	Ventilated Shelving in Closets (per plan) and above washer & dryer	
INTERIOR DOOR HARDWARE STYLE/FINISH	Satin Nickel Knob	
EXTERIOR FRONT DOOR HARDWARE	Stain Nickel Passage knob with single cylinder deadbolt & house numbers	
REAR DOOR HARDWARE	Satin Nickel keyed knob & single cylinder deadbolt (full glass door only)	
GARAGE TO HOUSE HARDWARE	No deadbolt on Sliding door Satin Nickel Keyed Entry Knob	
PAINT		
INTERIOR WALLS/TRIM	Choice of Professionally Selected Colors (Flat paint only for interior walls)	
CEILINGS	Bright White	
INTERIOR RAILING	Oak Rail with Stain to Complement Hardwood Finish	
CABINETS		
CABINET STYLE	Fairfield Hardwoods by Timberlake or Sinclair by Aristokraft	
CABINET HARDWARE	Varies by Community See Sales Representative.	
FULL EXTENSION, SELF-CLOSING DRAWERS	Included on all Cabinets	
Kitchen	N/A	
	Cascade style	
	Standard	
	Freestanding Range with Microwave above (Vented to the outside)	
	Included	
Hall Bathroom	None	
	Granite Level 1	
	Granite Level 1 with 4"H Granite Backsplash	
Owner's Bathroom	35" Adult height	
	35" Adult height	
Laundry Room	35" Adult height	
	Optional	
Butler's Pantry (PER PLAN)	Optional	
	Base cabinet only (if plan has butler's pantry)	
	Granite Level 1 with 4"H Granite Backsplash	
Planning Center (PER PLAN)	Base cabinet only (if plan has butler's pantry)	
	Granite Level 1 with 4"H Granite Backsplash	
	Granite Level 1 with 4"H Granite Backsplash	
E-Zone (PER PLAN)	Base cabinet only (if plan has butler's pantry)	
	Granite Level 1 with 4"H Granite Backsplash	
	Granite Level 1 with 4"H Granite Backsplash	
E-Zone (PER PLAN)	Optional Base Cabinet	
	Granite Level 1 with 4"H Granite Backsplash	
CABINETS	Optional Base Cabinet	
COUNTERTOP MATERIAL	Granite Level 1 with 4"H Granite Backsplash	

Smart Series Specifications
Effective July 16, 2021 Forward

Bath Accessories		
	Owner's Bathroom	
	MIRROR	Oversized 1/4" plate glass. (Vanity Length)
	BATH ACCESSORIES	Moen Mason Chrome, (Includes 2 Towel Bars and 1 Paper Holder)
		One Piece Fiberglass Unit - Shower Curtain Rod (Chrome)
		Optional Shower Pan with Tile Walls - Chrome Framed with Clear glass
	Hall Bath(s)	
	MIRROR	1/4" Plate Glass (Vanity Length)
	BATH ACCESSORIES	Moen Mason Chrome, (Includes 1 Towel Bar and 1 Paper Holder.)
		Include 1 Towel Ring in Secondary Baths with Separate Vanity Area
	TUB/SHOWER COMBINATION	Includes Shower Curtain Rod (Chrome)
	Powder Room	
	MIRROR	Wall Hung Oval with Bevel Edge
	BATH ACCESSORIES	Moen Mason Chrome, (Includes 1 Towel Ring and 1 Paper Holder)
Appliances		
	APPLIANCE MANUFACTURER	GE
	RANGE	Electric Freestanding Range: JBS60RK Stainless Steel
	MICROWAVE	JVM3162RJ Stainless Steel (Vented to the Outside)
	DISHWASHER	GDF510PSM Stainless Steel (Energy Star Rated)
Flooring		
	Laminate / Engineered Wood, Carpet, Vinyl and Tile	Laminate Level 1, Carpet Level 1, Level 1 Vinyl and Tile Level 1.
		See Community Flooring Break Diagrams (per plan)
Light Fixtures (Note: All standard fixtures come with LED bulbs with the exception of candelabra and flood lights.)		
	BATH LIGHT FIXTURES	Polished Chrome Finish
	KITCHEN FIXTURE(S)	Flush Mount LED - Per Plan
	KITCHEN PENDANT LIGHT FIXTURE(S)	Optional
	LAUNDRY ROOM FIXTURE	Flush Mount LED
	OWNER'S CLOSET FIXTURE	Flush Mount LED
	OTHER BEDROOM CLOSETS WITH LIGHTS	Flush Mount LED
	CLOSET UNDER STAIRCASE (PER PLAN)	Flush Mount LED
	BEDROOM LIGHTING	LED Surface Mount (no standard switched receptacle)
	HALLWAYS (EXCLUDING FOYER)	Flush Mount LED
	PORCH LIGHT	Flush Mount LED or Wall Mount Per Plan
	EXTERIOR FLOODLIGHT	One 2-bulb placed at rear of house
	GARAGE COACH LIGHTS	Per Plan
	ATTIC AND UNFINISHED STORAGE AREAS	Keyless
	GARAGE	2-car garage: Two Flush Mount LED
		1-car garage: One Flush Mount LED
	OTHER LIGHT FIXTURES	Standard Package in Brushed Nickel

Specifications in this document override any contradictory specifications in our marketing literature or construction drawings. Additionally, M/I HOMES OF RALEIGH, LLC expressly reserves the right to make substitutions of materials or products in the construction of the house, provided such materials or products are substantially equal or superior to those shown in marketing literature, construction plans or other specifications.

Community Specifications for Friendship Station - Townhomes
(Smart Series Specifications)
Effective December 9, 2021 Forward

Foundation	
FOUNDATION	Monolithic Slab
FRONT STOOP	Concrete with Light Broom Finish (no upgrade options available)
PATIO	Concrete with Light Broom Finish (stamped concrete option is not available)
Structural Framing	
1ST FLOOR CEILING HEIGHT	9 ft.
2ND FLOOR CEILING HEIGHT	9 ft.
3RD FLOOR CEILING HEIGHT (OPTIONAL)	9 ft.
Exterior Finish	
FRONT ELEVATION ROOF ACCENTS	Shingles (including Roof Returns) to Match Level Specifications for Neighborhood. (Metal is not an option.)
EXTERIOR WALL COVERING	Brick/Manufactured Stone/Fiber Cement Siding and Shake (per plan)
SOFFIT MATERIAL	Fiber Cement
EXTERIOR FRONT PORCH RAILING	Generally not included. If building code requires, rails will be wood.
SHUTTERS	Raised Panel or Board & Batten (per plan)
Exterior Doors & Windows	
FRONT ENTRANCE DOOR and/or SIDE ENTRY DOOR (PER PLAN)	Fiberglass Door with GBG Glass Insert and 2-panels below (Estate)
FRONT ENTRANCE DOOR SIDELITES AND TRANSOM (PER PLAN)	Simple GBG Rectangles (per plan)
PATIO DOORS OR SLIDING GLASS DOORS (PER PLAN)	Full Glass and Clear (Grills not available)
TRANSOMS (PER PLAN) ON PATIO OR SLIDING GLASS DOORS	Simple GBG Rectangles (per plan)
DOOR FROM GARAGE INTO HOUSE	Steel or MDF Fire-rated, 2-panel square, smooth
GARAGE DOOR	Door Style Alternates Between Colonial (Odd lot Numbers) and Sonoma (Even Lot Numbers) (Choice not available). Double Wide Doors - 32-panel Metal Insulated Door With Stockbridge Glass and 2 sets of Straps and Handles. Painted to Match Exterior Trim. Single Wide Doors - 16-panel Metal Insulated Door With Stockbridge Glass and 1 set of Straps and Handles. Painted to Match Exterior Trim.
WINDOWS	Vinyl Single Hung, 6 lite over Clear, with Sheetrock Jamb, Low E
OWNER'S BATH WINDOW (FOR FIXED WINDOWS ONLY)	Clear Fixed Window - No Grills (if fixed window is on plan)
Plumbing	
WATER HEATER TYPE/SIZE	Electric: 50 Gallon
HVAC	
HVAC TYPE	Gas Forced Air
Insulation	
FLOOR	Concrete Slab
Interior Trim, Doors	
NEWEL POSTS	N/A
BALUSTERS	N/A
Structured Wiring/Low Voltage	
PANEL BOX	Central Structured Wiring Enclosure
Landscaping	
FRONT LAWN TYPE	Sod: Bermuda to property line and in right-of-way in front of lot
SIDE LAWN TYPE	Sod: Bermuda to side property line, unless natural areas or easements prohibit.
REAR LAWN TYPE	Sod: Bermuda to rear property line, unless property lines, natural areas or easements prohibit.
TREES	Community Package. Street Trees are Dictated by Municipality-approved Plat. (no alternatives available)
SHRUBS	Community Standard (no alternatives available)
IRRIGATION	N/A
MAILBOX	Community Kiosk

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