

COTTAGE RENOVATION & EXTENSION PLANS

ALPHA ENGINEERING
LIMITED

11 JONES ROAD
BISHOP'S COVE, NL
AOA 3X1

709-589-5258
www.alphaengineeringltd.com

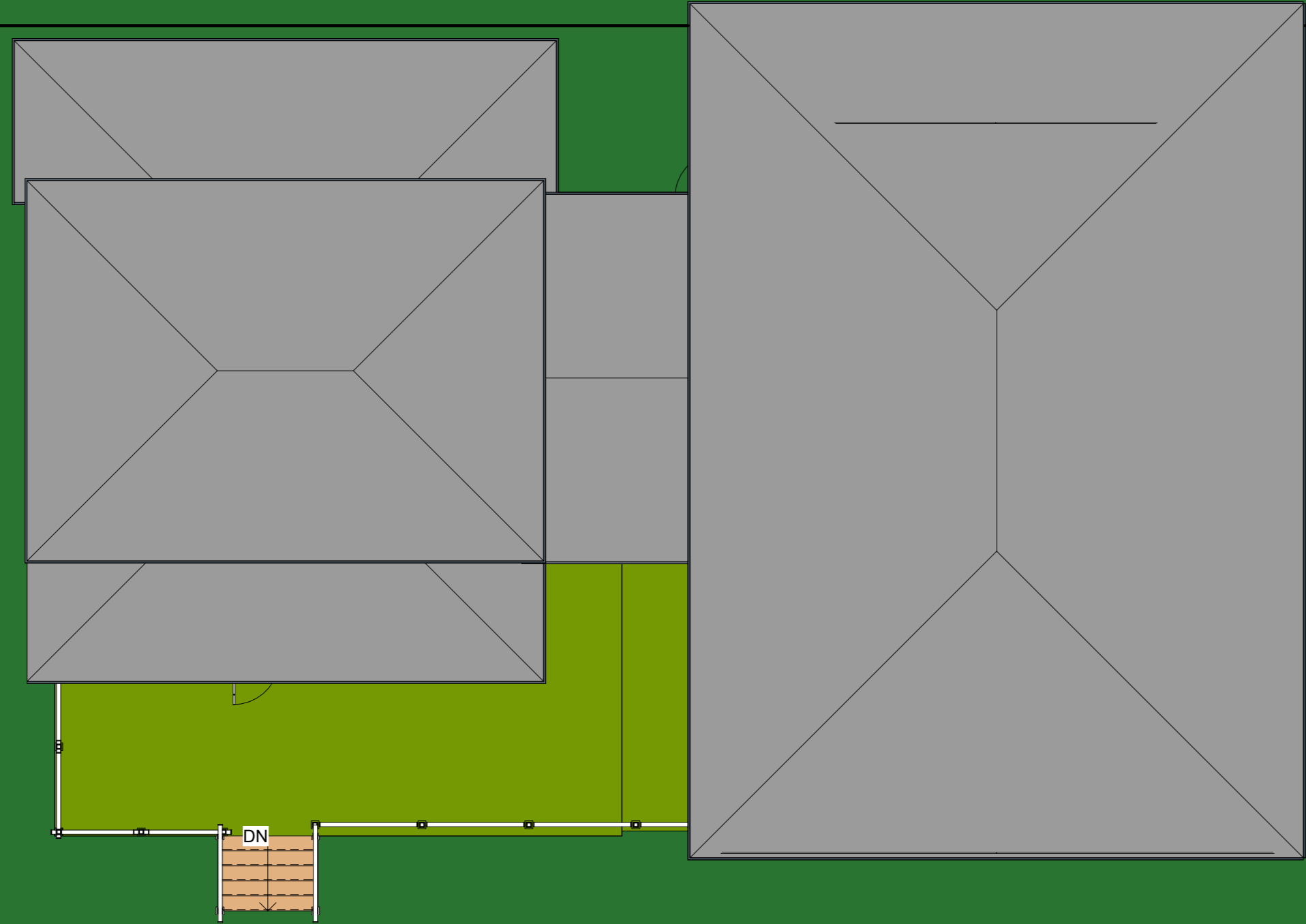
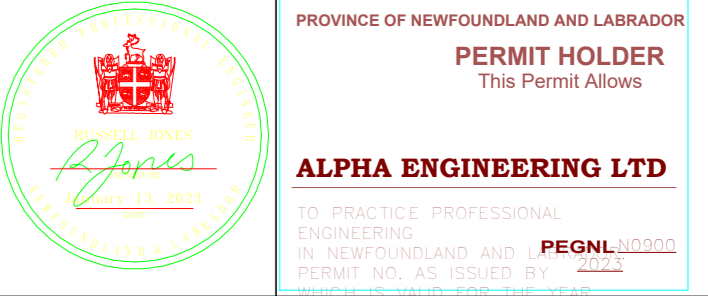
CLIENT
AEL WEB SITE
DEVELOPMENT
BISHOP'S COVE, NL
AOA 3X1

COTTAGE PLANS

ALPHA Engineering Ltd

SITE 4, BOX 95
BISHOP'S COVE, NL
A0A 3X1
CELL: 709-589-5258
WWW.ALPHAENGINEERINGLTD.COM

NOTES:
1. DO NOT SCALE FROM DRAWINGS.
2. UNLESS OTHERWISE NOTED, ALL DIMENSIONS ARE IN FEET AND INCHES.
3. CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS ON SITE PRIOR TO PROCEEDING WITH ANY PORTION OF THIS WORK.



Project Sheet List	
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No.	Description	Date
1	IF Client Use	Jan 13, 2023

PROJECT COTTAGE RENOVATION 2

Site Plan & Project Drawing List

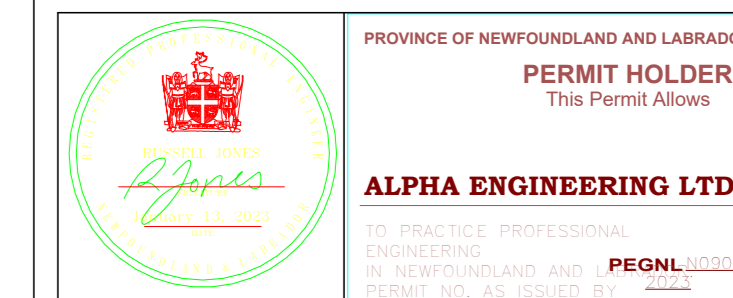
Project number	2022-024
Date	Sept 13, 2022
Drawn by	RLJ
Checked by	RLJ

A1

Scale 1/8" = 1'-0"

① Site Plan
1/8" = 1'-0"

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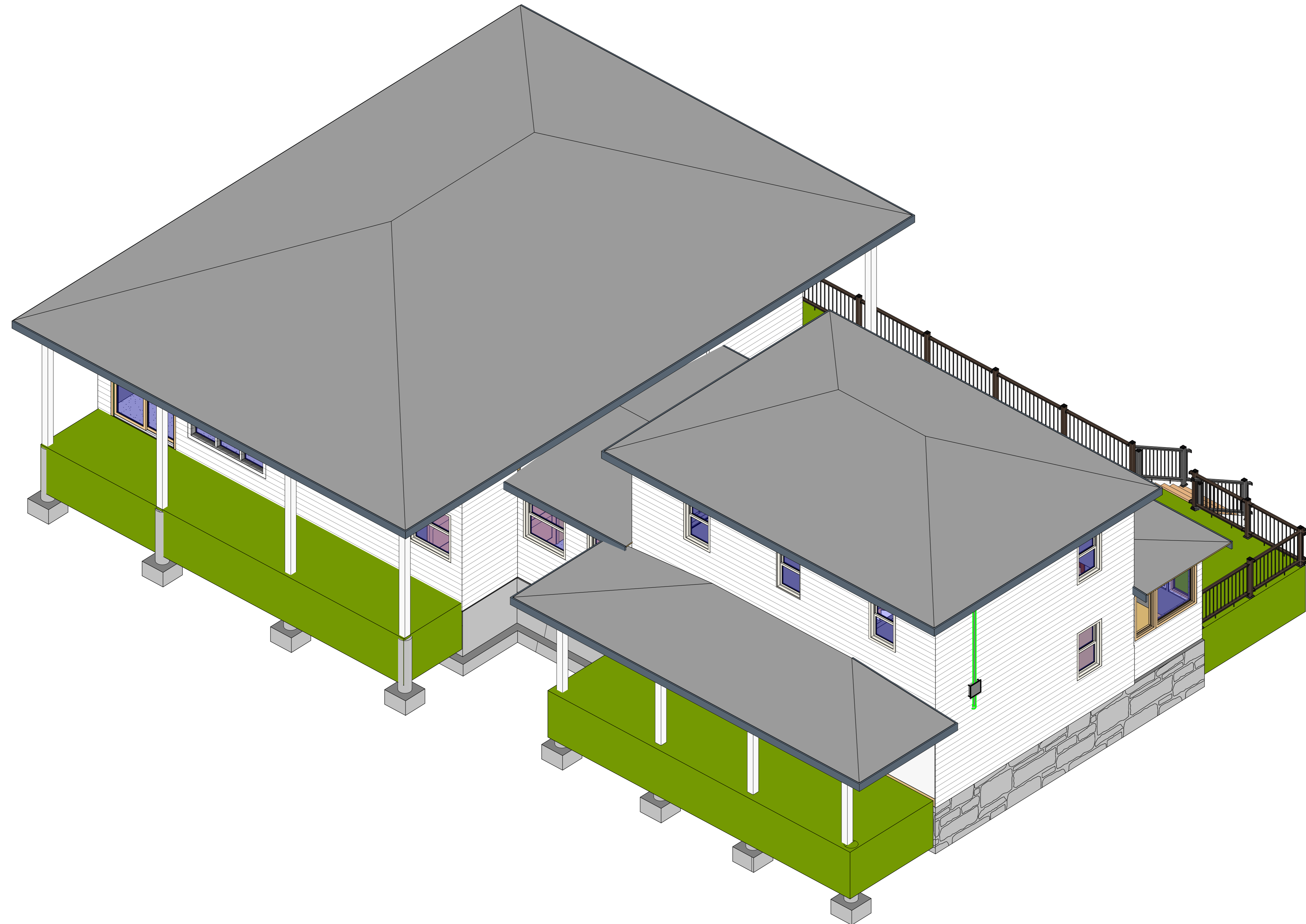
① Room Schedule
1/2" = 1'-0"

No.	Description	Date
1	IF Client Use	Jan 13, 2023

PROJECT
COTTAGE
RENOVATION 2
Room Legend & Room
Schedule

Project number 2022-024
Date Sept 13, 2022
Drawn by RLJ
Checked by RLJ

A2

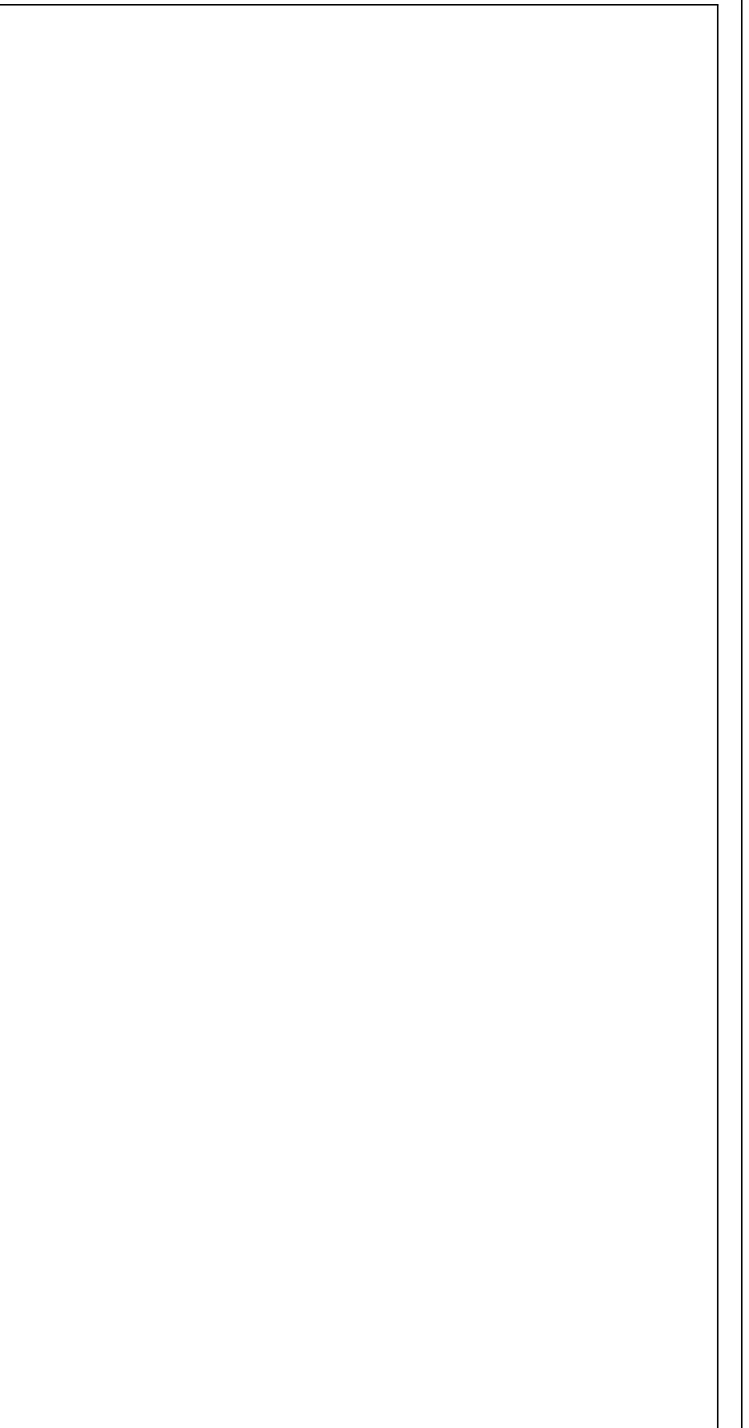
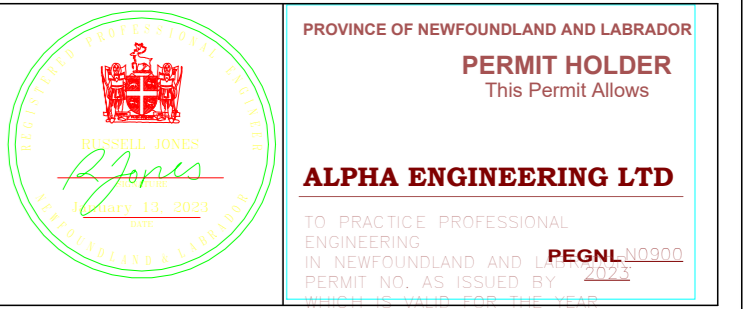


① North East 3D View

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PROJECT COTTAGE RENOVATION 2 North East 3D View

Project number 2022-024
 Date Sept 13, 2022
 Drawn by RLJ
 Checked by RLJ

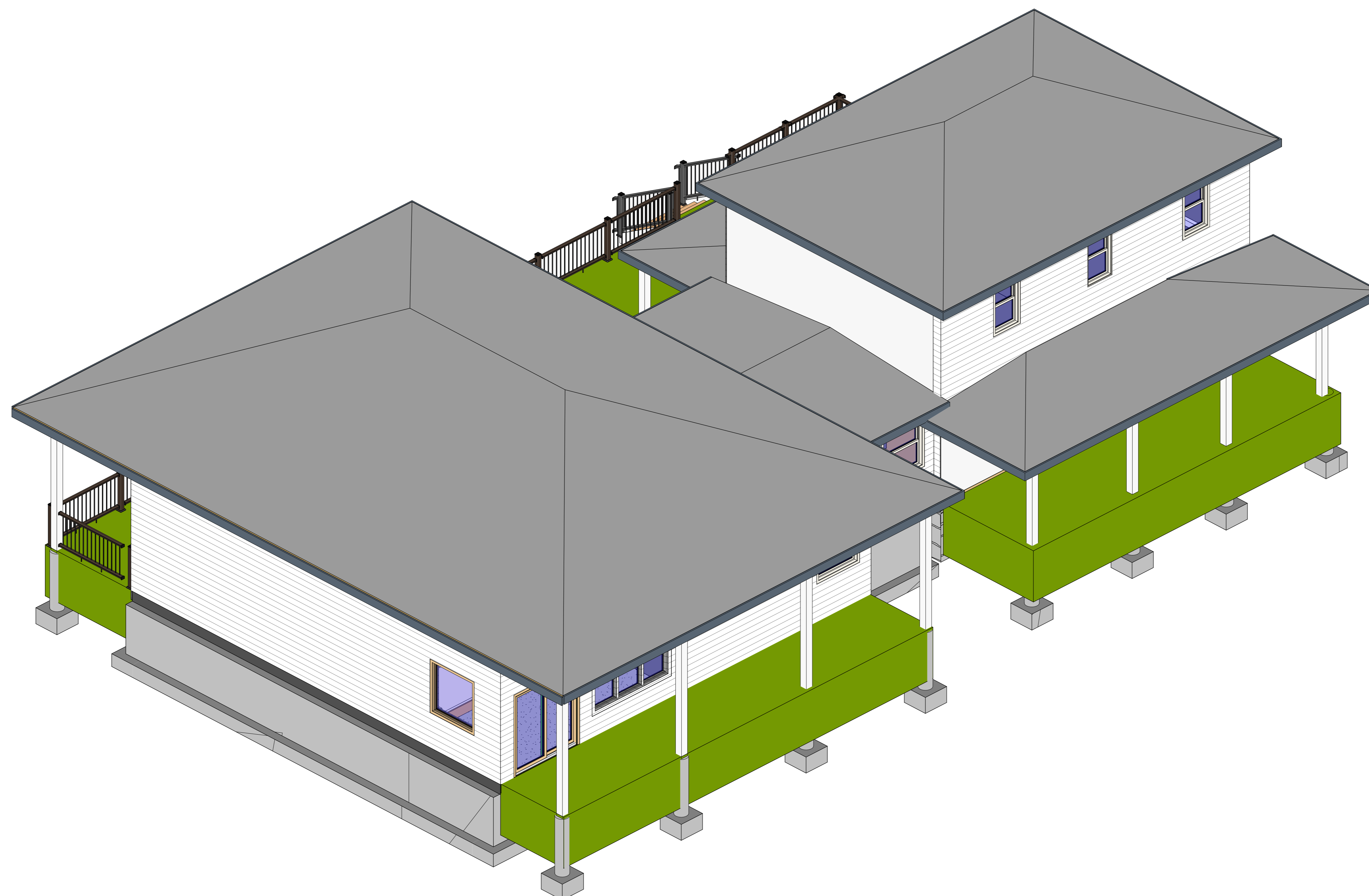
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Scale

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① North West 3D View

No.	Description	Date
1	IF Client Use	Jan 13, 2023

PROJECT COTTAGE RENOVATION 2 North West 3D View

Project number 2022-024
Date Sept 13, 2022
Drawn by RLJ
Checked by RLJ

A4

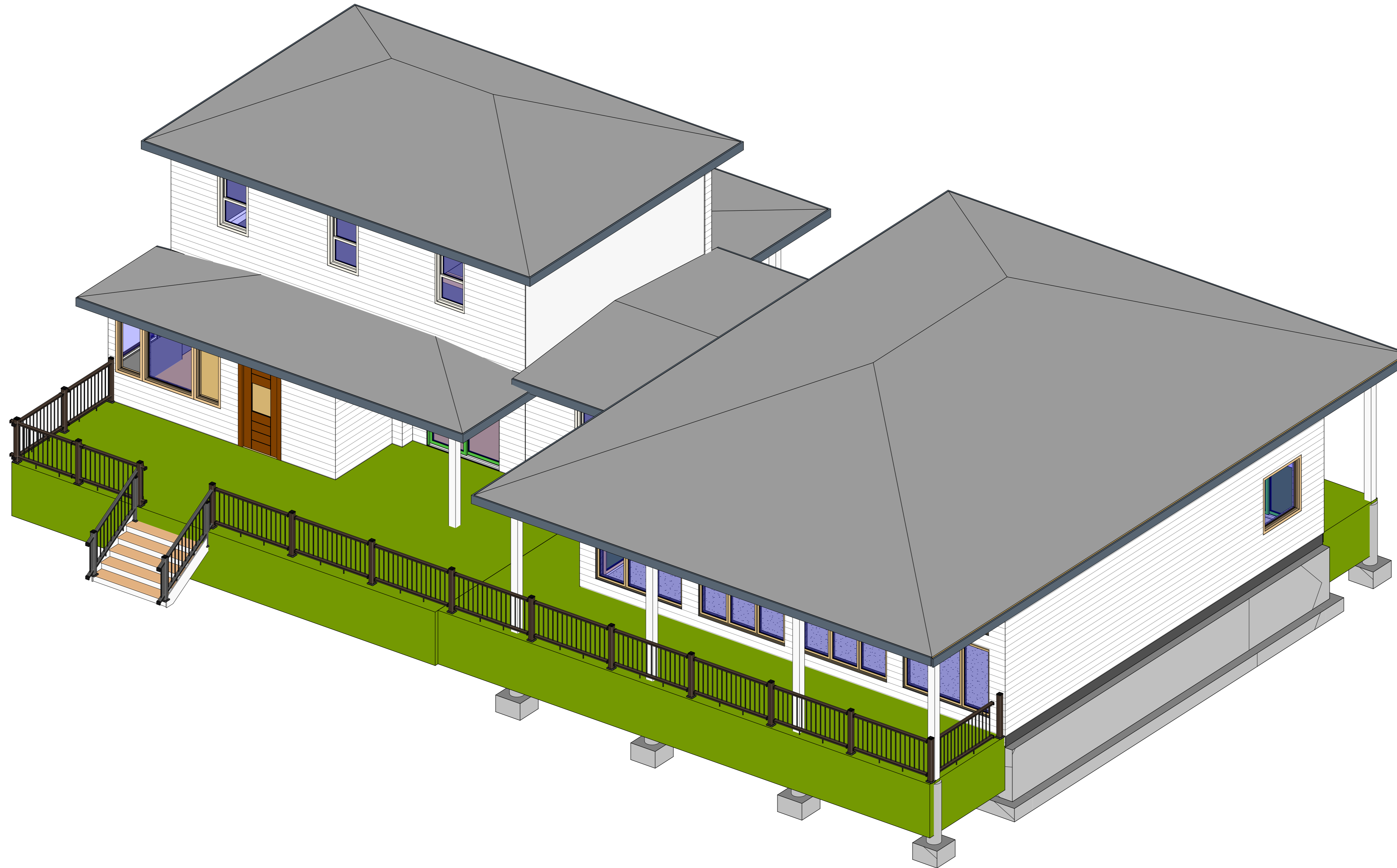
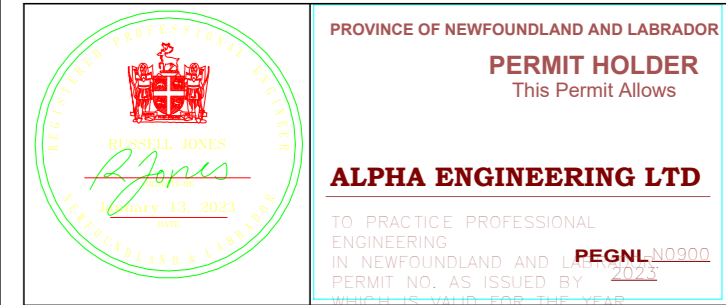
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① South East 3D View

No.	Description	Date
1	IF Client Use	Jan 13, 2023

PROJECT COTTAGE RENOVATION 2

South East 3D View

Project number 2022-024
 Date Sept 13, 2022
 Drawn by RLJ
 Checked by RLJ

A5


Scale

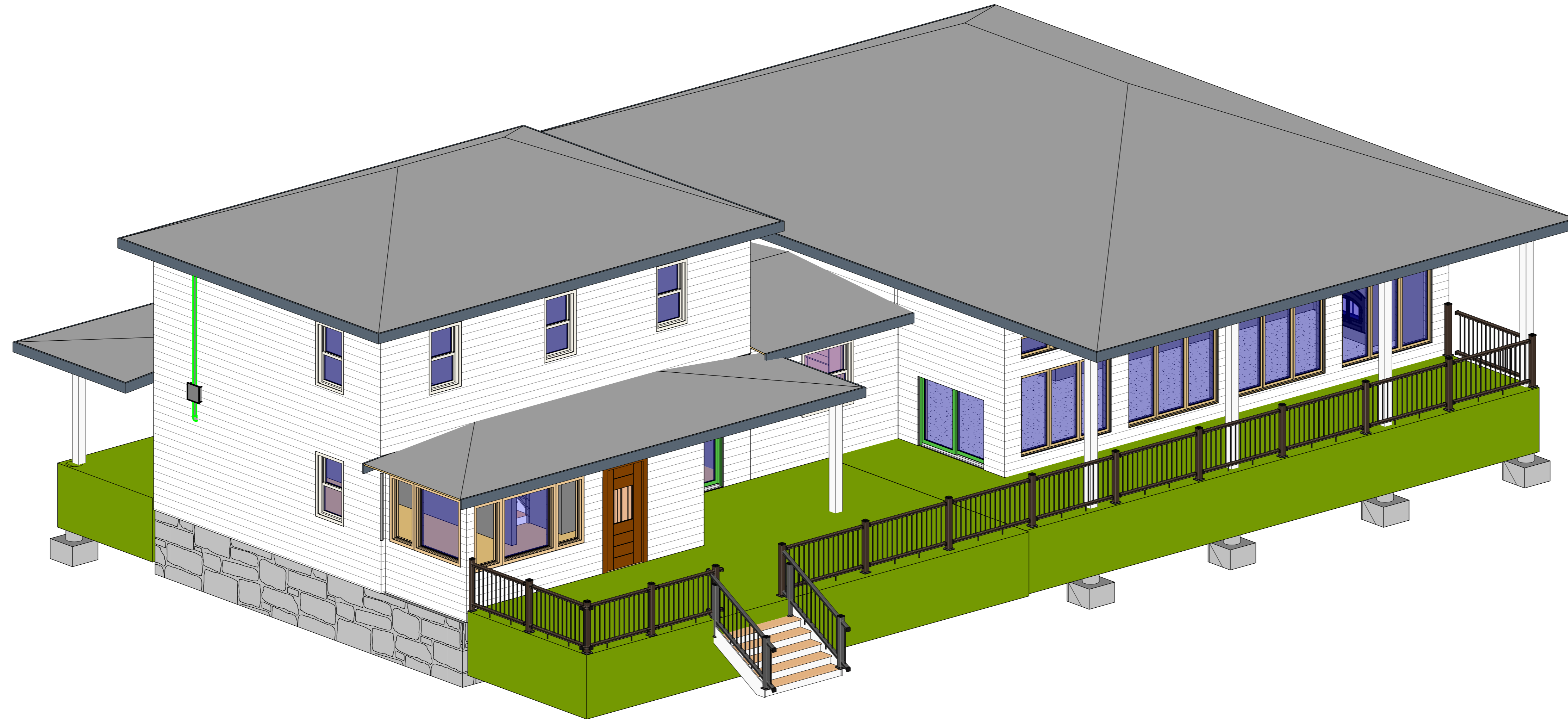
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Engineering Ltd**

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	PROVINCE OF NEWFOUNDLAND AND LABRADOR PERMIT HOLDER <small>This Permit Allows</small>
	ALPHA ENGINEERING LTD <small>TO PRACTICE PROFESSIONAL ENGINEERING IN NEWFOUNDLAND AND LABRADOR PERMIT NO. AS ISSUED BY PEGNL 20000</small>



① South West 3D View

No.	Description	Date
1	IF Client Use	Jan 13, 2023

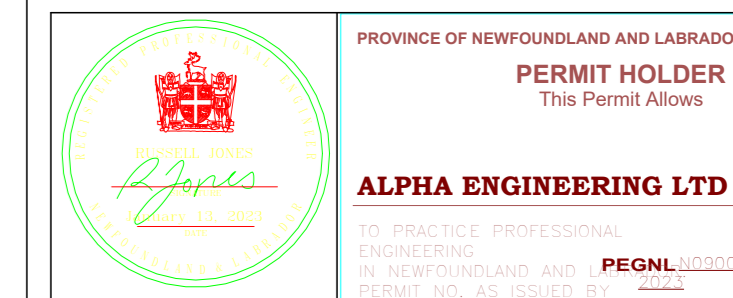
**PROJECT
COTTAGE
RENOVATION 2
South West 3D View**

Project number 2022-024
Date Sept 13, 2022
Drawn by RLJ
Checked by RLJ

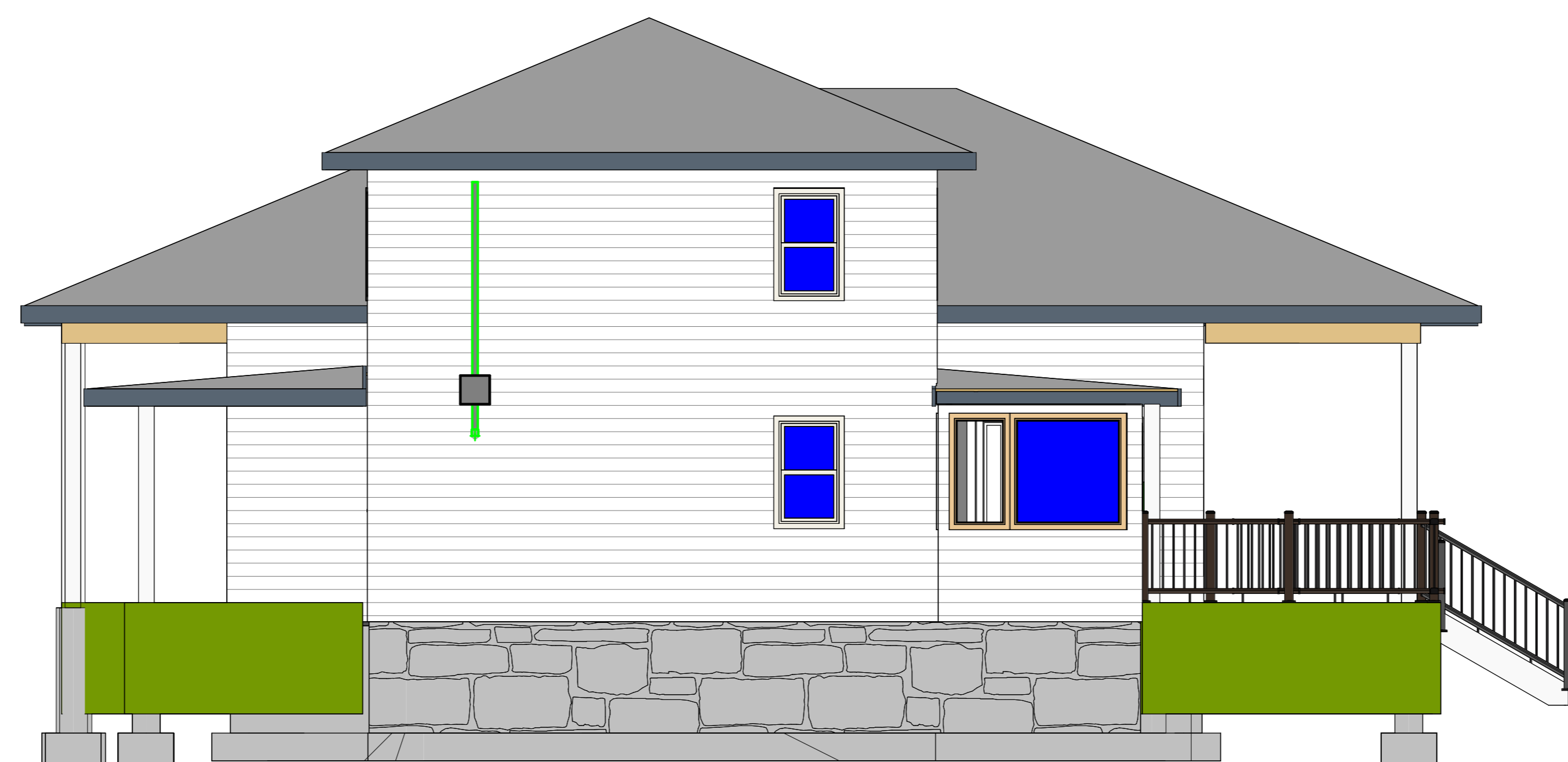
A6

Scale

- NOTES:**
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① East Elevation
1/4" = 1'-0"



② West Elevation
1/4" = 1'-0"

No.	Description	Date
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**PROJECT
COTTAGE
RENOVATION 2**

**Building East & West
Elevations**

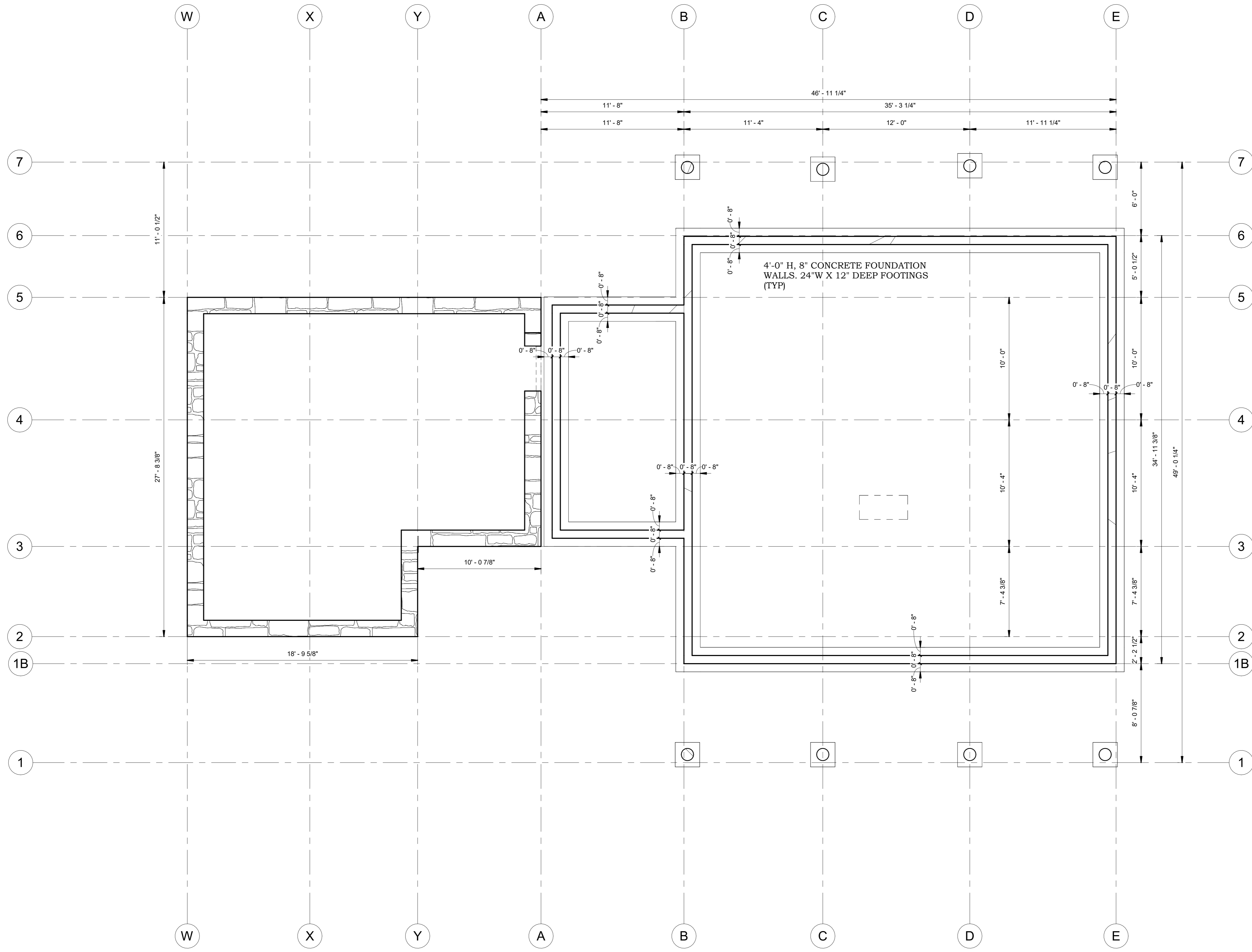
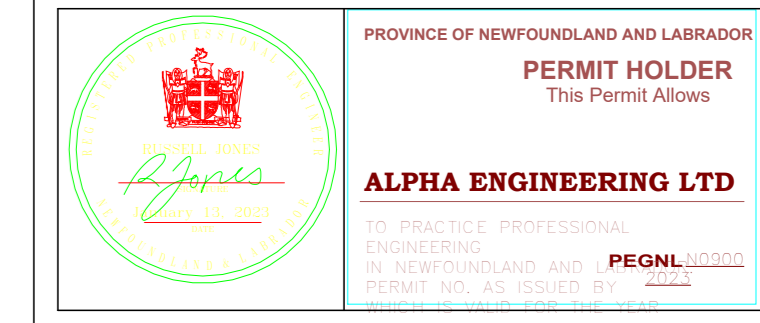
Project number	2022-024
Date	Sept 13, 2022
Drawn by	RLJ
Checked by	RLJ

A8

Scale 1/4" = 1'-0"

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① TO Footing
1/4" = 1'-0"

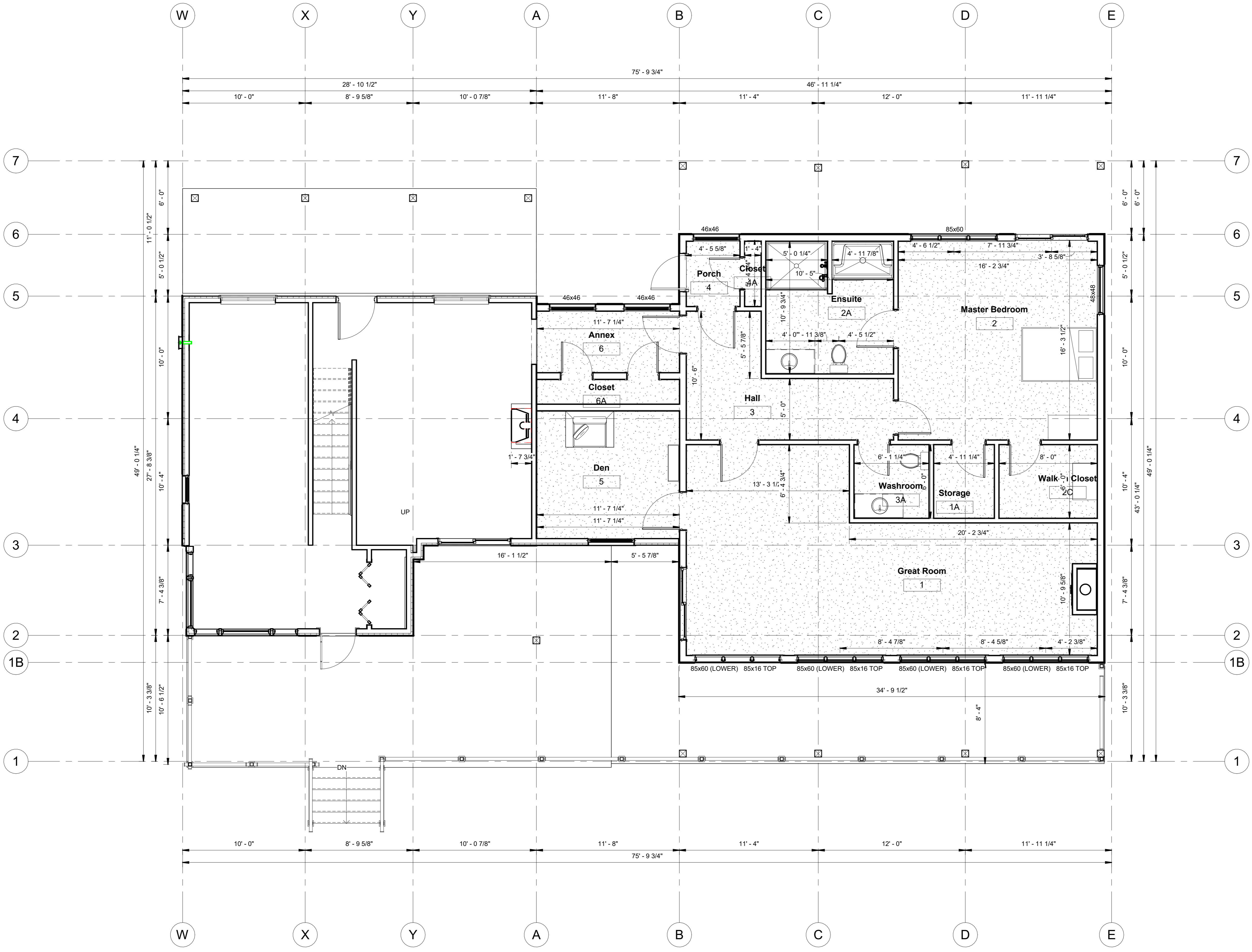
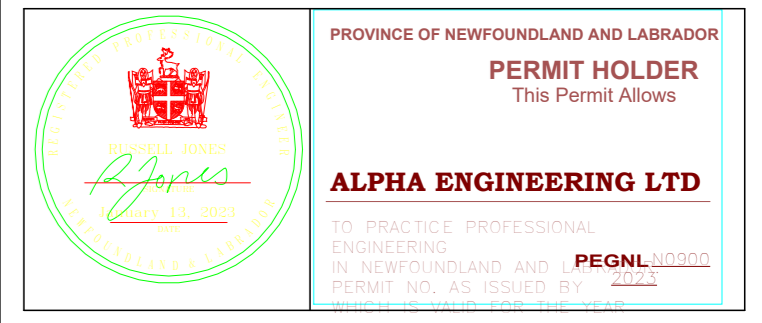
No.	Description	Date
1	IF Client Use	Jan 13, 2023

PROJECT COTTAGE RENOVATION 2 Footing & Foundation Plan

Project number 2022-024
Date Sept 13, 2022
Drawn by RLJ
Checked by RLJ

A9

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① TO 1ST Floor Plan - Existing & New Cottage
 1/4" = 1'-0"

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1	IF Client Use	Jan 13, 2023

**PROJECT
COTTAGE
RENOVATION 2
Floor Plan Dimensions**

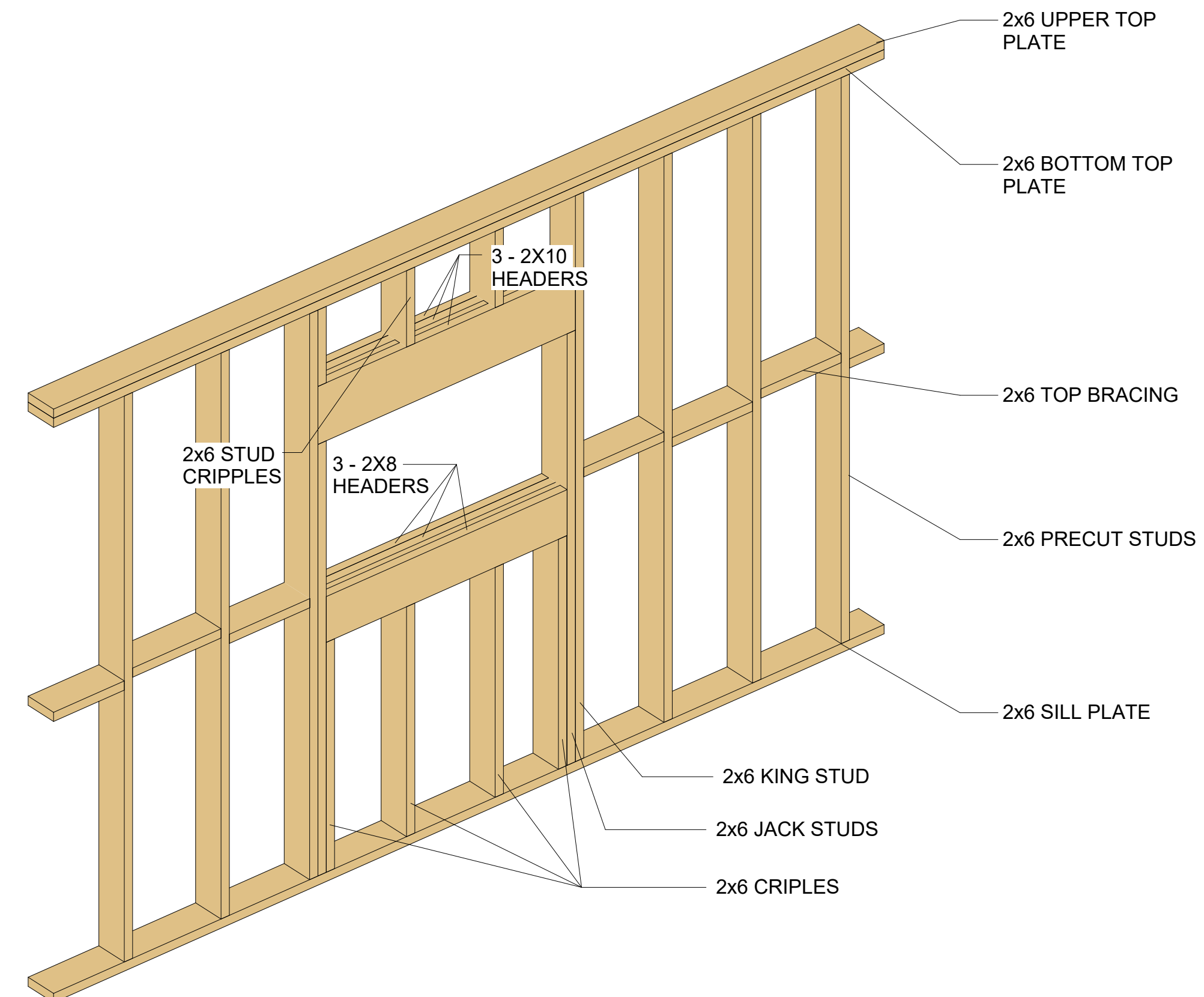
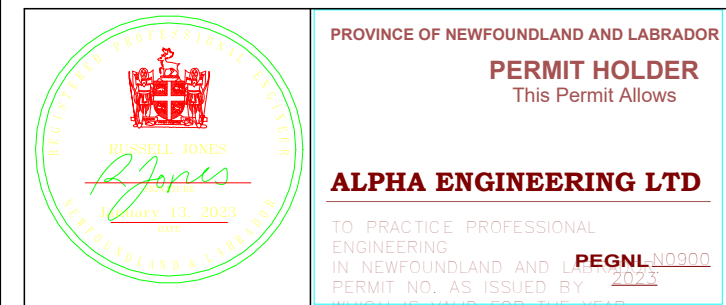
Project number: 2022-024
 Date: Sept 13, 2022
 Drawn by: RLJ
 Checked by: RLJ

A10

Scale: 1/4" = 1'-0"

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2 Window Framing Detail

GENERAL

1. THE CONTRACTOR SHALL VISIT AND INSPECT THE SITE AND SHALL ALSO CAREFULLY EXAMINE THE DRAWINGS AND SPECIFICATIONS IN ORDER THAT HE MAY BE THOROUGHLY FAMILIAR WITH THE SITE AND LOCAL CONDITIONS, AND ALL MATTERS WHICH CAN IN ANYWAY AFFECT THE WORK COVERED BY THESE DRAWINGS AND SPECIFICATION.
2. OBTAIN AND PAY FOR ALL PERMITS REQUIRED BY AUTHORITIES HAVING JURISDICTION. COORDINATE THE PAYMENT OF THE SAME WITH THE OWNER.
3. ALL WORK SHALL BE IN DONE IN STRICT ACCORDANCE WITH THE LATEST EDITION OF THE NBC, NPC, CEC, NFC, ASHRAE, SMACNA AND ALL AUTHORITIES HAVING JURISDICTION.
4. ALL WORK SHALL BE PERFORMED IN A NEAT AND WORKMANLIKE MANNER AND IN ACCORDANCE WITH GENERALLY ACCEPTED STANDARDS OF GOOD PRACTICE. ALL WORK SHALL BE COMPLETED BY QUALIFIED TRADE PERSONS. ALL WORK SHALL COMPLY IN ACCORDANCE WITH NBC AND ALL OTHER APPLICABLE CODES AND REGULATIONS GOVERNING.
5. CONDUCT HEALTH AND SAFETY OPERATIONS IN STRICT ACCORDANCE WITH LATEST EDITION OF THE NL'S OCCUPATIONAL HEALTH AND SAFETY (OH&S) ACT AND REGULATIONS-NL REGULATION 5/12 OCCUPATIONAL HEALTH AND SAFETY REGULATIONS.
6. ALL PRODUCTS USED ON THIS PROJECT SHALL HAVE A MINIMUM FLAME SPREAD RATING OF 25 AND MAXIMUM SMOKE DEVELOPED RATING OF 50 IN ACCORDANCE WITH CAN4-S102.7. ALL MATERIALS AND EQUIPMENT USED ON THIS PROJECT ARE TO BE NEW AND CSA APPROVED.
7. COORDINATE WITH THE OWNER, ALL EQUIPMENT THE OWNER IS PROVIDING.
8. FLASH AND SEAL ALL BUILDING OPENINGS TO PROVIDE A WEATHER TIGHT CONSTRUCTIONS.
9. CONCRETE DESIGN STRENGTH: 30MPA AT 28 DAYS.

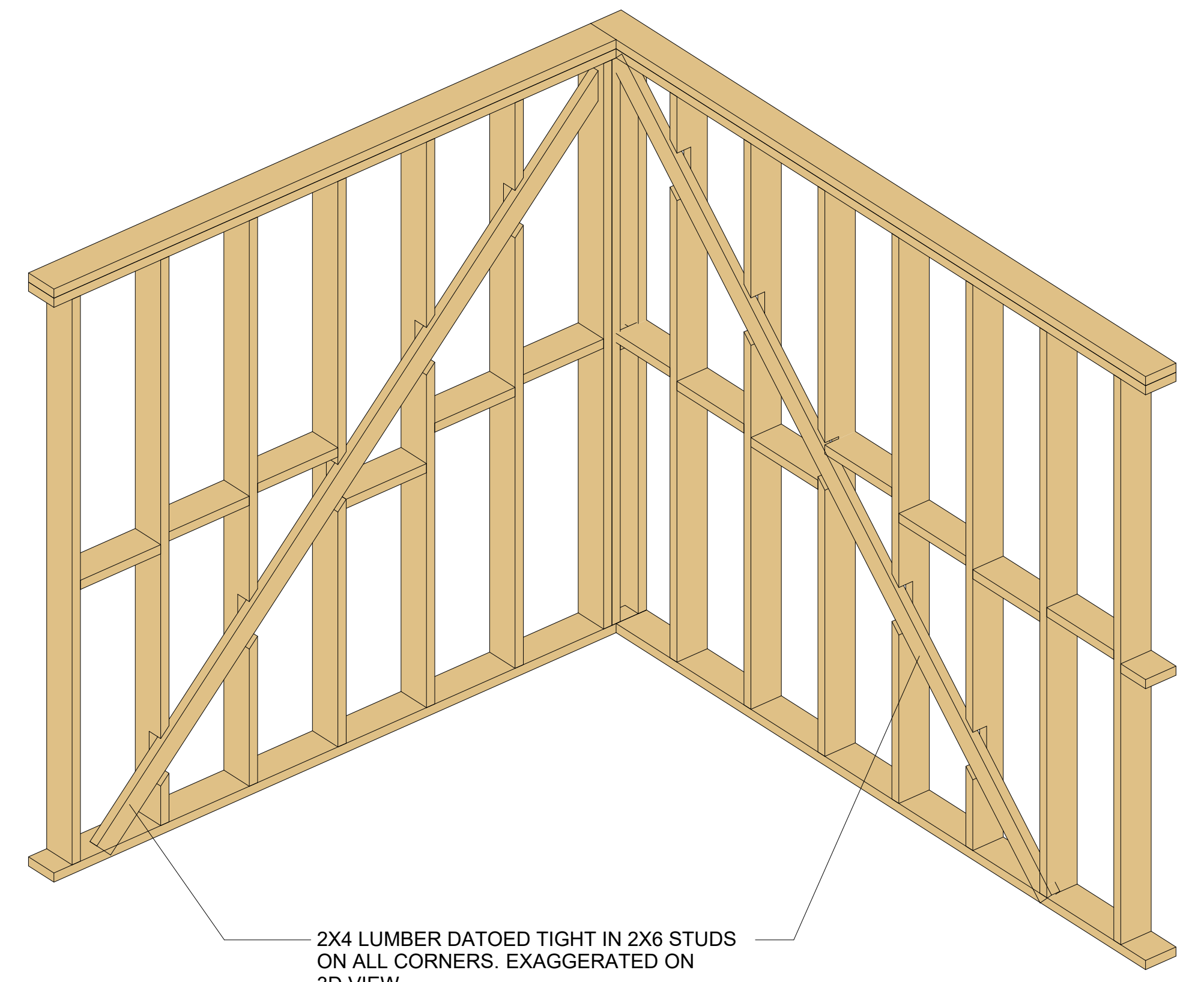
WOOD FRAME BUILDING CONSTRUCTION

1. GENERAL REQUIREMENTS FOR REQUIREMENTS FOR WOOD FRAME BUILDING CONSTRUCTION:
 - .1 FOLLOW NBC 2015 REQUIREMENTS PART 9 AND THE COMPANION DOCUMENTS TO THE NBC; STRUCTURAL COMMENTARIES (USER S GUIDE NBC 2015: PART 4 OF DIVISION B) AND THE ILLUSTRATED USER S GUIDE NBC 2015: PART 9 OF DIVISION B, HOUSING AND SMALL BUILDINGS.
2. LUMBER:
 - .1 MANUFACTURED IN ACCORDANCE WITH CSA O141-2005 (R2019), SOFTWOOD LUMBER AND CONFORMING TO THE REQUIREMENTS OF THE CANADIAN AND US LUMBER GRADING RULES, INCLUDING BUT NOT LIMITED TO: (A) CLASSIFICATION; (B) MEASUREMENT; (C) STANDARD SIZES; (D) GRADING RULES; (E) IDENTIFICATION (GRADE STAMPS AND CERTIFICATES); AND (F) REQUIREMENTS AND RESPONSIBILITIES OF ACCREDITATION BOARD AND GRADING AGENCY RESPONSIBILITIES.
 - .2 DIMENSION LUMBER WITH GRADE STAMPED ON ONE FACE AT A DISTANCE OF APPROXIMATELY 2 FT (600 MM) FROM ONE END OF EACH PIECE.
 - .3 QUALITY ENSURED BY: (A) GRADING AGENCIES ACCREDITED BY THE CANADIAN LUMBER STANDARDS ACCREDITATION BOARD (CLASB); (B) NATIONAL LUMBER GRADES AUTHORITY (NLGA) STANDARD GRADING RULES FOR CANADIAN LUMBER (2017).
- .3 SELECTION FOR INDIVIDUAL ELEMENTS OF CONSTRUCTION, FLOOR ASSEMBLY INCLUDING JOISTS, SILLS AND GIRDDERS, STUDS, STRAPPING, ROOF TRUSSES, ETC. BASED ON CANADIAN WOOD COUNCIL (CWC), TO THE FOLLOWING TABLE:

DIMENSIONAL LUMBER-GRADES AND USE			
GRADE CATEGORY	SIZE	ACCEPTABLE GRADES	PRINCIPAL USE
STRUCTURAL LIGHT FRAMING	2" TO 4" NOMINAL THICK AND WIDE	NO 2 AND BETTER	TRUSSES, LINTELS, RAFTERS AND JOISTS IN SMALLER DIMENSIONS
STRUCTURAL JOISTS AND PLANKS	2" TO 4" NOMINAL THICK AND 5" OR MORE WIDE	NO 1 AND BETTER	TRUSSES, LINTELS, RAFTERS AND JOISTS IN DIMENSIONS GREATER THAN 5" NOMINAL
LIGHT FRAMING	2" TO 4" NOMINAL THICK AND WIDE	STANDARD AND BETTER	GENERAL FRAMING WHERE HIGH STRENGTH VALUES ARE NOT REQUIRED SUCH AS PLATES AND BLOCKING
STUDS	2" TO 4" NOMINAL THICK AND 2" WIDE AND LESS THAN 10'-0" LONG	STUD, ECONOMY STUD	PRINCIPALLY USED IN WALLS, STUD GRADE SUITABLE FOR BEARING WALL APPLICATIONS. ECONOMY GRADE SUITABLE FOR TEMPORARY APPLICATIONS.

NOTES:

1. GRADES MAY BE BUNDLED INDIVIDUALLY OR THEY MAY BE INDIVIDUALLY STAMPED BUT THEY MUST BE GROUPED TOGETHER WITH THE ENGINEERING PROPERTIES DICTATED BY THE LOWEST STRENGTH GRADE IN THE BUNDLE.
 2. THE COMMON GRADE MIX SHOWN IS THE MOST ECONOMICAL BLENDING OF STRENGTH FOR MOST APPLICATIONS WHERE APPEARANCE IS NOT A FACTOR AND AVERAGE STRENGTH IS ACCEPTABLE.
 3. EXCEPT FOR ECONOMY GRADE, ALL GRADES ARE STRESS GRADED WHICH MEANS SPECIFIED STRENGTHS HAVE BEEN ASSIGNED AND SPAN TABLES CALCULATED. ECONOMY AND UTILITY GRADES ARE SUITED FOR TEMPORARY CONSTRUCTION OR FOR APPLICATIONS WHERE STRENGTH AND APPEARANCE ARE NOT IMPORTANT.
 4. CONSTRUCTION, STANDARD, STUD, AND NO. 3 GRADES SHOULD BE USED IN DESIGNS THAT ARE COMPOSED OF 3 OR MORE ESSENTIALLY PARALLEL MEMBERS (LOAD SHARING) SPACED AT 610MM (24") CENTRES OR LESS.
 5. STRENGTH PROPERTIES AND APPEARANCE ARE BEST IN THE PREMIUM GRADES SUCH AS SELECT STRUCTURAL.
 6. ECONOMY AND UTILITY GRADES ARE ONLY SUITABLE FOR TEMPORARY CONSTRUCTION OR APPLICATIONS WHERE STRENGTH AND APPEARANCE ARE NOT IMPORTANT.
- * REFERENCE CANADIAN WOOD COUNCIL (CWC), WEB SITE [HTTPS://CWC.CA/](https://CWC.CA/) HOW-TO-BUILD-WITH-WOOD/WOOD-PRODUCTS/LUMBER/GRADES/



1 Bracing Corner Wall

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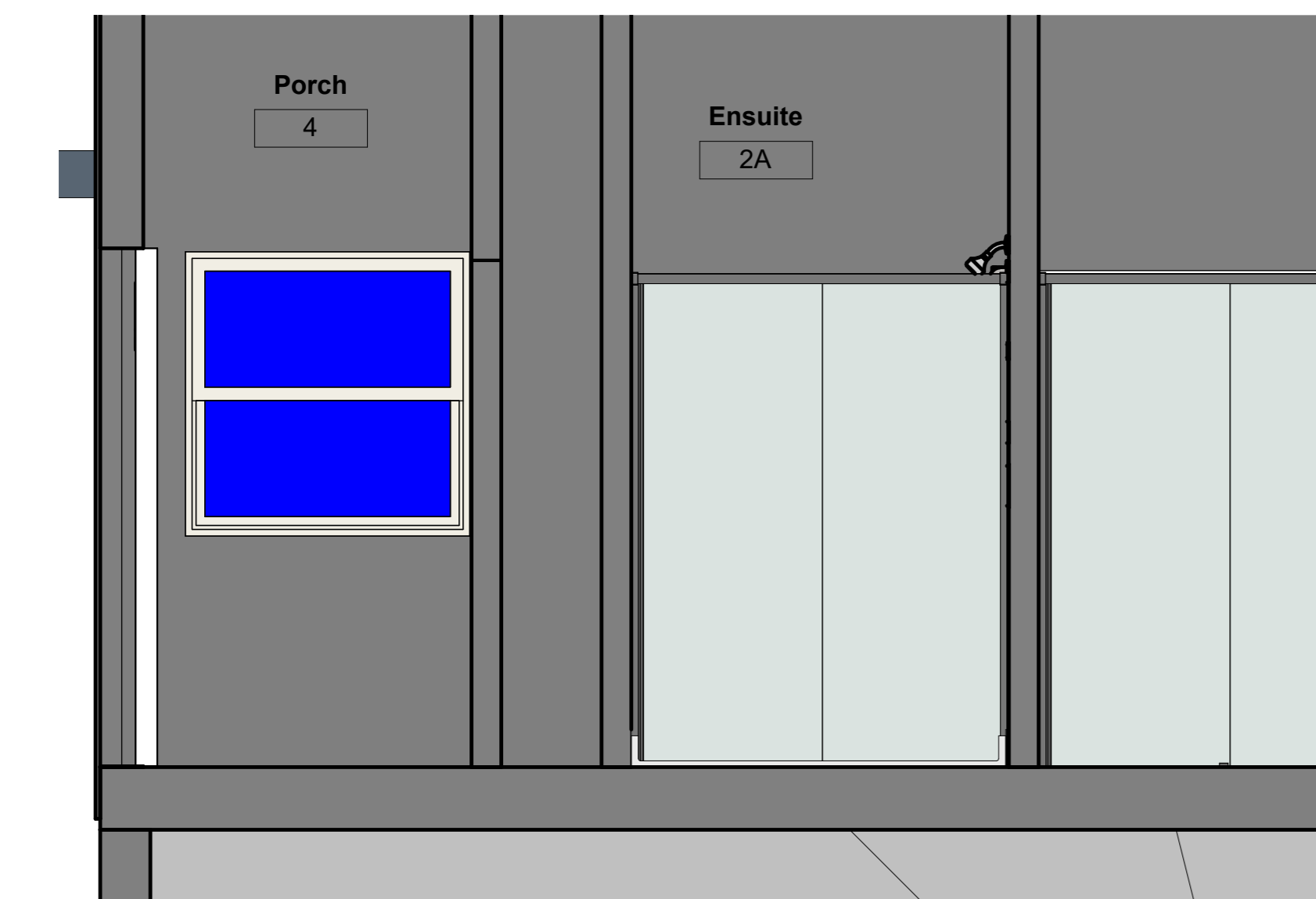
Project
Galway Cottage
Renovation
Framing Details &
Specification

Project number: 2022-25
Date: 2022/09/13
Drawn by: RLJ
Checked by: RLJ

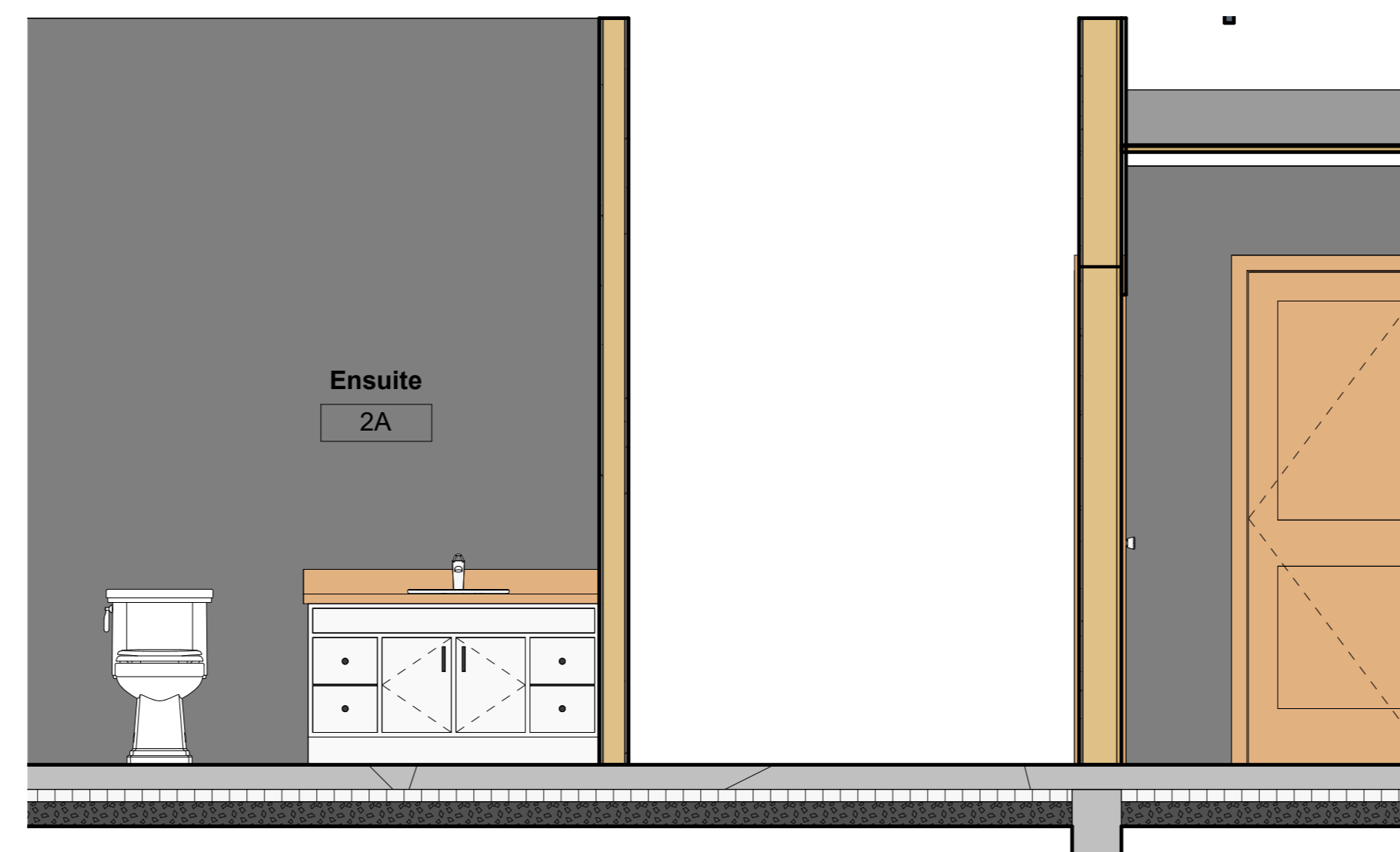
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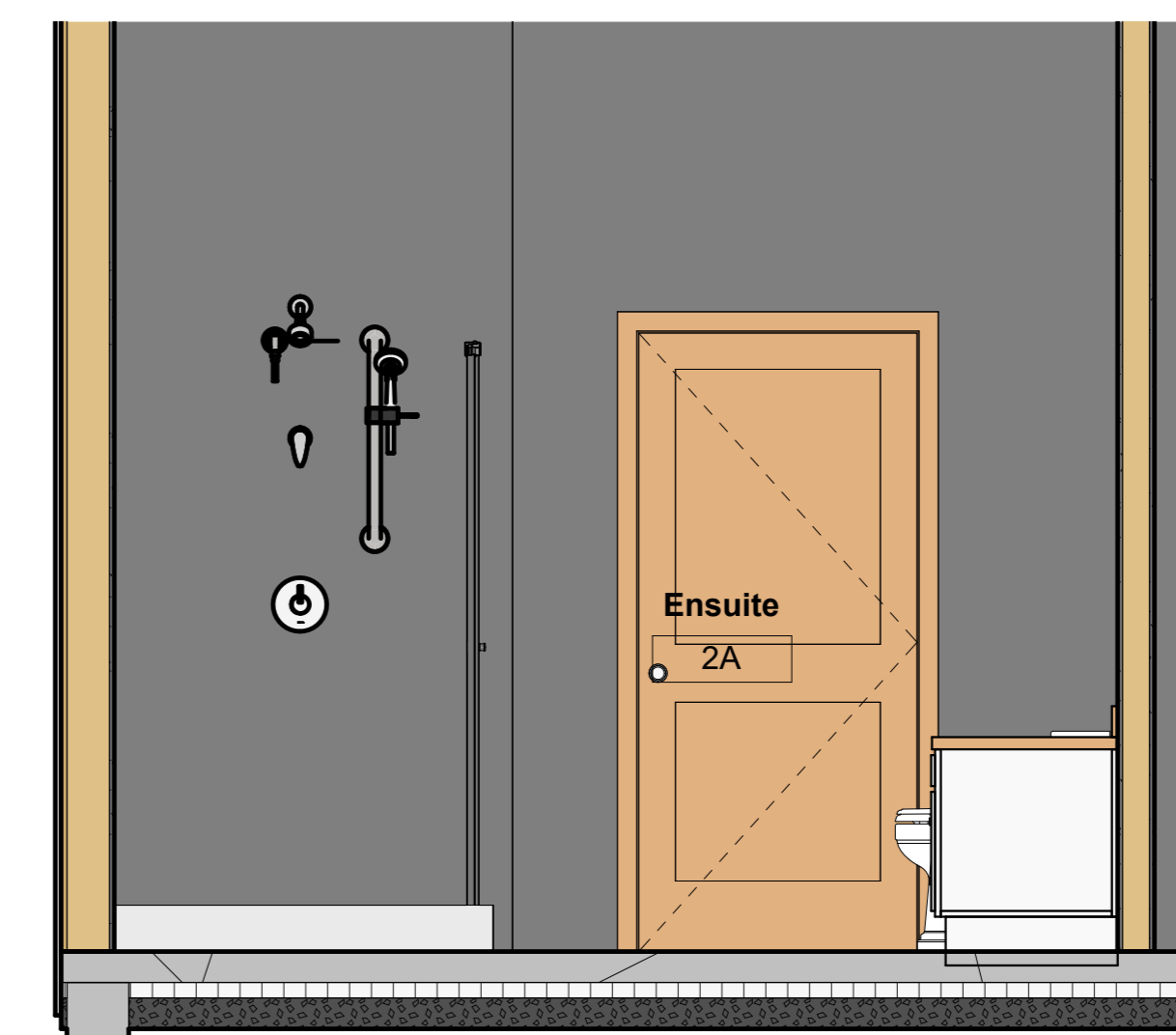
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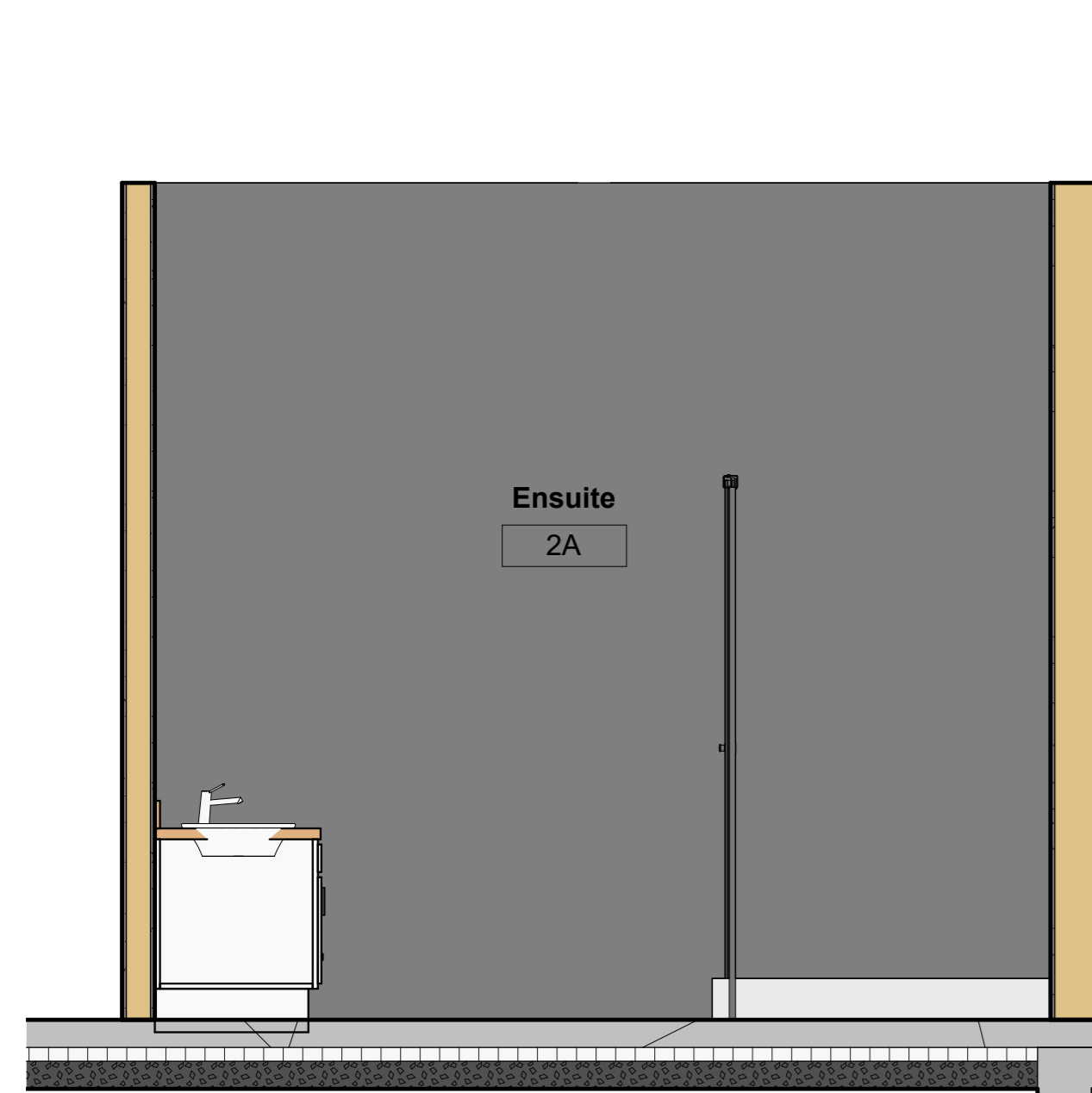
① Ensuite 2A Looking North
1/2" = 1'-0"



② Ensuite 2A Looking South
1/2" = 1'-0"



③ Ensuite 2A Looking East
1/2" = 1'-0"



④ Ensuite 2A Looking West
1/2" = 1'-0"

No.	Description	Date
1	IF Client Use	Jan 13, 2023

**PROJECT
COTTAGE
RENOVATION 2
Ensuite 2A Room
Elevations**

Project number 2022-024
Date Sept 13, 2022
Drawn by RLJ
Checked by RLJ

A12