

SUPPLEMENTAL DECLARATION OF COVENANTS AND RESTRICTIONS  
FOR SECTION I DICKENS PLACE PUD

Oliver & Glenn  
Section 9 Township 2 Range 7

This Supplemental Declaration of Covenants and Restrictions made this 3<sup>rd</sup> day of May, 2004, by Dickens, LLC, a Mississippi Limited Company, hereinafter referred to as "Declarant", WITNESSETH:

WHEREAS, Declarant is the developer of Dickens Place PUD and has filed an overall Amended and Restated Declaration of Covenants and Restrictions for Dickens Place PUD in the office of the Chancery Clerk of DeSoto County, Mississippi, said Declaration appearing of Record in Deed Book \_\_\_\_\_, Page \_\_\_\_\_, in the office of the Chancery Clerk of DeSoto County, Mississippi; and

WHEREAS, the recorded plat for Section I Dickens Place PUD is recorded in Plat Book 86 PG 30-31 in said Chancery Clerk's Office; and

WHEREAS, as contemplated by the aforesaid Amended and Restated Declaration, Declarant shall establish the minimum square footage for dwelling houses to be constructed on the lots in each section prior to sale thereof and to place any further covenants, conditions or restrictions not contained in the original declaration that are to apply to particular sections of the development as plats are recorded; and

WHEREAS, such is the express purpose of this instrument.

NOW, THEREFORE, Declarant hereby declares that the numbered lots in Section I, Dickens Place PUD, shall be held, used, transferred, sold and conveyed subject to the following restrictions, to-wit:

1. The minimum heated area of each Townhome Residence, exclusive of open porches and carports, shall be 1600 square feet on a single story dwelling and 1850 square feet on a one and a half story dwelling or two story dwelling.
2. Colors on exterior of any and all homes, structures and/or other outbuildings such as but not limited to brick, siding, shingles, shutters, gutters, windows and doors must be approved by Developer before construction.
3. All roofs to be constructed with architectural shingles approved by the Developer.
4. No house, building, fence, structure, alteration, addition or improvement of any kind will be erected on any lot in the subdivision until the building plans, specifications, and plot plan showing the location of such building have been approved in writing by the Developer Bridgforth Properties, Inc., or by a duly-appointed representative of said company. The developer will access each building as to conformity and harmony with existing structures in the subdivision and as to location of the building with respect to topography and finished ground elevation. House plans shall be submitted to Bridgforth Realty, Inc., a minimum of thirty days prior to initiation of construction. A complete plot plan showing location of house, driveway and any outbuildings, etc. shall be submitted along with house plans.

STATE MS.-DESOTO CO.  
FILED

MAY 5 11 12 AM '04

471 PG 337  
BK - CH. CLK.

The Chancery Clerk of DeSoto County, Mississippi is hereby authorized, requested and empowered to make the appropriate marginal notation of the recording of this Supplemental Declaration on the face of the recorded plat of Section I, Dickens Place PUD.

WITNESS our signatures this the date written above.

Dickens, LLC

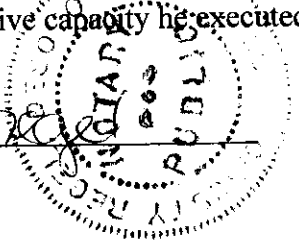
BY: Barry W. Bridgforth, Mgr.  
Barry W. Bridgforth, Manager

STATE OF MISSISSIPPI

COUNTY OF DESOTO

PERSONALLY appeared before me, the undersigned authority in and for the said county and state, on this 5th day of May, 2004, within my jurisdiction, the within named Barry W. Bridgforth, who acknowledged that he is Manager of Dickens, LLC and that in said representative capacity he executed the above and foregoing instrument, after first having been duly authorized to do so.

Gregory P. Stegall  
Notary Public



My Commission Expires:

MISSISSIPPI STATEWIDE NOTARY PUBLIC  
MY COMMISSION EXPIRES JUNE 18, 2005  
BONDED THRU STEGALL NOTARY SERVICE

Bridgforth Properties, Inc.  
3606 Bridgforth Rd.  
Olive Branch, MS 38654  
662-895-4441