

INSPECTION REPORT



For the Property at:

Prepared for: .
Inspection Date: Wednesday, August 26, 2020
Prepared by: Marlon Burwell



BURWELL HOME INSPECTIONS, LLC

Burwell Home Inspections, LLC
1194 Ashborough Dr
Marietta, GA 30067
678-478-6234

burwellhomeinspections.com
BurwellHomeInspections@gmail.com



BURWELL HOME INSPECTIONS, LLC

September 1, 2020

Dear _____

RE: Report No. 1006

Thanks very much for choosing us to perform your home inspection. The inspection itself and the attached report comply with the requirements of the Standards of Practice of our national Association. This document defines the scope of a home inspection.

Clients sometimes assume that a home inspection will include many things that are beyond the scope. We encourage you to read the Standards of Practice so that you clearly understand what things are included in the home inspection and report.

The report has been prepared for the exclusive use of our client. No use by third parties is intended. We will not be responsible to any parties for the contents of the report, other than the party named herein .

The report is effectively a snapshot of the house, recording the conditions on a given date and time. Home inspectors cannot predict future behavior, and as such, we cannot be responsible for things that occur after the inspection. If conditions change, we are available to revisit the property and update our report.

The report itself is copyrighted, and may not be used in whole or in part without our express written permission.

Again, thanks very much for choosing us to perform your home inspection.

Sincerely,

Marlon Burwell
on behalf of
Burwell Home Inspections, LLC

Burwell Home Inspections, LLC
1194 Ashborough Dr
Marietta, GA 30067
678-478-6234
burwellhomeinspections.com
BurwellHomeInspections@gmail.com

SUMMARY

Report No. 1006

4500 Wilshire Blvd., Suite 200, San Francisco, CA 94115 August 26, 2020

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SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

SITE INFO

REFERENCE

This Summary outlines potentially significant issues from a cost or safety standpoint. This section is provided as a courtesy and cannot be considered a substitute for reading the entire report. Please read the complete document.

[Priority Maintenance Items](#)

This concludes the Summary section.

The remainder of the report describes each of the home's systems and also details any recommendations we have for improvements. Limitations that restricted our inspection are included as well.

The suggested time frames for completing recommendations are based on the limited information available during a pre-purchase home inspection. These may have to be adjusted based on the findings of specialists.

[Home Improvement - ballpark costs](#)

Description

The home is considered to face: • West

Sloped roofing material:

- [Asphalt shingles](#)



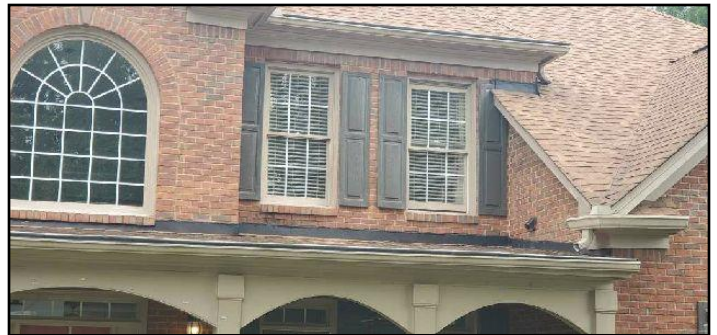
1. Asphalt shingles



2. Asphalt shingles



3. Asphalt shingles



4. Asphalt shingles



5. Asphalt shingles



6. Asphalt shingles

August 26, 2020

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SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

SITE INFO

REFERENCE



7. Asphalt shingles



8. Asphalt shingles

Sloped roof flashing material: • Metal • Aluminum

Flat roofing material: • Asphalt shingles

Limitations

Roof inspection limited/prevented by: • Lack of access (too high/steep)

Inspection performed: • From the ground

Recommendations

RECOMMENDATIONS \ Overview

1. Condition: • No roofing recommendations are offered as a result of this inspection.

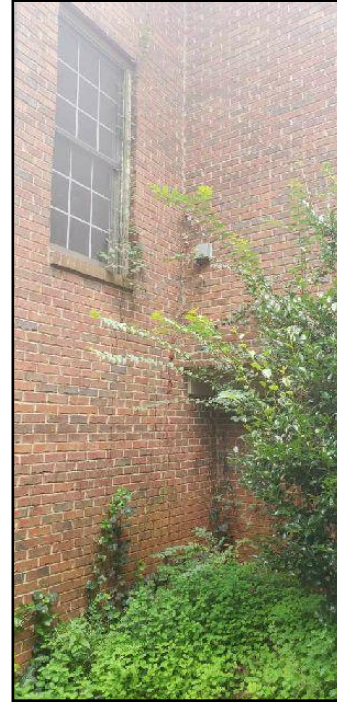
Location: Throughout

Description

General: • blank note



9. potential moisture intrusion



10.



11.



12. potential moisture intrusion

August 26, 2020

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SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

SITE INFO

REFERENCE



13.



14.



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16.

August 26, 2020

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SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

SITE INFO

REFERENCE



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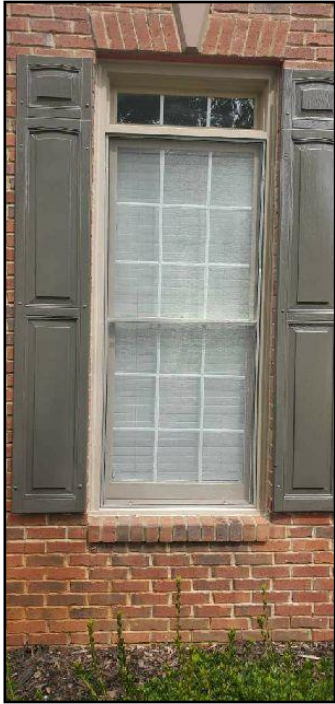
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August 26, 2020

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SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

SITE INFO

REFERENCE



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August 26, 2020

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SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

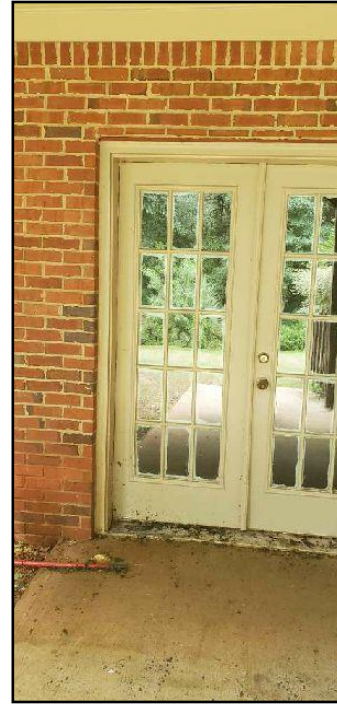
INTERIOR

SITE INFO

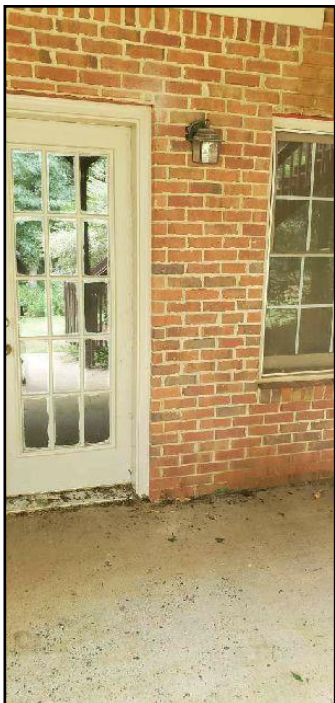
REFERENCE



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August 26, 2020

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SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

SITE INFO

REFERENCE



37.



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August 26, 2020

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SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

SITE INFO

REFERENCE



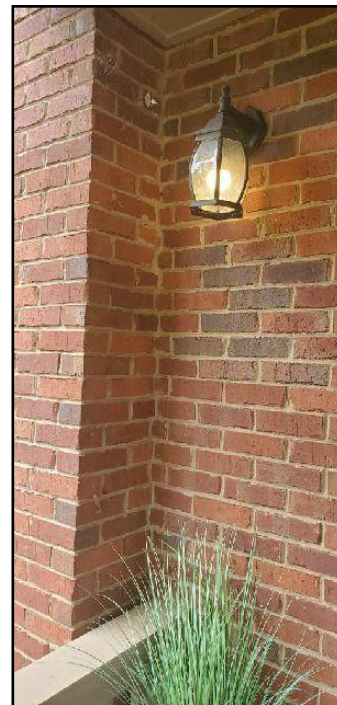
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51.

Gutter & downspout material: • Aluminum

Downspout discharge:

- [Above grade](#)



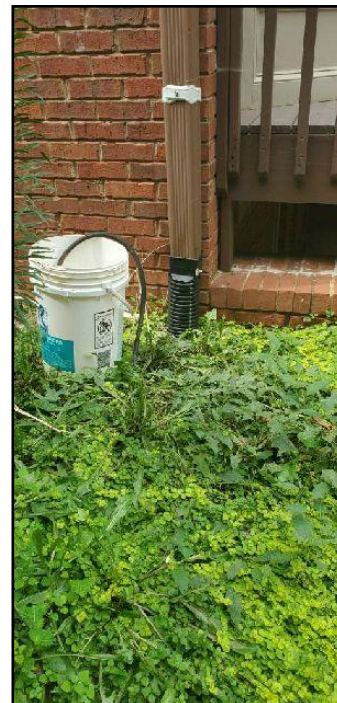
52. Above grade



53. Above grade



54. Above grade

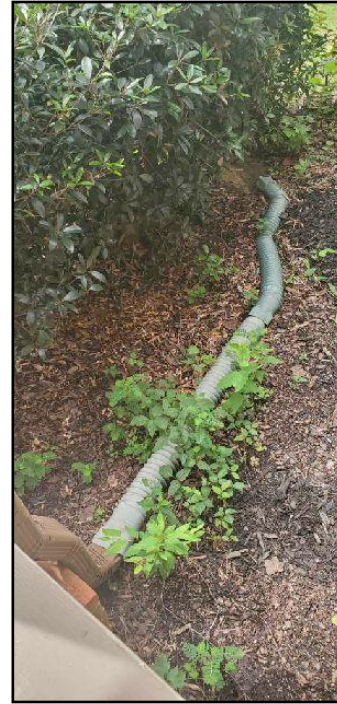


55. Above grade

SUMMARY	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
SITE INFO	REFERENCE								



56. Above grade



57. Above grade



58. Above grade

Lot slope:

- [Away from building](#)



59. Away from building

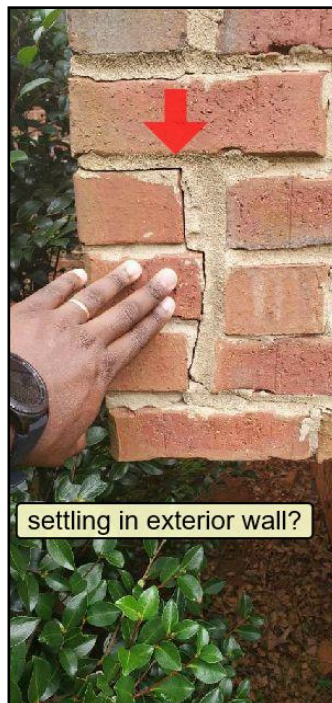
- [Towards building](#)



60. Towards building

Wall surfaces and trim:

- [Brick](#)



61. Brick

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

SITE INFO

REFERENCE

Retaining wall: • [Masonry](#)

Driveway:

• Concrete



62. Concrete



63. Concrete

Walkway:

• Concrete



64. Concrete



65. Concrete

Garage:

• Attached



66. Attached



67. Attached



68. Attached



69. Attached

potential safety hazard
located in garage

August 26, 2020

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SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

SITE INFO

REFERENCE

**70.** Attached**Garage vehicle doors:**

- Present

**71.** Present**Garage vehicle door operator:** • Present**Limitations****Inspection limited/prevented by:** • blank note**Upper floors inspected from:** • Ground level**Exterior inspected from:** • Ground level

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

SITE INFO

REFERENCE

Recommendations

ROOF DRAINAGE \ Downspouts

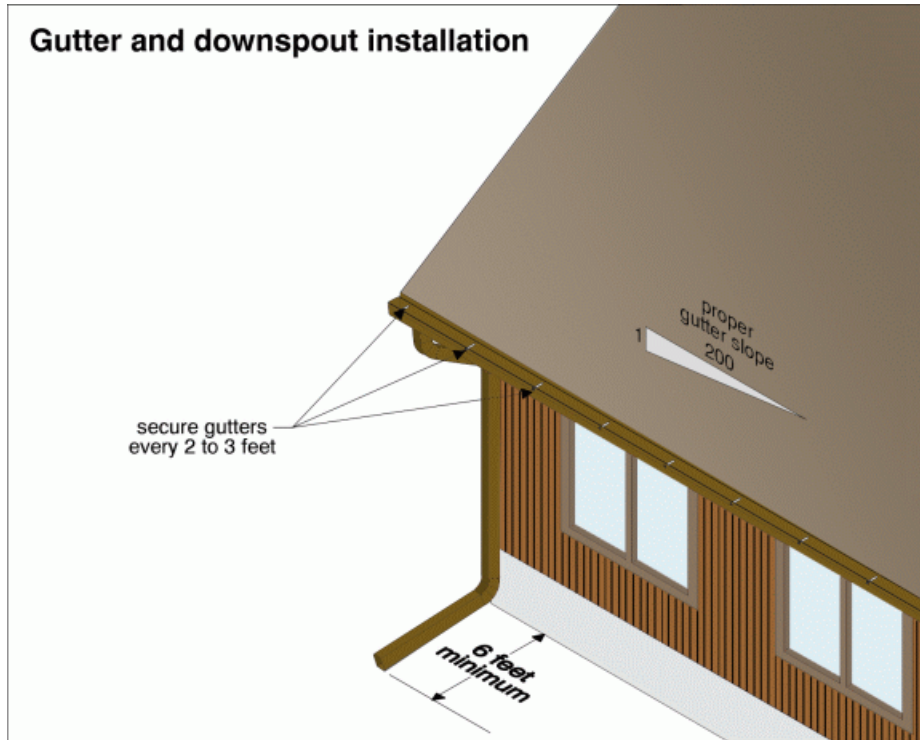
2. Condition: • [Should discharge 6 feet from building](#)

Implication(s): Chance of water damage to contents, finishes and/or structure

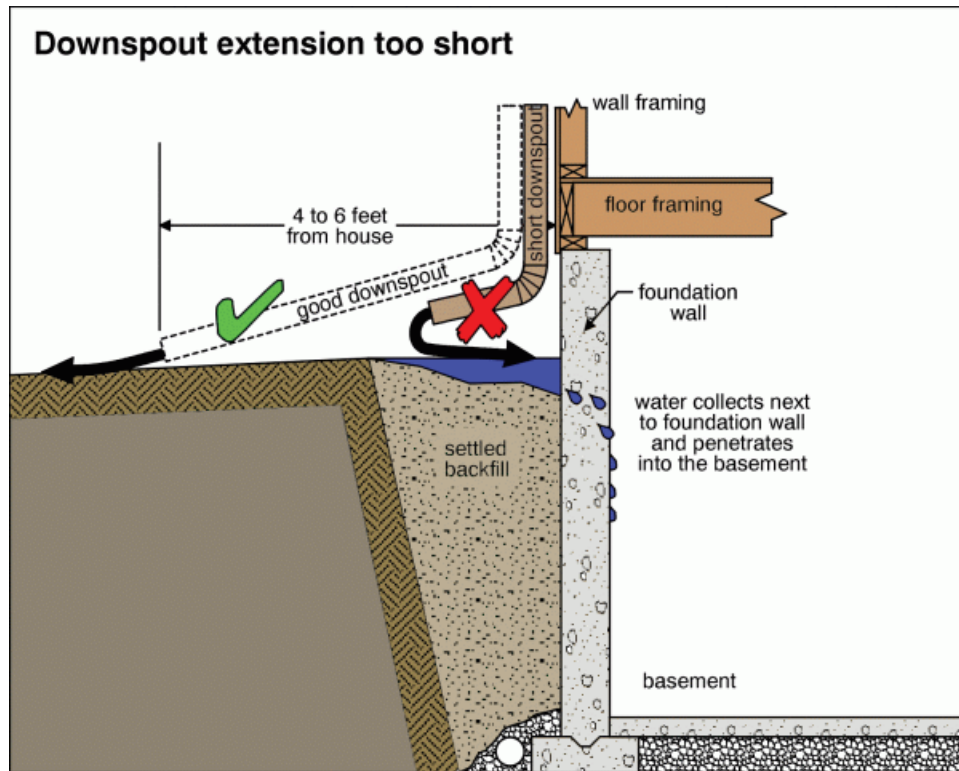
Location: Throughout Exterior

Task: Improve

Time: As soon as possible



SUMMARY	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
SITE INFO	REFERENCE								



WALLS \ Masonry (brick, stone) and concrete

3. Condition: • [Cracked](#)

Implication(s): Chance of water entering building | Weakened structure | Chance of movement

Location: South Exterior

LANDSCAPING \ General notes

4. Condition: • [Planters and gardens against walls](#)

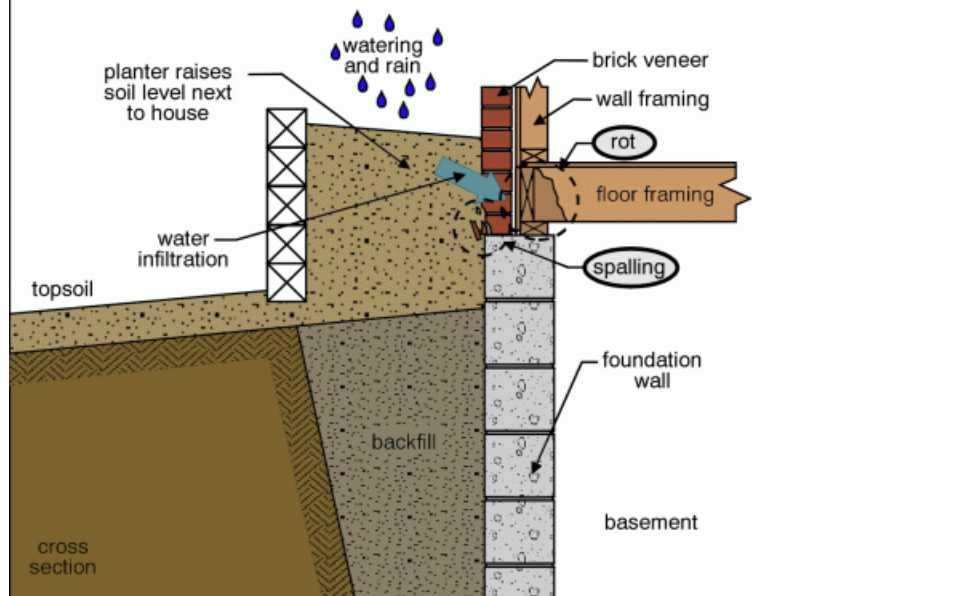
Implication(s): Chance of water entering building | Chance of damage to structure | Chance of structural movement

Location: Throughout Rear

Task: Improve

Time: When necessary

Watch for planters or gardens against walls



5. Condition: • Vines on building

Implication(s): Chance of damage to finishes | Chance of pests entering building

Location: Throughout Rear

Task: Improve

Time: When necessary

Description

Configuration: • [Basement](#)

Foundation material: • [Poured concrete](#)

Floor construction:

- [Joists](#)



72. Joists

Exterior wall construction: • Not visible

Roof and ceiling framing:

- Ceiling Joists



73. Ceiling Joists



74. Ceiling Joists

August 26, 2020

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SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

SITE INFO

REFERENCE



75. Ceiling Joists

Location of access to under-floor area: • Basement

Limitations

Inspection limited/prevented by: • Ceiling, wall and floor coverings

Attic/roof space: • Inspected from access hatch

Crawlspace: • blank note

Recommendations

RECOMMENDATIONS \ Overview

6. Condition: • No structure recommendations are offered as a result of this inspection.

Location: Throughout

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

SITE INFO

REFERENCE

Description

General: • blank note



76.



77.

Service size: • [60 Amps \(240 Volts\)](#)

Main disconnect/service box type and location:

• [Breakers](#)

August 26, 2020

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SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

SITE INFO

REFERENCE

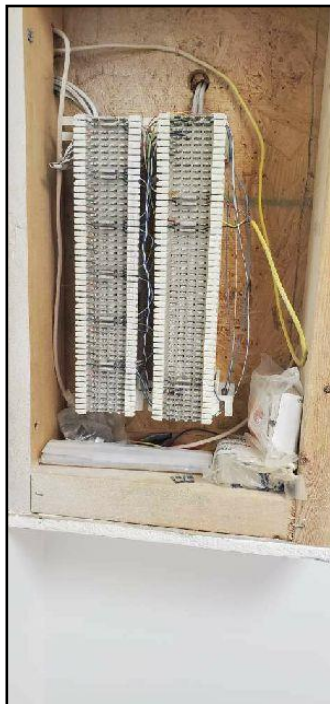


78. Breakers



79. Breakers

- [Fuses - basement](#)



80. Fuses - basement

Distribution panel type and location: • blank note

August 26, 2020

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SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

SITE INFO

REFERENCE



81.

Auxiliary panel (subpanel) type and location:

- [Breakers - basement](#)

Painted shut



82. Breakers - basement

August 26, 2020

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SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

SITE INFO

REFERENCE

Distribution wire (conductor) material and type: • Unable to determine based on breaker box painted shut.

Smoke alarms (detectors):

- [Present](#)



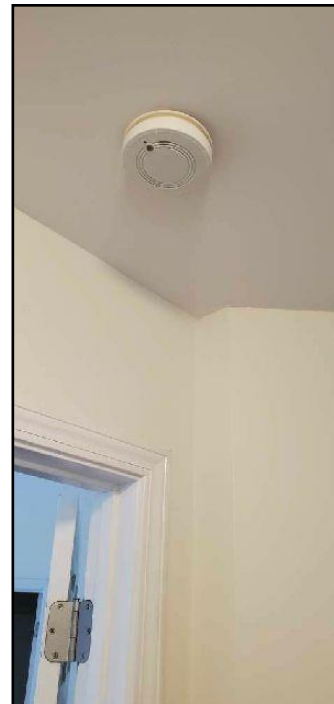
83. Present



84. Present



85. Present



86. Present

August 26, 2020

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SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

SITE INFO

REFERENCE

Carbon monoxide (CO) alarms (detectors): • None noted

Limitations

Inspection limited/prevented by: • Restricted access

Recommendations

DISTRIBUTION SYSTEM \ Outlets (receptacles)

7. Condition: • [Worn receptacles](#)**Implication(s):** Electric shock | Fire hazard**Location:** Throughout**Task:** Replace**Time:** As soon as possible

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

SITE INFO

REFERENCE

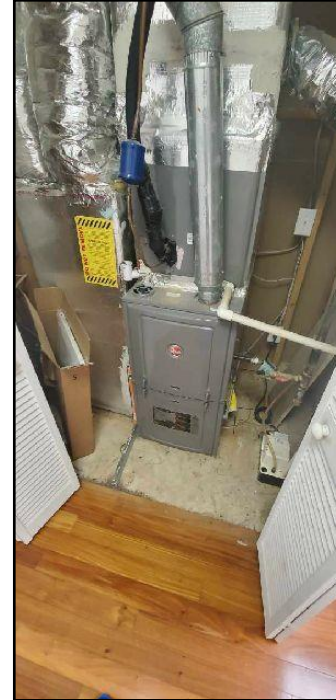
Description

System type:

- [Furnace](#)



87. Furnace



88. Furnace

Fuel/energy source: • [Gas](#)**Exhaust venting method:** • [Forced draft](#)**Combustion air source:** • Interior of building**Fireplace/stove:** • [Wood-burning fireplace](#)**Chimney liner:** • [Not visible](#)**Location of the thermostat for the heating system:** • Living Room • Hallway

Limitations

Inspection prevented/limited by: • blank note**Fireplace/wood stove:** • Quality of chimney draw cannot be determined

August 26, 2020

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SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

SITE INFO

REFERENCE

Recommendations

RECOMMENDATIONS \ Overview

8. Condition: • No heating recommendations are offered as a result of this inspection.

Location: Throughout

Description

Air conditioning type: • Central

Heat pump type:

• Central



89. Central



90. Central



91. Central



92. Central

August 26, 2020

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SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

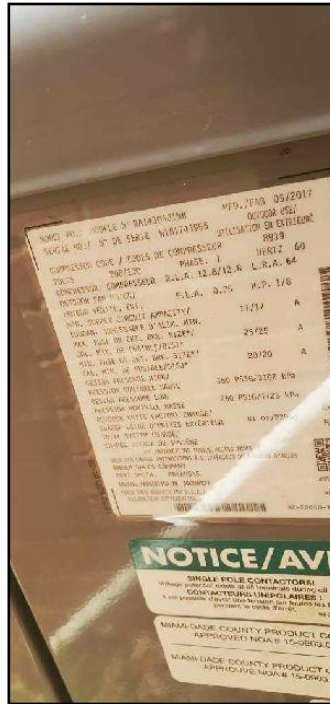
INSULATION

PLUMBING

INTERIOR

SITE INFO

REFERENCE



93. Central

Location of the thermostat for the cooling system: • Living Room • Hallway

Limitations

Inspection limited/prevented by: • blank note

Recommendations

RECOMMENDATIONS \ Overview

9. Condition: • No air conditioning or heat pump recommendations are offered as a result of this inspection.

Location: Throughout

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

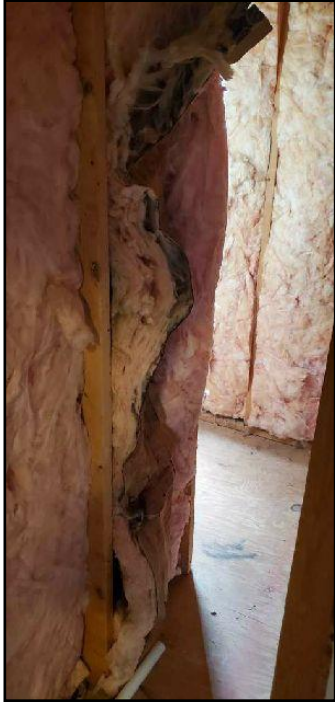
INTERIOR

SITE INFO

REFERENCE

Description

General: • blank note



94.



95.

Attic/roof insulation material:

- [Glass fiber](#)

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

SITE INFO

REFERENCE



96. Glass fiber

- [Mineral wool \(rock wool\)](#)



97. Mineral wool (rock wool)

Attic/roof insulation amount/value: • Not determined

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

SITE INFO

REFERENCE

Attic/roof air/vapor barrier: • Not determined

Attic/roof ventilation: • [Soffit vent](#) • [Gable vent](#)

Wall insulation amount/value: • Not determined

Floor above basement/crawlspace insulation amount/value: • Not determined

Limitations

Attic inspection performed:

- From access hatch



98. From access hatch



99. From access hatch

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

SITE INFO

REFERENCE



100. From access hatch



101. From access hatch

Recommendations

RECOMMENDATIONS \ Overview

10. Condition: • No insulation recommendations are offered as a result of this inspection.

Location: Throughout Attic

Description

General: • Toilet has movement



102.



103.



104.



105.

August 26, 2020

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SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

SITE INFO

REFERENCE



106.



107.

General: • blank note



108.



109.

August 26, 2020

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SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

SITE INFO

REFERENCE



110.



111.



112.



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117.

August 26, 2020

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SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

SITE INFO

REFERENCE



118.



119.



120.



121.

August 26, 2020

burwellhomeinspections.com

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

SITE INFO

REFERENCE



122.



123.



124.



125.

August 26, 2020

burwellhomeinspections.com

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

SITE INFO

REFERENCE



126.



127.



128.



129.



130.



131.



132.



133.

Water supply source (based on observed evidence): • Private

Supply piping in building: • [Not visible](#)

Main water shut off valve at the: • Basement

Water heater type:

• [Conventional](#)

No drip pan



134. Conventional



135. Conventional

Water heater fuel/energy source: • [Gas](#)

Water heater tank capacity: • Not determined

Waste and vent piping in building: • [Plastic](#) • [PVC plastic](#)

Main fuel shut off valve at the: • blank note

Location of fuel storage tank/system: • Basement

Limitations

Inspection limited/prevented by: • blank note

Fixtures not tested/not in service: • blank note

Recommendations

WATER HEATER \ Tank

11. Condition: • Safety pan and drain missing

Implication(s): Chance of water damage to contents, finishes and/or structure

Location: Basement

Task: Improve

Time: As soon as possible

FIXTURES AND FAUCETS \ Faucet

12. Condition: • [Stiff or inoperative](#)

Implication(s): System inoperative or difficult to operate

Location: Second Floor Bathroom

Task: Repair

Time: As soon as possible

FIXTURES AND FAUCETS \ Toilet

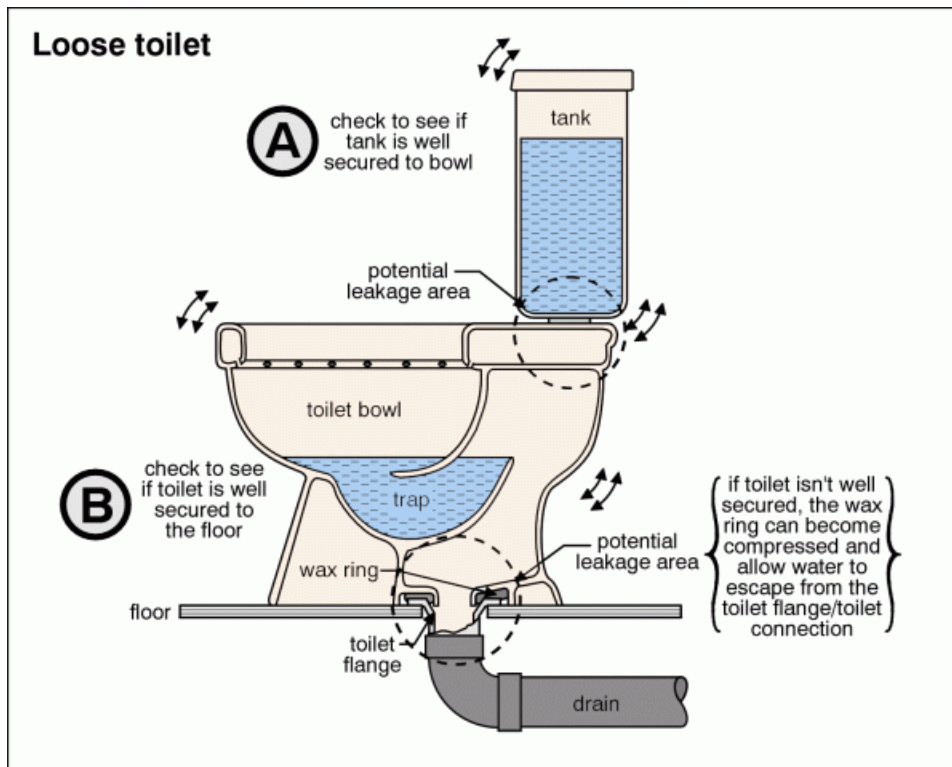
13. Condition: • [Loose](#)

Implication(s): Chance of water damage to contents, finishes and/or structure | Sewage entering the building | Possible hidden damage

Location: First Floor Second Floor Master Bathroom Hallway Bathroom

Task: Repair

Time: As soon as possible



Description

General: • blank note



136.



137.



138.



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145.



clogged vent. dining room

146.



147.

August 26, 2020

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SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

SITE INFO

REFERENCE



148.



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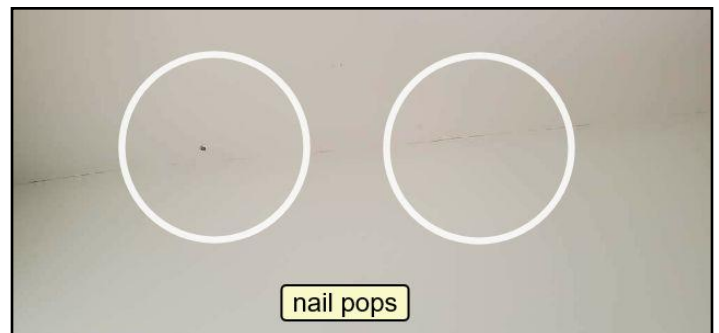
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August 26, 2020

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SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

SITE INFO

REFERENCE



156.



157.



158.



159.



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169.



170.



171.

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

SITE INFO

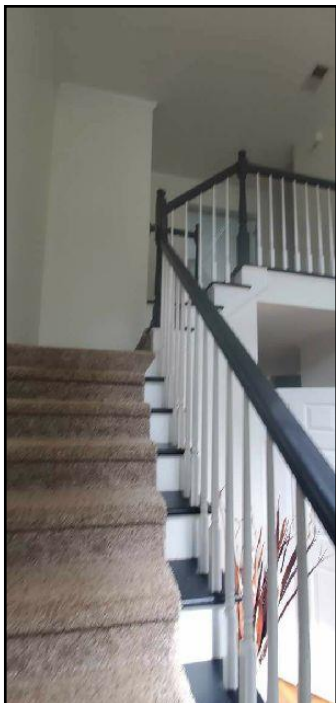
REFERENCE



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179.

August 26, 2020

burwellhomeinspections.com

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

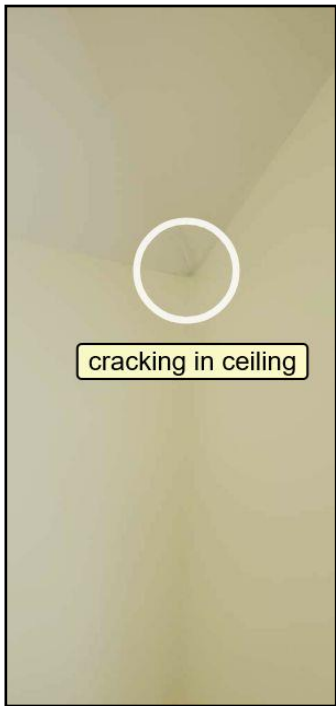
INSULATION

PLUMBING

INTERIOR

SITE INFO

REFERENCE



180.



181.



182.



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August 26, 2020

burwellhomeinspections.com

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

SITE INFO

REFERENCE



184.



185.



186.



187.

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

SITE INFO

REFERENCE



188.



189.



190.



191.

August 26, 2020

burwellhomeinspections.com

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

SITE INFO

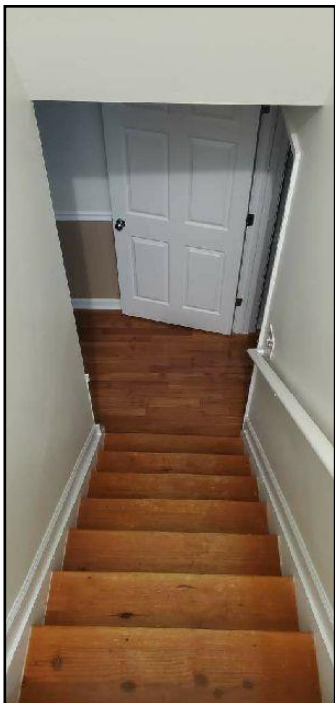
REFERENCE



192.



193.



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August 26, 2020

burwellhomeinspections.com

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

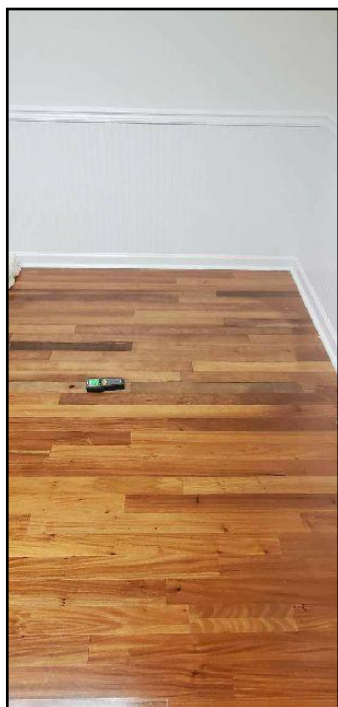
INSULATION

PLUMBING

INTERIOR

SITE INFO

REFERENCE



204.



205.



206.



207.



208.



209.



210.



211.

Major floor finishes: • [Carpet](#) • [Hardwood](#) • Tile

Major wall and ceiling finishes:

• [Plaster/drywall](#)

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

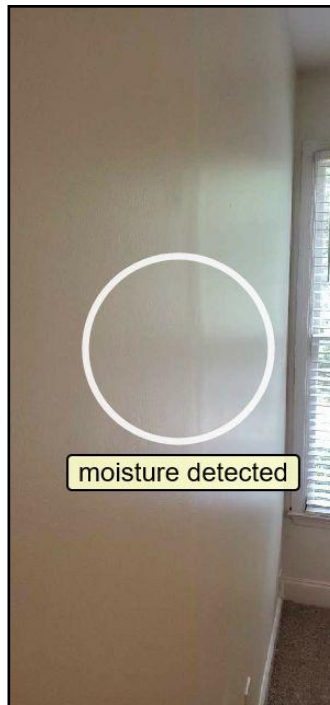
PLUMBING

INTERIOR

SITE INFO

REFERENCE

Moisture present



212. Plaster/drywall

Windows: • [Single/double hung](#)

Exterior doors - type/material: • [Wood](#)

Limitations

Inspection limited/prevented by: • blank note

Recommendations

CEILINGS \ Plaster or drywall

14. Condition: • [Nail pops](#)

Location: Throughout

Task: Repair

Time: If necessary

August 26, 2020

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

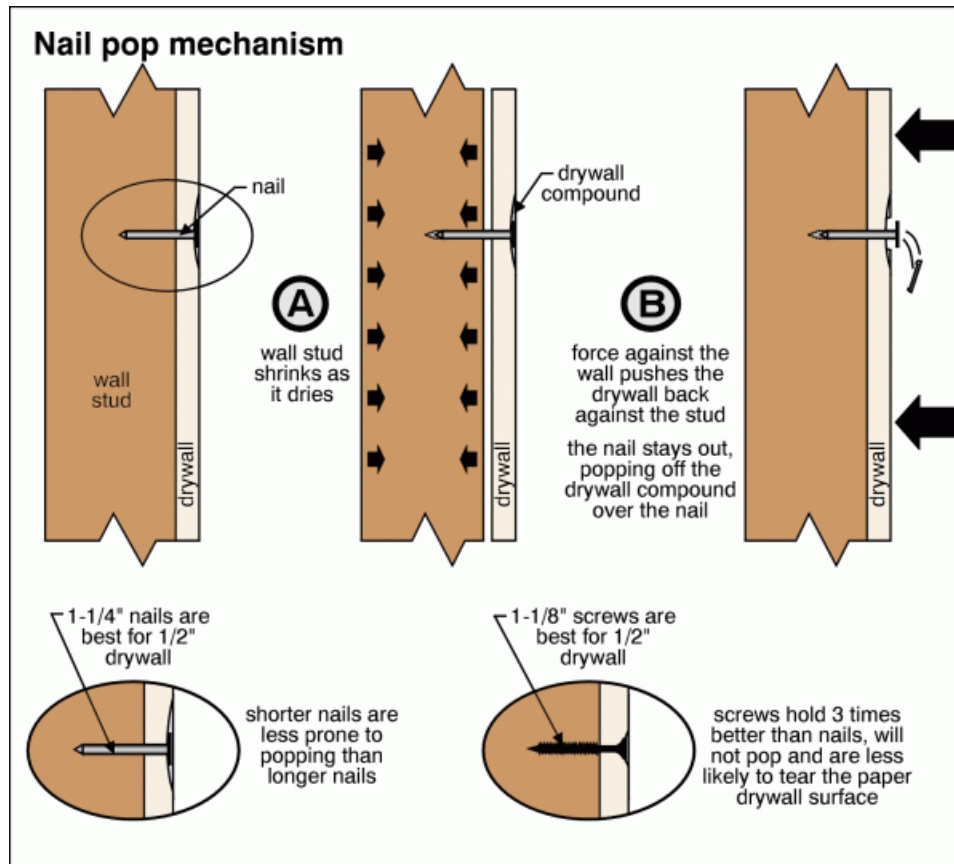
INSULATION

PLUMBING

INTERIOR

SITE INFO

REFERENCE



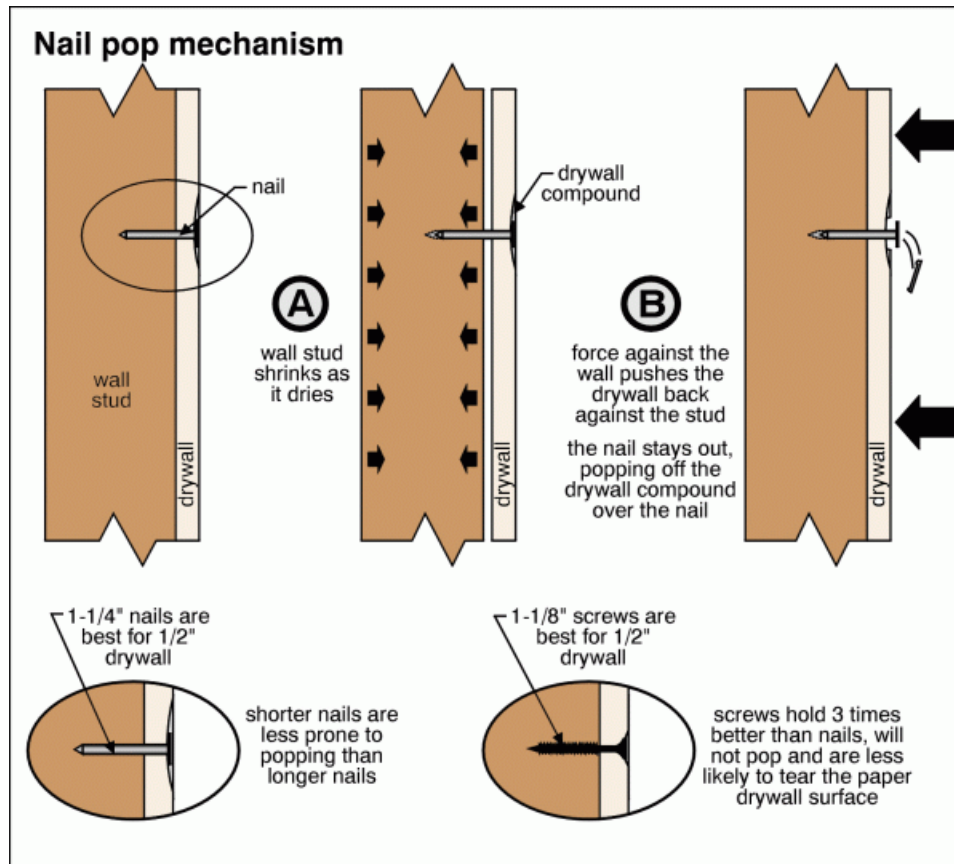
WALLS \ Plaster or drywall

15. Condition: • [Nail pops](#)

Location: Throughout

Task: Repair

Time: If necessary



FLOORS \ General notes

16. Condition: • Damage

Implication(s): Trip hazard

Location: Basement

Task: Repair

Time: As soon as practical

17. Condition: • [Water damage](#)

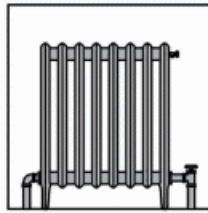
Implication(s): Chance of water damage to contents, finishes and/or structure | Trip or fall hazard

Location: Basement

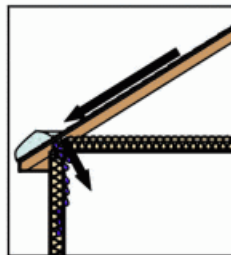
Task: Further evaluation

Time: As soon as possible

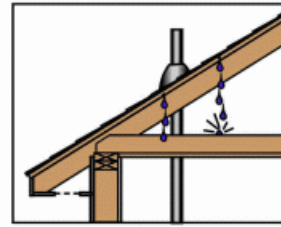
Sources of interior water damage



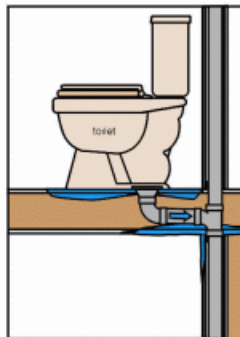
heating leaks



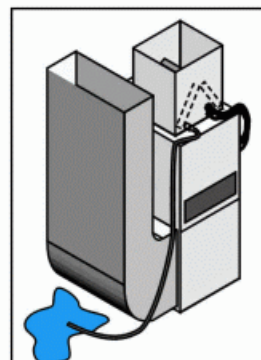
ice damming and condensation



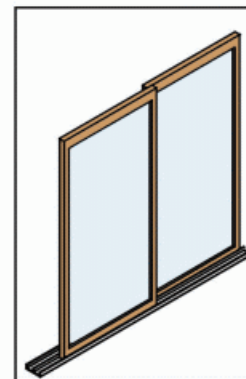
roof or flashing leaks



plumbing leaks



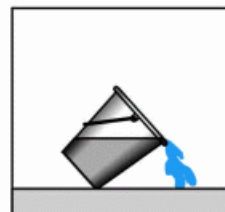
air conditioning leaks



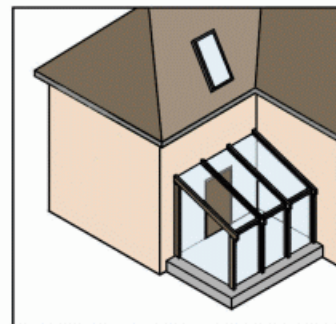
door leaks



melting snow



accidental spills



wall, window, solarium and skylight leaks

WINDOWS \ General notes

18. Condition: • Difficult to operate

Implication(s): System inoperative or difficult to operate

Location: Throughout

Task: Correct

Time: Immediate

Description

General: • Title page



213.



214.

General: • blank note



215.



216.



217.



218.

SITE INFO

1500 WILLOW CREEK LANE, GAITHERSBURG, MD 20878

August 26, 2020

Report No. 1006

burwellhomeinspections.com

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

SITE INFO

REFERENCE



219.



220.



221.



222.



223.



224.

Weather: • Partly sunny • There was rain the day before the inspection.

Approximate temperature: • 86°

Attendees: • Buyer • Buyer's agent

Access to home provided by: • Buyer's agent

Utilities: • All utilities were on during the inspection.

Approximate inspection Start time: • The inspection started at 2:30 p.m.

Approximate inspection End time: • The inspection ended at 5:30 p.m.

Approximate age of home: • 20 to 25 years

Approximate size of home: • 5200 ft.²

SITE INFO

10000 Sunset, Sunset Springs, FL August 26, 2020

SUMMARY	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
SITE INFO	REFERENCE								

Building type: • Detached home
Number of stories: • 2
Number of bedrooms: • 6
Number of bathrooms: • 5
Below grade area: • Basement
Area: • Suburb
Street type: • Residential
Street surface: • Paved

END OF REPORT

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

SITE INFO

REFERENCE

The links below connect you to a series of documents that will help you understand your home and how it works. These are in addition to links attached to specific items in the report.

Click on any link to read about that system.

» 01. ROOFING, FLASHINGS AND CHIMNEYS

» 02. EXTERIOR

» 03. STRUCTURE

» 04. ELECTRICAL

» 05. HEATING

» 06. COOLING/HEAT PUMPS

» 07. INSULATION

» 08. PLUMBING

» 09. INTERIOR

» 10. APPLIANCES

» 11. LIFE CYCLES AND COSTS

» 12. SUPPLEMENTARY

Asbestos

Radon

Urea Formaldehyde Foam Insulation (UFFI)

Lead

Carbon Monoxide

Mold

Household Pests

Termites and Carpenter Ants

» 13. HOME SET-UP AND MAINTENANCE

» 14. MORE ABOUT HOME INSPECTIONS