

INSPECTION REPORT



For the Property at:

Prepared for: .
Inspection Date: Wednesday, August 26, 2020
Prepared by: Marlon Burwell



BURWELL HOME INSPECTIONS, LLC

Burwell Home Inspections, LLC
1194 Ashborough Dr
Marietta, GA 30067
678-478-6234

burwellhomeinspections.com
BurwellHomeInspections@gmail.com



BURWELL HOME INSPECTIONS, LLC

September 1, 2020

Dear _____

RE: Report No. 1006

Thanks very much for choosing us to perform your home inspection. The inspection itself and the attached report comply with the requirements of the Standards of Practice of our national Association. This document defines the scope of a home inspection.

Clients sometimes assume that a home inspection will include many things that are beyond the scope. We encourage you to read the Standards of Practice so that you clearly understand what things are included in the home inspection and report.

The report has been prepared for the exclusive use of our client. No use by third parties is intended. We will not be responsible to any parties for the contents of the report, other than the party named herein .

The report is effectively a snapshot of the house, recording the conditions on a given date and time. Home inspectors cannot predict future behavior, and as such, we cannot be responsible for things that occur after the inspection. If conditions change, we are available to revisit the property and update our report.

The report itself is copyrighted, and may not be used in whole or in part without our express written permission.

Again, thanks very much for choosing us to perform your home inspection.

Sincerely,

Marlon Burwell
on behalf of
Burwell Home Inspections, LLC

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SUMMARY

SUMMARY	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
SITE INFO	REFERENCE								

This Summary outlines potentially significant issues from a cost or safety standpoint. This section is provided as a courtesy and cannot be considered a substitute for reading the entire report. Please read the complete document.

[Priority Maintenance Items](#)

This concludes the Summary section.

The remainder of the report describes each of the home's systems and also details any recommendations we have for improvements. Limitations that restricted our inspection are included as well.

The suggested time frames for completing recommendations are based on the limited information available during a pre-purchase home inspection. These may have to be adjusted based on the findings of specialists.

[Home Improvement - ballpark costs](#)

SUMMARY	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
SITE INFO	REFERENCE								

Description

The home is considered to face: • West

Sloped roofing material:

- [Asphalt shingles](#)



1. Asphalt shingles



2. Asphalt shingles



3. Asphalt shingles



4. Asphalt shingles



5. Asphalt shingles



6. Asphalt shingles

SUMMARY	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
SITE INFO	REFERENCE								



7. Asphalt shingles



8. Asphalt shingles

Sloped roof flashing material: • Metal • Aluminum

Flat roofing material: • Asphalt shingles

Limitations

Roof inspection limited/prevented by: • Lack of access (too high/steep)

Inspection performed: • From the ground

Recommendations

RECOMMENDATIONS \ Overview

1. Condition: • No roofing recommendations are offered as a result of this inspection.

Location: Throughout

- SUMMARY
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Description

General: • blank note



9. potential moisture intrusion



10.



11.



12. potential moisture intrusion

SUMMARY	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
SITE INFO	REFERENCE								



13.



14.



15.



16.

- SUMMARY
 - ROOFING
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 - STRUCTURE
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17.



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20.

SUMMARY	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
SITE INFO	REFERENCE								



21.



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23.



24.

SUMMARY	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
SITE INFO	REFERENCE								



25.



26.



27.



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29.

SUMMARY	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
SITE INFO	REFERENCE								



30.



31.



32.

SUMMARY	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
SITE INFO	REFERENCE								



33.



34.



35.



36.

SUMMARY	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
SITE INFO	REFERENCE								



37.



38.



39.



40.

SUMMARY	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
SITE INFO	REFERENCE								



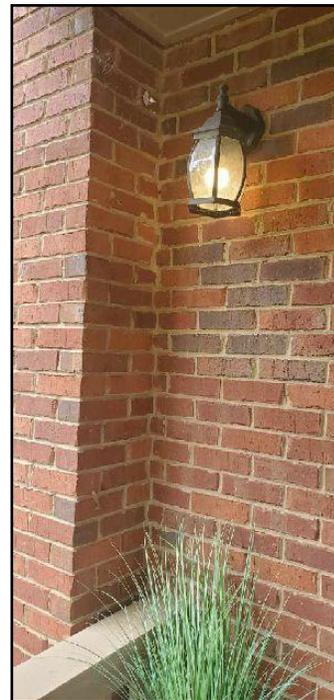
41.



42.



43.



44.

SUMMARY	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
SITE INFO	REFERENCE								



45.



dip in brick and door frame

46.



47.



48.

- SUMMARY
- ROOFING
- EXTERIOR**
- STRUCTURE
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49.



50.



51.

Gutter & downspout material: • Aluminum

Downspout discharge:

- [Above grade](#)

SUMMARY	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
SITE INFO	REFERENCE								



52. Above grade



53. Above grade



54. Above grade



55. Above grade

SUMMARY	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
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56. Above grade



57. Above grade



58. Above grade

Lot slope:

- [Away from building](#)

SUMMARY	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
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59. Away from building

- [Towards building](#)



60. Towards building

Wall surfaces and trim:

- [Brick](#)



61. Brick

SUMMARY	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
SITE INFO	REFERENCE								

Retaining wall: • [Masonry](#)

Driveway:

- Concrete



62. Concrete



63. Concrete

Walkway:

- Concrete



64. Concrete



65. Concrete

Garage:

- Attached

SUMMARY	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
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66. Attached



67. Attached



68. Attached



69. Attached

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70. Attached

Garage vehicle doors:

- Present



71. Present

Garage vehicle door operator: • Present

Limitations

- Inspection limited/prevented by:** • blank note
- Upper floors inspected from:** • Ground level
- Exterior inspected from:** • Ground level

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Recommendations

ROOF DRAINAGE \ Downspouts

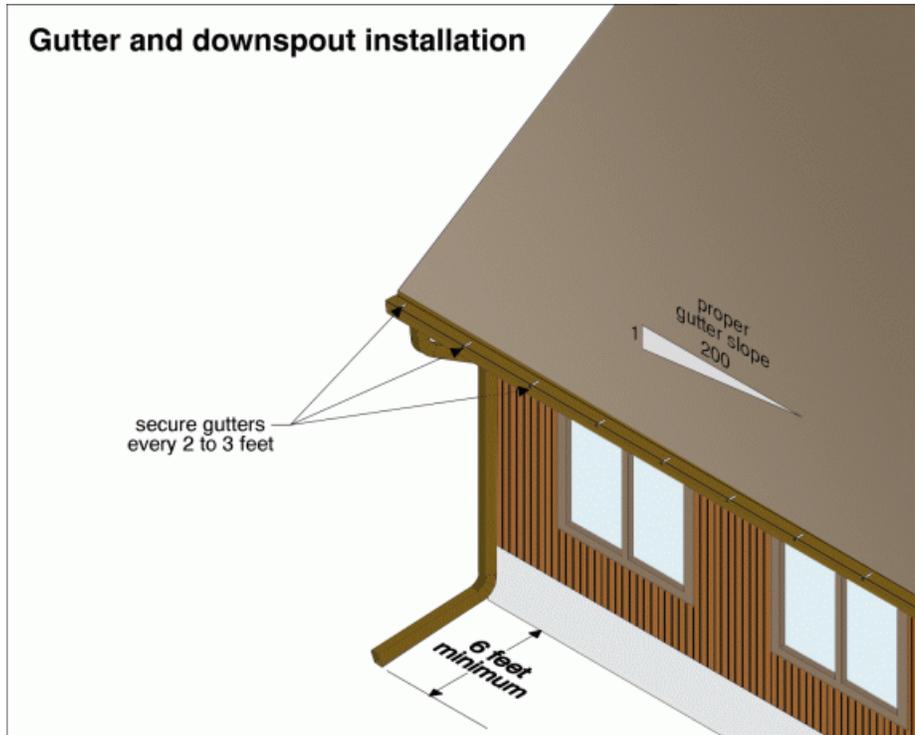
2. Condition: • [Should discharge 6 feet from building](#)

Implication(s): Chance of water damage to contents, finishes and/or structure

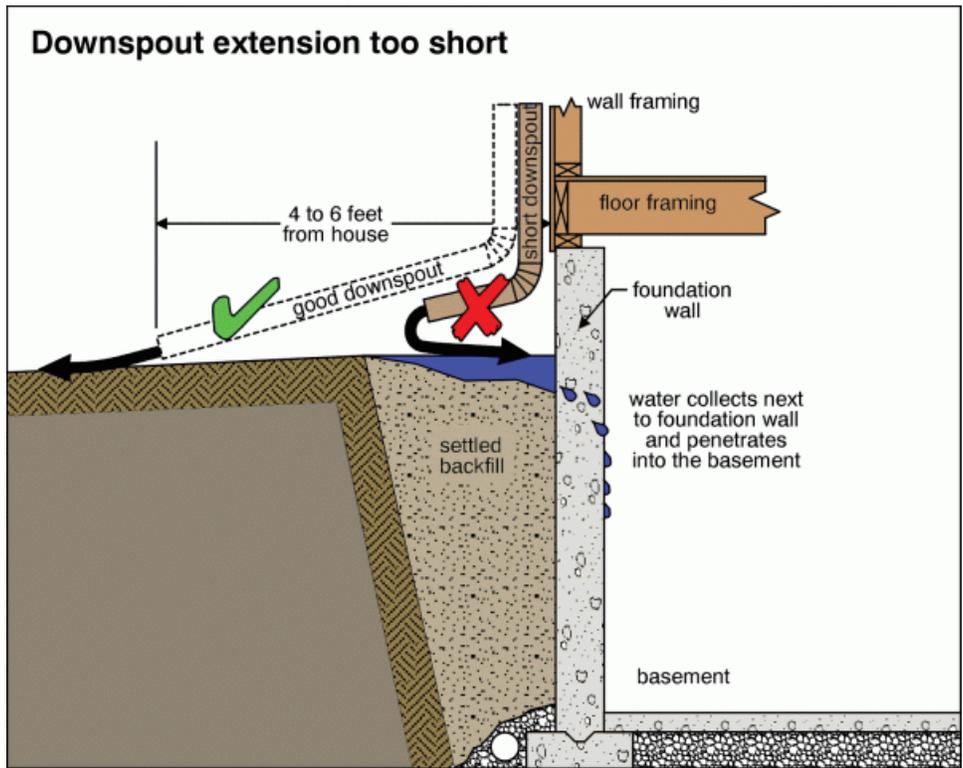
Location: Throughout Exterior

Task: Improve

Time: As soon as possible



SUMMARY	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
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WALLS \ Masonry (brick, stone) and concrete

3. Condition: • [Cracked](#)

Implication(s): Chance of water entering building | Weakened structure | Chance of movement

Location: South Exterior

LANDSCAPING \ General notes

4. Condition: • [Planters and gardens against walls](#)

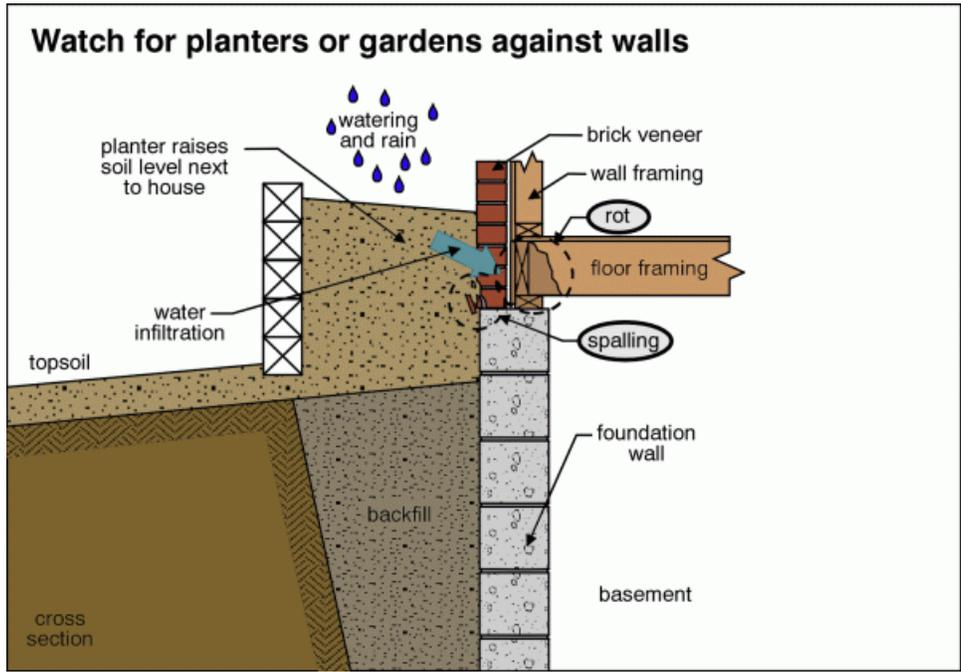
Implication(s): Chance of water entering building | Chance of damage to structure | Chance of structural movement

Location: Throughout Rear

Task: Improve

Time: When necessary

SUMMARY	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
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5. Condition: • Vines on building

Implication(s): Chance of damage to finishes | Chance of pests entering building

Location: Throughout Rear

Task: Improve

Time: When necessary

SUMMARY	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
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Description

Configuration: • [Basement](#)

Foundation material: • [Poured concrete](#)

Floor construction:

- [Joists](#)



72. Joists

Exterior wall construction: • Not visible

Roof and ceiling framing:

- Ceiling Joists



73. Ceiling Joists



74. Ceiling Joists

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75. Ceiling Joists

Location of access to under-floor area: • Basement

Limitations

Inspection limited/prevented by: • Ceiling, wall and floor coverings

Attic/roof space: • Inspected from access hatch

Crawlspace: • blank note

Recommendations

RECOMMENDATIONS \ Overview

6. Condition: • No structure recommendations are offered as a result of this inspection.

Location: Throughout

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Description

General: • blank note



76.



77.

Service size: • [60 Amps \(240 Volts\)](#)

Main disconnect/service box type and location:

- [Breakers](#)

SUMMARY	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
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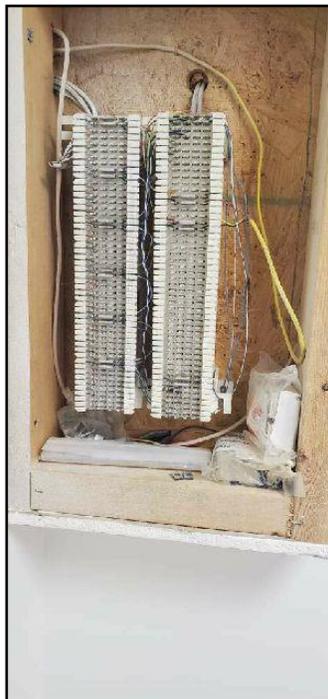


78. Breakers



79. Breakers

- [Fuses - basement](#)



80. Fuses - basement

Distribution panel type and location: • blank note

SUMMARY	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
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81.

Auxiliary panel (subpanel) type and location:

- [Breakers - basement](#)

Painted shut



82. Breakers - basement

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Distribution wire (conductor) material and type: • Unable to determine based on breaker box painted shut.

Smoke alarms (detectors):

- [Present](#)



83. Present



84. Present



85. Present



86. Present

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SUMMARY

ROOFING

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Carbon monoxide (CO) alarms (detectors): • None noted

Limitations

Inspection limited/prevented by: • Restricted access

Recommendations

DISTRIBUTION SYSTEM \ Outlets (receptacles)

7. Condition: • [Worn receptacles](#)

Implication(s): Electric shock | Fire hazard

Location: Throughout

Task: Replace

Time: As soon as possible

SUMMARY

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Description

System type:

- [Furnace](#)



87. Furnace



88. Furnace

Fuel/energy source: • [Gas](#)**Exhaust venting method:** • [Forced draft](#)**Combustion air source:** • Interior of building**Fireplace/stove:** • [Wood-burning fireplace](#)**Chimney liner:** • [Not visible](#)**Location of the thermostat for the heating system:** • Living Room • Hallway

Limitations

Inspection prevented/limited by: • blank note**Fireplace/wood stove:** • Quality of chimney draw cannot be determined

SUMMARY	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
SITE INFO	REFERENCE								

Recommendations

RECOMMENDATIONS \ Overview

8. Condition: • No heating recommendations are offered as a result of this inspection.

Location: Throughout

SUMMARY	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
SITE INFO	REFERENCE								

Description

Air conditioning type: • Central

Heat pump type:

- Central



89. Central



90. Central



91. Central

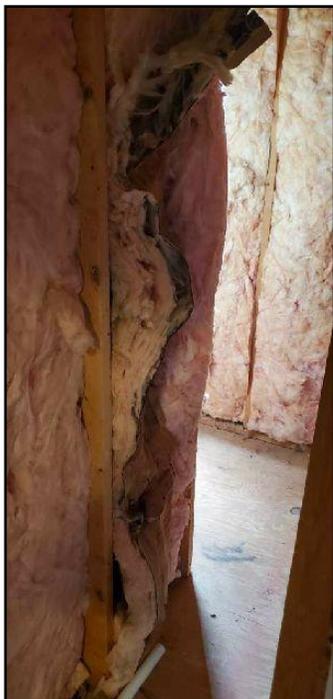


92. Central

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Description

General: • blank note



94.



95.

Attic/roof insulation material:

- [Glass fiber](#)

SUMMARY	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
SITE INFO	REFERENCE								



96. Glass fiber

- [Mineral wool \(rock wool\)](#)



97. Mineral wool (rock wool)

Attic/roof insulation amount/value: • Not determined

SUMMARY	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
SITE INFO	REFERENCE								

- Attic/roof air/vapor barrier:** • Not determined
- Attic/roof ventilation:** • [Soffit vent](#) • [Gable vent](#)
- Wall insulation amount/value:** • Not determined
- Floor above basement/crawlspace insulation amount/value:** • Not determined

Limitations

Attic inspection performed:

- From access hatch



98. From access hatch



99. From access hatch



100. From access hatch



101. From access hatch

Recommendations

RECOMMENDATIONS \ Overview

10. Condition: • No insulation recommendations are offered as a result of this inspection.

Location: Throughout Attic

- SUMMARY
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Description

General: • Toilet has movement



102.



103.



104.



105.

SUMMARY	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
SITE INFO	REFERENCE								



106.



107.

General: • blank note



108.



109.

SUMMARY	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
SITE INFO	REFERENCE								



110.



111.



112.



113.

SUMMARY	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
SITE INFO	REFERENCE								



114.



115.



116.



117.

SUMMARY	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
SITE INFO	REFERENCE								



118.



119.



120.



121.

- SUMMARY
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122.



123.



124.



125.

SUMMARY	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
SITE INFO	REFERENCE								



126.



127.



128.



129.

SUMMARY	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
SITE INFO	REFERENCE								



130.



131.



132.



133.

Water supply source (based on observed evidence): • Private

Supply piping in building: • [Not visible](#)

SUMMARY	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
SITE INFO	REFERENCE								

Main water shut off valve at the: • Basement

Water heater type:

• [Conventional](#)

No drip pan



134. Conventional



135. Conventional

Water heater fuel/energy source: • [Gas](#)

Water heater tank capacity: • Not determined

Waste and vent piping in building: • [Plastic](#) • [PVC plastic](#)

Main fuel shut off valve at the: • blank note

Location of fuel storage tank/system: • Basement

Limitations

Inspection limited/prevented by: • blank note

Fixtures not tested/not in service: • blank note

SUMMARY	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
SITE INFO	REFERENCE								

Recommendations

WATER HEATER \ Tank

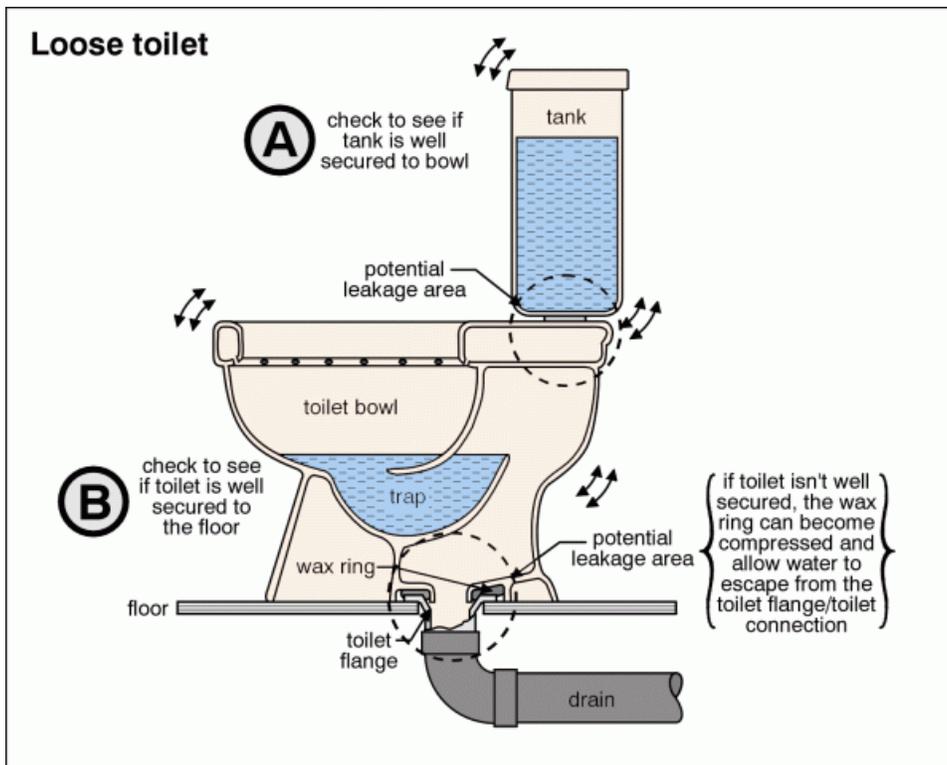
11. Condition: • Safety pan and drain missing
Implication(s): Chance of water damage to contents, finishes and/or structure
Location: Basement
Task: Improve
Time: As soon as possible

FIXTURES AND FAUCETS \ Faucet

12. Condition: • [Stiff or inoperative](#)
Implication(s): System inoperative or difficult to operate
Location: Second Floor Bathroom
Task: Repair
Time: As soon as possible

FIXTURES AND FAUCETS \ Toilet

13. Condition: • [Loose](#)
Implication(s): Chance of water damage to contents, finishes and/or structure | Sewage entering the building | Possible hidden damage
Location: First Floor Second Floor Master Bathroom Hallway Bathroom
Task: Repair
Time: As soon as possible



SUMMARY	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
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Description

General: • blank note



136.



137.



138.



139.

SUMMARY	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
SITE INFO	REFERENCE								



140.



141.



142.



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144.



145.



clogged vent. dining room

146.

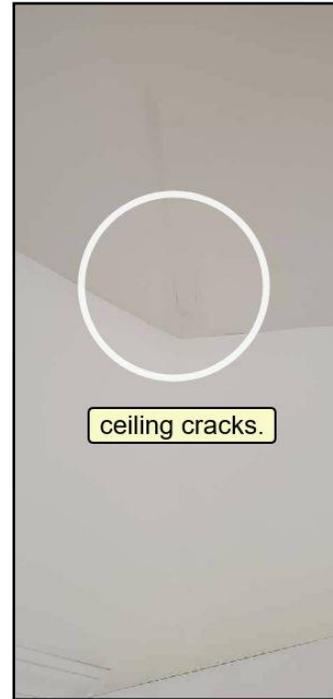


147.

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149.



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151.

SUMMARY	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
SITE INFO	REFERENCE								



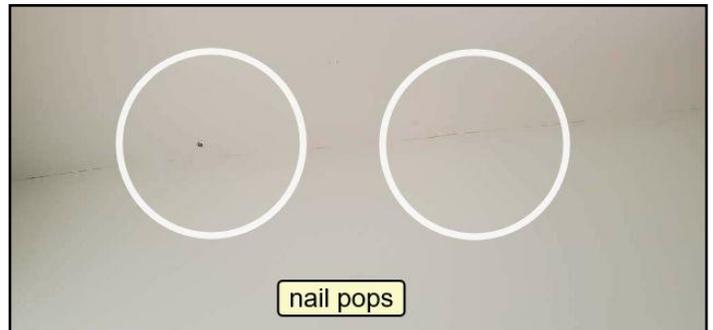
152.



153.



154.



155.

SUMMARY	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
SITE INFO	REFERENCE								



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SUMMARY	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
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SUMMARY	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
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SUMMARY	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
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176.



177.

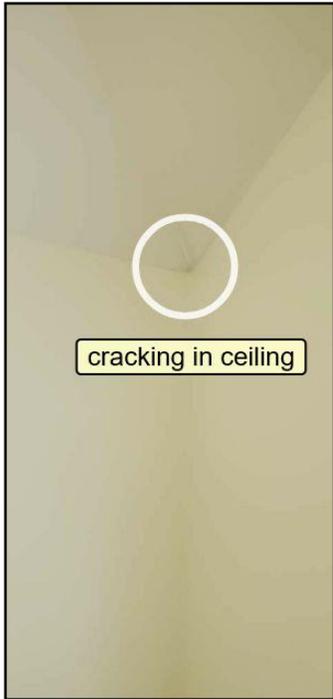


178.



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201.



202.



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208.



209.



210.



211.

Major floor finishes: • [Carpet](#) • [Hardwood](#) • Tile

Major wall and ceiling finishes:

• [Plaster/drywall](#)

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COOLING

INSULATION

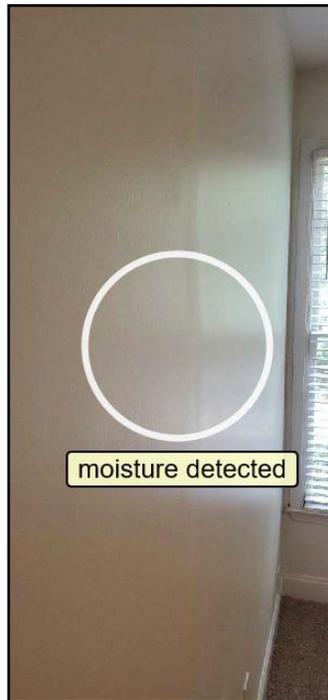
PLUMBING

INTERIOR

SITE INFO

REFERENCE

Moisture present



212. Plaster/drywall

Windows: • [Single/double hung](#)

Exterior doors - type/material: • [Wood](#)

Limitations

Inspection limited/prevented by: • blank note

Recommendations

CEILINGS \ Plaster or drywall

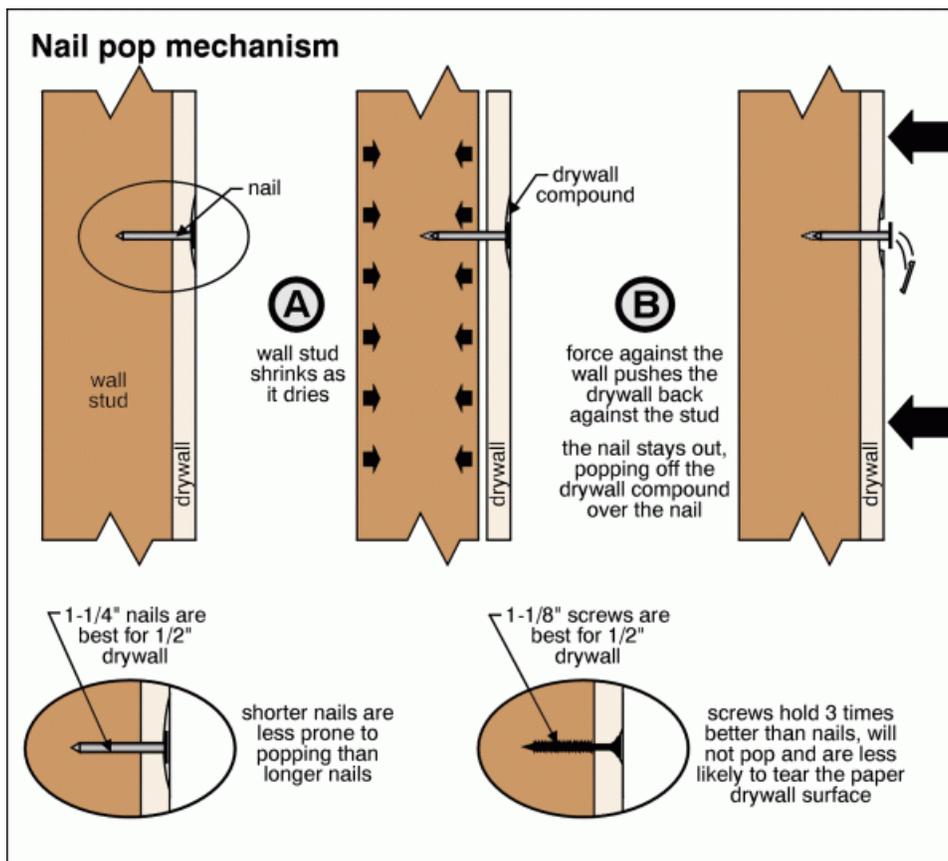
14. Condition: • [Nail pops](#)

Location: Throughout

Task: Repair

Time: If necessary

SUMMARY	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
SITE INFO	REFERENCE								



WALLS \ Plaster or drywall

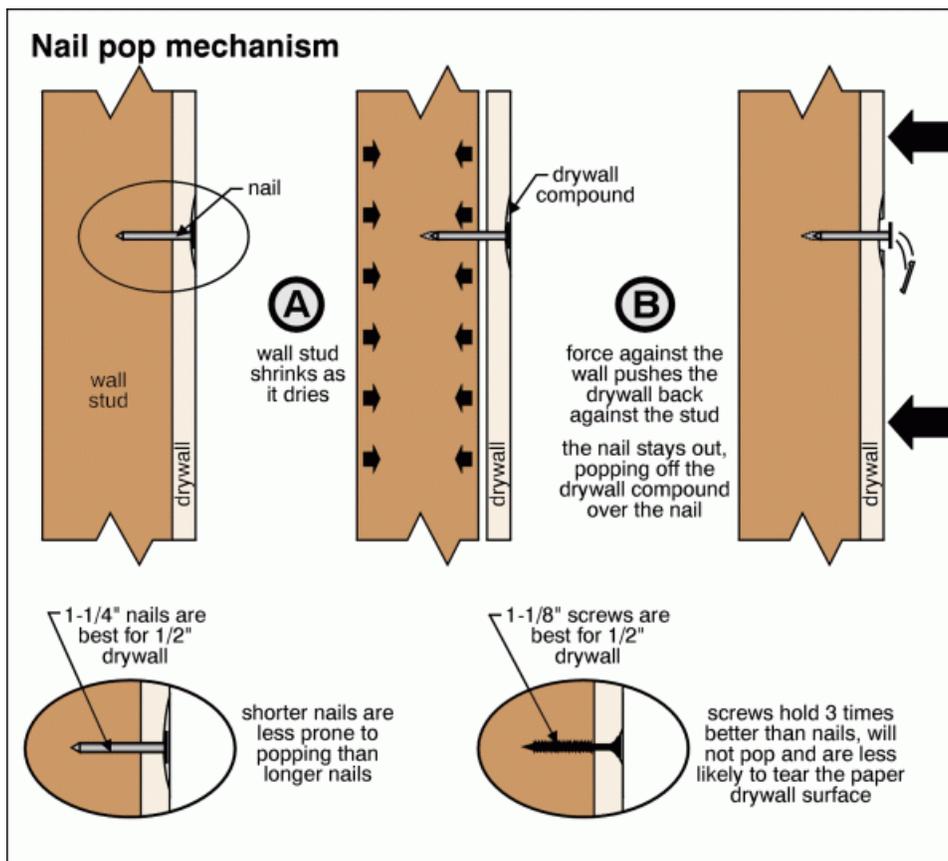
15. Condition: • [Nail pops](#)

Location: Throughout

Task: Repair

Time: If necessary

SUMMARY	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
SITE INFO	REFERENCE								



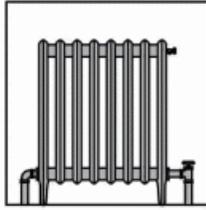
FLOORS \ General notes

16. Condition: • Damage
Implication(s): Trip hazard
Location: Basement
Task: Repair
Time: As soon as practical

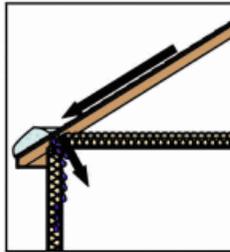
17. Condition: • [Water damage](#)
Implication(s): Chance of water damage to contents, finishes and/or structure | Trip or fall hazard
Location: Basement
Task: Further evaluation
Time: As soon as possible

SUMMARY	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
SITE INFO	REFERENCE								

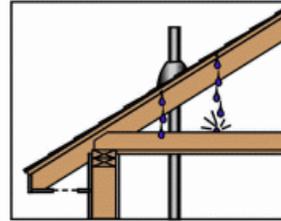
Sources of interior water damage



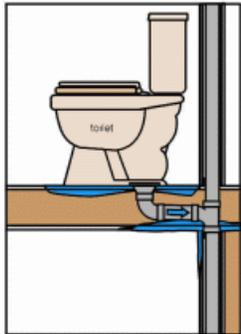
heating leaks



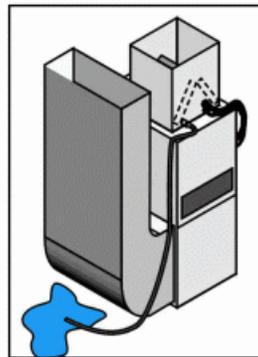
ice damming and condensation



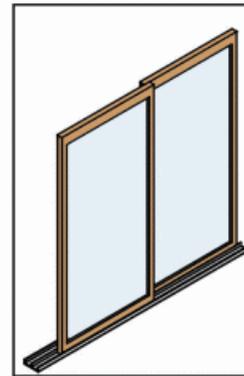
roof or flashing leaks



plumbing leaks



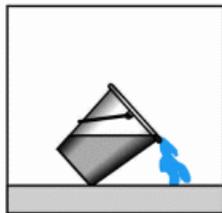
air conditioning leaks



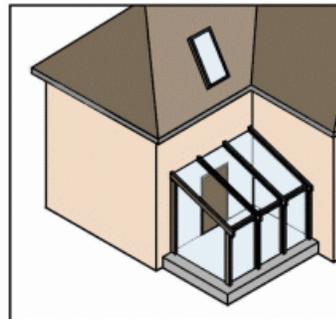
door leaks



melting snow



accidental spills



wall, window, solarium and skylight leaks

WINDOWS \ General notes

18. Condition: • Difficult to operate

Implication(s): System inoperative or difficult to operate

Location: Throughout

Task: Correct

Time: Immediate

- SUMMARY
- ROOFING
- EXTERIOR
- STRUCTURE
- ELECTRICAL
- HEATING
- COOLING
- INSULATION
- PLUMBING
- INTERIOR
- SITE INFO**
- REFERENCE

Description

General: • Title page



213.



214.

General: • blank note



215.



216.



217.



218.

SITE INFO

Report No. 1006

1500 W... COLT... GA August 26, 2020

burwellhomeinspections.com

- SUMMARY
- ROOFING
- EXTERIOR
- STRUCTURE
- ELECTRICAL
- HEATING
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- INTERIOR
- SITE INFO**
- REFERENCE



219.



220.



221.



222.



223.



224.

Weather: • Partly sunny • There was rain the day before the inspection.

Approximate temperature: • 86°

Attendees: • Buyer • Buyer's agent

Access to home provided by: • Buyer's agent

Utilities: • All utilities were on during the inspection.

Approximate inspection Start time: • The inspection started at 2:30 p.m.

Approximate inspection End time: • The inspection ended at 5:30 p.m.

Approximate age of home: • 20 to 25 years

Approximate size of home: • 5200 ft.²

August 26, 2020

burwellhomeinspections.com

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

SITE INFO

REFERENCE

Building type: • Detached home

Number of stories: • 2

Number of bedrooms: • 6

Number of bathrooms: • 5

Below grade area: • Basement

Area: • Suburb

Street type: • Residential

Street surface: • Paved

END OF REPORT

- SUMMARY
- ROOFING
- EXTERIOR
- STRUCTURE
- ELECTRICAL
- HEATING
- COOLING
- INSULATION
- PLUMBING
- INTERIOR
- SITE INFO
- REFERENCE**

The links below connect you to a series of documents that will help you understand your home and how it works. These are in addition to links attached to specific items in the report.

Click on any link to read about that system.

» 01. ROOFING, FLASHINGS AND CHIMNEYS

» 02. EXTERIOR

» 03. STRUCTURE

» 04. ELECTRICAL

» 05. HEATING

» 06. COOLING/HEAT PUMPS

» 07. INSULATION

» 08. PLUMBING

» 09. INTERIOR

» 10. APPLIANCES

» 11. LIFE CYCLES AND COSTS

» 12. SUPPLEMENTARY

Asbestos

Radon

Urea Formaldehyde Foam Insulation (UFFI)

Lead

Carbon Monoxide

Mold

Household Pests

Termites and Carpenter Ants

» 13. HOME SET-UP AND MAINTENANCE

» 14. MORE ABOUT HOME INSPECTIONS

