

The background features a light blue field with large, overlapping curved shapes. On the left, a white semi-circle is partially visible. In the center, a large, dark blue curved shape, resembling a thick 'C' or a stylized 'R', dominates the lower half. To the right, another light blue curved shape is partially visible.

RIVERWALK

Residential Design Guidelines



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SUMMARY AND CONTACTS

History & Vision

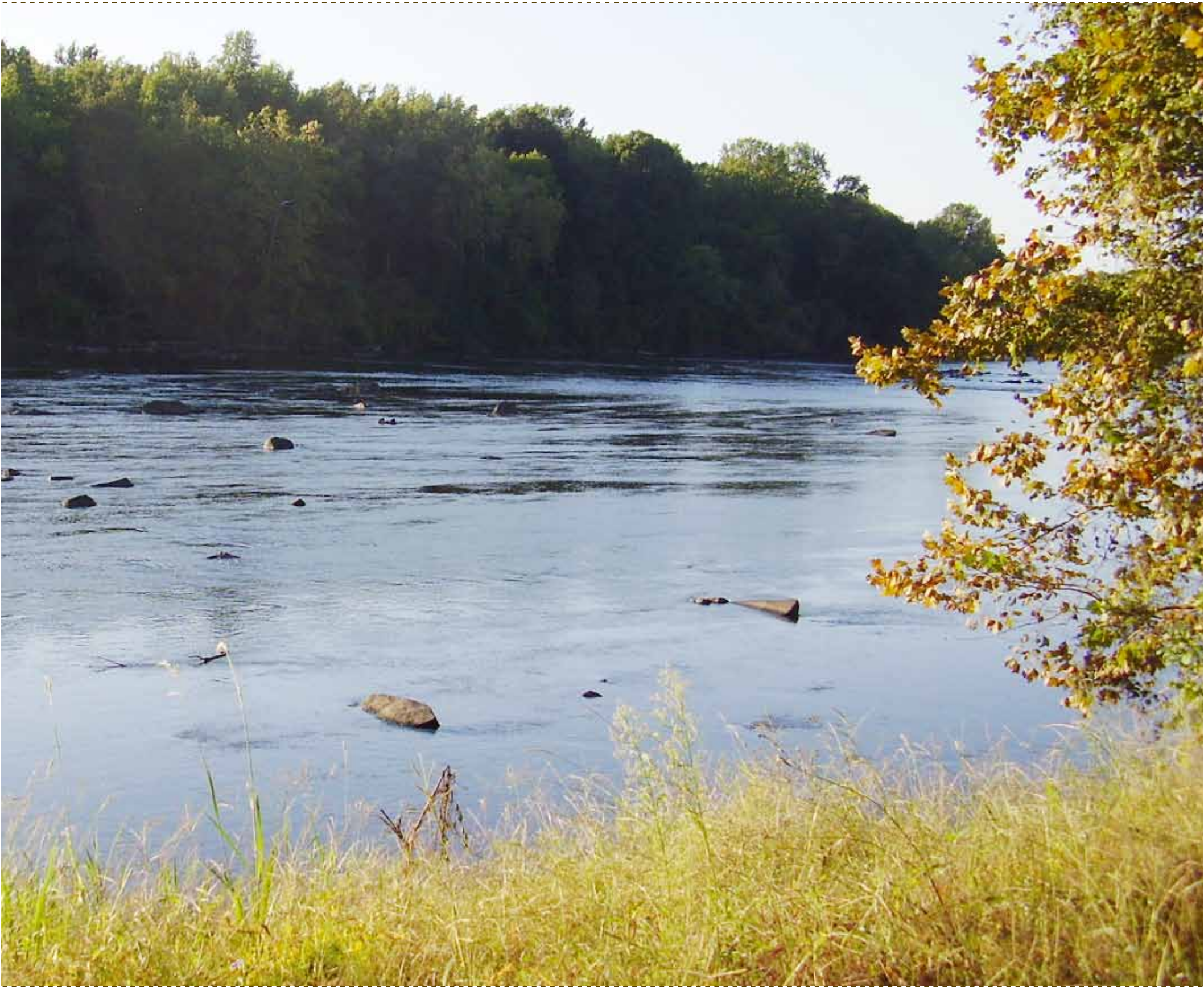
Riverwalk is a dynamic, riverfront community with a distinctive, outdoor lifestyle. Developed on more than 1,000 acres along the scenic Catawba River, this collection of neighborhoods with 700 homes launches a new generation of people who will really know the value of riverfront living.

Home to the Cycling and Outdoor Center of the Carolinas, which offers an array of family and world-class recreation opportunities, Riverwalk provides a fresh social scene and unparalleled amenities. With close to three miles of riverfront trails, our residents will connect to 15 counties and a region of natural beauty along the Carolina Thread Trail.

Built along side the historic Nation Ford Crossing and Catawba Indian Fishing Weir, **RIVERWALK IS THE REAL DEAL.** Residents can stroll down to the Carhartt Ruins Garden, fish off the old grist mill or launch a kayak at the heart of the River District.

Minutes from Rock Hill, Fort Mill and Charlotte, The Riverwalk Town Center is the central hub for working, shopping and dining: all a short walk from home.

CARE, QUALITY AND INNOVATION ARE IN EVERY HOME in Riverwalk. This Design Guideline will help shepherd our vision and serve as an illustrative tool in the creation of each Riverwalk home.



Building a great community.

NEIGHBORHOOD DISTRICTS



Clustered into distinct neighborhoods, Riverwalk homes embody both traditional home-building practices, quality materials and detailing and a decidedly casual, riverfront village quality that distinguishes the Riverwalk home in the marketplace.

The Riverwalk architectural character is a blend of Raised River Cottage, Upcountry Mill House, River Craftsman and Piedmont Homestead. Emphasis is placed on sustainability, simple building forms, natural materials and color palettes and truthfulness in detailing. Great importance is placed on stone accents, exposed rafter details and screen porches. Broad, functional porches and private outdoor rooms provide strong **CONNECTIONS TO THE ENVIRONMENT**.

Each distinct neighborhood includes a community-gathering place for the residents. Sidewalks, riverside trails, on-street parking, pocket parks and bike lanes create a fully integrated outdoor experience. Varied lot and home sizes, set backs and porch configurations all contribute to a unique residential community with diversity and a distinct character.

RIVER DISTRICT



Located on the edge of the river, The River District is the premier gathering place at Riverwalk: a ‘Pinehurst Village on the River’.

Anchored with a signature restaurant and outdoor lifestyle retailer, The River District has direct access to the water and includes a public hearth for **COMMUNITY GATHERINGS**. The Riverwalk sales center, restaurants and office space provide a truly mixed-use district.

The architectural character is Upcountry River Vernacular with simple massing, raised living levels, broad porches and screened-in living areas. The use of shingle, stone, siding and stucco results in a warm, natural palette. Landscape is indigenous, and heritage trees are preserved throughout the district.

Riverfront residential units have immediate access to the walking and biking trails and a few steps from dining, shopping and entertainment. Community access to the river is provided at the Canoe / Kayak Launch.

TOWN CENTER



Riverwalk Town Center is home to both national and local retailers and restaurants, multi-family residential units, and The Cycling and Outdoor Center of the Carolinas. The Town Center pays tribute to the pedestrian qualities of a great urban Main Street balanced with retail focused place making.

The planned YMCA is located at the heart of the Riverwalk community between the commercial core and the residential districts. Terraced outdoor spaces provide additional viewing opportunities during events. Mixed-use buildings provide ground floor retail with residential units above with balconies overlooking the velodrome and Town Center. The heart of **THE CYCLING AND OUTDOOR CENTER OF THE CAROLINAS** is a 250m, world-class Olympic Velodrome in a park-like setting.

The Architectural Character of the Town Center blends elements of traditional and modern main streets with the industrial history of the site and the warmth, proportion and detail of the Craftsmen Era. This Rustic Modern identity connects the past with the future.

Sustaining a great neighborhood.

CONNECTION TO NATURE



With almost 3 miles of frontage along the Catawba River, Riverwalk affords its residents unparalleled opportunities to return to nature. The trail is a priority segment of the Carolina Thread Trail system, a regional network of trails and greenways that will eventually connect Riverwalk with 15 counties and 2.3 million citizens. Designed for cycling, walking, running, hiking and mountain biking, the Riverwalk trails offer something for the whole family.

Each unique district within Riverwalk will be connected to the vast trail network via green streets - an enhanced streetscape experience that blends traditional neighborhood blocks with lush garden walkways - **BRINGING THE NATURAL ENVIRONMENT UP TO YOUR FRONT DOOR.** Along the Riverwalk trail network, residents will find historic landmarks nestled into quiet, park-like settings, Olympic Caliber venues to feed the their active, outdoor lifestyle and a favorite cafe overlooking the river where they can pause long enough to revive their spirits.

At the heart of Riverwalk is the Catawba River, connecting each Riverwalk resident with the storied past of the land and **A BRIGHT FUTURE** for generations to come.

PLACES TO GATHER



Designed around great places to gather, Riverwalk will feature both active and passive places to spend time with your neighbors. Great communities are built around such places. At each stop along the trail, whether in the Riverwalk Town Center, The River District or one of the distinctive neighborhoods, one will **EXPLORE UNIQUE WAYS TO BRING PEOPLE TOGETHER.**

In an otherwise fast paced world, residents of Riverwalk will know how to unwind. Whether it's live music at Terrace Park, the Riverwalk Criterion, a stroll down a path with a good book or a trek down to the Kayak Launch with nothing but ambition, Riverwalk redefines our experience.

Riverwalk's competitive-level athletic fields, designed for sports of all kinds, will be at the heart of the community. A place to practice,play and compete, the fields will be meticulously maintained by the city of Rock Hill and enjoyed by families for generations. Whether a neighborhood scrimmage or a playoff nail-biter, **EVERYONE WILL REMEMBER THE BIG GAME AT RIVERWALK.**

A LIFE IN MOTION



At Riverwalk, there's no time like the present. We work hard; we play hard. It's a different kind of sustainability: sustainability of self. It's what keeps us motivated. It also keeps us happy and productive.

RESIDENTS OF RIVERWALK EMBODY THE ACTIVE OUTDOOR LIFESTYLE. And Riverwalk delivers when it comes to celebrating that lifestyle. Residents can choose from the river, the trails, the world-class velodrome, the YMCA, the parks and athletic fields, the canoe and kayak launch, the climbing wall, the BMX super-cross track, the mountain biking trails or the Riverwalk road course.

Nestled into the Riverwalk Town Center and the anchor of The Cycling and Outdoor Center of the Carolinas, is the 250 meter, world-class Velodrome - **THE PREMIER CYCLING FACILITY IN THE SOUTHEAST.** Riverwalk will host local, regional, national and international cycling events. The velodrome will be designed for year-round recreation for cyclists of all ages and be home to a new generation of professional athletes.

RIVERWALK SITE

Get to where you want to go fast, and leave it all behind even faster.

With direct access to Interstate 77, Cherry Road, Celanese Road and the future Fort Mill Bypass, Riverwalk provides an exceptional location for commerce. Riverwalk offers a central location for people to live, work, play and enjoy the beauty of the land.

The rolling wooded landscapes and proximity to the river drew the Catawba Indians to the land in the late 1500s. The presence of the ford allowed the tribe to control this well-traveled portion of the path to Virginia. This was the beginning of Riverwalk’s great historical legacy. This very site has significance in both the Revolutionary and Civil Wars. It attracted a thriving textile industry in the early 1900s and was the site of a Celanese plant that would employ thousands of people after World War II into the 21st century. This land and its historical relevance are legendary.

What happens next is remarkable.



MUSEUM OF LIFE AND THE ENVIRONMENT
WORLD-CLASS OLYMPIC VELODROME

EXIT 82B

GALLERIA MALL

MANCHESTER VILLAGE

CHERRY PARK

WINTHROP UNIVERSITY



RIVERWALK MASTER PLAN

- A THE CATAWBA RIVER
- B RIVERWALK TOWN CENTER
- C VELODROME
- D PARK & AMPHITHEATER
- E THE RIVER DISTRICT
- F SINGLE FAMILY HOMES - PHASE 1
- G RIVERWALK / CAROLINA THREAD TRAIL
- H ROCK HILL SPORTS FIELDS
- I COMMUNITY CENTER
- J SINGLE FAMILY HOMES - FUTURE
- K SINGLE FAMILY HOMES - FUTURE
- L RIVERWALK WATER TOWER
- M GRIST MILL RUINS
- N CATAWBA INDIAN FISHING WEIR
- O CARHARTT MANSION RUINS GARDEN
- P NATIONS FORD CROSSING
- Q CIVIL WAR GUN BATTERY
- R HERRON'S FERRY
- S DUNKIN'S FERRY



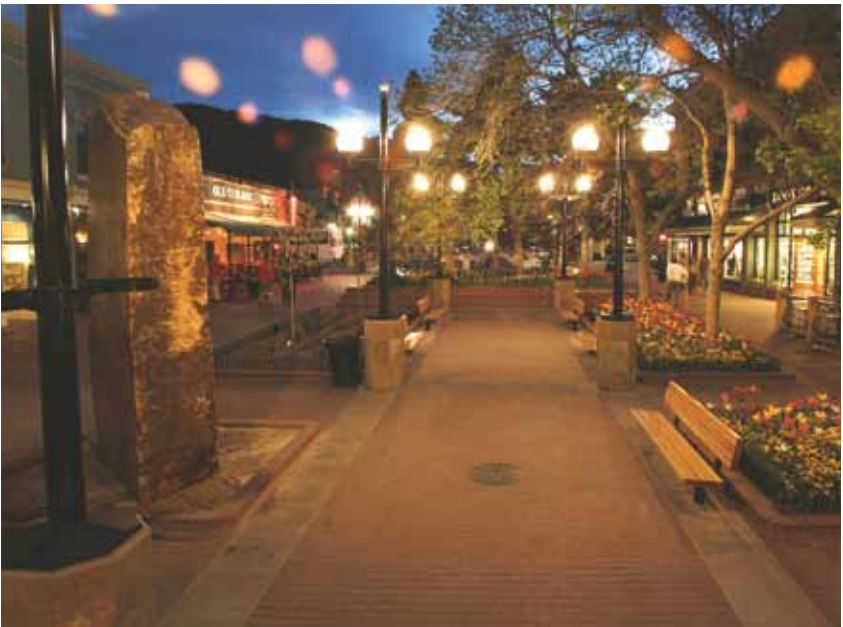


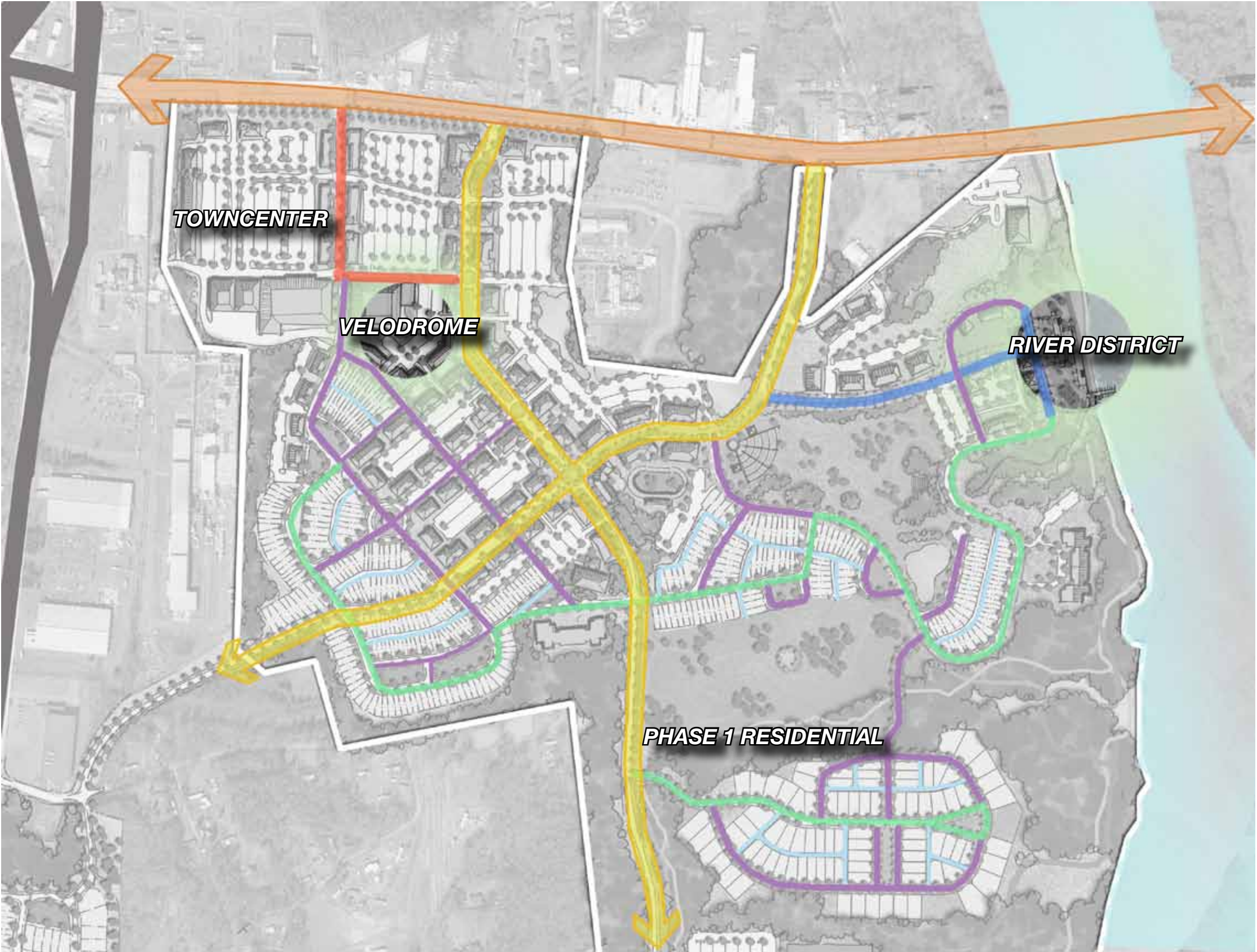
RIVER DISTRICT AND TOWNCENTER

The Riverwalk Master Plan has two iconic nodes, the River District and the Towncenter. These mixed-use centers serve the surrounding neighborhoods with convenient everyday commercial uses while also encouraging and incorporating outdoor recreation lifestyle, entertainment for all ages, and promoting health and wellness to all residents and visitors.

The River District is a mixed-use village overlooking the beautiful Catawba River. Retail, Office, Residential and Restaurants uses engage the River with majestic views, walkable trails /sidewalks, and building corridors. A unique riverfront village, that isn't offered anywhere in the region, is created by the river trail, a River Front Park, access to canoe/kayak launch, sidewalk cafes, small shops, and a boutique hotel.

Riverwalk Towncenter is a mixed-use center that includes a world-class Velodrome, commercial anchors, grocer, health and wellness offices, a YMCA, and some small shops. Townhomes and Multi-Family units transition out from the towncenter to the River District and Riverwalk Neighborhoods. The location of the Towncenter along Cherry Road, not only serves the Riverwalk community, but also creates an optimal commercial node for the city of Rock Hill. Rock Hill, SC will be the only city east of the Mississippi River that is home to a world-class ranked Velodrome in which professional races can be held.




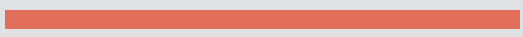
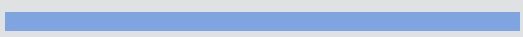
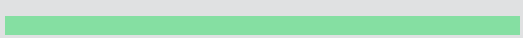



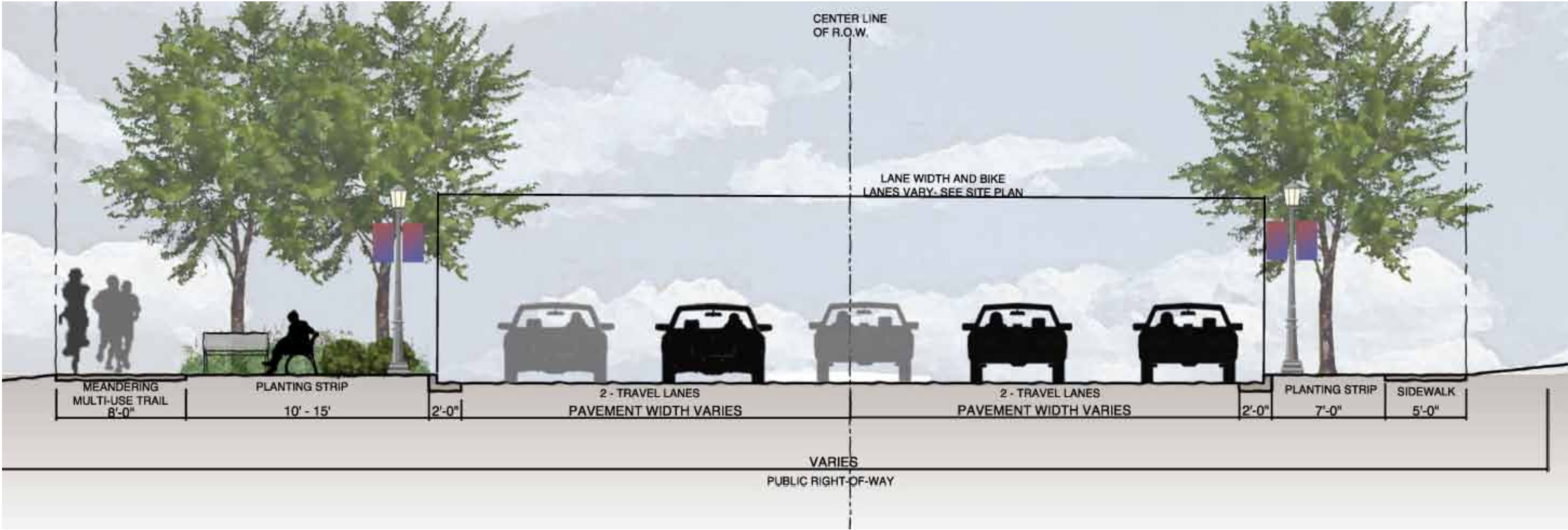
STREETSCAPE SYSTEM AND HIERARCHY PLAN

The streetscape system of Riverwalk not only connects neighborhoods to other districts and centers of Riverwalk, but also identifies main pedestrian corridors, establishes a sense of ‘place’ for the River District and Towncenter, identifies neighborhood entries, acknowledges the sense of arrival along Cherry Rd., and adds another layer of natural beautification to the overall theme of Riverwalk.

Different lane quantities, varied right of way width, on street parking, added bicycle lanes, differentiating street tree species, and various plant palettes with in the planting strip sets a hierarchy for all streets with in Riverwalk. All street types are clearly identifiable by their individual design requirements.

- Collector Street and Cherry Rd.

- Sub-Collector Street

- Velodrome and Main Street

- Terrace Park and Herron's Ferry Street

- Green Street

- Residential Place Street

- Private Alley

CHERRY RD.



CHERRY RD. STREETSCAPE

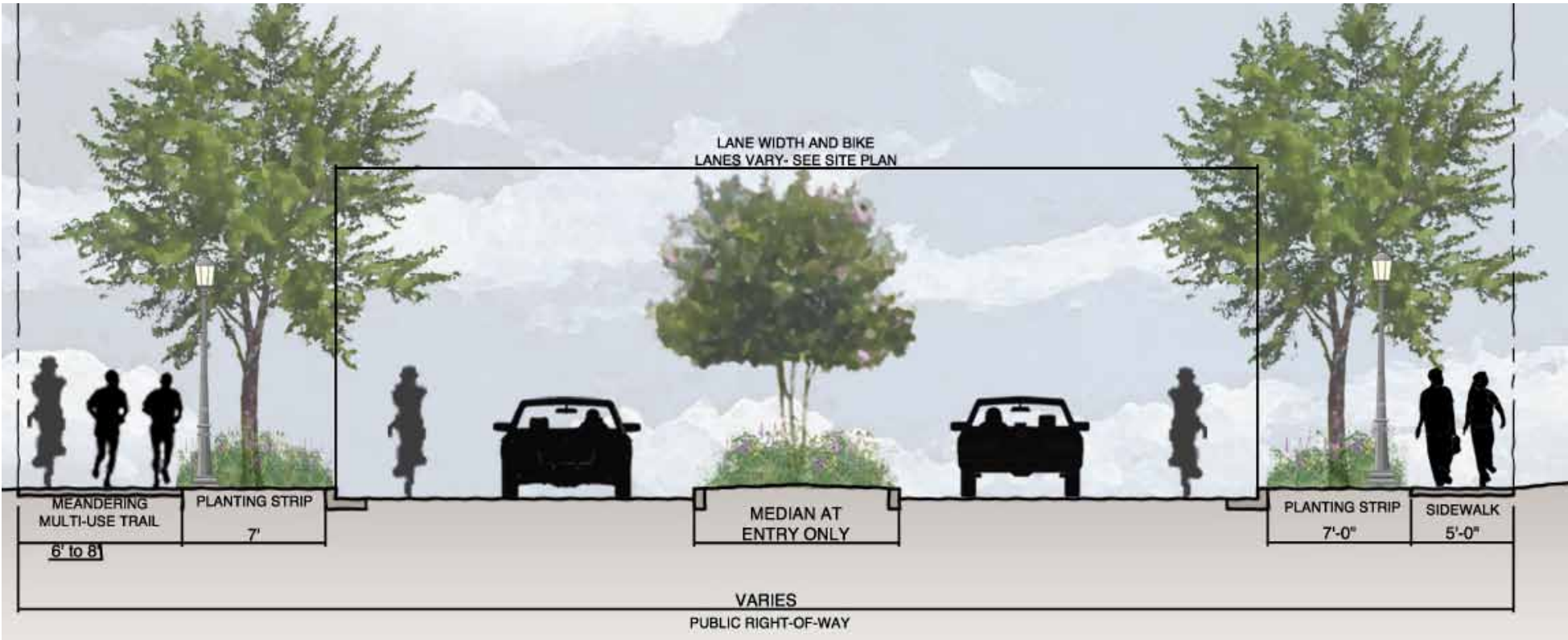
HARDSCAPE: Asphalt Travel lanes and standard 1'-6" wide Curb and Gutter. Public sidewalks are Scored Concrete (standard width of 5') and Multi-Use Trail/Path is asphalt and 6'-8' wide.

Off of the Multi-Use Trail/Path are seating/gathering areas that are Scored Concrete or Pavers programmed that they are pedestrian and cyclist friendly.

PLANTING STRIP PLANTING
Adjacent to Multi-Use Trail : Planting Strip planted with a mixture of Ornamental Grasses (Tufted Hair, Blue Oat Grass, and Muhly) and Year Round Interest Wildflower mix. Large Maturing Oaks planted 40' on center.

Adjacent to 5' Sidewalk: Planting strip to be planted with lawn. Large Maturing Oaks planted 40' on center.

FURNITURE: Lighting fixtures, benches, trash receptacles, and other streetscape furniture will be determined at a later date.



SUB-COLLECTOR



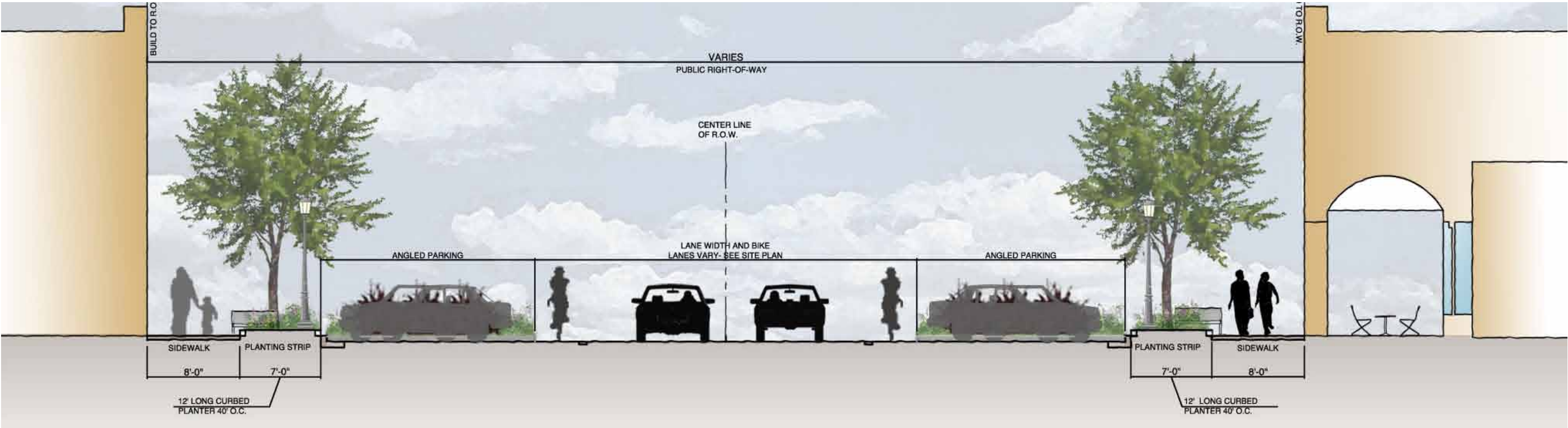
SUB-COLLECTOR STREETScape

HARDSCAPE: Asphalt Travel lanes and standard 1'-6" wide Curb and Gutter. See Plan for Bike Lane Striping locations. Public sidewalks are Scored Concrete (standard width of 5') and Multi-Use Trail/Path is asphalt and/or crushed gravel 6'-8' wide.

PLANTING STRIP PLANTING-
Adjacent to Multi-Use Trail : Planting Strip planted with a mixture of Ornamental Grasses (Tufted Hair, Blue Oat Grass, and Muhly) and Year Round Interest Wildflower mix. Large Maturing Oaks planted 40' on center. A pairing of Eastern Redbud with Deodar Cedar or Limber Pine may be substituted.

Adjacent to 5' Sidewalk: Planting strip to be planted with lawn. Large Maturing Oaks planted 40' on center. A pairing of Eastern Redbud with Deodar Cedar or Limber Pine may be substituted.

MEDIAN PLANTING- To Be Determined where applicable.



RIVER STREET



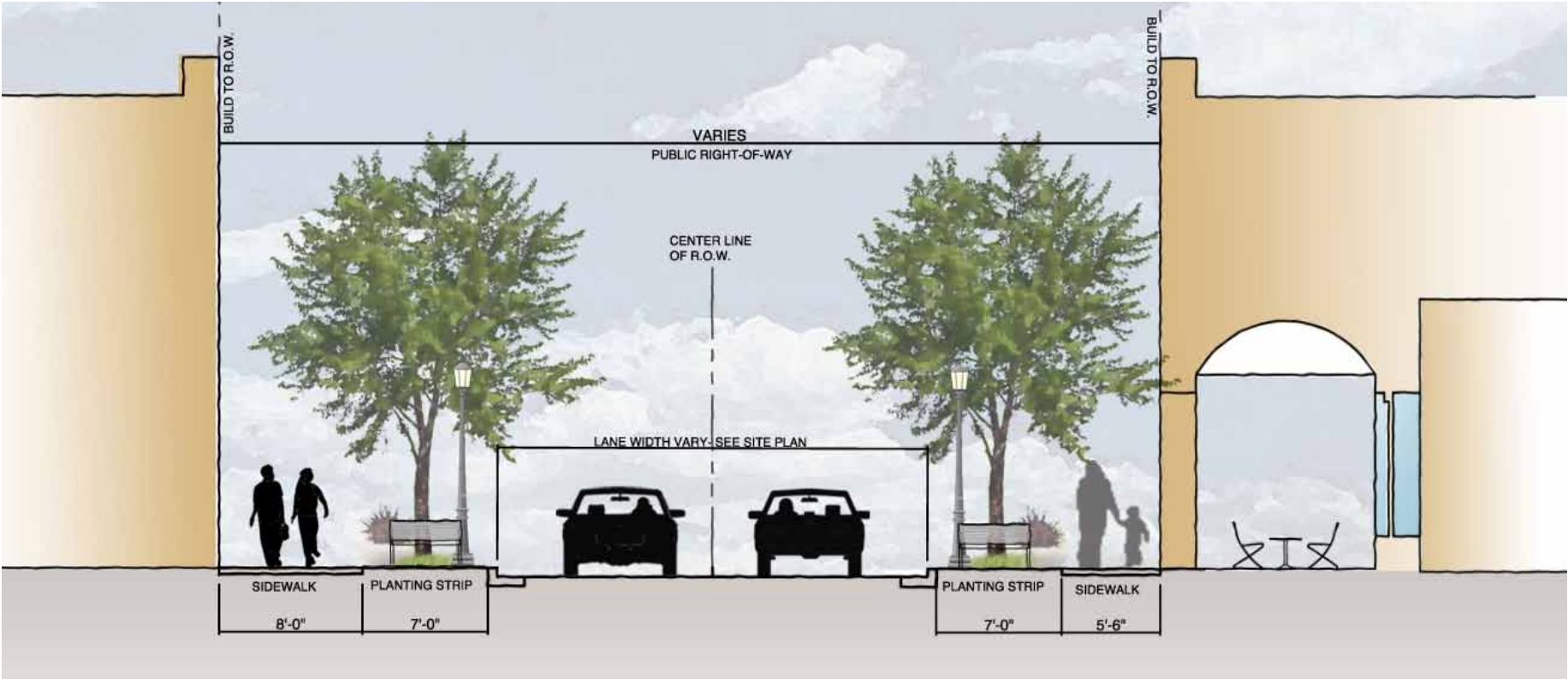
TERRACE PARK STREETSCAPE

HARDSCAPE: Asphalt Travel lanes and parking stalls. See Plan for Bike Lane Striping locations. Standard 1'-6" wide Curb and Gutter except for planting strip curbed planters. This is 6" vertical concrete curb. Public sidewalk is Scored Concrete with Rock Salt Finish. Width varies from 8' to 12'.

PLANTING STRIP/ CURBED PLANTER: The curbed planting strip occurs every 40' on center and measures 12' long by 7' wide. Planters will be planted with 1 Large Maturing Tree (Maple or Chinese Elm), a mixture of Small Evergreen Shrubs (Dwarf Cotoneaster or Yaupon Holly), Grasses (Sedge and Liriope), and Groundcovers (Creeping Phlox or Periwinkle).

ANGLED PARKING/ CURBED PLANTER: The dimensions and locations of the curbed planters between angled parking spaces varies. See River District Plan for locations. Planters will be planted with 1 Large Maturing Tree (Maple or Chinese Elm), Grasses (Sedge or Pennisetum), and Perennials (Red Autumn Sage and Black Eyed Susan).

FURNITURE: Lighting fixtures, benches, trash receptacles, and other streetscape furniture will be determined at a later date.



RIVER STREET

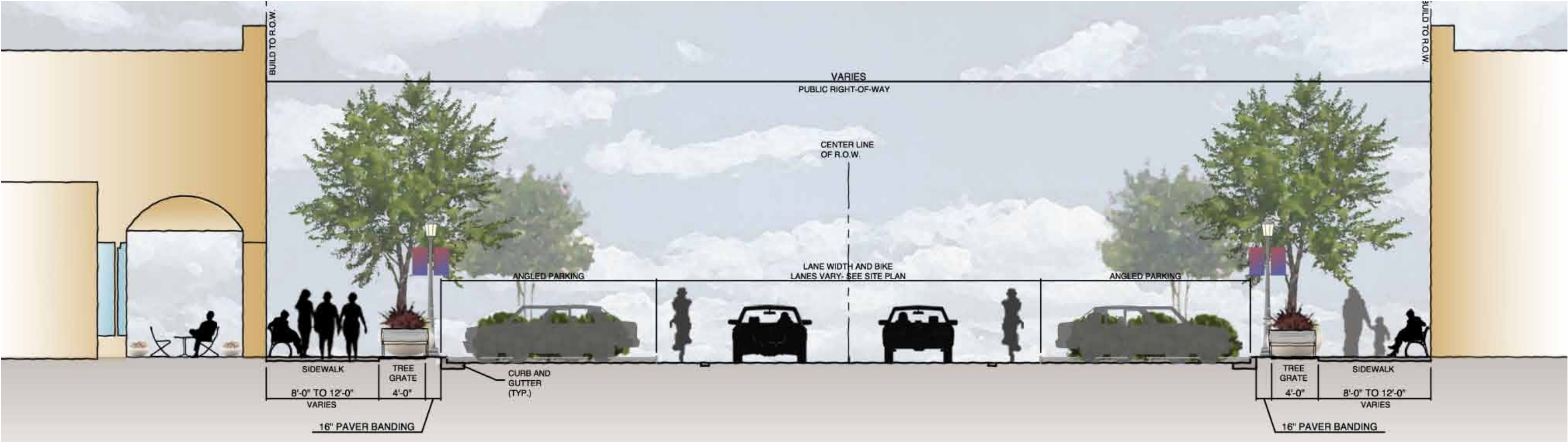


HERRON'S FERRY STREETSCAPE

HARDSCAPE: Brick Paver travel lanes were shown on plan. All other travel lanes shall be asphalt. Standard 1'-6" wide Curb and Gutter. See Plan for Bike Lane Striping locations. Public sidewalk is a mixture of scored concrete with Rock Salt Finish and Brick Pavers. Sidewalk width is 5' to 8'.

PLANTING STRIP: 6' x 6' curbed planters occur every 35' on center. Planters will be planted with 1 Large Maturing Tree (Maple or Chinese Elm), Grasses (Sedge or Pennisetum), and Perennials (Red Autumn Sage and Black Eyed Susan).

FURNITURE: Lighting fixtures, benches, concrete planters, trash receptacles, and other streetscape furniture will be determined at a later date.



VELODROME STREET IN TOWNCENTER



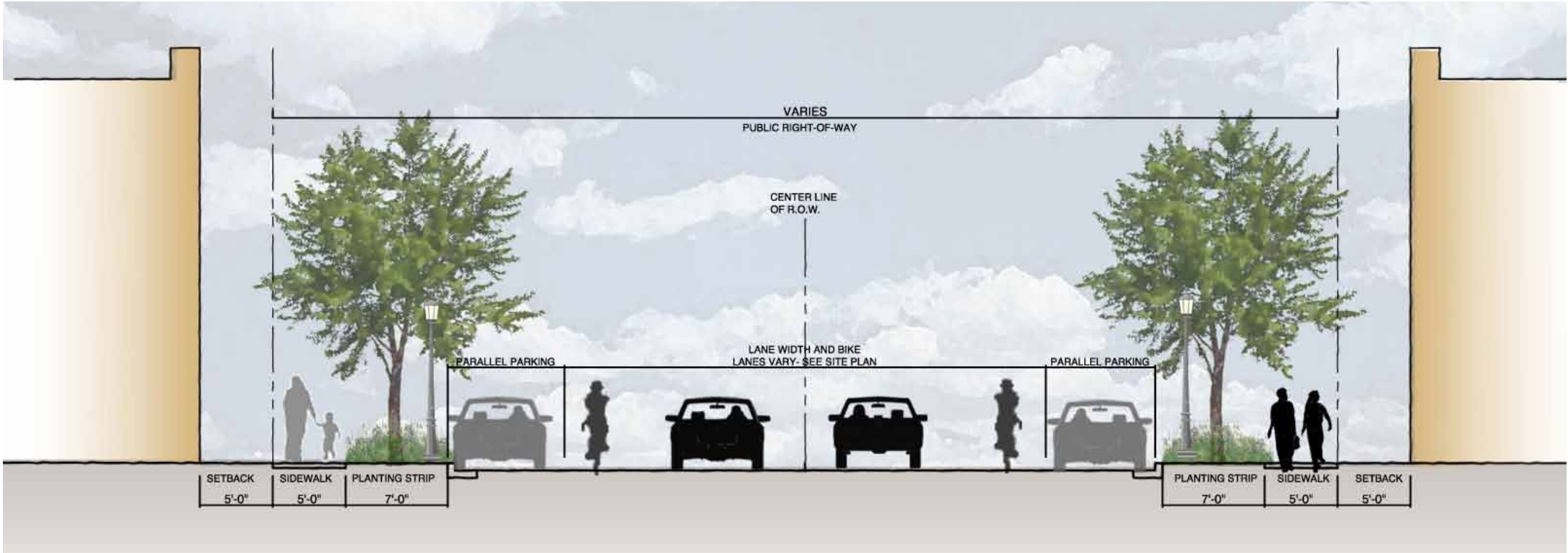
VELODROME STREET STREETSCAPE

HARDSCAPE: Asphalt Travel lanes and parking stalls. See Plan for Bike Lane Striping locations. Standard 1'-6" wide Curb and Gutter. Public sidewalk is Scored Concrete with some pedestrian pavers in locations. Width varies from 8' to 12'.

PLANTING STRIP: 1 Large Maturing Tree (Chinese Elm or Shumard Oak) every 35'-40' on center with tree grate. Tree Grate can be replaced with Liriope at base where applicable. Pre-cast Concrete Planters will be placed appropriately between street trees. They shall be planted with year round interest plants and annuals.

ANGLED OR PARALLEL PARKING/ CURBED PLANTER: The dimensions and locations of the curbed planters between on street parking spaces varies and usually occur at pedestrian crossings. See Towncenter plan for locations. Planters will be planted with, Dwarf Evergreen Shrubs (Nordic Holly and/ or Cotoneaster), Perennials (Liriope and Hemerocallis), and Groundcovers (Periwinkle).

FURNITURE: Lighting fixtures, benches, trash receptacles, and other streetscape furniture will be determined at a later date.



MAIN STREET IN TOWNCENTER



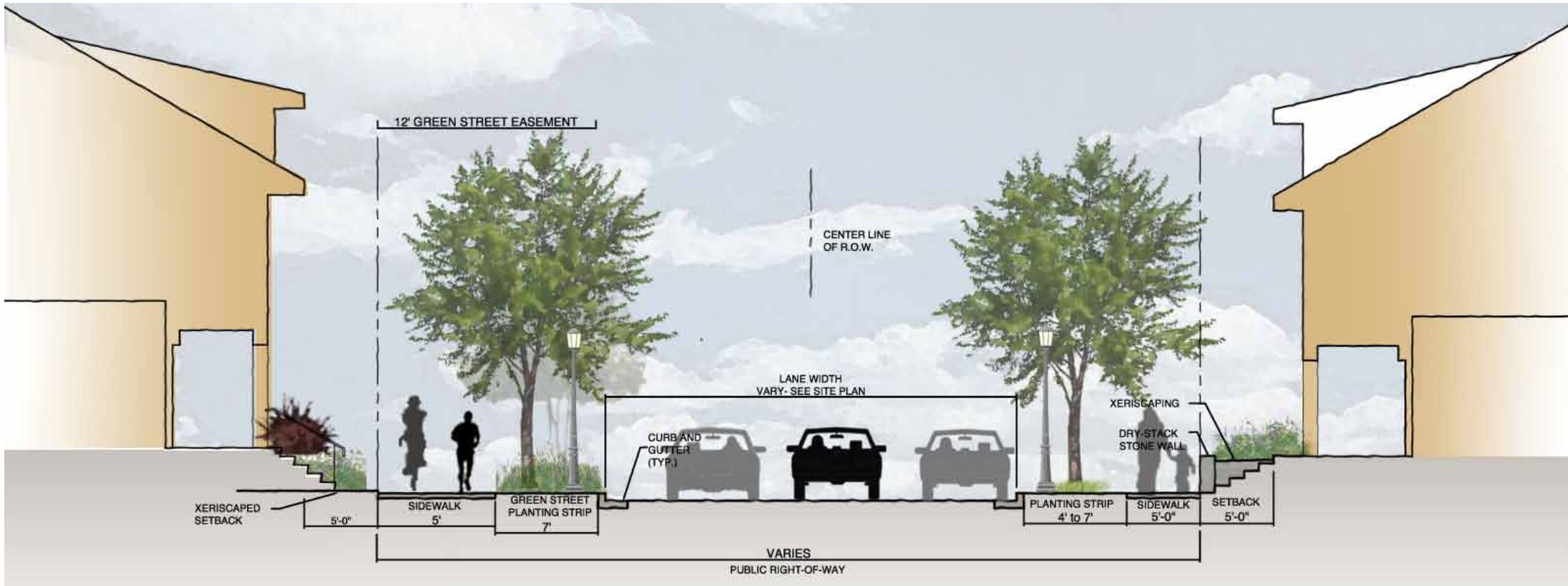
MAIN STREET STREETSCAPE

HARDSCAPE: Asphalt Travel lanes and standard 1'-6" wide Curb and Gutter. See plan for On-street Parking locations and Bike Lane striping locations. Public sidewalks are Standard Scored Concrete (standard width of 5').

PLANTING STRIP PLANTING: Large Maturing Trees (Oaks and or Maples) planted 40' on center. A pairing of Eastern Redbud with Deodar Cedar or Limber Pine may be substituted on one side of the street. Planting strip to be planted with lawn and/or groundcover (Liriope or Periwinkle). Groupings of Daylillies at the base of the large maturing trees may also be present.

PARALLEL PARKING/ CURBED PLANTER: The dimensions and locations of the curbed planters between on street parking spaces varies and usually occur at pedestrian crossings. See Towncenter plan for locations. Planters will be planted with, Dwarf Evergreen Shrubs (Nordic Holly and/or Cotoneaster), Perennials (Liriope and Hemerocallis), and Groundcovers (Periwinkle).

FURNITURE: Lighting fixtures, benches, trash receptacles, and other streetscape furniture will be determined at a later date.



GREEN STREET



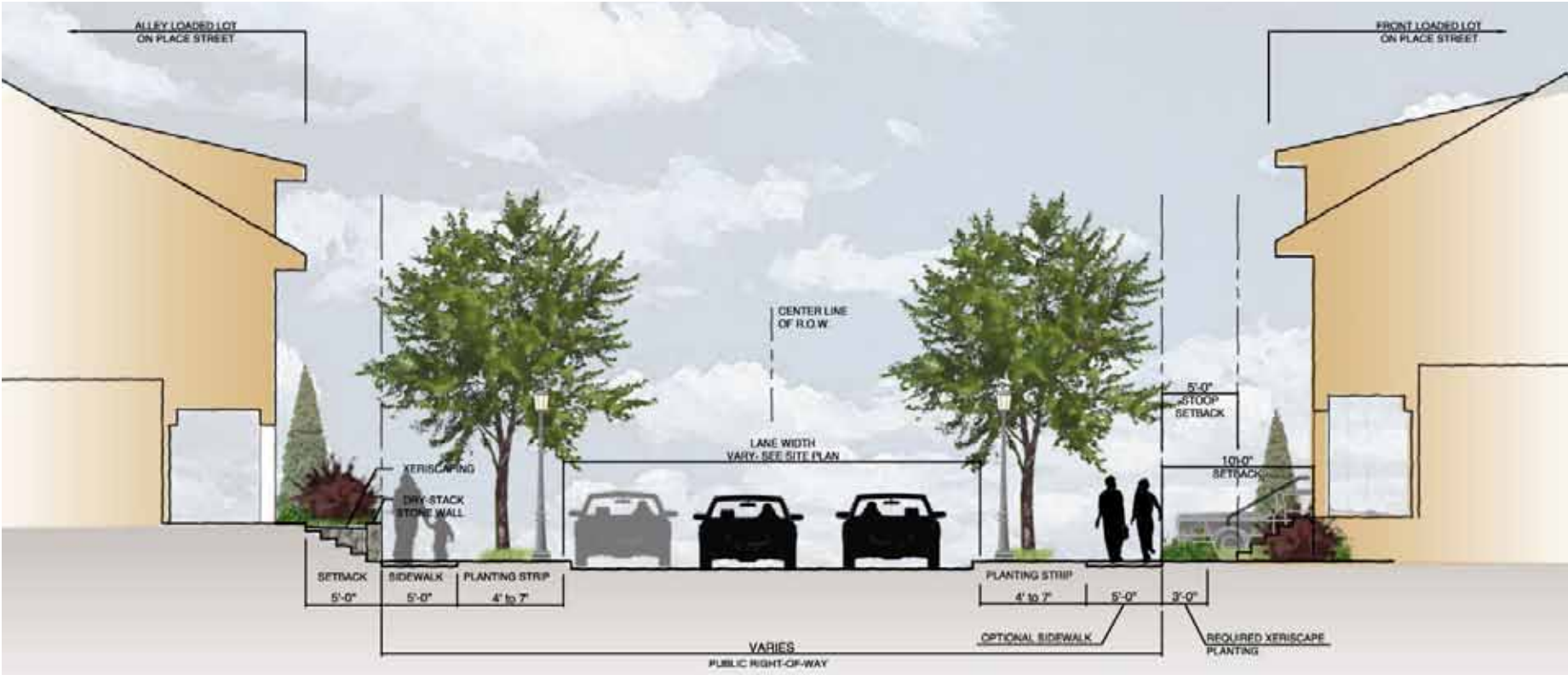
GREEN STREET STREETSCAPE

HARDSCAPE: Asphalt Travel lanes and standard 1'-6" wide Curb and Gutter. See Plan for Bike Lane Striping locations. Public sidewalks are Scored Concrete (standard width of 5') and Multi-Use Trail/Path is asphalt and 6'-8' wide.

PLANTING STRIP PLANTING-
Green Street Planting Strip : Large Maturing Street Trees and pairings of Small Maturing Flowering Tree and Evergreen Tree. Every 100 linear feet of planting strip shall contain at least one of each. Pattern to be determined by landscape architect. Planting Strip shall also be planted with a mixture of small maturing shrubs and grasses, perennials, and groundcovers. Landscape boulders will be placed through out. No Lawn is allowed within the planting strip on the green street side.

Opposite Side of Green Street Planting Strip: Planting strip to be planted with lawn. Large Maturing Street Tree planted every 40' on center. Groupings of Daylillies at the base of the large maturing trees may be planted. See Neighborhood Phase Plan for Dry Stack Stone wall locations at back of sidewalk.

FRONT YARD PLANTING-
No lawn allowed within front yard limits on green street locations. See landscape guidelines this sheet for lot landscaping requirements.



RESIDENTIAL PLACE STREET

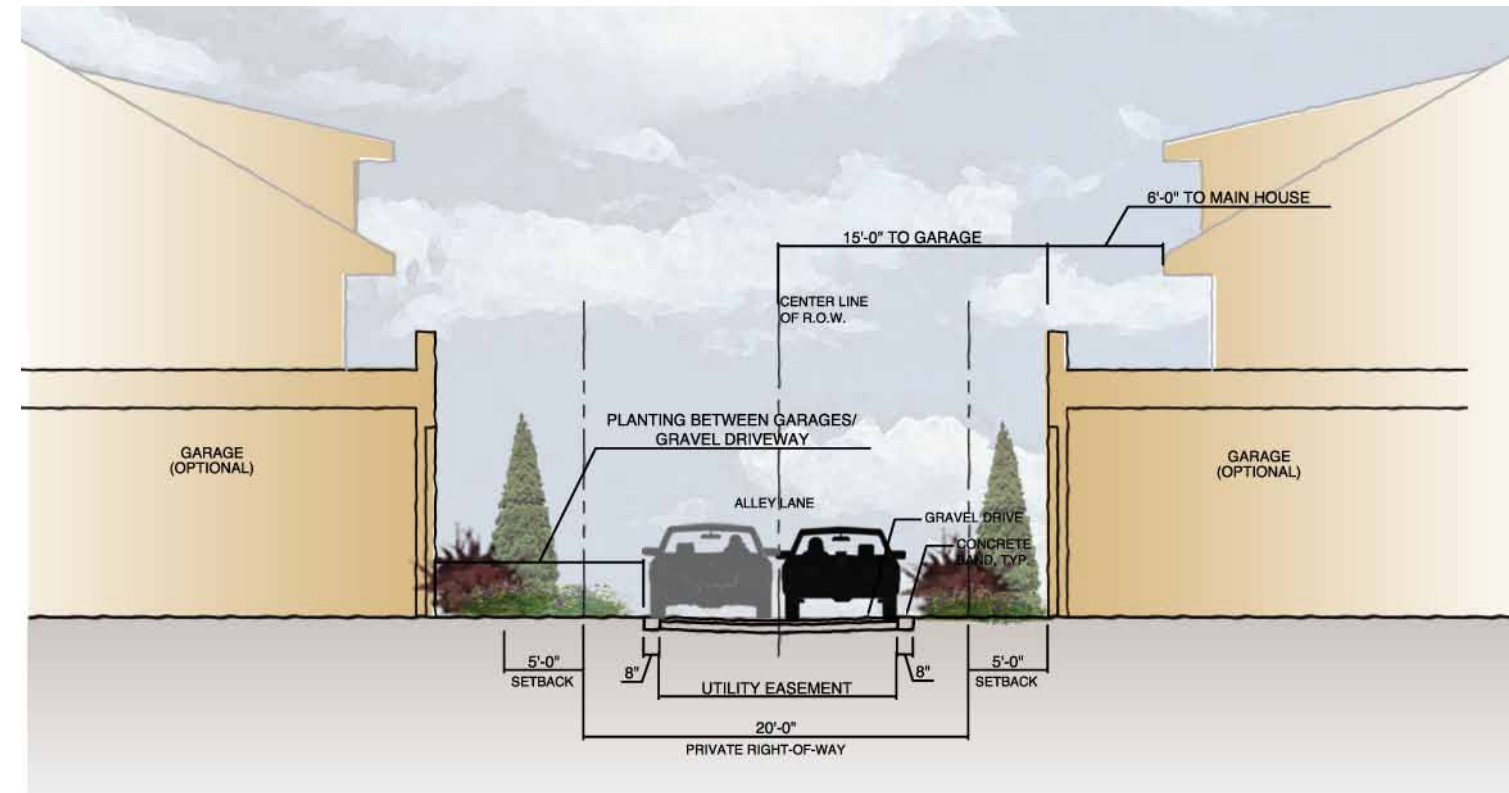


RESIDENTIAL PLACE STREET
STREETSCAPE

HARDSCAPE: Asphalt Travel lanes and standard 1'-6" wide Curb and Gutter. See plan for On-street Parking locations and Bike Lane striping locations. Public sidewalks are Standard Scored Concrete (standard width of 5').

PLANTING STRIP PLANTING: Large Maturing Trees planted 40' on center. Planting strip to be planted with lawn and/or groundcover (Liriope or Periwinkle). Groupings of Daylillies at the base of the large maturing trees may also be present.

FRONT YARD PLANTING-
Lawn allowed only on lots with a 10' front yard setback (see Lot Types). See landscape guidelines this sheet for Lot Landscaping requirements.



ALLEY

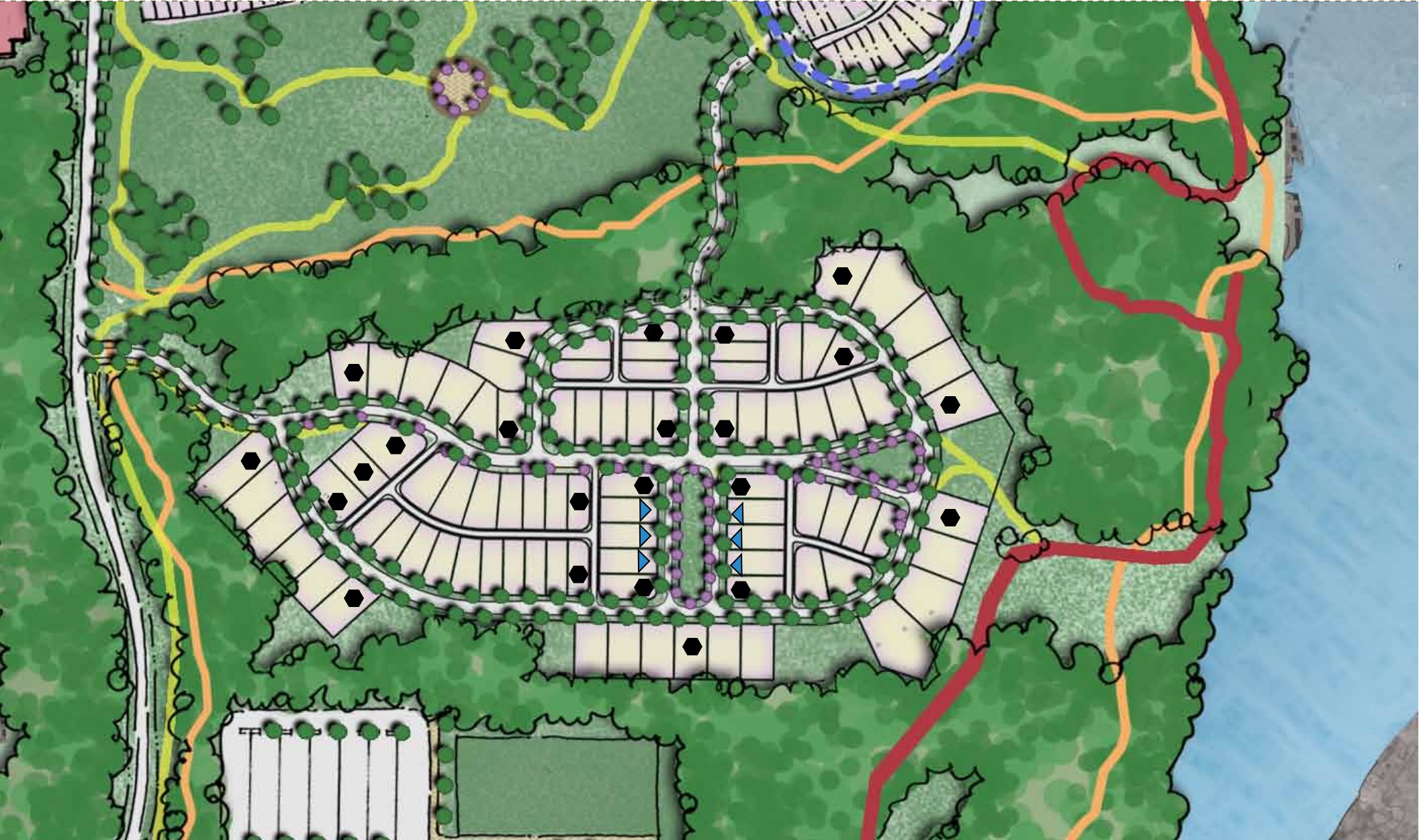


ALLEY STREETSCAPE

HARDSCAPE: Gravel Travel lane with 8" concrete band.

DRIVEWAYS: Gravel Driveways. Color and size to be reviewed by developer.

PLANTING BETWEEN GARAGES: 1 Evergreen Tree and a mixture of small maturing shrubs, grasses, perennials, and groundcovers. No lawn allowed. Landscape boulders encouraged.



**NEIGHBORHOOD LAYOUT
AND BLOCK PATTERNS**

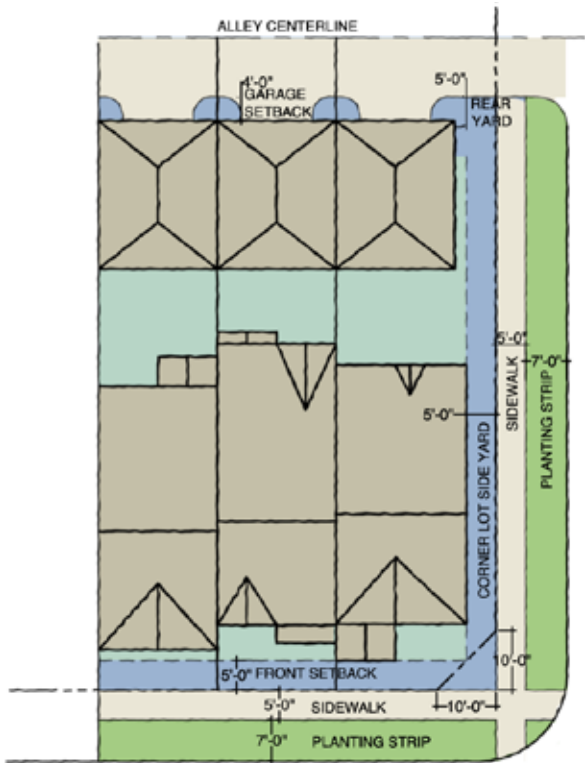
Attached and Detached house lots within Riverwalk vary in size to accommodate a range of housing options. Lot sizes typically range from 35’- 80’ wide and average around 115’ deep. A pattern of mixed lot sizes and houses on each block provide great variety in character and architecture along neighborhood streets.

Landmark lots will be highlighted through out the development with special architectural attention to the streetscape. For example, corner lots and larger lots within a block should be enhanced with special architecture features and creative plantings that are visible from the street.

Access from the street to the house will be either alley fed or a driveway entrance from the primary street. Typically, the smaller lots (35’-50’ wide) will be served by alleys but some lots this size will have front driveway access. 55’-80’ lots will typically be served by front driveway access; however, on signature streets larger lots can be alley fed as well.

- LANDMARK LOTS
- ▲ MODEL HOME



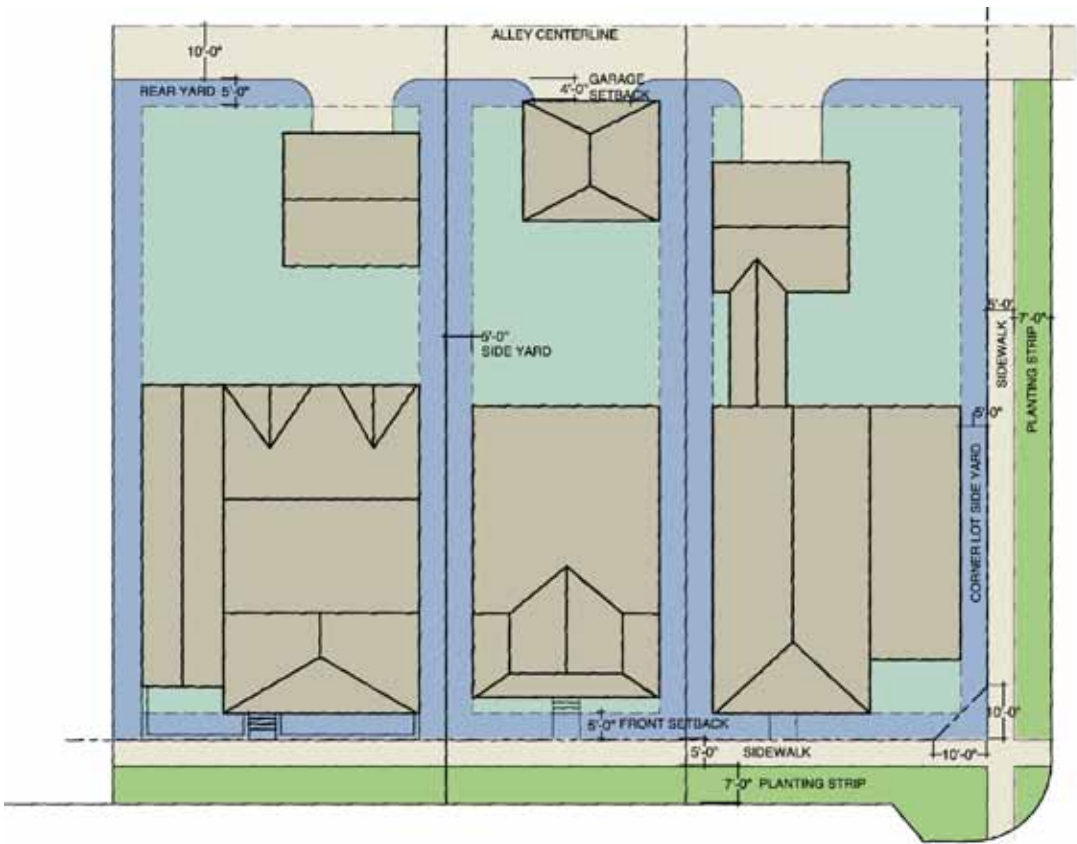


TOWNHOME LOTS- MUST BE ALLEY LOADED

TOWNHOME - SETBACK AND ORIENTATION

Typical Lot Dimension: 15-24' x 80'
Front Yard: Setback is 5' from front property line or back of sidewalk.
Corner Lot Side Yard: Setback is 5' from side property line or back of sidewalk.
Rear Yard: Setback is 20' from the alley's centerline.
Detached Garage Setback: Setback is 14' from the alley's centerline.

Note: All structures located within the Townhome lot must be within the 7' of the front yard setback established in Figure ?-?. Buildings shall not exceed 3 stories and 45 feet in height. Townhomes will have no more than 8 units per structure. Pedestrian access from the street shall be located along the front facade for each unit and a private access located from the garage to the rear facade of each unit. Porches must be within the building envelope and clear of the front yard. Stoops, fences, and walls may encroach into the front yard setback and be placed at the back of sidewalk.



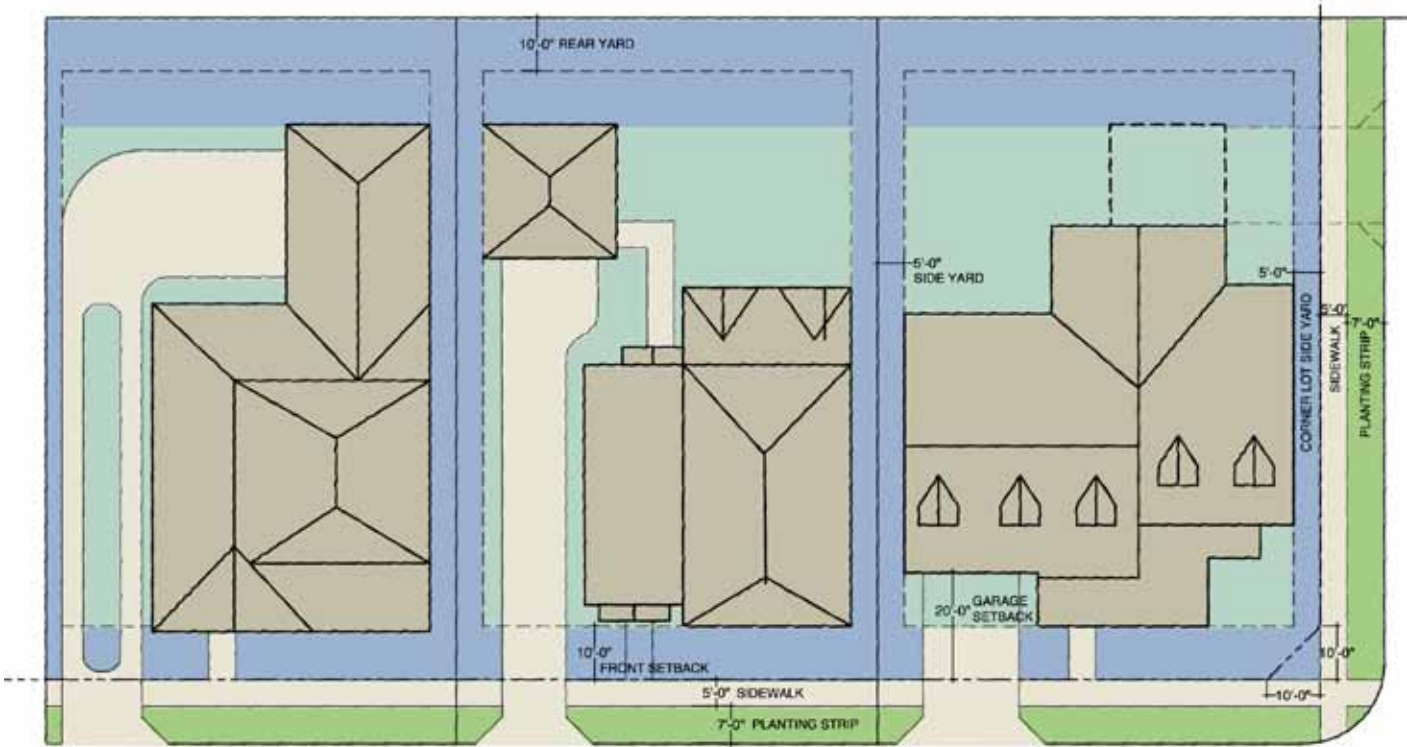
DETACHED ALLEY LOADED LOTS

DETACHED ALLEY LOADED- SETBACK AND ORIENTATION

Lot Dimension (minimum): 28' x 100'
Front Yard: Setback is 5' from front property line or back of sidewalk.
Corner Lot Side Yard: Setback is 5' from side property line or back of sidewalk.
Side Yard: Setback is 5' from side property line.
Rear Yard: Setback is 15' from the alley's centerline.
Detached Garage Setback: Setback is 14' from the alley's centerline.

Garages: Garage doors facing the alley may be 18' wide and may be perpendicular to the alley. Corner Lots with alley access shall not have garage doors facing the public side street.

Note: Porches must be within the building envelope and clear of the front yard. Stoops, fences, and landscape walls may encroach into the front yard setback and be placed at the back of sidewalk.



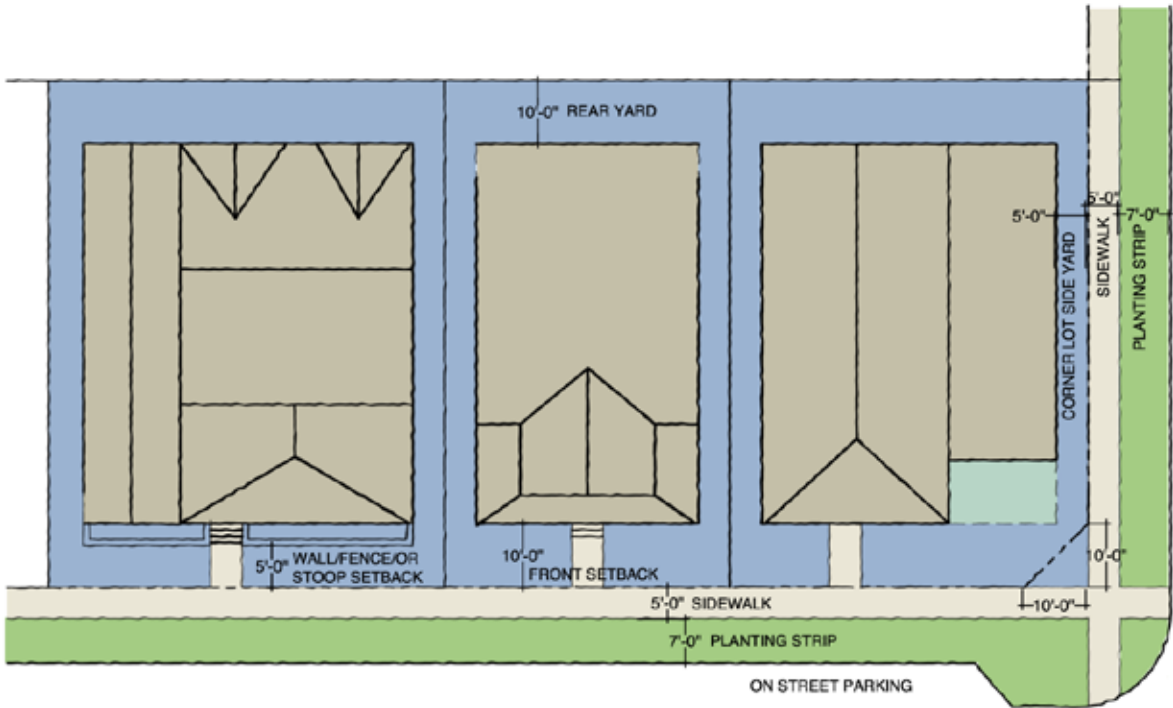
**DETACHED FRONT LOADED -
SETBACK AND ORIENTATION**

Lot Dimension (minimum): 50' x 115'
Front Yard: Setback is 10' from front property line or back of sidewalk.
Attached Garage Setback: Setback is 15' from front property line or back of sidewalk.
Detached Garage Setback: Setback is 5' from rear property line but must be screened from adjacent property.
Corner Lot Side Yard: Setback is 5' from side property line or back of sidewalk.
Side Yard: Setback is 5' from side property line.
Rear Yard: Setback is 10' from rear property line if abutting another lot. Setback is 5' from rear property line if abutting open space.

Garages: Attached Front Loaded garage to be recessed a minimum of 8 ft from the front facade line of the home. Garage doors facing the street shall be no wider than 9'.

Note: Porches must be within the building envelope and clear of the front yard. Stoops, fences, and landscape walls may encroach into the front yard setback but must be a minimum of 5' from the back of sidewalk.

DETACHED FRONT LOADED LOTS



**DETACHED SINGLE FAMILY WITH
NO GARAGE -
SETBACK AND ORIENTATION**

Lot Dimension (minimum): 40' x 80'
Front Yard: Setback is 10' from front property line or back of sidewalk.
Corner Lot Side Yard: Setback is 10' from side property line or back of sidewalk.
Side Yard: Setback is 5' from side property line.
Rear Yard: Setback is 10' from rear property line if abutting another lot. Setback is 5' from rear property line if abutting open space or alley.

Note: Porches must be within the building envelope and clear of the front yard. Stoops, fences, and landscape walls may encroach into the front yard setback and be placed at the back of sidewalk.

DETACHED SINGLE FAMILY- NO DRIVEWAY OR GARAGE

Houses at Riverwalk are more than shelter; they connect you with neighbors, the river and the land. Each style is chosen for it’s defining characteristics and combined aesthetic that at once feels rooted in the history of the site and provides a fresh interpretation for our modern day residents.

The architecture at Riverwalk will reflect a community of people who aspire to trailblaze...



RAISED RIVER COTTAGE



The Riverwalk Raised River Cottage emphasizes regional forms and materials, simple details and a welcoming and livable front porch lifestyle.



UPCOUNTRY MILL HOUSE



The Riverwalk Upcountry Mill House is inspired by the historic, brick mills along the rivers of the Southeast.



RIVER CRAFTSMAN



The River Craftsman House at Riverwalk honors the Arts and Crafts Movement of the last century and blurs the line between the indoors and nature.



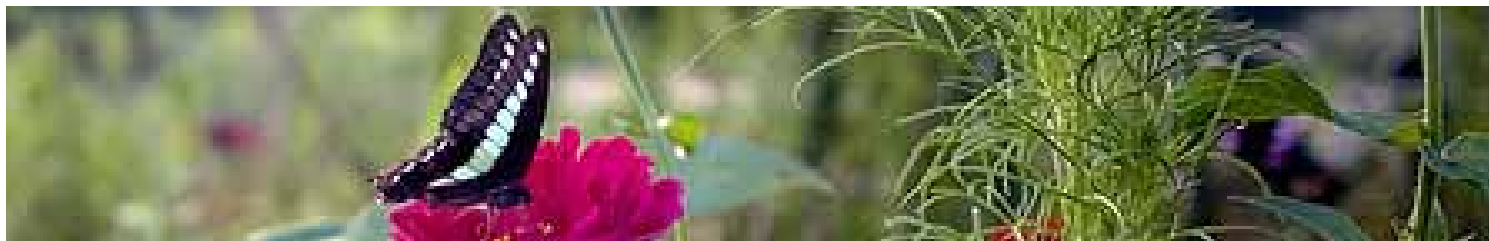
PIEDMONT HOMESTEAD



The Piedmont Homestead at Riverwalk recalls a simpler era of broad porches for relaxing and regional qualities and materials that feel like home.



RIVERWALK MODERN Riverwalk homes are inspired by the past but are responsive to the families of today. To do this, the Riverwalk Residential Design Guidelines must provide for a fresh approach to building design. Our goal is to create an environment that feels rooted in the rich history of the region and engages the modern sensibilities of an active, outdoor lifestyle for our residents. The Riverwalk home shall be designed with the future in mind.



SUSTAINABILITY At the heart of Riverwalk is the Catawba River. Once home to a manufacturing giant, this land has been returned to the river, ready for a new kind of existence. At its conception, Riverwalk is a place that honors the land on which it sits and creates a community of people who will walk lightly on the land. Riverwalk is committed to sustainable practices, and evidence will be found throughout the



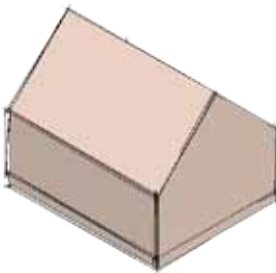
RAISED RIVER COTTAGE

The Riverwalk Raised River Cottage is based on the vernacular architecture of river-side homes in the Southeast. The house embodies the casual attitude of it's owner and provides extensive opportunities for connections to the outdoors. Simplicity and honesty in details are paramount. There is a messy vitality and quirkiness that provides opportunities for individual expressions.

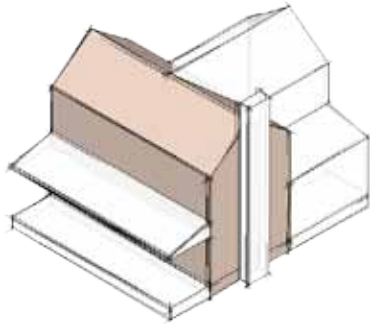
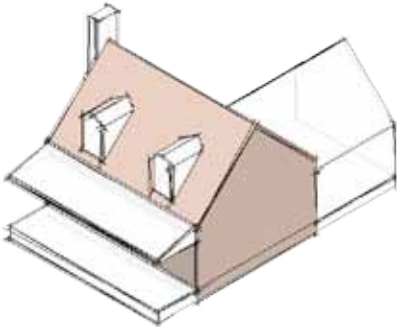
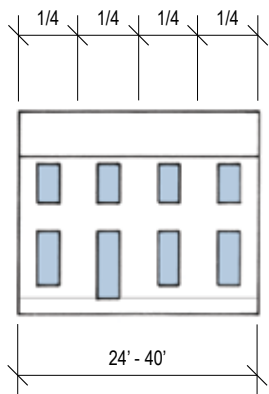
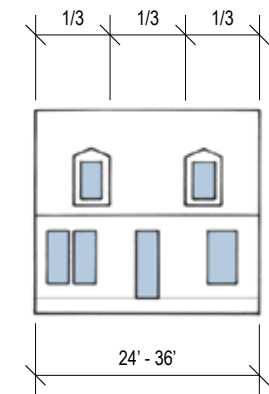
Well-ventilated homes and shady porches help connect the owner to this rich riverfront community. Simple building forms with multiple porches and sleeping room additions create an eclectic streetscape of homes. The emphasis is on regional forms and materials, simple and easily constructed details and a welcoming and livable front porch lifestyle.



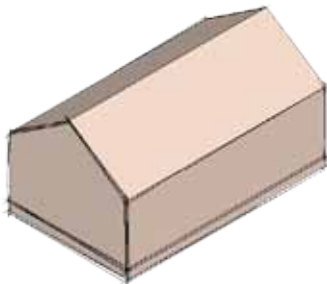
RELAXED CASUAL CHARACTER ~ RAISED FOUNDATIONS ~ GENEROUS AND MULTIPLE PORCHES ~ TYPICALLY 1.5 TO 2 STORIES ~ CONSISTENT DETAILING THROUGHOUT



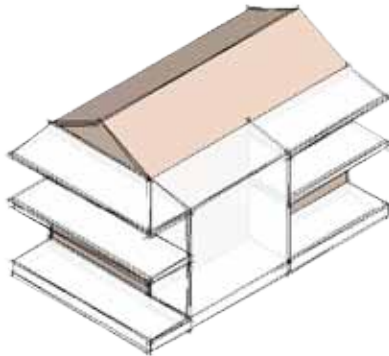
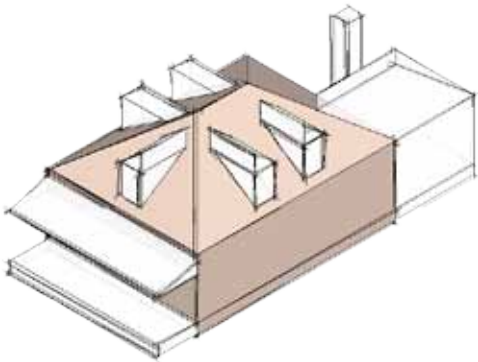
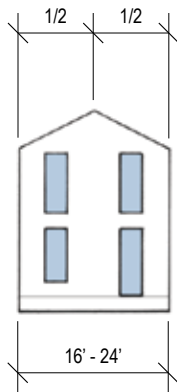
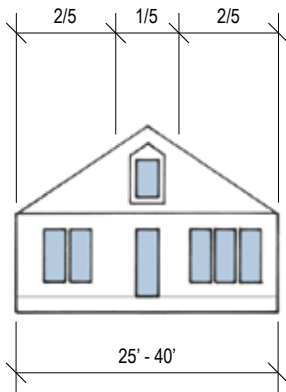
SIDE GABLE



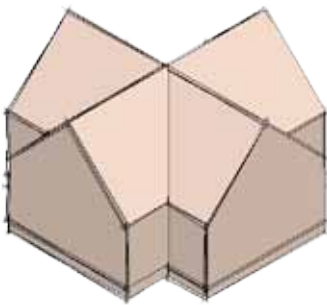
- 1.5 - 2 story volume
- broad front
- 24' - 40' wide main house
- 6:12 - 12:12 main roof pitch
- gable or shed, full or half dormers



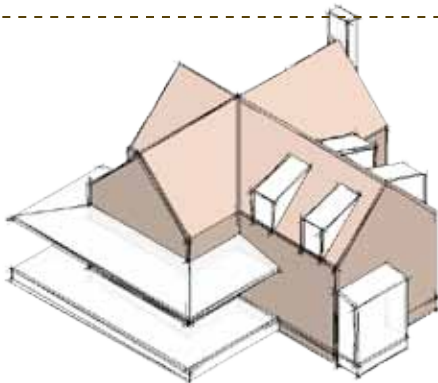
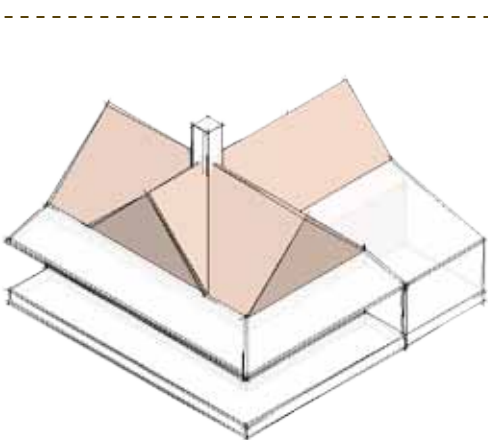
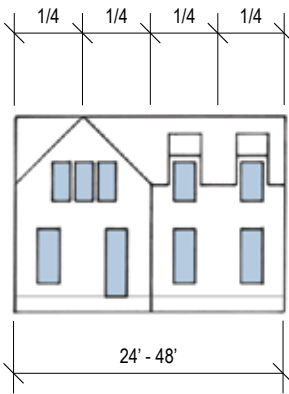
FRONT GABLE



- 1, 1.5 or 2 story volume
- narrow front
- 16' - 40' wide main house
- 4:12 - 12:12 main roof pitch
- gable, hip or shed, full or half dormers
- side yard option



CROSS GABLE



- 1.5 story volume
- larger home
- broad front
- 24' - 48' wide main house
- 10:12 - 12:12 main roof pitch
- shed, full or half dormers

PROPORTIONS

MASSING COMPOSITIONS

REFERENCE IMAGES

SIMPLE MASSING FORMS ~ REAR AND SIDE ADDITIONS ADD ASYMMETRY ~ HORIZONTAL PROPORTIONS ~ ORDERLY COMPOSITION ~ GABLE AND HIP ROOF FORMS ~ FULL OR WRAPPED FRONT PORCH

GENERAL NOTES:

- 10 ft first floor ceiling height
- painted or parged cmu foundations
- main house - box eaves, fascia, half fascia or exposed rafters

PORCHES:

- 10 ft deep front porches
- piered porch foundations; piers infilled with siding materials or orthogonal lattice
- full height, square or chamfered posts
- porches - half fascia or exposed rafters

MATERIALS:

- lap siding, shingle or vertical board & batten
- exposed fastener metal roofs preferred; architectural shingles and standing seam metal roofs optional

DOORS:

- 8 ft front door head height (8 ft door or 6 ft 8 in door with transom)
- solid panel or single lite preferred on entry
- entry doors with transoms and optional sidelites

GARAGE DOORS:

- coordinate garage door color with house
- street-facing garage doors will be premium grade (ex. windows)

WINDOWS:

- double hung windows: 2 over 2, 3 over 3, 4 over 4 and 6 over 6
- some casement and awning windows
- optional operable transoms and lower sashes
- primarily white windows
- working shutters where appropriate

COLORS:

- fresh, organic and whimsical palette
- 1 siding color; 1-3 trim and accent colors



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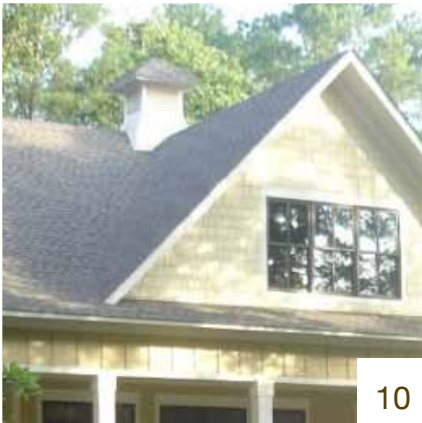
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1. pier foundation 2. raised porch and living level 3. sunroom with a 'finished porch' look 4. sleeping balcony over entry porch 5. solid door with bright color 6. screened door 7. eave vent detail 8. simple decorative bracket for overhang 9. small brick chimney 10. small square cupola for chimney flue 11. french doors 12. exposed porch rafters 13. operable transoms 14. operable shutters 15. exposed rafters tails and crimped metal roof

SCREENED-IN PORCHES AND SUN ROOMS ~ MULTIPLE PORCH ENTRY DOORS ~ STANDING SEAM OR CRIMPED METAL ROOFS ~ SOLID LUMBER POSTS AND RAILS ~ SIMPLE AND HONEST DETAILS



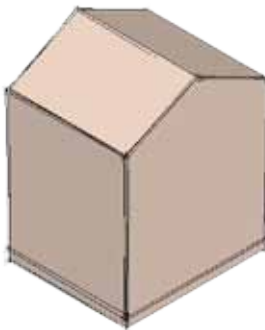
UPCOUNTRY MILL HOUSE

The Riverwalk Upcountry Mill House is inspired by the industrial architecture of river-side factories and mills in the Southeast. The house presents an orderly composition with a raised living level and bracketed balconies. Unique metal work and brick detailing provide for individual expression.

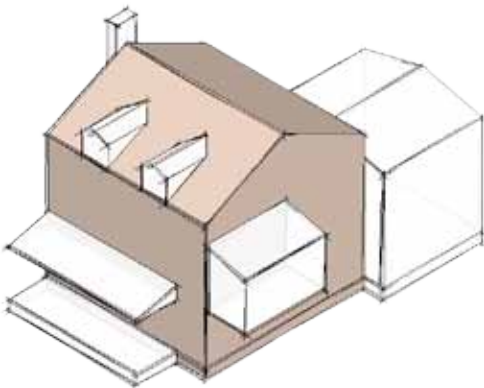
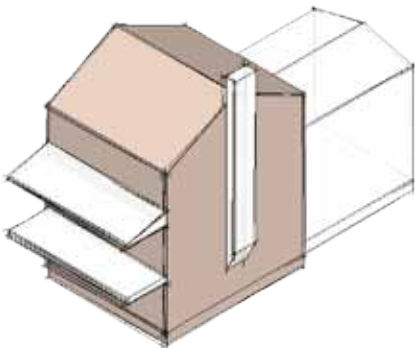
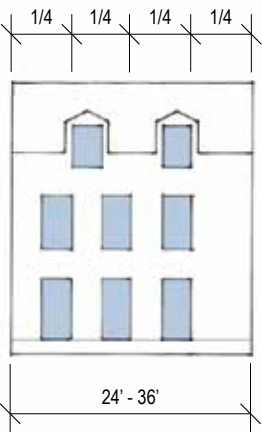
Deep overhanging eaves and low pitched metal roofs create a distinct and varied streetscape. Simple, rectangular building forms are clad in regional masonry. Vertical proportions are predominant. Larger homes are accommodated with rear or side additions to the 'main house'. Well detailed side and rear yards provide for a more private indoor/outdoor experience with the Upcountry Mill House.



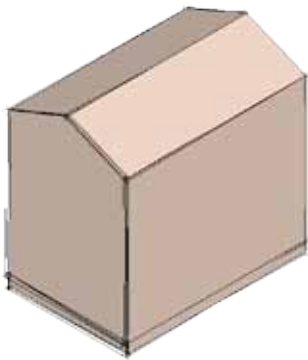
AUTHENTIC MILL BUILDING CHARACTER ~ GRAND SEMI-FORMAL STATEMENT ~ TYPICALLY 2 TO 3 STORIES ~ ELEVATED LIVING FLOORS ~ 2ND OR 3RD FLOOR BALCONIES



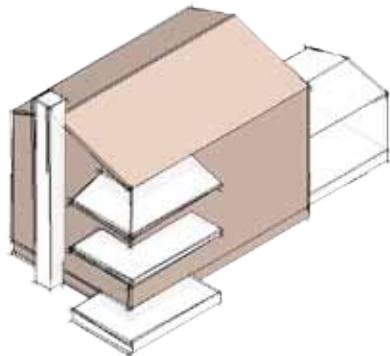
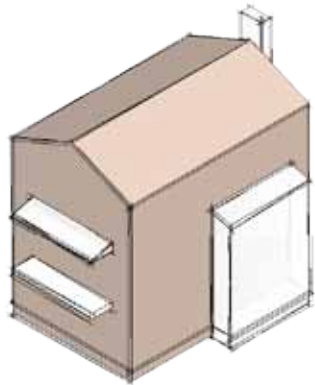
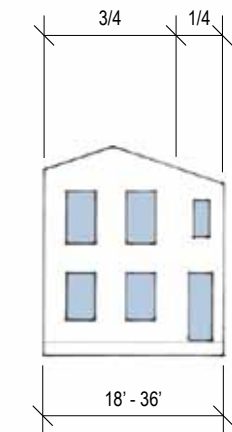
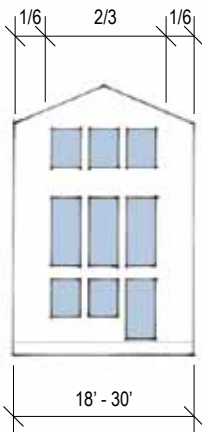
SIDE GABLE



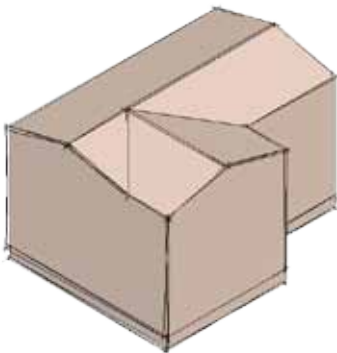
- 2.5 - 3 story volume
- side gable roof forms
- 18' - 36' wide main house
- 2:12 - 6:12 main roof pitch
- gable half dormers
- single rear additions



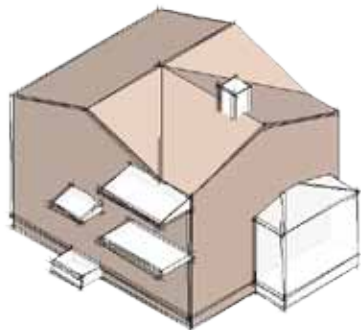
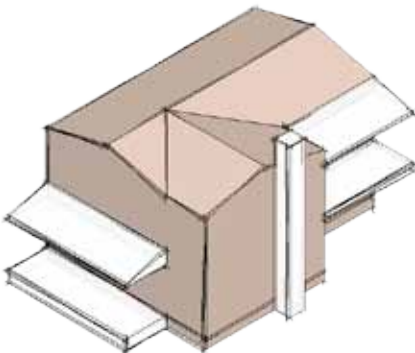
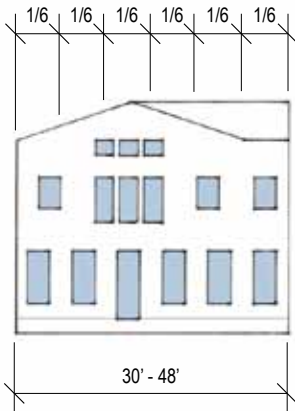
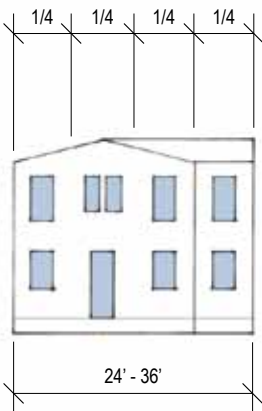
FRONT GABLE



- 2 - 3 story volume
- gable or hip roof forms
- 18' - 36' wide main house
- 2:12 - 4:12 main roof pitch
- gable half dormers
- rare side and rear additions
- side yard option



L-SHAPED



- 2 - 2.5 story volume
- end gable or hip roof forms
- 24' - 48' wide main house
- 2:12 - 6:12 main roof pitch
- gable half dormers
- rare side and rear additions
- side yard option

PROPORTIONS

MASSING COMPOSITIONS

REFERENCE IMAGES

SIMPLE SOLID MASSING ~ FEW ADDITIONS ~ VERTICAL PROPORTIONS ~ ORDERLY COMPOSITION ~ COMMON 3-BAY FACADE ~ LIVE/WORK AND PARK UNDER OPTIONS ~ SOME FIRST LEVEL PORCHES

GENERAL NOTES:

- 10 ft living level ceiling height (first or second floor)
- brick or painted brick foundations
- main house - box eaves with or without modillions

DECKS, BALCONIES & PORCHES:

- 10 ft deep decks or larger (create front courtyards)
- 4 ft to 6 ft deep balconies (solid lumber brackets)
- limited porches are 8 ft deep
- full height, square, rectangular or chamfered posts
- porches and canopies- exposed rafters

MATERIALS:

- brick or painted brick preferred on main house
- alternative: wood construction additions or wood construction above brick first level (lap siding, vertical siding or board & batten)
- limited stone or hard coat stucco use
- standing seam metal roofs preferred; architectural shingles and exposed fastener metal roofs optional

DOORS:

- 8 ft front door head height (8 ft door or 6 ft 8 in door with transom)
- solid panel or full lite with transoms
- some arched doorways/transoms

GARAGE DOORS:

- coordinate garage door color with house
- street-facing garage doors should be premium grade (ex. windows and hardware)

WINDOWS:

- double hung windows: 6 over 6, 8 over 8, 9 over 9 and 12 over 12
- optional operable transoms
- locate special windows
- few shutters - louvered panels
- broad window color palette

COLORS:

- hearty, natural and saturated palette
- 1 main brick color; opt. 1 siding color; 1-2 trim colors



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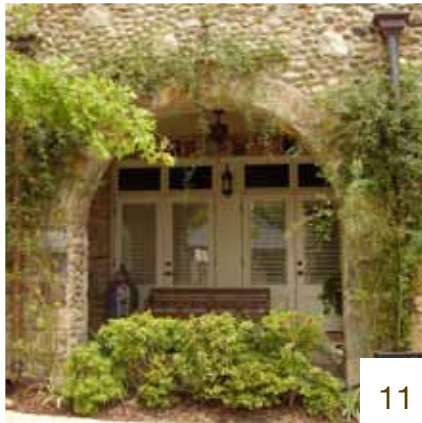
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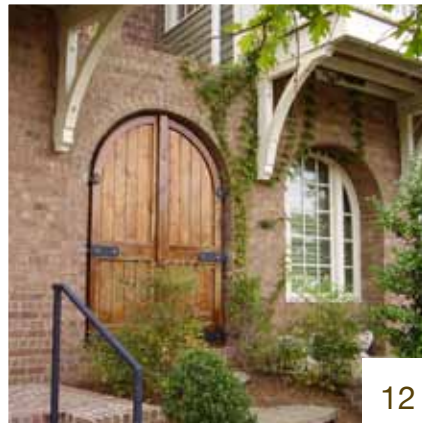
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1. real brick arches 2. segmented arches 3. small special window 4. louvered panel shutter 5. brick chimney along perimeter 6. metal chimney flue 7. some supported balconies 8. solid lumber brackets and exposed rafter tails 9. curved balcony support brackets 10. canopy over exterior doorway 11. recessed, ground-level outdoor room 12. side yard access between homes 13. raised terraces 14. shallow set-backs 15. added brick detail

COVERED BALCONIES ~ MULTIPLE BALCONY DOORWAYS ~ LARGE EXPRESSIVE BALCONY BRACKETS ~ LARGE WINDOWS ~ QUALITY BRICK COURSING ACCENTS ~ WELL-CRAFTED WOOD DETAILS



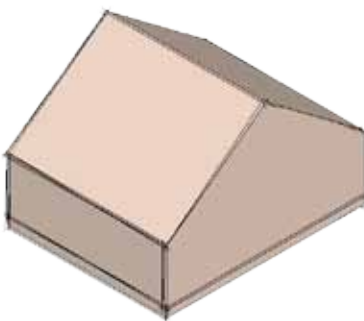
RIVER CRAFTSMAN

The River Craftsman home at Riverwalk accentuates the rustic qualities and natural materials of the Arts and Crafts movement. The casual nature of this style is emphasized through the use of complex compositions and fully integrated outdoor living rooms. Special attention is made to porch and eave details. The use of stone is prevalent, as is the inclusion of predominant hearths and chimneys.

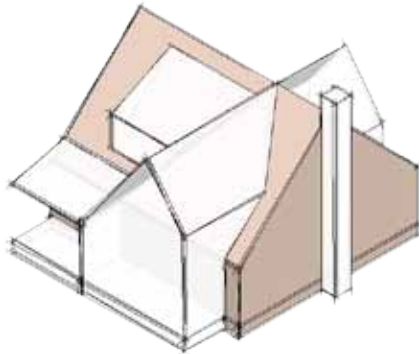
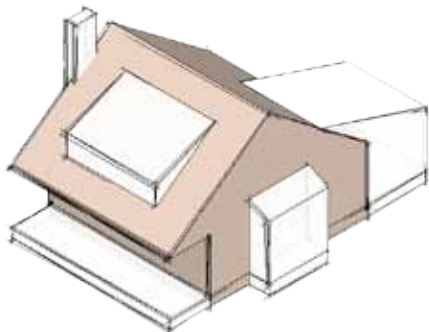
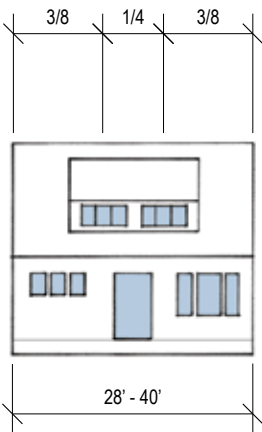
Horizontal in proportion, the River Craftsman home has strong connections to the natural environment. Structurally expressive building details are prevalent. Building forms are subtractive and make use of the attic volume for heated space. Porches and sleeping rooms are extensive and provide opportunities for outdoor living.



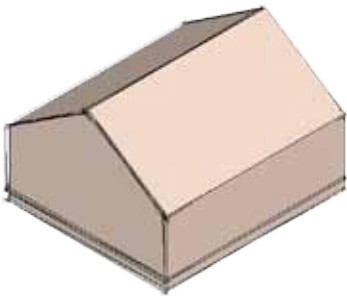
HAND-CRAFTED CHARACTER ~ LARGE VARIED ROOFS ~ BROAD, OPEN FRONT PORCHES ~ TYPICALLY 1.5 AND 2.5 STORIES ~ UPPER FLOORS FRAMED BY ROOF RAFTERS



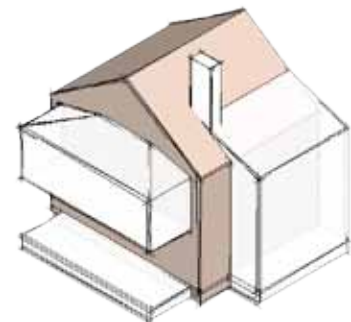
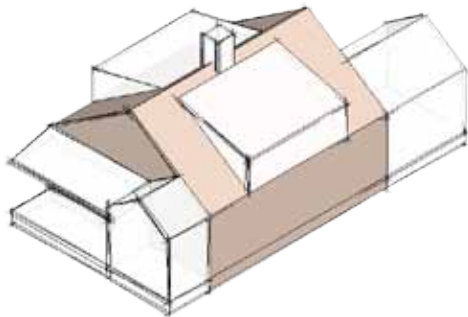
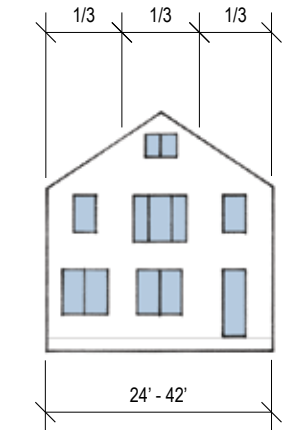
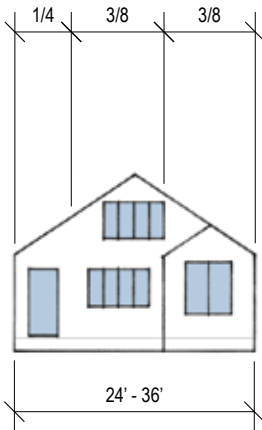
SIDE GABLE



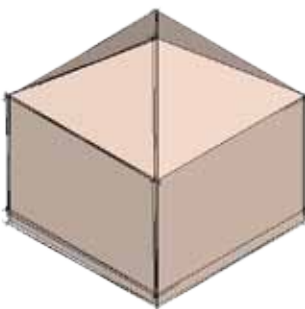
- 1.5 story volume
- broad front
- side gable roof form
- 28' - 48' wide main house
- 8:12 - 16:12 main roof pitch
- gable or shed, full dormers



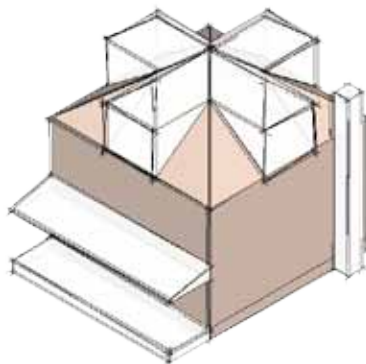
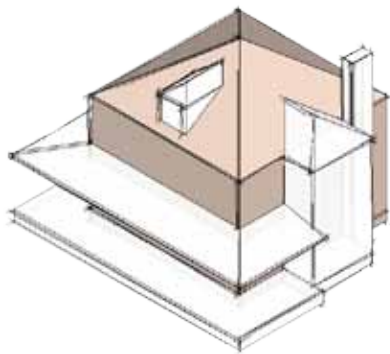
FRONT GABLE



- 1.5 or 2.5 story volume
- broad front
- front gable roof form
- 24' - 42' wide main house
- 8:12 - 12:12 main roof pitch
- gable, hip or shed, full or half dormers
- side yard option



PYRAMIDAL



- 1.5 or 2.5 story volume
- broad front
- hip roof form
- 24' - 48' wide main house
- 6:12 - 10:12 main roof pitch
- hip, full or half dormers

PROPORTIONS

MASSING COMPOSITIONS

REFERENCE IMAGES

LARGE MASSING FORMS WITH ADDITIONS AND SUBTRACTIONS ~ HORIZONTAL PROPORTIONS ~ COMPLEX, ORGANIC COMPOSITION ~ LOCALIZED SYMMETRIES ~ WIDE AND SQUAT FRONT ELEVATIONS

GENERAL NOTES:

- 10 ft first floor ceiling height
- stone, brick or painted masonry foundations
- main house and porches - half fascia or exposed rafters

PORCHES:

- 10 ft deep front porches
- porches with masonry piers and half walls
- box and tapered box columns or grouped posts; full length or on masonry piers/walls

MATERIALS:

- lap siding, shingle or vertical board & batten
- stone and limited brick
- architectural shingles preferred; exposed fastener metal roofs optional

DOORS:

- 8 ft front door head height (8 ft door or 6 ft 8 in door with transom)
- single expressive entry door
- limited transoms and sidelites

GARAGE DOORS:

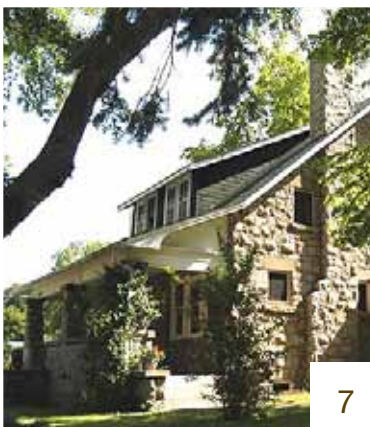
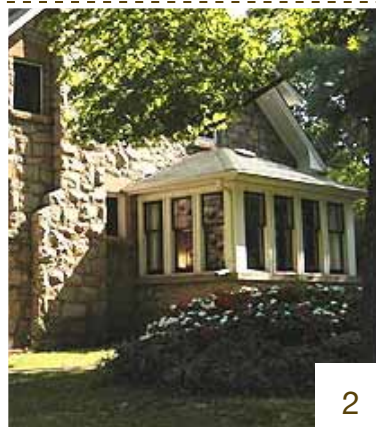
- coordinate garage door color with house
- street-facing garage doors should be premium grade (ex. windows)

WINDOWS:

- double hung windows: 3, 4, 6, 8, 9, 10 or 12 over 1
- fixed windows: multiple lites
- varied window sizes and shapes
- limited transoms and shutters
- broad window color palette

COLORS:

- fresh, organic and whimsical palette
- 1 siding color; 1-3 trim and accent colors



1. broad dormer; textured/shingled roof; kicked roof 2. sunroom 3. porch and screened porch part of massing 4. finished porch
5. beam supports rafters; rough edge siding 6. large gable end chimney 7. use large stones 8. rounded porch openings 9. wood entry door
10. outdoor room at entry 11. masonry foundations, half walls and piers 12. decorative rafter tails 13. low porch beams and ceilings
14. horizontal window groupings; stud pockets; wide window trim; vertical lites 15. solid lumber brackets and details 16. special windows

DRAMATIC FRONT DOOR ~ HORIZONTAL WINDOW GROUPINGS ~ VARIED TOP PLATE AND EAVE HEIGHTS ~ SUPPORTED ROOF OVERHANGS ~ CONSISTENT AND CONTINUOUS LANGUAGE OF DETAILS



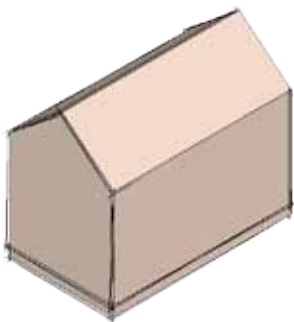
PIEDMONT HOMESTEAD

The Piedmont Homestead at Riverwalk is inspired by the simplicity of a folk vernacular prevalent in the Carolina Piedmont, with a nod to great Stick homes from the mid 19th century. Decidedly less fussy than most Victorian homes, this home is simple in both form and detail. Broad front porches are indicative of a welcoming and relaxed lifestyle. Gable front roofs are typical.

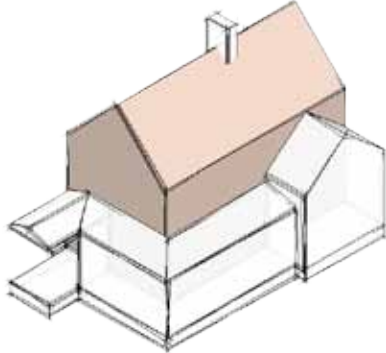
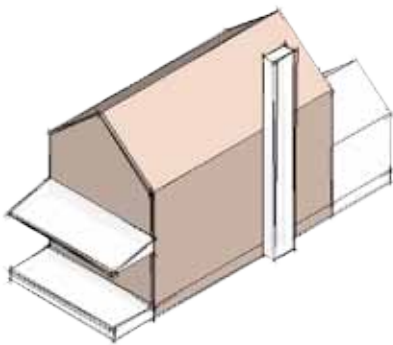
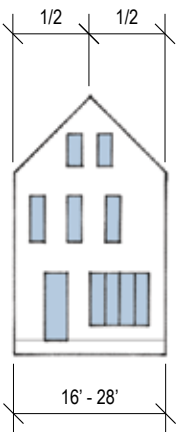
Though architectural ornamentation is minimal, porches, eaves and cladding reflect an honest and dimensional approach to the home's construction. Board and batten siding is often accented with exposed 'framing members', most commonly found in historic Stick vocabulary. With a strong street presence, the Piedmont Homestead creates an inviting streetscape with picturesque curb appeal.



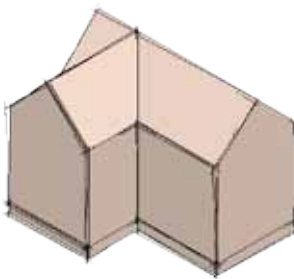
UPDATED FARMHOUSE CHARACTER ~ FRONT FACING GABLES ~ EXPRESSED STRUCTURE ~ TYPICALLY 1.5 TO 2 STORIES ~ WRAP AROUND PORCHES ~ CRISP DETAILS



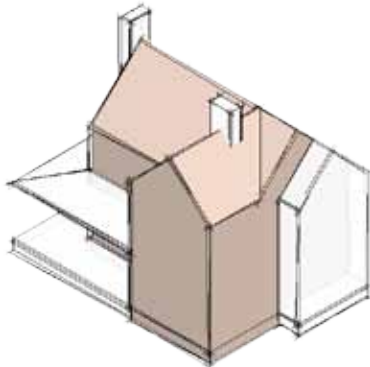
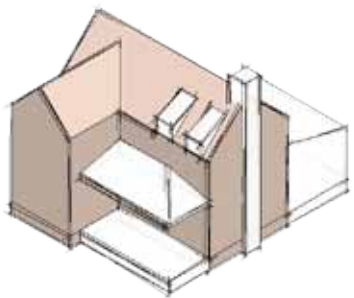
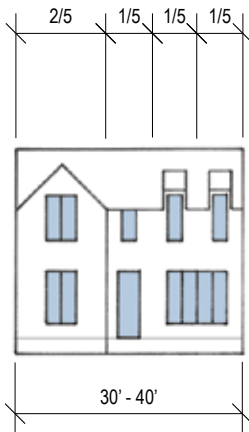
FRONT GABLE



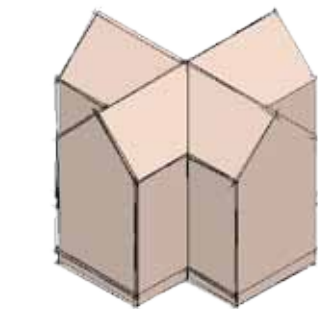
- 1.5 - 2.5 story volume
- narrow front
- 18' - 28' wide main house
- 8:12 - 14:12 main roof pitch
- shed half dormers
- rear and side additions
- side yard option



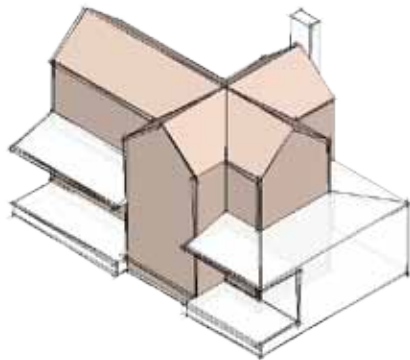
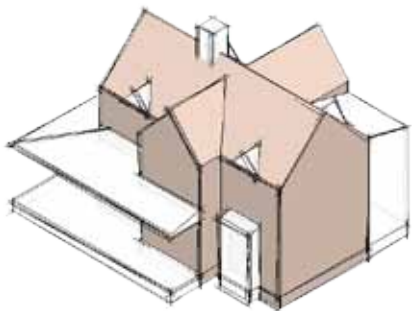
L-SHAPED



- 1.5 - 2.5 story volume
- broad front
- 24' - 40' wide main house
- 8:12 - 14:12 main roof pitch
- gable or shed half dormers
- rear and side additions



CROSS GABLE



- 1.5 - 2 story volume
- larger home
- broad front
- 30' - 48' wide main house
- 6:12 - 12:12 main roof pitch
- gable, hip or shed, full or half dormers
- infill additions

PROPORTIONS

MASSING COMPOSITIONS

REFERENCE IMAGES

STRONG AND NARROW MASSING FORMS WITH ADDITIONS ~ VERTICAL PROPORTIONS ~ MIX OF LOOSE AND ORDERLY COMPOSITION ~ TYPICALLY 1.5 TO 2 STORIES ~ SHED AND GABLE ADDITIONS

GENERAL NOTES:

- 10 ft first floor ceiling height
- painted masonry or stone foundations
- main house and porches - fascia or exposed rafters

PORCHES:

- 10 ft deep front porches
- simple masonry or piered porch foundations; piers infilled with siding materials or lattice
- full height, square, chamfered or partially turned posts; optional wood piers with posts
- sawn board and solid lumber rails and spandrels

MATERIALS:

- vertical board & batten, vertical board siding and lap siding
- limited brick and painted brick
- standing seam metal roofs and exposed fastener metal roofs preferred; architectural shingles optional

DOORS:

- 8 ft front door head height (8 ft door or 6 ft 8 in door with transom)
- single and double doors with transom
- optional side lites with single door

GARAGE DOORS:

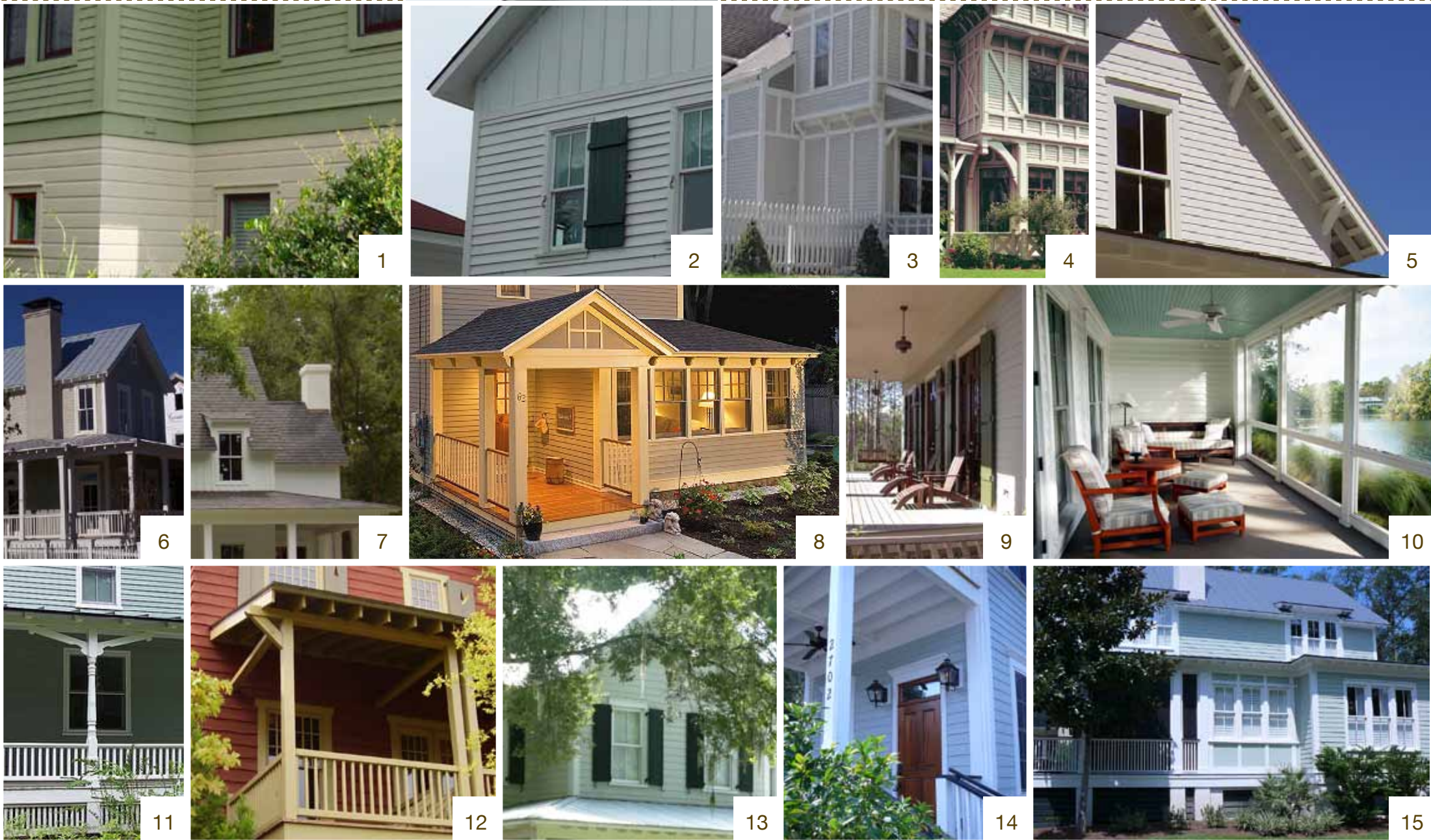
- coordinate garage door color with house
- street-facing garage doors should be premium grade (ex. windows)

WINDOWS:

- double hung windows: 1 over 1 and 2 over 2
- 4 lite casement and 4-8 lite fixed windows
- transoms preferred; lower sashes optional
- primarily white windows

COLORS:

- clean, delicate palette
- 1-2 siding colors; one trim color



1. horizontal trim band; color change 2. siding material changes 3. vertical trim boards 4. strong simple brackets; diagonal trim boards
5. exposed lookouts 6. painted masonry chimneys with metal flues 7. small brick chimneys 8. front gable entries; broad porches
9. casual and functional front porch 10. finished/screened porch 11. dimensional trim and brackets 12. bracketed rafter detail
13. operable louvered shutters with shutter dawgs 14. stained wood entry doors with transom 15. well articulated massing; enclosed porch details

BRACKETED ROOM CANTELEVERS ~ WINDOWS SEATS AND WINDOW BAYS ~ SIDING MATERIAL CHANGES ~ SIMPLE SOLID LUMBER PORCH BRACKETS ~ REFINED YET DURABLE MATERIALS AND DETAILS

MODERN OVERLAY

The Riverwalk Modern homes are designed for the modern family with varied lifestyles and preferences. Each of the primary architectural styles at Riverwalk can be modified to provide a more modern aesthetic. General principles of the primary style are kept in tact, while the materials, color palette, and details are simplified to reflect a more singular interpretation.

PRINCIPLES:

- homes with the modern overlay should be the minimalist version of their traditional counterpart (cottage, mill house, craftsman home or homestead)
- focus should be on creating clean and clear statement
- simplified design requires high quality materials and workmanship to be successful

MATERIALS:

- permitted materials include glass, stone, metal, brick, stucco, vertical siding, horizontal wood plank
- timber frame and glass infill

DOORS AND WINDOWS:

- solid panel or single lite
- entry doors with transoms and optional sidelites
- aluminum storefront,
- fixed, casement and awning windows
- optional operable transoms and lower sashes

COLORS:

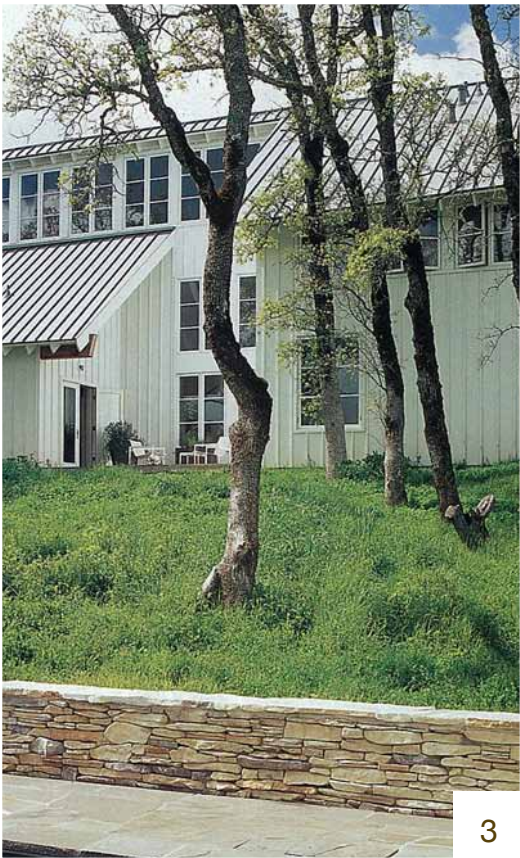
- clean, singular palette with natural materials
- single siding color; 1-2 trim and accent materials



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8

1. simplified massing orderly fenestration and clean details 2. unique wood siding and slective color 3. mix of order and natural landscaping
4. defined and architectural exterior living spaces 5. fresh interpretation of local vernacular 6. metal roof, stone hearth and singular palette
7. consitent language throughout all elements 8. selective fenestration and simple composition with quality details

SIMPLE MASSING ~ CONNECTED VOLUMES ~ COVERED EXTERIOR SPACES ~ EXAGGERATED PROPORTIONS ~ GLASS ROOMS ~ SUSTAINABLE MATERIALS ~ STEEP AND LOW SLOPE ROOFS ~ INNOVATION

MODERN ADDITION

Homes that are designed to meet the guidelines of the four primary styles of architecture in Riverwalk are modified to provide additional living space in a more modern aesthetic. Clean open lines, use of glass to blur the lines between inside and out, and natural materials are the essential characteristics of the Riverwalk Modern Addition.

PRINCIPLES:

- additions should be less than 25% total area
- the addition should pay homage to the character of the existing home
- focus should be on creating clean and clear statement
- the introduction of more glass and a new material should be used in collaboration

MATERIALS:

- permitted materials include glass, stone, metal, brick, stucco, vertical siding, horizontal wood plank
- relationship to materials of main house
- timber frame and glass infill

DOORS AND WINDOWS:

- solid panel or single lite
- entry doors with transoms and optional side lites
- aluminum storefront,
- fixed, casement and awning windows
- optional operable transoms and lower sashes

COLORS:

- clean, singular palette with natural materials
- single siding color; 1-2 trim and accent materials



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1. glassed in expansion and private terrace 2. gathering hall for entertaining 3. porches and/or sunrooms 4. timber frame room with a hearth
5. hearth and glass family room 6. glass breezeway and exterior fireplace 7. remodeled dining room 8. modern extension / nature overlook

NATURAL MATERIALS ~ SINGULAR COLOR PALETTE ~ CONNECTION TO OUTDOORS ~ CASUAL PLACES TO GATHER ~ SIMPLE MASSING ~ LOW SLOPE ROOFS ~ INTEGRATED GARDEN ROOMS

SUSTAINABILITY

Homes at Riverwalk will be designed and constructed with the environment in mind. Our approach requires innovation from our builders aligned with expectations of our residents. The process must be fluid, as the field of sustainable practices and products is ever-changing. Our goal is to create a community with a shared vision to respect the environment because it’s the right thing to do.

PRACTICES:

- orientation of lots and homes should inform building orientation and design
- ‘Environmentally Friendly Living’ standards
- provide for comfortable, shaded outdoor living on porches, patios and courtyards
- integration of usable outdoor space can potentially minimize heated square foot demands
- expand visual square footage with sunrooms, while maximizing natural light
- preserve heritage trees and wild animal habitats; promote the creation of new, natural areas
- encourage use of natural, renewable materials
- use of post-consumer and recycled content strongly encouraged, allow for innovation
- provide opportunities to capture solar and wind energy
- limit irrigation demands via xeriscaping and careful planning
- encourage investment in energy efficient appliances and fixtures; promote lower life-cycle costs
- creatively incorporate natural elements into fencing, lighting, mailboxes, house numbers, etc.
- use icynene insulation and vapor barriers
- anticipate continued development of sustainable practices



1



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1. consider solar orientation 2. sunroom additions 3. build in harmony with land; preserve natural habitats 4. natural material and outdoor living
5. harness solar power and cross ventilation 6. energy star appliances 7. nature inspired details 8. rain water collection and irrigation

EXPECT INNOVATION ~ CONNECTION TO OUTDOORS ~ SOLAR ORIENTATION ~ PRESERVE HERITAGE TREES ~ RENEWABLE BUILDING PRODUCTS ~ CROSS VENTILATION ~ COMMON SENSE APPROACH



XERISCAPING ~ YEAR ROUND INTEREST ~ LOW MAINTENANCE ~ WHIMSICAL TEXTURE ~ RELAXED STRUCTURE ON THE STREETScape

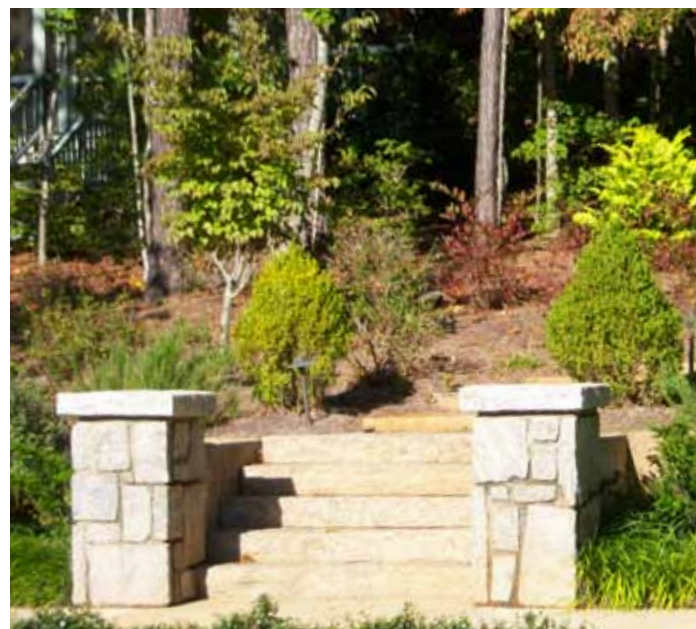
LANDSCAPE OVERVIEW

As with the overall Riverwalk Streetscape design and planting defined earlier in the guidelines, the lot landscape plays a huge role in defining the characteristic or Riverwalk neighborhoods. The planting palette that surrounds residents homes should speak to their active outdoor lifestyle. This can be accomplished by using a variety of indigenous and drought-tolerant plants and limit the amount of lawn allowed within the front and side yards, also known as Xeriscaping. This style of landscaping not only blends and compliments the rich styles of architecture within Riverwalk from the street level, but also limits the amount of water used through irrigation and is more maintenance friendly. Furthermore, this style of landscape allows for a more direct and distinctive expression that will add value to all of Riverwalk.

The landscape guidelines listed below outline the structural plant palette for each lot type and block location. Depending on the lot type or the lots location within the block, different plant quantities and types will be required.

Front yard planting requirements are similar to a typical foundation planting by the use of Canopy / Evergreen Trees and Foundation Shrubs; however, to emphasize unique individual properties at street level, special quantities of ornamental grasses, perennials, and groundcovers are required per lot. The addition of these types of plants creates a blend of textures within the landscape and eliminates the amount of lawn needed. Also, corner lots go a step beyond and provide a sense of entry at each street crossing by the required supplemental planting at the back of sidewalk.

For lot types that are allowed to plant lawn within the front yard, a 3' perennial/small shrub border will occur at the back of sidewalk, so that manicured lawn blends with the xeriscaped front yard next door. See guidelines for plant quantities and all requirements for these type of lots.



PERENNIAL SHRUBS ~ VARIETY OF TREES ~ FORMAL AND INFORMAL PLANTING AREAS ~ VINE AND GROUND COVER ~ WILD FLOWERS AND LOCAL PLANTS ~ LOW STONE WALLS AND STEPS

STORM WATER MAINTENANCE



- Vegetated Swales
- Rain Gardens
- Rain Barrels
- Cisterns
- Rain Chains

XERISCAPING



- Low Maintenance
- Native Species Encouraged
- Drought Tolerant Species
- Limited Lawn
- Reuse of rainwater for irrigation
- Natural Woodland Planting that encourages a lower heat index

MATERIALS



- Local natural materials
- Pervious Materials for patios, walks, and driveways
- Natural colors that blend with the existing landscape
- Sustainable products

DECIDUOUS TREES: *Acer* (Maple), *Quercus* (Oak), *Betula* (Birch), *Ulmus* (Elm), *Fraxinus* (Ash), *Cornus* (Dogwood), **Cercis (Redbud)**, *Amelanchier* (Serviceberry), *Liriodendron* (Poplar), *Crateagus* (Hawthorne), *Fagus* (Beech), *Nyssa* (Tupelo), *Pistacia* (Pistache), *Taxodium* (Cypress)

EVERGREEN TREES: *Pinus* (Pine), *Myrica* (Myrtle), *Tsuga* (Hemlock), *Cedrus* (Cedar), *Prunus* (Laurel), *Ilex* (Holly), *Magnolia* (Magnolia),

DECIDUOUS SHRUBS: *Azalea* (Azalea), *Buddleia* (Butterfly Bush), *Berberis* (Barberry), *Viburnum* (Viburnum), *Hydrangea* (Hydrangea), *Spiraea* (Spirea), *Cornus* (Dogwood), *Weigela* (Weigela), *Hibiscus* (Rose of Sharon), *Vitex* (Vitex), *Forsythia* (Forsythia).

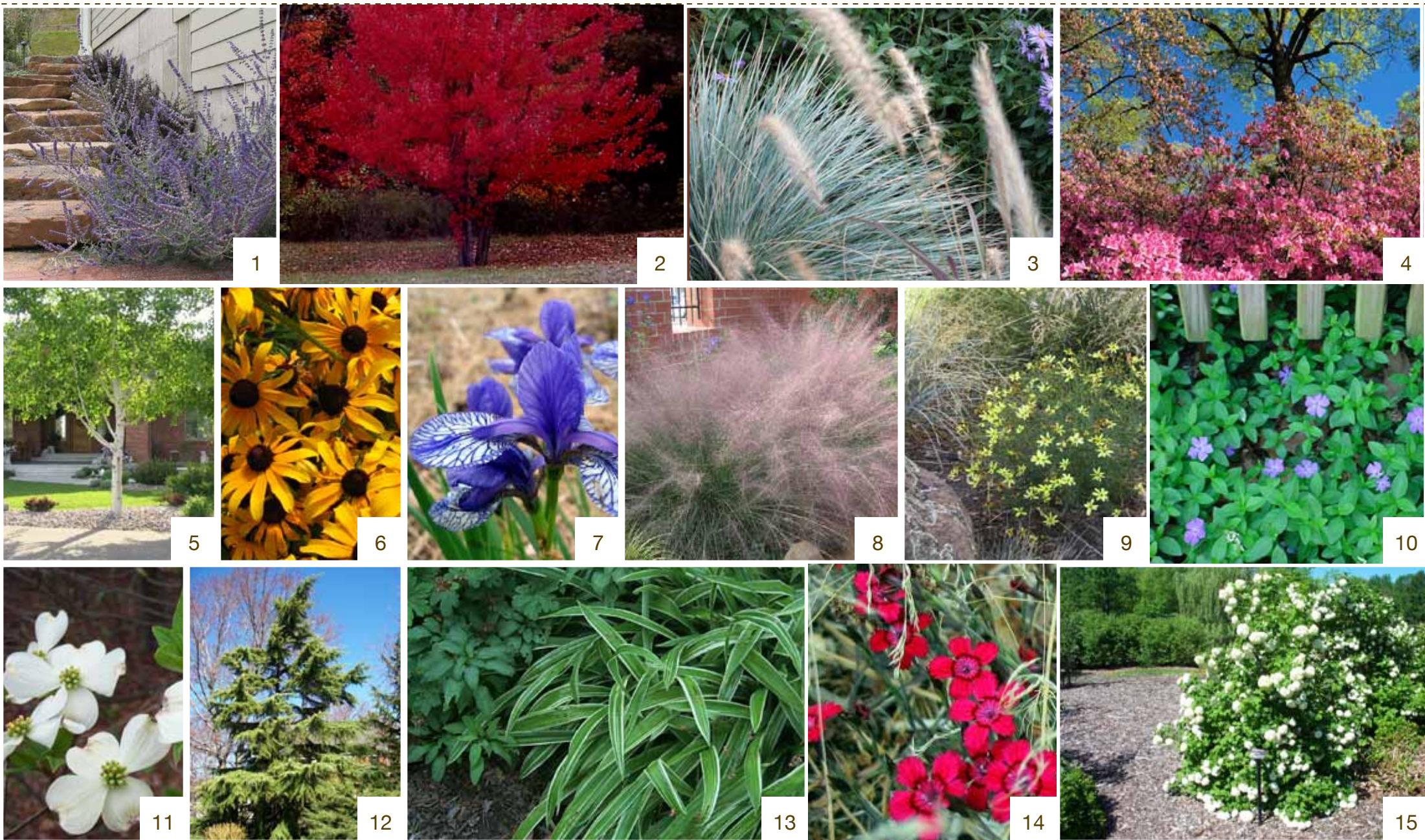
EVERGREEN SHRUBS: *Azalea* (Azalea), *Abelia* (Abelia), *Buxus* (Boxwood), *Ligustrum* (Privet), *Osmanthus* (Osmanthus), *Myrica* (Wax Myrtle), *Prunus* (Laurel), *Ilex* (Holly), *Camellia* (Camellia), *Gardenia* (Gardenia), *Raphiolepis* (Hawthorn), *Salvia* (Sage), *Juniper* (Juniper), *Jasminum* (Jasmine), *Yucca* (Yucca), *Hypericum* (St. Johns Wort), *Viburnum* (Viburnum), *Acuba* (Acuba), *Skimmia* (Skimmia).

GRASSES: *Panicum* (Switchgrass), *Muhlenbergia* (Muhly), *Miscanthus* (Maiden Grass), *Pennisetum* (Fountain Grass), *Calamagrostis* (Reed Grass), *Helictotrichion* (Oat Grass), *Carex* (Sedge).

PERENNIALS: *Rudbeckia* (Black Eyed Susan), *Salvia* (Sage), *Lavandula* (Lavender), *Coreopsis* (Coreopsis), *Hosta* (Hosta), *Hermerocallis* (Daylilly), *Dianthus* (Dianthus), *Gaura* (Gaura), *Stachys* (Lambs Ear), *Iris* (Iris), *Agapanthus* (Agapanthus), *Pervoskia* (Russian Sage), *Veronica* (Veronica), *Ferns*, *Echinacea* (Coneflower), *Teucrium* (Germander), *Herbs*, *Helianthus* (Sunflowers), *Allium* (Allium), *Tulip* (Tulips)

GROUNDCOVERS: *Liriope* (Liriope), *Sedum* (Stonecrop), *Gelsemium* (Jessamine), *Lonicera* (Honeysuckle), *Ajuga* (Bugle), *Vinca* (Periwinkle), *Carex* (Sedges), *Ophiopogon* (Mondo Grass), *Pachysandra* (Pachysandra), *Salvia* (Sage), *Juniperus* (Juniper), *Herbs*, *Euonymus* (Wintercreeper), *Boutelora* (Mosquito Grass), *Iberis* (Candytuft),.

Note: All scientific plant families listed above are only a suggested plant palette at which to work from for landscape designs of individual lots. Native and drought tolerant species are encouraged as well as a variety of species that ensure year round interest and color in the landscape. Species proposed that are not listed above shall be approved by the landscape architect or the home owners association.



1. russian sage 2. red maple 3. sedge 4. azalea 5. river birch 6. black eyed susan 7. iris 8. muhly grass 9. moonbeam coreopsis 10. periwinkle
11. dogwood 12. deodar cedar 13. carex 14. dianthus 15. deciduous viburnum

NATIVE PLANTS ~ YEAR ROUND COLOR ~ NATURAL LAYOUT ~ FOUNDATION PLANTINGS ~ COLORFUL BORDERS ~ EVERGREEN GROUND COVERS

TOWNHOME LOTS

Front Yard Planting Requirements Per Lot:

- Trees-A minimum of 1 (3" caliper) Understory Deciduous/ Flowering Tree and/or 1 Evergreen Tree 5' or taller when planted
- Shrubs/Grasses- A min. of 6 Medium Evergreen shrubs and 6 Small to Medium grasses (3 gal. minimum when planted)
- Ground Covers/ Perennials: A min. of 75 s.f.
- Lawn- No Lawn Allowed
- Mulch-Pine straw or dark hardwood mulch only

Side Yard (Corner Lot Only) Planting Requirements Per Lot:

- Trees-A minimum of 1 (2" caliper) Understory Deciduous/ Flowering Tree or 1 Evergreen Tree 5' or taller when planted
- Shrubs/Grasses- A min. of 8 Medium Evergreen shrubs and 6 Small to Medium grasses (3 gal. minimum when planted)
- Ground Covers/ Perennials: A min. of 150 s.f.
- Lawn-30% of Side Yard of Corner Lots (not including enhanced corner planting area) may be lawn
- Mulch-Pine straw or dark hardwood mulch only

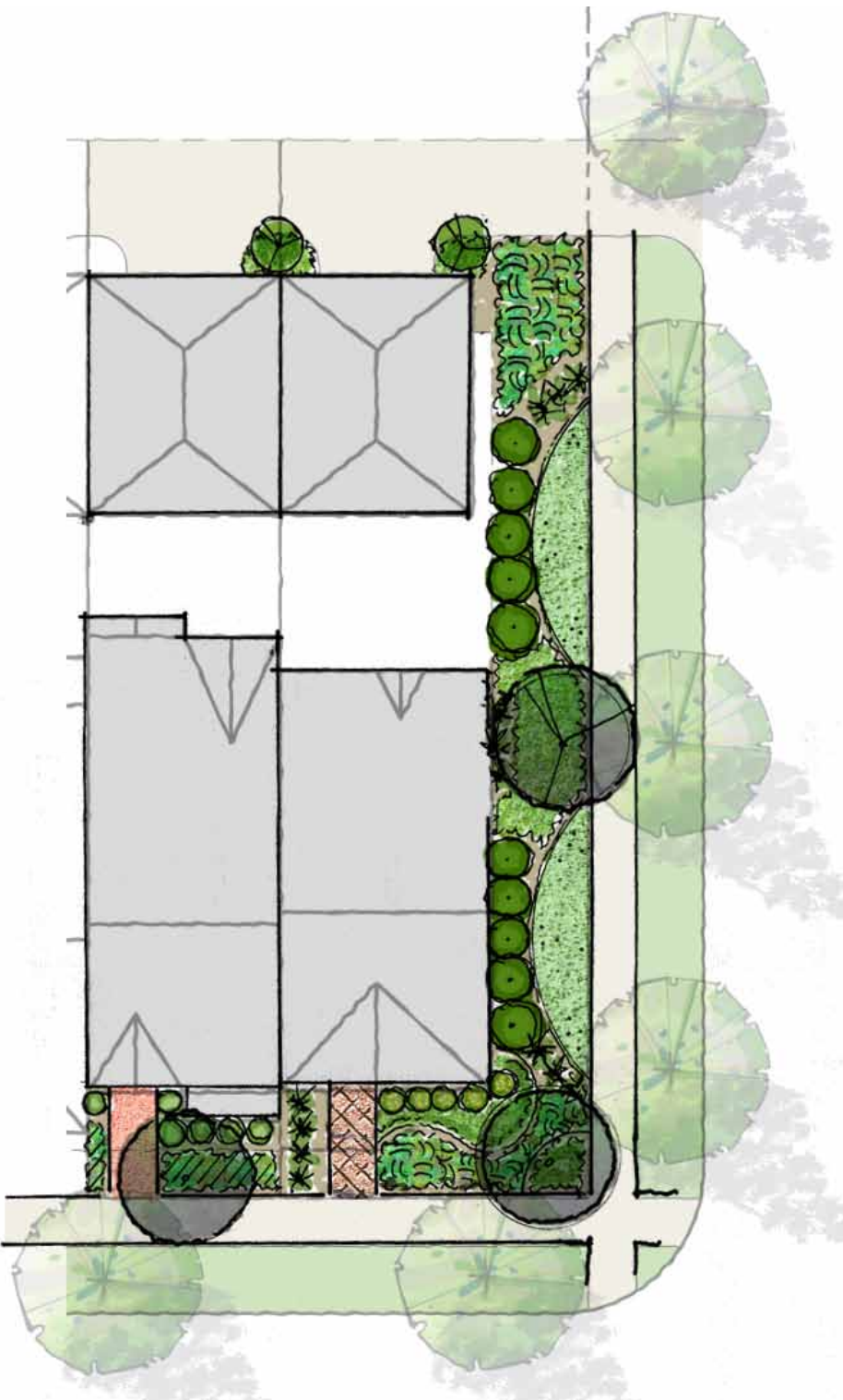
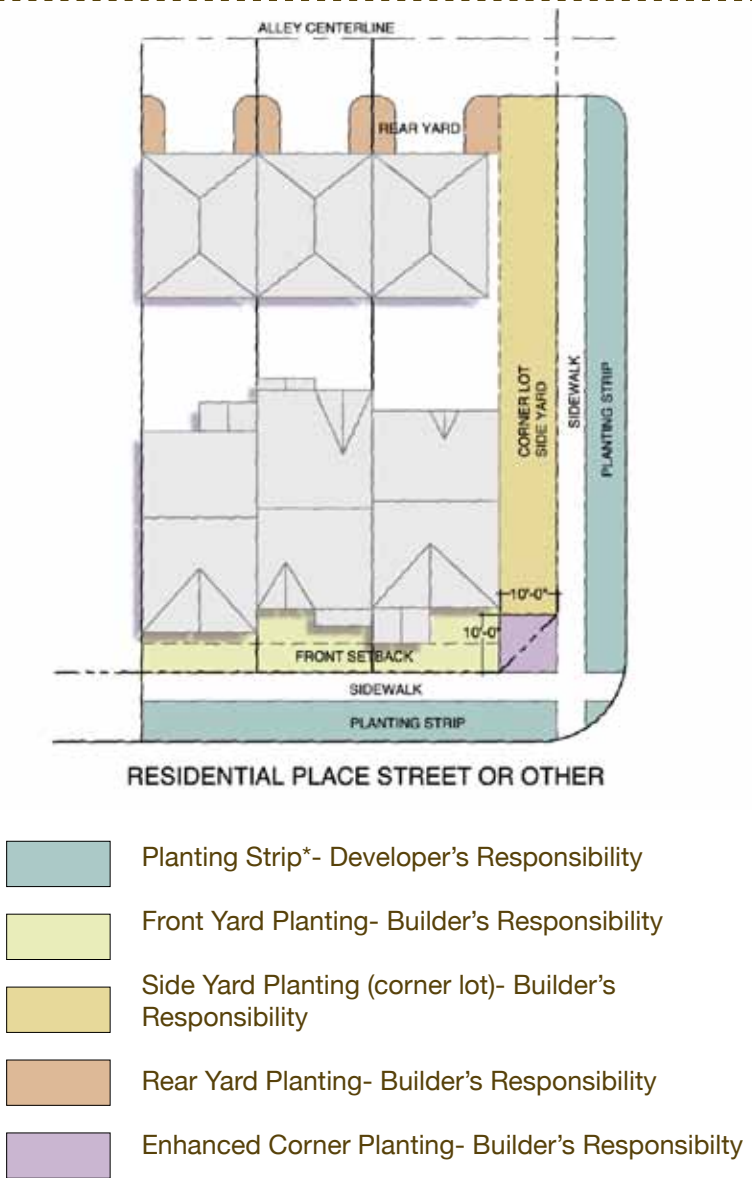
Rear Yard Planting Requirements Per Lot:

- Trees-1 Evergreen Tree (5' or taller when planted) planted on the abutting side of a driveway.
- Shrubs/Grasses- A min. of 3 Dwarf Shrubs or Small Grasses.
- Ground Covers/Perennials-Not Applicable
- Lawn-No Lawn Allowed
- Mulch-Pine straw or dark hardwood only

Enhanced Corner Planting (Corner Lot Only) Requirements:

- Trees- 1 (3" caliper) Understory Deciduous/Flower Tree or 1 Evergreen Tree (5' or taller when planted)
- Shrubs/Grasses- Not Applicable
- Ground Covers/ Perennials- A min. of 50 s.f. that should be a mix of evergreen and deciduous perennials and ground covers.
- Lawn- No Lawn Allowed
- Mulch- Pine straw or dark hardwood only

Note: All other yards within the lot line is the home owner's responsibility and does not have any quantity requirements; however, invasive plants are not allowed anywhere in Riverwalk (see Invasive Plant List this set). All materials of fences, landscape walls, patios, driveways, and/or walkways must be from the approved materials list within this document. A plan identifying the front yard, corner side yard, and enhanced planting zones landscape design must be submitted for review and approval, by the Design Review Committee.



TYPICAL PLANTING OF TOWNHOMES - PLAN

ALLEY LOADED LOT

Front Yard Planting Requirements Per Lot:

- Trees-A minimum of 1 (2" caliper) Understory Deciduous/ Flowering Tree and 1 Evergreen Tree 5' or taller when planted
- Shrubs/Grasses- A min. of 8 Medium Evergreen shrubs and 6 Small to Medium grasses (3 gal. minimum when planted)
- Ground Covers/ Perennials: A min. of 200 s.f.
- Lawn- No Lawn Allowed
- Mulch-Pine straw or dark hardwood mulch only

Side Yard (Corner Lot Only) Planting Requirements Per Lot:

- Trees-A minimum of 1 (2" caliper) Understory Deciduous/ Flowering Tree or 1 Evergreen Tree 5' or taller when planted
- Shrubs/Grasses- A min. of 8 Medium Evergreen shrubs and 6 Small to Medium grasses (3 gal. minimum when planted)
- Ground Covers/ Perennials: A min. of 150 s.f.
- Lawn- 30% of Side Yard of Corner Lots (not including enhanced corner planting area) may be lawn
- Mulch-Pine straw or dark hardwood mulch only

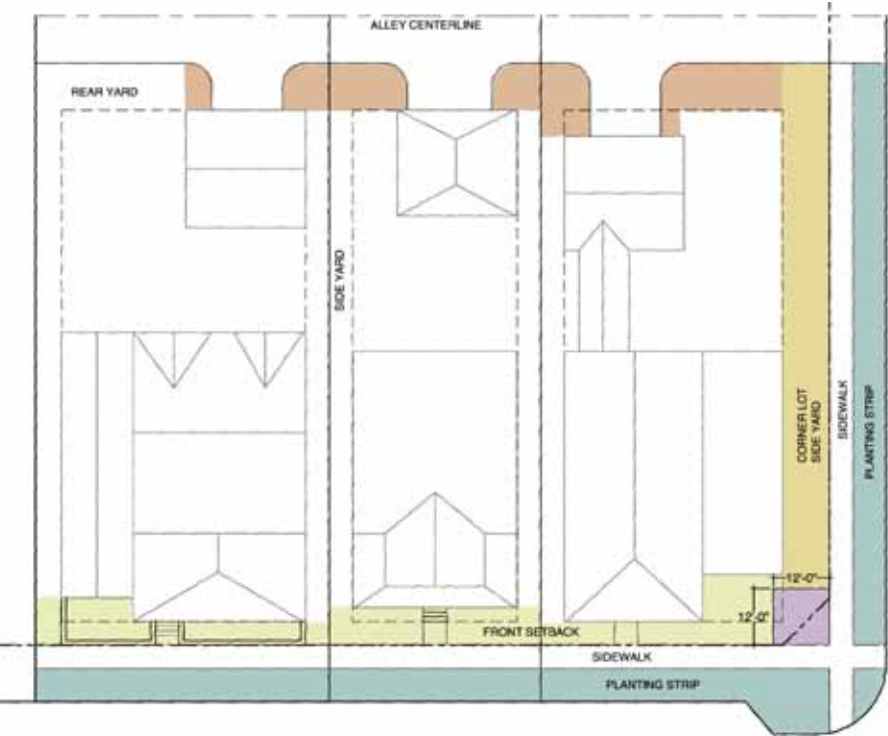
Rear Yard Planting Requirements Per Lot:

- Trees-1 Evergreen Tree (5' or taller when planted) planted on the abutting side of a driveway.
- Shrubs/Grasses- A min. of 6 Dwarf Shrubs or Small Grasses.
- Ground Covers/Perennials-Not Applicable
- Lawn-No Lawn Allowed
- Mulch-Pine straw or dark hardwood only

Enhanced Corner Planting (Corner Lot Only) Requirements:

- Trees- 1 (3" caliper) Understory Deciduous/Flower Tree or 1 Evergreen Tree (5' or taller when planted)
- Shrubs/Grasses- Not Applicable
- Ground Covers/ Perennials- A min. of 60 s.f. that should be a mix of evergreen and deciduous perennials and ground covers.
- Lawn- No Lawn Allowed
- Mulch- Pine straw or dark hardwood only

Note: All other yards within the lot line is the home owner's responsibility and does not have any quantity requirements; however, invasive plants are not allowed anywhere in Riverwalk (see Invasive Plant List this set). All materials of fences, landscape walls, patios, driveways, and/or walkways must be from the approved materials list within this document. A plan identifying the front yard, corner side yard, and enhanced planting zones landscape design must be submitted for review and approval, by the Design Review Committee.



RESIDENTIAL PLACE STREET (WITH ALLEY ACCESS)

- Planting Strip*- Developer's Responsibility
- Front Yard Planting- Builder's Responsibility
- Side Yard Planting (corner lot)- Builder's Responsibility
- Rear Yard Planting- Builder's Responsibility
- Enhanced Corner Planting- Builder's Responsibility

LANDSCAPE ZONE - BUILDER'S RESPONSIBILITY



TYPICAL PLANTING OF ALLEY LOADED LOTS-PLAN

FRONT LOADED LOT

Front Yard Planting Requirements Per Lot:

- Trees-A minimum of 1 (2" caliper) Understory Deciduous/ Flowering Tree and 1 Evergreen Tree 5' or taller when planted
- Shrubs/Grasses- A min. of 10 Small to Medium Evergreen shrubs and 8 Small to Medium grasses (3 gal. minimum when planted)
- Ground Covers/ Perennials: A min. of 210 s.f.
- Lawn- 40% of Front Yard may be Lawn for 60' wide or larger lots
- 30% of Front Yard may be lawn for 60' wide or smaller lots
- Mulch-Pine straw or dark hardwood mulch only

Side Yard (Corner Lot Only) Planting Requirements Per Lot:

- Trees-A minimum of 1 (2" caliper) Understory Deciduous/ Flowering Tree and 2 Evergreen Tree 5' or taller when planted
- Shrubs/Grasses- A min. of 8 Medium Evergreen shrubs and 10 Small to Medium grasses (3 gal. minimum when planted)
- Ground Covers/ Perennials: A min. of 100 s.f.
- Lawn- 50% of Side Yard of Corner Lots (not included enhance corner planting area) may be lawn
- Mulch-Pine straw or dark hardwood mulch only

Front Yard Border Planting Requirements Per Lot:

- Trees-Not Applicable
- Shrubs/Grasses- A min. of 12 Evergreen Dwarf shrubs or Small Grasses. Nothing over 3' tall at maturity is allowed.
- Ground Covers/Perennials-Remainder of 3' border must be planted with a mix of evergreen and deciduous perennials and ground covers.
- Lawn-No Lawn Allowed
- Mulch-Pine mulch or dark hardwood only

Enhanced Corner Planting (Corner Lot Only) Requirements:

- Trees- 1 (2" caliper) Understory Deciduous/Flower Tree or 1 Evergreen Tree (5' or taller when planted)
- Shrubs/Grasses- A min. of 6 Small Evergreen shrubs and 4 Small grasses (3 gal. minimum when planted)
- Ground Covers/ Perennials- A min. of 75 s.f.
- Lawn- No Lawn Allowed
- Mulch- Pine mulch or dark hardwood only

Note: All other yards within the lot line is the home owner's responsibility and does not have any quantity requirements; however, invasive plants are not allowed anywhere in Riverwalk (see Invasive Plant List this set). All materials of fences, landscape walls, patios, driveways, and/or walkways must be from the approved materials list within this document. A plan identifying the front yard, corner side yard, and enhanced planting zones planting must be submitted for review and approval, by the Design Review Committee.



- Planting Strip*- Developer's Responsibility
- Front Yard Planting- Builder's Responsibility
- Side Yard Planting (corner lot)- Builder's Responsibility
- Front Yard Border Planting- Builder's Responsibility
- Enhanced Corner Planting- Builder's Responsibility

LANDSCAPE ZONE - BUILDER'S RESPONSIBILITY



TYPICAL PLANTING OF FRONT LOADED LOTS- PLAN

GREEN STREET LOT

Front Yard Planting Requirements Per Lot:

- Trees-A minimum of 1 (2" caliper) Understory Deciduous/ Flowering Tree and 1 Evergreen Tree 5' or taller when planted
- Shrubs/Grasses- A min. of 8 Medium Evergreen shrubs and 6 Small to Medium grasses (3 gal. minimum when planted)
- Ground Covers/ Perennials: A min. of 150 s.f.
- Lawn- No Lawn Allowed
- Mulch-Pine straw or dark hardwood mulch only

Side Yard (Corner Lot Only) Planting Requirements Per Lot:

- Trees-A minimum of 1 (2" caliper) Understory Deciduous/ Flowering Tree or 1 Evergreen Tree 5' or taller when planted
- Shrubs/Grasses- A min. of 10 Medium Evergreen shrubs and 6 Small to Medium grasses (3 gal. minimum when planted)
- Ground Covers/ Perennials: A min. of 300 s.f.
- Lawn- No Lawn Allowed
- Mulch-Pine straw or dark hardwood mulch only

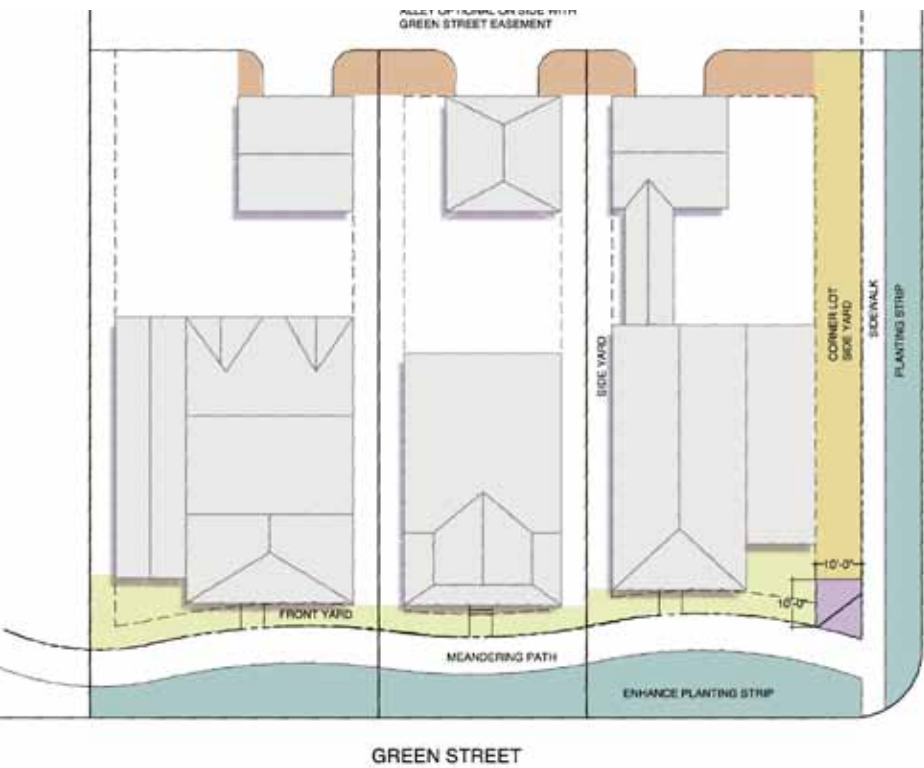
Rear Yard (Alley Lots Only) Planting Requirements Per Lot:

- Trees-1 Evergreen Tree (5' or taller when planted) planted on the abutting side of a driveway.
- Shrubs/Grasses- A min. of 6 Dwarf Shrubs or Small Grasses.
- Ground Covers/Perennials-Not Applicable
- Lawn-No Lawn Allowed
- Mulch-Pine straw or dark hardwood only

Enhanced Corner Planting (Corner Lot Only) Requirements:

- Trees- 1 (2" caliper) Understory Deciduous/Flower Tree or 1 Evergreen Tree (5' or taller when planted)
- Shrubs/Grasses- Not Applicable
- Ground Covers/ Perennials- A min. of 75 s.f. that should be a mix of evergreen and deciduous perennials and ground covers.
- Lawn- No Lawn Allowed
- Mulch- Pine straw or dark hardwood only

Note: All other yards within the lot line is the home owner's responsibility and does not have any quantity requirements; however, invasive plants are not allowed anywhere in Riverwalk (see Invasive Plant List this set). All materials of fences, landscape walls, patios, driveways, and/or walkways must be from the approved materials list within this document. A plan identifying the front yard, corner side yard, and enhanced planting zones landscape design must be submitted for review and approval, by the Design Review Committee.



- Green Street Easement*- Developer's Responsibility
- Front Yard Planting- Builder's Responsibility
- Side Yard Planting (corner lot)- Builder's Responsibility
- Rear Yard Planting- Builder's Responsibility
- Enhanced Corner Planting- Builder's Responsibility

LANDSCAPE ZONE - BUILDER'S RESPONSIBILITY



TYPICAL PLANTING OF GREEN STREET LOTS- PLAN

DETACHED LOT WITH NO GARAGE

Front Yard Planting Requirements Per Lot:

- Trees-A minimum of 1 (2" caliper) Understory Deciduous/ Flowering Tree or 1 Evergreen Tree 5' or taller when planted
- Shrubs/Grasses- A min. of 6 Small to Medium Evergreen shrubs and 6 Small to Medium grasses (3 gal. minimum when planted)
- Ground Covers/ Perennials: A min. of 100 s.f.
- Lawn- 30% of Front Yard may be Lawn
- Mulch-Pine straw or dark hardwood mulch only

Side Yard (Corner Lot Only) Planting Requirements Per Lot:

- Trees-A minimum of 1 (2" caliper) Understory Deciduous/ Flowering Tree and 1 Evergreen Tree 5' or taller when planted
- Shrubs/Grasses- A min. of 5 Medium Evergreen shrubs and 5 Medium grasses (3 gal. minimum when planted)
- Ground Covers/ Perennials: A min. of 80 s.f.
- Lawn- 30% of Side Yard of Corner Lots (not included enhance corner planting area) may be lawn
- Mulch-Pine straw or dark hardwood mulch only

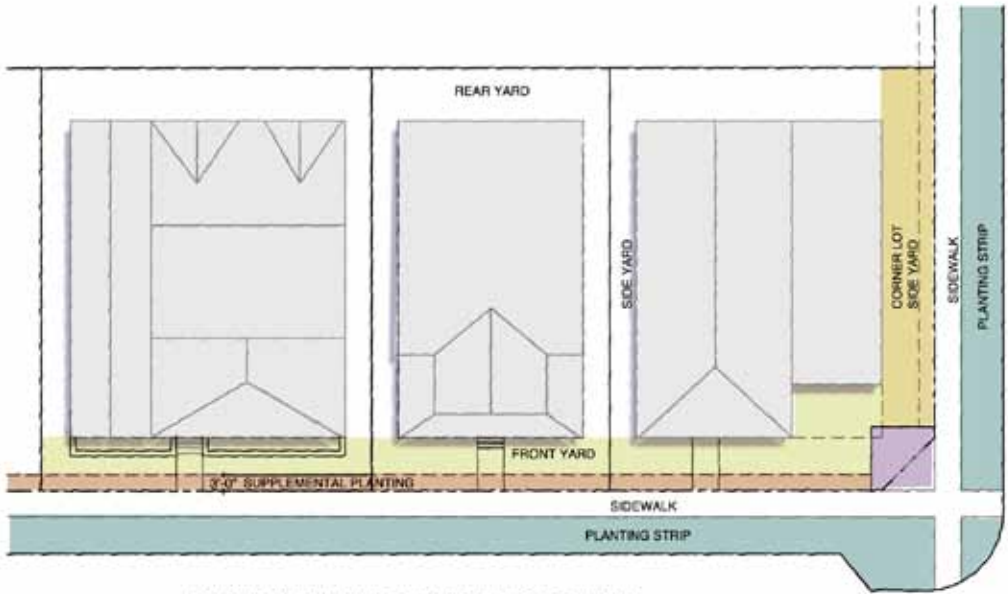
Front Yard Border Planting Requirements Per Lot:

- Trees-Not Applicable
- Shrubs/Grasses- A min. of 10 Evergreen Dwarf shrubs or Small Grasses. Nothing over 3' tall at maturity is allowed.
- Ground Covers/Perennials-Remainder of 3' border must be planted with a mix of evergreen and deciduous perennials and ground covers.
- Lawn-No Lawn Allowed
- Mulch-Pine mulch or dark hardwood only

Enhanced Corner Planting (Corner Lot Only) Requirements:

- Trees- 1 (2" caliper) Understory Deciduous/Flower Tree or 1 Evergreen Tree (5' or taller when planted)
- Shrubs/Grasses- Not Applicable
- Ground Covers/ Perennials- A min. of 75 s.f. that should be a mix of evergreen and deciduous perennials and ground covers.
- Lawn- No Lawn Allowed
- Mulch- Pine straw or dark hardwood only

Note: All other yards within the lot line is the home owner's responsibility and does not have any quantity requirements; however, invasive plants are not allowed anywhere in Riverwalk (see Invasive Plant List this set). All materials of fences, landscape walls, patios, driveways, and/or walkways must be from the approved materials list within this document. A plan identifying the front yard, corner side yard, and enhanced planting zones planting must be submitted for review and approval, by the Design Review Committee



RESIDENTIAL PLACE STREET OR OTHER

- Planting Strip*- Developer's Responsibility
- Front Yard Planting- Builder's Responsibility
- Side Yard Planting (corner lot)- Builder's Responsibility
- Front Yard Border Planting- Builder's Responsibility
- Enhanced Corner Planting- Builder's Responsibility

LANDSCAPE ZONE - BUILDER'S RESPONSIBILITY



TYPICAL PLANTING OF DETACHED LOTS WITH NO GARAGE- PLAN

WALKWAYS AND PATHS:

The walk to the home from the public sidewalk will be the responsibility of the builder. As with the front yard, corner side yard, and enhanced planting zones planting, a plan identifying the walkway materials and pattern must be submitted for review and approval, by the Design Review Committee.

Encouraged:
Natural Stone Pavers, Recycled Brick Pavers, Flagstone Stepping Stones, Crushed Granite, and

Allowed:
Stone Pavers, Brick Pavers, Concrete Pavers, Exposed Aggregate Concrete, Stained Concrete with Stamp (with approval from HOA), Grass Pave, Gravel (color and size must be approved by HOA), Wood Decking, Railroad Ties, Asphalt (only adjacent to Green Street Easement Multi-Purpose Trail).

Not Allowed:
Concrete (unstained with broom or typical tooled finish), Mulch or Wood Chips, Pine Straw, or Ceramic Tile.

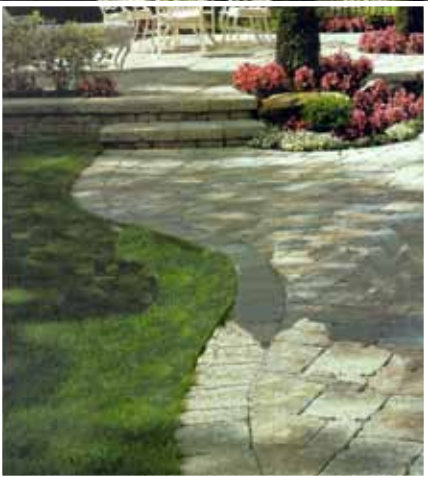
PATIOS:

Patio's within the front or side yards are encouraged for enhancement of the streetscape, however, a plan identifying the location and materials must be submitted for review and approval, by the Design Review Committee.

Encouraged:
Natural Stone Pavers, Recycled Brick Pavers, Flagstone Stepping Stones, Crushed Granite, and

Allowed:
Stone Pavers, Brick Pavers, Concrete Pavers, Exposed Aggregate Concrete, Stained Concrete with Stamp (with approval from HOA), Grass Pave, Gravel (color and size must be approved by HOA), Wood Decking, Railroad Ties, Asphalt (only adjacent to Green Street Easement Multi-Purpose Trail).

Not Allowed:
Concrete (unstained with broom or typical tooled finish), Mulch or Wood Chips, Pine Straw, or Ceramic Tile.



FRONT LOADED DRIVEWAYS:
Driveway width will be limited to 18-feet (suitable for a double car garage facing the street) or 12-feet (for a single car garage facing the street). A plan identifying the driveway materials and pattern must be submitted for review and approval, by the Design Review Committee.

Encouraged:
Natural Stone Pavers, Recycled Brick Pavers, Exposed Aggregate Concrete, Stained Concrete with approved color, Concrete Pavers

Allowed:
Stone Pavers, Brick Pavers, Concrete Pavers, Exposed Aggregate Concrete, Stained Concrete with Stamp (with approval from HOA), Grass Pave, Gravel (color and size must be approved by HOA), and Typical Concrete.

Not Allowed:
Asphalt, Railroad Ties, Lawn, Mulch or Wood Chips, Pine Straw, or Ceramic Tile.

ALLEY LOADED DRIVEWAYS:
Driveway width will be limited to 18-feet (suitable for a double car garage facing the street) or 12-feet (for a single car garage facing the street). A plan identifying the driveway materials and pattern must be submitted for review and approval, by the Design Review Committee.

Encouraged:
Gravel (color and size must be approved by HOA) and Exposed Aggregate Concrete

Allowed:
Stone Pavers, Brick Pavers, Concrete Pavers, Exposed Aggregate Concrete, Stained Concrete with Stamp (with approval from HOA), Grass Pave, Gravel (color and size must be approved by HOA), and Concrete.

Not Allowed:
Asphalt, Railroad Ties, Lawn, Mulch or Wood Chips, Pine Straw, or Ceramic Tile.



FENCES/WALLS (FRONT AND SIDE YARD):

All fences and/or walls in the front/side yard will not be taller than 3 feet and most should average 2 – 2½ feet in height. Terraced walls should be stepped at 3’ maximum intervals. Fences and/or Walls are normally placed along the sidewalk edge for lots with 5’ front yard setbacks or 5’ from back of sidewalk for lots with 10’ front yard setbacks. Gates are permitted and they should open into the lot.

Encouraged:
Natural Wood (Stained Pine (black) or Cedar) Split Rail , Dry Stack Stone. A picket fence may be combined with brick or stone columns.

Allowed:
Natural Wood Split Rail with Wire Mesh attached (size and color of wire mesh must be approved), Natural Wood Picket Fence, Ornamental Wrought-Iron Fence, Brick masonry (capped with brick only), Mortared Field Stone, Stained Concrete (color must be approved), Black/Dark Brown or Green Vinyl Split Rail or Picket Fence (color must be approved)

Not Allowed:
White Vinyl/Aluminum Split Rail or Picket Fence

FENCES/WALLS-PRIVACY (REAR YARD):

Fences/Walls that enclose the rear perimeter of the lot shall be no taller than 4-ft and have an open design. Fence must be placed so that it runs parallel to the side facade of the house on both sides. Privacy Fence/Wall located in the rear yard must a minimum of 10-ft off the sidewalk on the sideyard of a corner lot. Privacy fences/walls enclosing a patio or deck are allowed to be built to a height of 6-ft, and can be either an open or opaque design.

Encouraged:
Natural Wood (Stained Pine (black) or Cedar) Split Rail , Dry Stack Stone. A picket fence may be combined with brick or stone columns.

Allowed:
Natural Wood Split Rail with Wire Mesh attached (size and color of wire mesh must be approved), Natural Wood Picket Fence, Ornamental Wrought-Iron Fence, Brick masonry (capped with brick only), Mortared Field Stone, Black/ Dark Brown or Green Vinyl Privacy Fence (color must be approved)

Not Allowed:
White Vinyl/Aluminum Split Rail or Picket Fence



Creating a great community.

This Residential Design Guidelines was written to inspire a new community of people that understands the value of our history, respects the land on which we live, thrives in the outdoors, cherishes a neighborly bond and appreciates a thoughtfully crafted place to call home. At the heart of a great community is our very private sense of pride and belonging. Our homes should be a clear reflection of ourselves and who we aspire to be.

It is the intent of this team to create a beautiful place that will evolve over time to become **A PLACE YOU ARE PROUD TO CALL HOME**. The purpose of this document is to start us on that journey. The process will be fluid, and the eventual place will take shape by the guidance and care of each and every Riverwalk Resident.

The vision of the Assured Group of Companies remains clear: restore and celebrate the land, create a new community centered on people, an active outdoor lifestyle and honor the River.

The goal of the design team is to guide the redevelopment of the land through careful planning and to create a pattern of architecture that embodies the soul of the land. We hope this document inspires everyone associated with Riverwalk to believe in its potential greatness and to see their own personal opportunity to reconnect with the land.

Welcome to Riverwalk.

RiverwalkCarolina.com



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