



KRS
KENNY RELF SURVEYORS

Survey Report

Property Address

123 The Street, Town, County AB45 6CD

Client

A Client

Reference

12345



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SAMPLE

Section A - Report Details



This section tells you about the report, its aims and how to interpret its contents.

A1 – Property and Client Details



Address of the Property 123 The Street, Town, County AB45 6CD
Name of the Client A Client
Report Reference 12345
Date of Inspection Monday 22 September 2025

A2 - Aims of the Report

Buying a property is an exciting experience, but it is important to know that you are making the right decision.

The report aims to help you:

1. make an informed decision on whether or not to go ahead with buying the property;
2. take account of any repairs or replacements the property needs; and
3. consider what further advice you should take before committing to purchase the property.

If you decide not to act upon the advice provided in this report, you must accept that to do so is entirely at your own risk.

This report does not include the likely costs for repairs. It is your responsibility to obtain quotations for any works required prior to committing to purchase.

If you would like us to provide an indication of the likely costs of repairs and/or a schedule to help you prioritise the works, please let us know as soon as possible. (Note: there will be an additional fee for each.)

A3 - Limitations of the Inspection

I will inspect as much of the property in as much detail as possible, however there are some limitations:

1. I only carry out a visual inspection. This means that I do not take up carpets, floor coverings or floorboards, move furniture or remove the contents of cupboards. Also, I do not remove secured panels or undo electrical fittings.
2. I inspect roofs, chimneys and other surfaces on the outside of the building from ground level only and, if necessary, from neighbouring public property and with the help of binoculars.
3. I inspect the roof structure from inside the roof space if there is access and it is safe to do so. I do not lift insulation material, stored goods or other contents.
4. I examine floor surfaces and underfloor spaces so far as there is safe access to these (although I do not move or lift furniture, floor coverings or other contents).
5. I am not able to assess the condition of the inside of any chimney or other flues.
6. I do not test any electrical or other appliances or fittings.

I state in the report if I am not able to check parts of the property that would normally be inspected. If I have concerns about these parts, the report will tell you about any further investigations needed.

A4 – About the Condition Ratings

One of the following ratings has been applied each element of the property:

1

Condition Rating 1 indicates that no repairs are currently needed but the element must be maintained in the normal way.

2

Condition Rating 2 indicates the presence of defects that require repairs but are not considered to be either serious or urgent.

3

Condition Rating 3 indicates the presence of serious defects that require urgent attention.

HS

Condition Rating HS indicates elements or defects that pose a potential Health & Safety risk unless checked and certified as safe.

NI

Condition Rating NI indicates an element that was not inspected because it could not be seen or accessed.

NA

Condition Rating NA indicates that an element was not present at the property.

L

Condition Rating L indicates that there may be a legal issue involving the element.

Note: These Condition Ratings are only intended to provide a convenient summary, you must read the entire report in detail before making any decisions.

Elements marked 3 are likely to be serious in nature and requiring of urgent attention. They often pose a significant risk to the fabric of the property and can be costly to rectify. You are advised not to proceed with the purchase until these defects have been fully investigated, and any necessary repairs have been fully costed.

Elements marked HS do not necessarily denote a serious issue, but that my recommendations should be actioned as a matter of urgency to ensure they are safe. Typically, it refers to the electrical or gas safety inspections or asbestos tests that should be done before occupation, or as soon as possible after.

Elements marked L should be brought to the attention of your legal advisor prior to committing to purchase the property.

A5 - Report Author

This report was prepared by



Rob Kenny *DipRS&V MRPSA AssocRICS*

Director

Kenny Relf Surveyors Ltd

Dated Monday 29th September 2025

This report is subject to the terms of engagement that were provided to you earlier.

Related Party Disclosure

I confirm that I have no connection to this transaction, other than acting as an independent surveyor. Therefore, I consider that no conflict of interest arises, as defined in the RICS Rules of Conduct. If you know of any conflict of interest with myself or Kenny Relf Surveyors Ltd, I strongly advise you to inform me as soon as possible. This report is for the private and confidential use of the client for whom the report has been undertaken and shall not be reproduced in whole or in any part relied upon by any third party for any use without the express written authority of Kenny Relf Surveyors Ltd. I refer you to the Terms of Engagement provided to you upon instruction, as these should be read in conjunction with this report.

Section B – Report Summary



This section provides an overview of the content of this report, however you should read the entire document in detail before deciding your next steps.

If after reading this report you intend to proceed with the purchase, you are advised to send a copy of the report as soon as possible to your legal advisors.

B1 – Overall Opinion

The purpose of this report is not to provide an assessment of the property's value or its eligibility for a mortgage. It should be noted that any remarks on factors that may impact the property's future marketability are solely for advisory purposes.

This property was found to have some defects and you should consider the cost and inconvenience of dealing with the various repairs and improvement works. Many of the defects are typical in a property of this age and type. I recommend that estimates for the necessary works are obtained prior to exchange of contracts.

I am particularly concerned about two issues:

- The roof tiles over the various extensions seem to have deteriorated rather quickly, suggesting they are of an inferior quality. Additionally the repairs to the main original roof are of substandard quality.
- There is very limited planning and building control information available. Given the scope and complexity of the various alterations, it is important to determine whether the various permissions have been applied for and obtained.

Certain elements, like electrical, gas, or oil installations, have been rated HS because they pose a significant health and safety risk. This does not necessarily mean that there are serious defects present, however until they have been certified by a suitably qualified engineer, they must be assumed to be dangerous.

The property was built within the period during which the use of asbestos was most prevalent. A specialist asbestos survey prior to any substantial refurbishment or demolition works is deemed essential, in order to identify any such materials and advise on necessary removal, encapsulation and/or other measures and precautions.

B2 – Summary of the Condition Ratings

The external elements

2	D1 - Chimney Stacks
2	D2 - Main Roof Coverings
1	D3 - Secondary Roof Coverings
1	D4 - Gutters & Downpipes
2	D5 - External Walls
2	D6 - Windows
1	D7 - External Doors
NA	D8 - Conservatories & Porches
1	D9 - Roof Edge & External Joinery
1	D10 - Other Matters

The internal elements

1	E1 - Roof Spaces
HS	E2 - Ceilings
1	E3 - Internal Walls
L	E4 - Chimney Breasts & Fireplaces
1	E5 - Floors
1	E6 - Internal Joinery & Fixtures
1	E7 - Kitchens & Bathrooms
1	E8 - Other Matters

The services

HS	F1 - Electricity
HS	F2 - Gas / Oil
1	F3 - Cold Water
HS	F4 - Heating & Hot Water
NI	F5 - Drainage

The grounds, garages & outbuildings

L	G1 - Grounds
NA	G2 - Garages & Outbuildings

Section C – Overview



This section gives an overview of the inspection, the property, the site and the local environment.

The information in this section is sourced from publicly available databases and from observations made during the inspection. Although we make every effort to ensure the accuracy of the information provided, we cannot guarantee that data obtained from public sources is entirely accurate.

C1 – About the Inspection

The date of the inspection

Monday 22 September 2025

The status of the property during the inspection

At the time of my inspection, the property was occupied and fully furnished. References to the left or right hand sides in this report assume the reader is standing facing the principle (west) elevation.

The weather during the inspection

At the time of my inspection the weather was sunny and bright.

A description of the property

The property is a five bedroom detached house built in approximately 1950.

The front of the property faces approximately west.

The property was extended to the front and side in approximately 2003 and the garage was converted in approximately 2022.

The tenure is assumed to be Freehold.

The main roof is pitched and covered with a mixture of clay and concrete tiles.

There are secondary roofs over the extensions.

The front and side extension roofs are pitched and covered with concrete tiles.

The rear extension roof is flat and covered with bitumen felt.

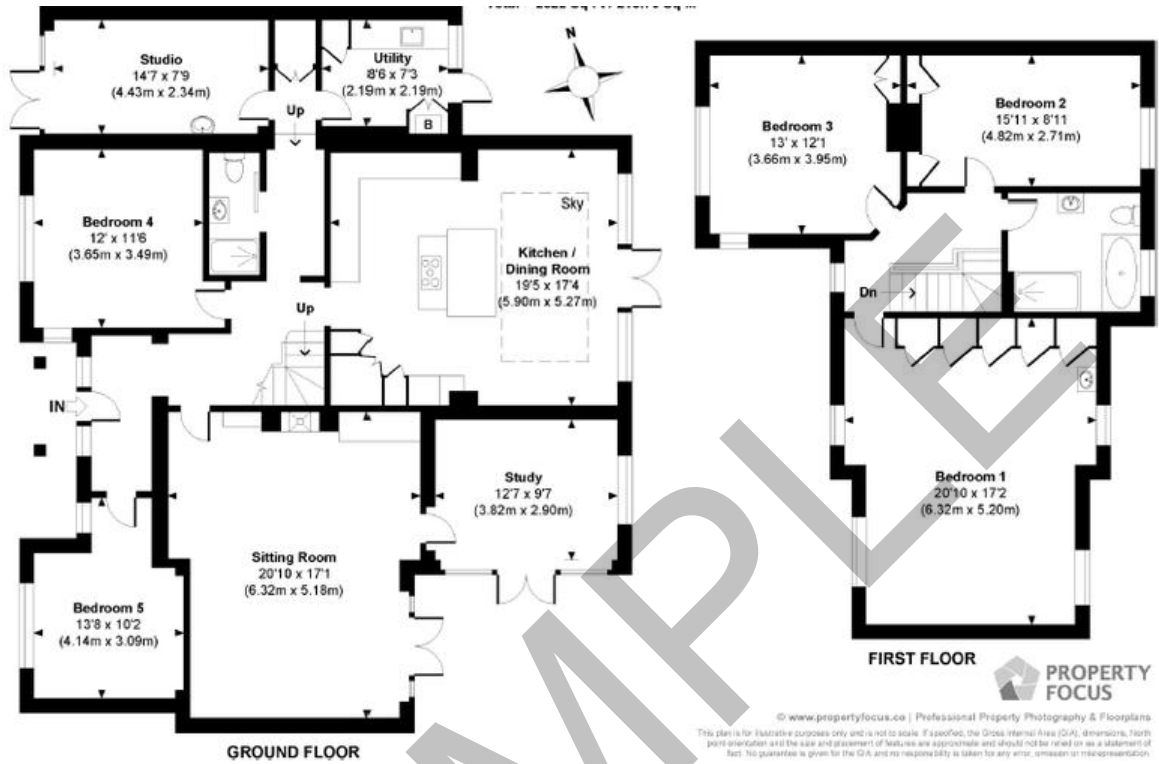
The external walls are of cavity masonry construction with a combination of facing brickwork and render to the external elevations.

The windows are of uPVC frames with double glazing.

The floors are of suspended construction.

Mains services at the property include electricity, gas, water and drainage.

C2 - The Living Accommodation

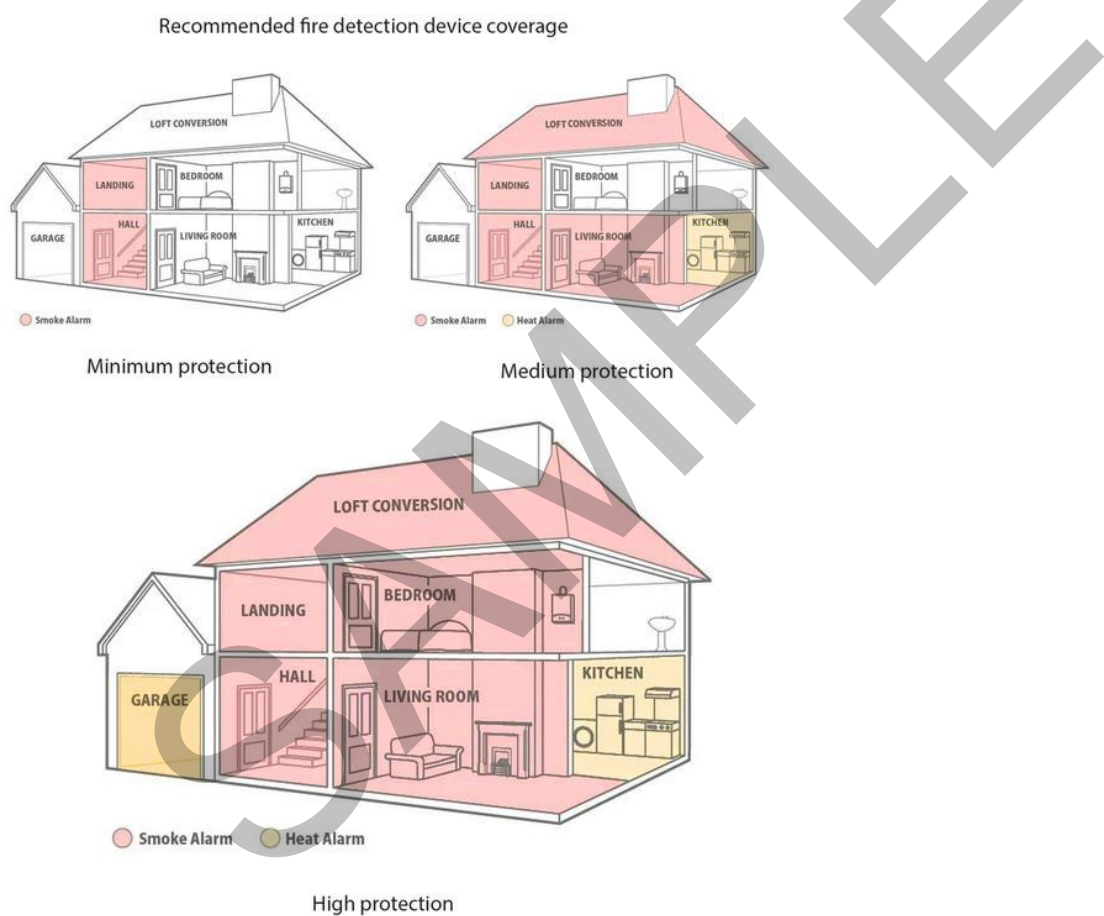


C3 – Fire Safety Elements

There are an insufficient number of smoke alarms installed. Smoke alarms should be installed to give the earliest possible warning of fire. More information can be found at:

<https://www.gov.uk/government/publications/make-your-home-safe-from-fire/fire-safety-in-the-home-accessible-version>

Solid fuel burners can be very dangerous. If you use any Solid fuel burners, you should ensure that they are never left unattended, that there are sufficient spark protection measures and that a working carbon monoxide detector is present.



C4 - The Energy Performance Certificate (EPC)

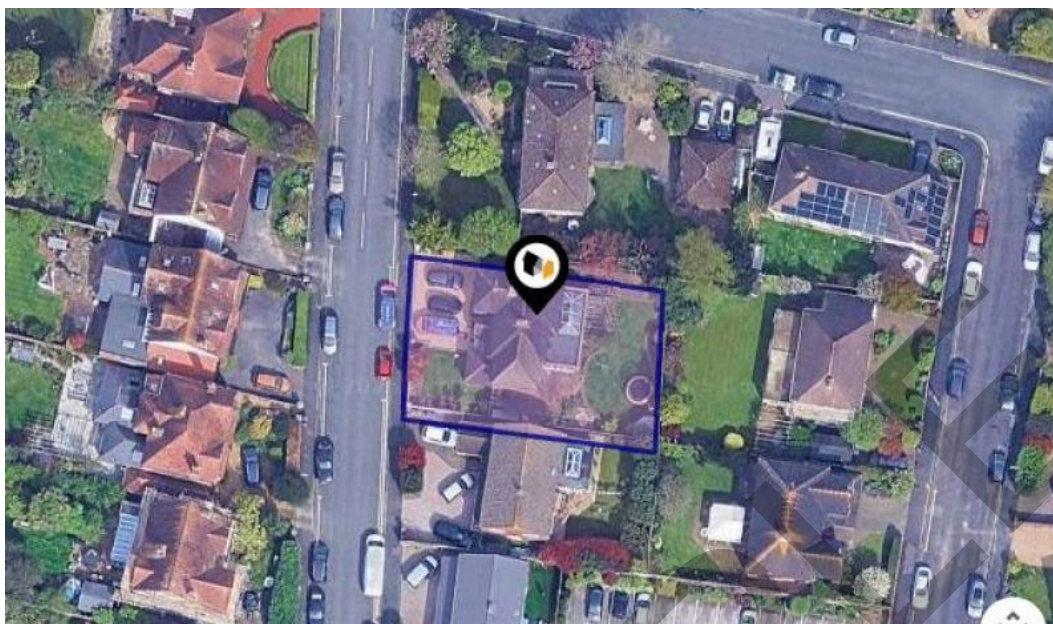
The Energy Performance Certificate (EPC) gives the current rating as D and the potential rating as C. I recommend you consider installing cavity wall insulation, solar water heating and solar photovoltaic panels and upgrading the double glazing.

More advice can be found at: <https://energysavingtrust.org.uk/>

Additional EPC Data

Property Type:	House
Build Form:	Detached
Transaction Type:	Marketed sale
Energy Tariff:	Single
Main Fuel:	Mains gas (not community)
Main Gas:	Yes
Flat Top Storey:	No
Top Storey:	0
Glazing Type:	Double glazing, unknown install date
Previous Extension:	3
Open Fireplace:	1
Ventilation:	Natural
Walls:	Cavity wall, as built, no insulation (assumed)
Walls Energy:	Poor
Roof:	Pitched, 350 mm loft insulation
Roof Energy:	Very Good
Main Heating:	Boiler and radiators, mains gas
Main Heating Controls:	Programmer, room thermostat and TRVs
Hot Water System:	From main system
Hot Water Energy Efficiency:	Good
Lighting:	Low energy lighting in all fixed outlets
Floors:	Suspended, no insulation (assumed)
Total Floor Area:	234 m ²

C5 - About the Site, Location and Local Environment





About the location

The property is located within a reasonable distance of the local amenities, however you should familiarise yourself with the area to ensure that they meet your requirements.

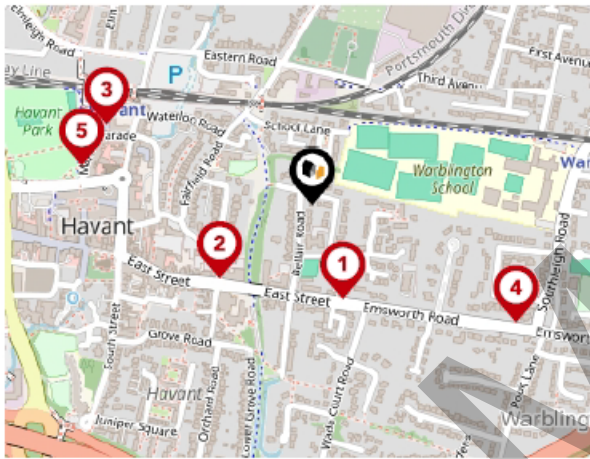
The closest mainline railway station is Havant, which is 0.3 miles away. There are local bus routes with stops within a short walk.





National Rail Stations

Pin	Name	Distance
1	Havant Rail Station	0.3 miles
2	Warblington Rail Station	0.39 miles
3	Bedhampton Rail Station	0.88 miles



Bus Stops/Stations

Pin	Name	Distance
1	Wade Court Road	0.13 miles
2	Spring Arts Centre	0.15 miles
3	Market Parade	0.28 miles
4	Green Pond Corner	0.3 miles
5	Elm Lane	0.3 miles

About the local environment

The Environment Agency's Flood Risk Website currently reports this postcode as being at a very low risk from flooding from rivers and the sea and a very low risk from surface water flooding. I recommend that this is determined fully by your legal adviser.

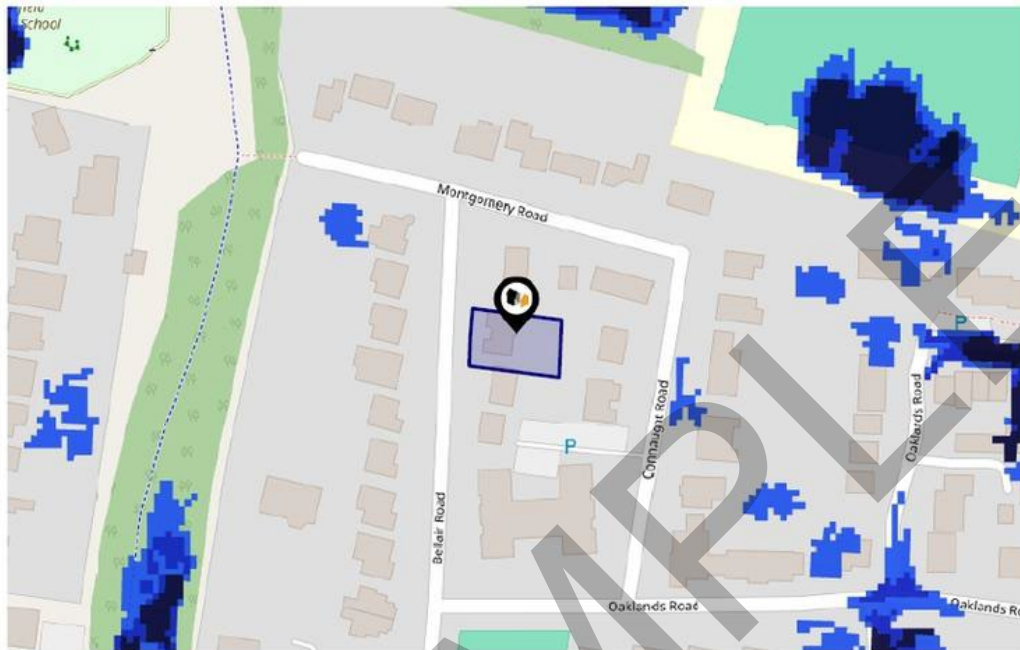
The desktop research revealed that the property has constructed upon sand. These usually drain well, but can be susceptible to landslip especially on sloping ground. Granular subsoils are also prone to the effects of defective drains as the material can be washed away. In these circumstances, there is an increased risk of foundations becoming undermined.

The Property is in an area where 5-10% of properties are above the UK Action Level for Radon. Radon is a colourless, odourless radioactive gas which is formed by the radioactive decay of small amounts of uranium that occur naturally in all rocks and soils. Further information can be found at www.ukradon.org. Your conveyancing searches may also provide more information.

You should check whether your legal representative will provide a more detailed environmental risk report including both flood risk and ground stability assessments as part of the conveyancing process. This is highly

recommended. Clients seeking further information should search in the Environment Agency website (www.environment-agency.gov.uk).

This map shows the future chance of flooding **between 2040 and 2060** where rainwater has nowhere to drain. This kind of flooding can occur far from rivers or seas. The government climate change models cannot predict exactly when the chance of flooding will go up. It could happen at any time during the time period.

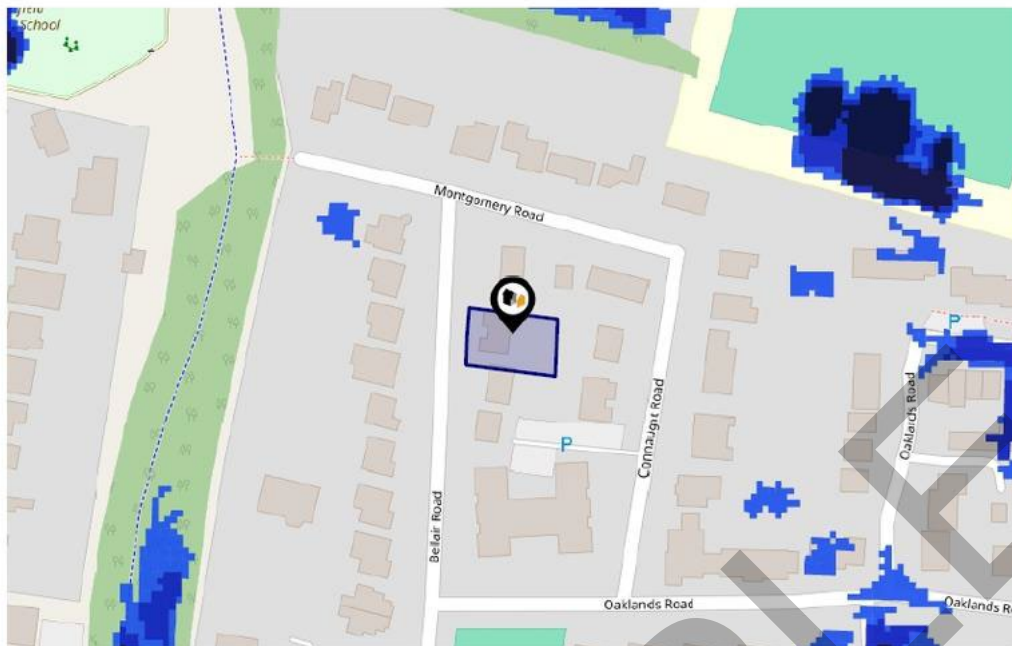


Risk Rating: Very low

The map does not contain sufficient information for it to be used to determine flood risk to individual properties, but it does give you an indication of whether your area may be affected by surface water flooding at this risk level.

- **High Risk** - an area which has a chance of flooding of greater than 1 in 30 (3.3%) in any one year.
- **Medium Risk** - an area which has a chance of flooding of greater than 1 in 100 (1.0%) in any one year.
- **Low Risk** - an area which has a chance of flooding of greater than 1 in 1000 (0.1%) in any one year.
- **Very Low Risk** - an area in which the risk is below 1 in 1000 (0.1%) in any one year.

This map shows the chance of flooding where rainwater has nowhere to drain. This kind of flooding can occur far from rivers or seas.



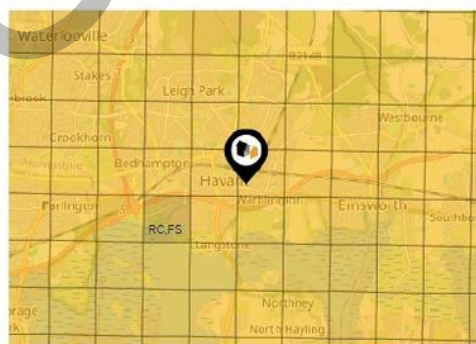
Risk Rating: Very low

The map does not contain sufficient information for it to be used to determine flood risk to individual properties, but it does give you an indication of whether your area may be affected by surface water flooding at this risk level.

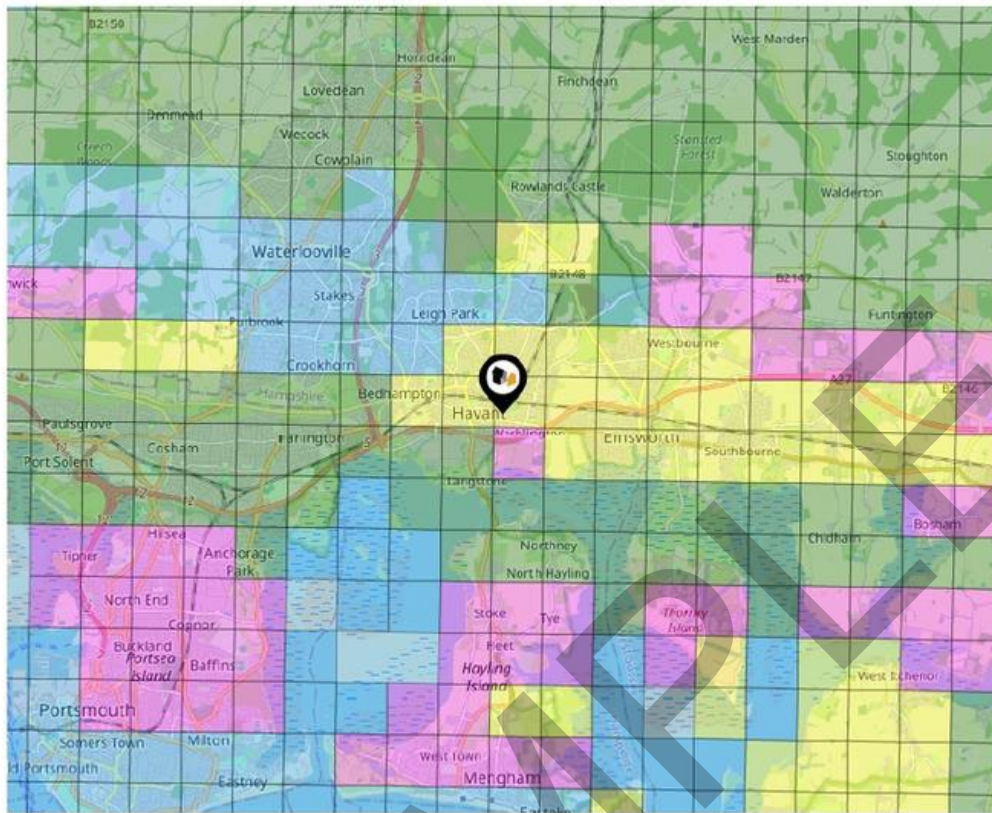
- High Risk** - an area which has a chance of flooding of greater than 1 in 30 (3.3%) in any one year.
- Medium Risk** - an area which has a chance of flooding of greater than 1 in 100 (1.0%) in any one year.
- Low Risk** - an area which has a chance of flooding of greater than 1 in 1000 (0.1%) in any one year.
- Very Low Risk** - an area in which the risk is below 1 in 1000 (0.1%) in any one year.

Ground Composition for this Address (Surrounding square kilometer zone around property)

Carbon Content:	NONE	Soil Texture:	SAND TO LOAM
Parent Material Grain:	ARGILLIC - ARENACEOUS	Soil Depth:	DEEP
Soil Group:	MEDIUM(SILTY) TO LIGHT(SILTY)		



Radon is a natural radioactive gas, which enters buildings from the ground. Exposure to high concentrations increases the risk of lung cancer. The UK Health Security Agency (UKHSA) recommends that radon levels should be reduced in homes where the annual average is at or above 200 becquerels per cubic metre (200 Bq/m³).



Section D - External Condition



This section tells you about the condition of the external parts of the property

Although I make every effort to inspect as much of the exterior of the property as possible, there are some limitations:

1. I can only inspect the property from within the grounds and from adjacent publicly accessible areas. I cannot enter private grounds.
2. I cannot lift, move or otherwise damage parts the property or grounds in order to inspect hidden areas.
3. Where possible I will use a camera drone or pole camera to inspect the chimney and roof, however I may be prevented from doing so by the weather, overhead power lines, no fly zones or built-up areas.
4. Where I specify a construction material, it is by visual identification only.

SAMPLE

D1 - Chimney Stacks

2

This element has been assigned a Condition Rating 2 as repairs are required to the right stack.

Method & Limitations:

Inspection was made from ground level using a camera drone.

Materials & Construction:

There are two chimney stacks servicing the property. They are of masonry construction with a render finish, and clay pots bedded within a cement flashing. The flashings at the base of the stacks at the junction with the roof slopes are of lead. The stacks have no visible horizontal damp proof course to prevent rain from penetrating the brickwork below.

Appearance & Condition:

The chimney stacks were found to be structurally stable, with no evidence of any unusual leaning, cracking or other failures, or of unusual wear of the bricks or mortar pointing between the bricks. The flashings (lead detailing at the base for the stacks) was noted to be in good condition. The pots were suitably cowled to prevent rainwater penetration.

The flashing of the right stack (cement layer on top) was noted to be damaged. The render or paint coating on the brickwork was very worn.

Actions & Repairs:

Chimney stacks are particularly exposed to wind driven rain. The flashing and render help to prevent rainwater penetrating the brickwork of the stack, leading to internal dampness.

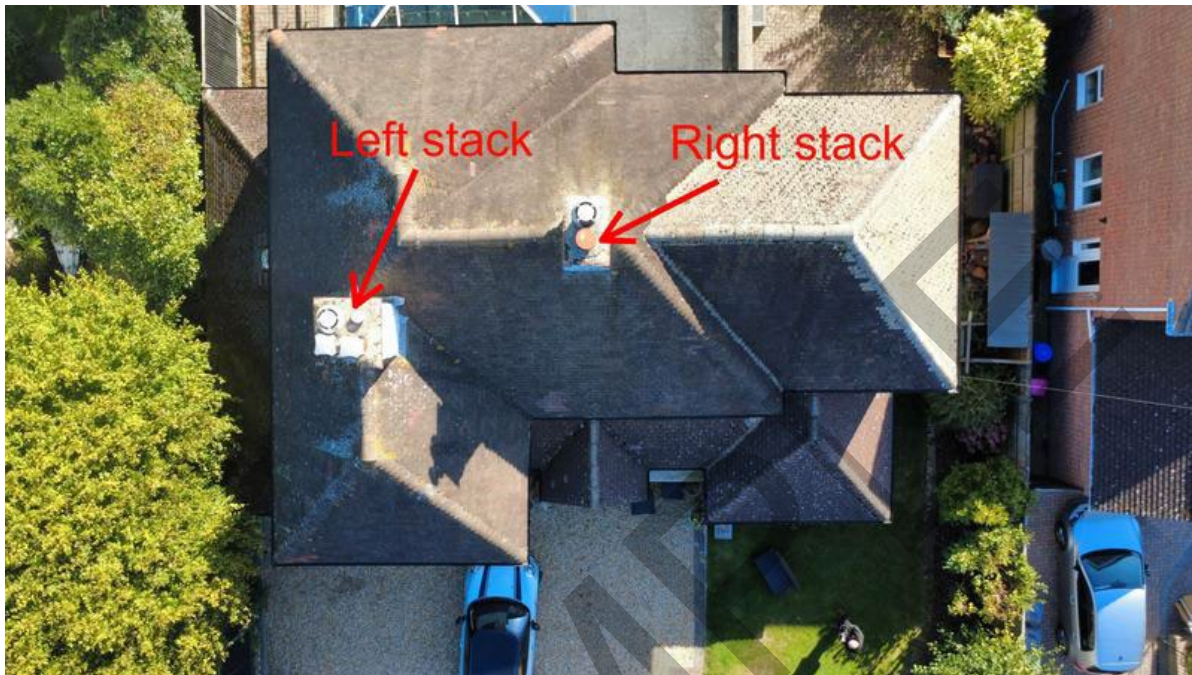
Although not very urgent, you should obtain quotes for refurbishing the right stack so that you can budget accordingly.

Maintenance & Advice:

Normal maintenance and monitoring should be undertaken to prevent future defects. Flashings will need to

be periodically overhauled as part of your normal maintenance of the property as this area is particularly vulnerable to water penetration.

Due to their position, chimney stacks are particularly exposed to the elements and above average levels of maintenance are to be anticipated. To access them safely for repairs or maintenance, the use of scaffold or hydraulic lifting equipment is likely, which will incur increased costs.



Left stack



Right stack

D2 – Main Roof Coverings

2

This element has been assigned a Condition Rating 2 due to the materials used and the standard of the repairs.

Method & Limitations:

The main roof was inspected from ground level using binoculars and from above with a camera drone for possible defects including sagging, collapse, broken/missing/damaged tiles, holes, and other evidence of failure.

Identification of the materials used in roof coverings is based on a visual inspection from ground level, unless otherwise stated. Where a particular material is stated, this is an assumption based on the age, roof type and appearance, however only a physical examination can positively identify the exact material used.

Materials & Construction:

The main roof is pitched and hipped and surfaced with what appears to be a mixture of clay and concrete tiles. The ridge and hip tiles are also mixed concrete and clay. The valleys are formed using tiles.

Appearance & Condition:

At the time of inspection, the main roof coverings were free from major defects such as deflection, damage, adjacent missing tiles. However, I have concerns regarding the quality of tiles used for the the earlier extension roof, and the quality of the repairs to the original roof.

No planning information was available, but I suspect the main roof was extended to the south some years ago. The tiles that form the front pitch match those of the rest of the roof (presumably as they were removed from the original hip and reused), however the current ridge, hip and rear pitch tiles are lighter with significant moss growth. This suggests that they are of an inferior material and/or quality to the original tiles with a consequently shorter lifespan.

There are repairs visible on the original roof hips that use a variety of materials.

Actions & Repairs:

Although weather tight at the moment, I am concerned that the roof will begin to fail during the next decade. There are timber sarking boards beneath the original tiles, indicating that they have not been

replaced since the property was built. There are isolated repairs and slipped tiles visible already, and it is likely that in the future, repairs will be required with increasing frequency. Also of concern is the apparently rapid wear of the extension tiles.

No major repairs are currently required, however you should consider obtaining estimates for a complete overhaul of the main roof, either to budget for undertaking the work during your ownership, or so that you are prepared for the issue to be raised during a future survey should you decide to sell the property.

Maintenance & Advice:

Ongoing monitoring and maintenance of roof coverings is important as any defects may lead to leaks into the timber roof structure which would cause rot and damage quickly.

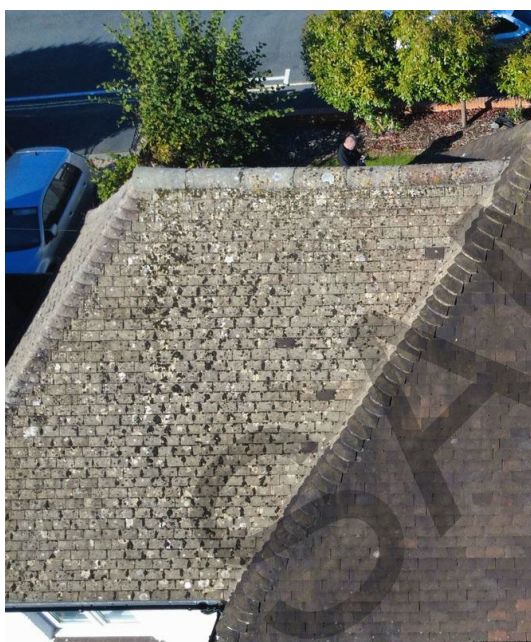
You should carry out a thorough visual inspection at least once a year, ideally in the Spring to identify and repair any damage that could have been caused by winter weather. Any slipped, missing or broken tiles should be repaired or replaced. Any cracked or missing mortar at the verges and/or beneath ridge tiles should also be repaired.



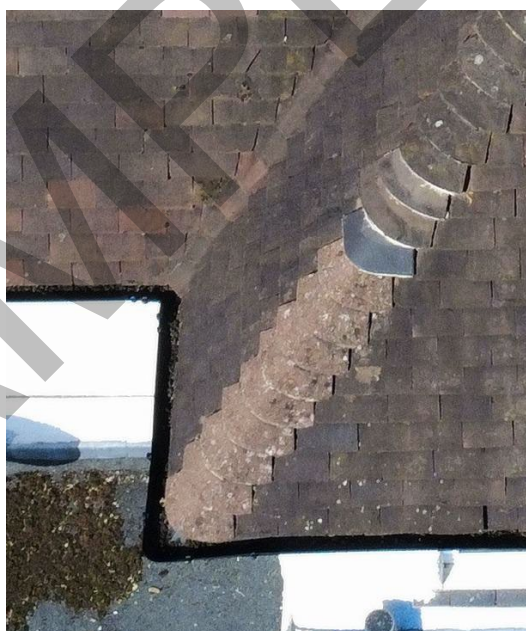
Roof overview



Original and extension roofs



Weathered tiles



Repairs

D3 – Secondary Roof Coverings

1

This element has been assigned a Condition Rating 1 as no significant defects were noted.

Method & Limitations:

The secondary roofs were inspected from above with a camera drone for possible defects including sagging, collapse, damaged or missing tiles, holes, and other evidence of failure.

Identification of the materials used in roof coverings is based on a visual inspection unless otherwise stated. Where a particular material is stated, this is an assumption based on the age, roof type and appearance, however only a physical examination can positively identify the exact material used.

Materials & Construction:

There is a secondary roofs over the recent extensions.
The front and side extension roofs are pitched and covered with concrete tiles.
The rear extension roof is flat and covered with felt.

Appearance & Condition:

No significant defects were noted.

Pitched roofs:

There were no missing or slipped tiles and no visible movement or undulation to indicate failures in the structure.

Flat roof:

The felt covering appears to be in satisfactory condition. There were no holes, cracks, splits or evidence of pooling water. The upstands were complete and largely free from significant wear. The lead flashings were complete.

Actions & Repairs:

No repairs are currently required, however regular maintenance should be carried out to prevent future defects.

Bituminous felt roofs have much shorter life spans than traditional roofing materials, such as clay tiles or lead work, typically lasting between 7-15 years. Felt roofs can fail quickly especially if areas of damage are left unrepaired. The roof should be monitored and repaired as required.

Maintenance & Advice:

Pitched roofs:

You should carry out a thorough visual inspection at least once a year, ideally in the Spring to identify and repair any damage that could have been caused by winter weather. Any slipped, missing or broken tiles should be repaired or replaced periodically. Missing mortar at the verges and beneath any hip or ridge tiles should also be replaced periodically.

Flat roof:

You should carry out a thorough visual inspection at least once a year, ideally in the Spring to identify and repair any damage that could have been caused by winter weather. Any holes or splits in the material should be repaired as soon as possible to prevent water damage to the underlying timber structure.



Section E - Internal Condition



This section tells you about the condition of the internal parts of the property

This report is not intended to comment upon minor issues, such as minor decorative blemishes or loose door handles, or any other items which are not deemed to be unusual or of significance to the wider property.

1. Where safe to do so I will enter the roof spaces, however if there are no crawl boards or other stable footings, my inspection may be carried out from the loft hatch. Insulation and/or items in storage can significantly restrict the inspection.
2. Fixed coverings such as wallpaper, tiles, carpets, laminate or vinyl flooring cannot normally be removed during my inspection, which restrict my ability to assess the hidden structures.
3. Built-in fittings can conceal a variety of problems that are only revealed when they are removed for repair or replacement. For example, kitchen units often hide water and gas pipes, or obscure dampness, mould, and other issues with walls.
4. Electricity or gas installations, fireplaces, flues, boilers and white goods or appliances cannot be tested as part of the inspection.
5. You should be aware that asbestos was widely used during the 20th century, particularly in the 1960s & 1970s. Any property constructed or renovated within this period may include asbestos-containing materials. I will highlight any visible materials that are known to contain asbestos, however it is not possible to entirely rule out its presence or to confirm without laboratory testing.
6. If you are planning to undertake refurbishment works, you should include a contingency fund for any defects that are uncovered by the removal of carpets wall coverings etc. as these areas cannot normally be directly viewed during an inspection.
7. This report is a record of the condition of the property on the date of inspection. Damage can occur after the inspection, such as when the current occupier moves out.

E1 - Roof Spaces

1

This element has been assigned a Condition Rating 1 as no significant defects were noted.

Method & Limitations:

The roof structures, where accessible, were examined for:

- signs of bowing, twisting, cracking and failure of roof timbers,
- signs of failure or damage to the roof covering,
- infestation including birds, insects, animals and beetles (woodworm)
- indications of lack of adequate ventilation

Although a representative selection of timbers were examined closely for infestations by wood boring insects (such as Common Furniture Beetle and Death Watch Beetle), it must be noted that it is not normally possible to inspect every timber in sufficient detail to completely rule out such infestations.

Wood Moisture Equivalent (WME) readings were taken from a representative selection of timbers.

Due to stored belongings, my movement around the roof space was limited.

The structures of the extension and flat roof were not accessible.

Materials & Construction:

Access to the main roof void area is via a hatch on the first floor ceiling.
A loft ladder is installed. The space is partially boarded.

The roof structure is of a traditional type known as “rafter and purlin”:

- The “rafters” form the overall triangular shape of the roof, running vertically from the ridge (pointed top) to the wall plates (wide bottom).
- The “purlins” are the larger timbers placed horizontally across the rafters. They prevent the rafters from bowing inwards under the weight of the tiles or slates.
- The purlins are prevented from bowing inwards by “struts”, timbers that transfer the load to the central structural wall.

These timbers were cut and assembled on-site as part of the construction process. They should be of sufficient strength to transmit the weight of the dead load (weight of the tiles) and the imposed load (additional force from wind or snow) which are placed upon them, on to external and internal load-bearing walls without distortion.

The original timber sarking boards were present between the tiles and rafters.

Appearance & Condition:

The roof structure appeared to be free from significant defects.

The timbers are assumed to be of appropriate size and configuration to bear the dead and imposed loads as I noted no signs of deflection or movement.

A random selection of timbers were tested using a moisture conductivity meter (damp meter). I am pleased to say there was no higher than average readings obtained. Some dampness was noted to the sarking boards, however this is to be expected.

Air humidity and dew point readings were taken and were found to be with a normal range, however condensation staining was noted on some of the timbers.

There was some evidence of wood boring beetle infestation to the limited areas I was able to inspect. These appeared to be inactive.

Boarding has been provided within the roof space to assist with storage facilities but you should be aware that the ceiling joists are only suitable for lightweight storage.

The insulation within the roof space was seen to be in line with current regulations at a consistent depth of 270mm - 300mm. This should be maintained to at a consistent covering of the roof space as failure to do so can lead to cold bridge spots occurring which can cause condensation and mould growth to the ceilings below.

Repairs & Actions:

No repairs are currently required, however given the presence of timber sarking boards and limited ventilation, I recommend that you have the timber sprayed to prevent future infestations of woodworm and fungus.

Maintenance & Advice:

Regularly monitor timbers, at least twice a year, for evidence of wood boring insects and other infestations.

It is important to ensure that spaces are ventilated to reduce the likelihood of defects such as rot and infestations by wood boring insects. When adding or replacing insulation, you should ensure that ventilation is maintained. If installing extractor fans, make sure that hoses passing through the roof space extend to an external grille so that warm moist air is not ventilated into the roof.

Care should be taken when moving around or storing heavy objects in the roof space. The joists that form the "floor" of the roof space are not normally designed to support any weight other than that of the ceiling below. If you plan to use the roof space for storage, you should reinforce the joists with additional timbers.

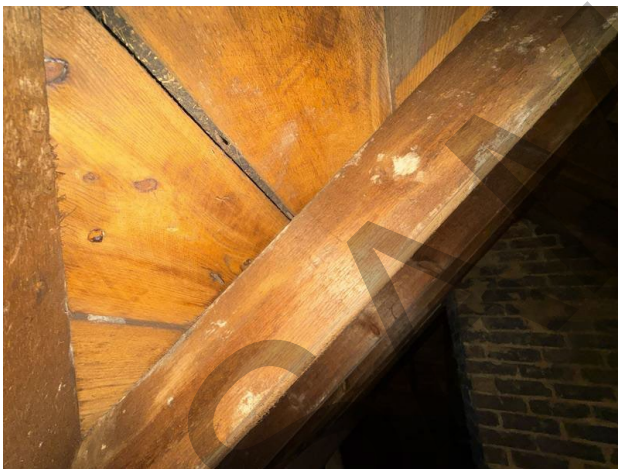
In a property of this age and type some level of wood beetle infestation is likely to exist. Whilst the property is kept well heated and ventilated, and the moisture content of all timber is kept low, any infestation will not be able to thrive and will not cause any ongoing issues.



Roof Structure



Insulation



Sarking boards



Loft hatch

E2 - Ceilings

HS

This element has been assigned a Condition Rating HS as the textured coatings may contain asbestos.

Method & Limitations:

Ceilings were examined for signs of undue levels of bowing, cracking, staining and other defects. Moisture meter readings were taken at regular intervals where access was available.

Materials & Construction:

The ceilings are of plasterboard construction and are finished with paint. Some ceilings have had a decorative textured coating applied.

Appearance & Condition:

The ceilings throughout the property were generally in sound condition, with no evidence of any unusual unevenness, cracking, bowing or other failures at the time of inspection.

Some minor cracks and blemishes were noted to the various ceilings, but these were not considered to be significant. Cosmetic repairs should be undertaken prior to redecoration. You have no doubt acquainted yourself of the overall standard of decoration and may wish to redecorate to your own taste in due course.

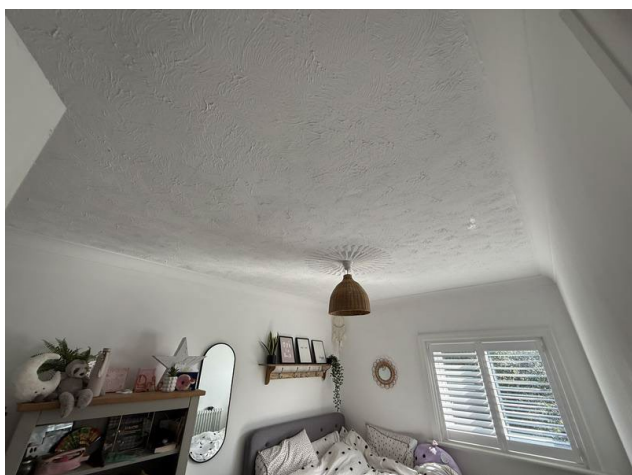
A textured finish has been applied to some of the ceilings. Such finishes may contain low levels of asbestos.

Repairs & Actions:

Prior to the year 2000, a common form of textured ceilings was Artex which may contain asbestos fibres. This presents a minimal risk whilst in situ and free from damage or deterioration. The ceilings should not be cut, sanded or drilled unless by a specialist contractor and then only in strict accordance with the latest HSE guidance. It would be wise to have a suitably qualified ARCA (Asbestos Removal Contractors Association) registered Asbestos contractor inspect the ceiling finish prior to carrying out any planned work or ongoing maintenance in order to advise on the safe management and/or removal and disposal of the hazardous material.

Maintenance & Advice:

It is common for hairline shrinkage cracks to appear to the abutting plasterboards. This is due to thermal expansion and contraction of the boards and is not deemed to be due to any underlying defect. The cracking will require filling and redecoration as part of routine maintenance.



Textured ceiling



Plastered ceiling

Section F - The Services



This section tells you about the services such as electricity, water gas or oil and drainage

Although a condition rating has been allocated, it should be appreciated that the services are generally hidden within the construction of the property.

This means that I can only inspect the visible parts of the available services, and I do not carry out specialist tests.

The visual inspection cannot assess the services to make sure they work efficiently and safely, and meet modern standards.

SAMPLE

F1 - Electricity

HS

This element has been assigned a Condition Rating HS as no was evidence to confirm that the system has been tested recently.

Method & Limitations:

The installation was inspected visually to the extent sufficient to form an overall opinion of the type of installation, the materials used, its apparent age, its visible condition and the need for further investigations. No testing of the installations or appliances was carried out other than operation in normal everyday use, such as operating light switches. Distribution wiring is largely concealed and therefore date and quality of installation cannot be verified within in the scope of this inspection.

Materials & Construction:

There is an underground mains electrical supply.

The meter, main fuse and consumer unit (fuse box) are located in separate cupboards.

A single rate meter is installed.

The consumer unit is of uPVC form. As of 2017 regulations require consumer units to be of non-combustible materials (metal) in order to increase fire safety standards within the home. Building regulations are not retrospectively enforceable from the date of initial installation however, you may wish to consider have a suitably qualified electrician upgrade the unit in the short to medium term to keep in line with modern regulations and safety standards.

Appearance & Condition:

No evidence of broken, loose or damaged parts of the installation was seen, nor were any obvious amateur alterations or interventions noted. However, where furniture and other items are present many of the outlets can be hidden from view.

The visible wiring is a modern uPVC type and the type of consumer unit indicates that the system has been upgraded to some extent in recent years, although I cannot determine whether this included replacing the wiring in the walls, floors, ceilings etc.

Some of the light switches and sockets are of a dated design and you should consider upgrading them.

The consumer unit is fitted with Residual Current Devices (RCD's) and Miniature Circuit Breakers (MCB's). These devices are designed to protect occupants from harm should a fault occur with the system.

There are additional components installed in the meter cupboard whose purpose is unclear.

Repairs & Actions:

The provision of sockets appears inadequate by modern standards; I recommend that you install additional outlets.

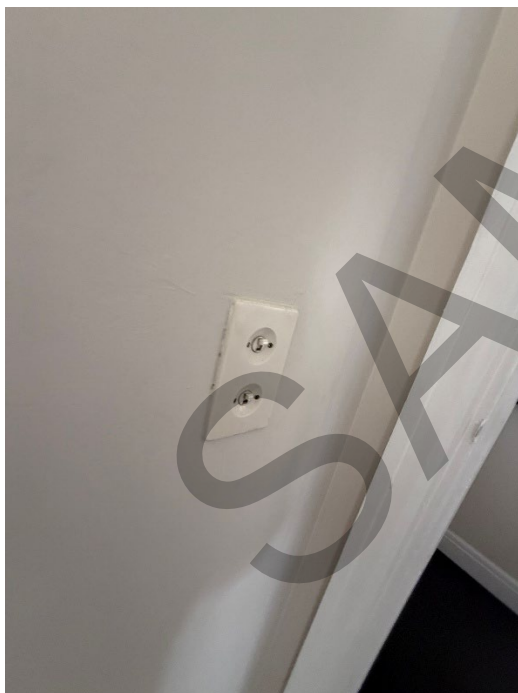
You must commission an inspection and testing of the electrical installation, unless you are provided with verifiable evidence that such an inspection has recently been carried out by a registered competent person.

Maintenance & Advice:

NAPIT recommends that domestic electrical installations are inspected and tested every 10 years in line with IET (The Institution of Engineering & Technology) Guidance Note 3 covering Electrical Installation Condition Reports (EICR). This guidance also recommends that at any change of occupancy (such as a house sale, or change of tenant) an Electrical Installation Condition Report is carried out to prove the installation to be in a satisfactory or unsatisfactory condition. This report should cover all the fixed wiring and equipment within the property boundaries, including outbuildings.

You can get further information from Electrical Safety First at:
<https://www.electricalsafetyfirst.org.uk/guidance/safety-around-the-home/>

Any electrical works carried out should have been completed by a Registered Competent Person (Electrical) and, as such, would have provided a Minor Electrical Installation Works Certificate, or an Electrical Installation Certificate, and in addition a Building Regulation Compliance Certificate where required.



Section G – Grounds & Outbuildings



This section tells you about the grounds, boundaries and garages or outbuildings

The grounds around the property were inspected for any indications of land failure or movement, or other defects that would have a material effect on the property as a whole.

It should be noted that a full and detailed inspection for the presence of Japanese Knotweed and other invasive plant species cannot be carried out, especially where the gardens are well stocked or have been recently cut and maintained.

Whilst every effort is made to look for invasive species within the property's curtilage and immediate surrounding boundary this report should not be construed as a catalogue of every individual plant species and no absolute guarantee can be made for invasive plant species being present within overgrown or concealed areas.

Any timber outbuildings are only externally inspected unless stated otherwise.

SAMPLE

G1 – The Grounds

L

This element has been assigned a Condition Rating L as your legal advisor should make enquires regarding responsibilities for the fences.

The property benefits from external private grounds located to the front and rear. The grounds consist of a gravel driveway and a lawned garden.

The boundaries are defined and formed of timber fence panels. The fences are somewhat neglected with significant damage to a panel on the rear boundary.

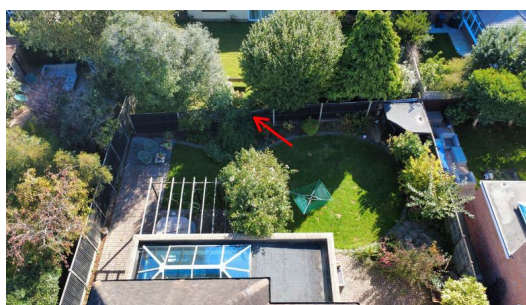
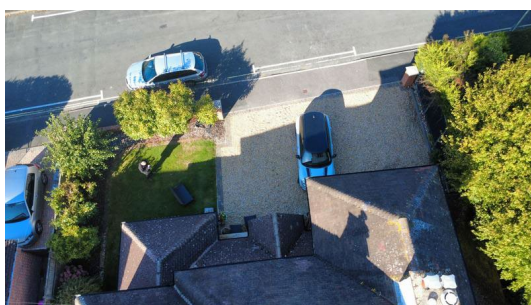
At the time of my inspection I was unable to verify the boundaries for which you are liable. This should be confirmed to you in writing by your legal advisor prior to exchange of contracts. Once ownership of the various boundaries has been established, I recommend that you overhaul those that are your responsibility.

There is a timber shed situated within the gardens. This was in a poor state of repair.

A raised decking platform has been built in the garden, partly covered by an inflatable hot tub. This is likely to have prevented the area underneath from ventilating, potentially causing rot to set in. Timber decking has a limited lifespan of around 10 years. It is also a risk of slipping and injury if it is not maintained and algae removed from its surface. This may be necessary every spring as part of ongoing maintenance.

During the course of my inspection I noted no visible evidence of Japanese Knotweed. However, the growth cycle of the plant and the fact that it can lay dormant for long periods of time does often make it difficult to identify. It cannot be guaranteed that there isn't any locally and the surveyor makes absolutely no guarantee whatsoever in this report that there might not be Japanese Knotweed nearby. It should be noted that management of this plant can result in significant expenditure and could result in loss of amenity and impact on the future saleability of the property. As a prudent measure I recommend that your legal advisor obtains written confirmation from both the vendor and Local Authority that Japanese Knotweed has not been identified within the subject property or upon adjacent land.

It is beyond the scope of this survey to diagnose the health and the tree species within the subject property's curtilage. This will require a knowledgeable arboriculturist to inspect and advise on the health and ongoing maintenance required. You should not underestimate the cost of the ongoing management of trees.



Section I – Legal Issues



This section gives an overview of the various issues that should be addressed by your legal advisor or conveyancer.

You should make your legal advisor aware of this section of the report if or when you pass it to them. We advise that you ensure your legal advisor does not pass this report on to the vendors.

11 - General

The following matters should be verified by your legal conveyancers.

1. Ownership and liability for the maintenance of the various boundaries, particularly the rear boundary given its poor state.
2. Confirmation whether all access roads have been adopted by the Local Highways Authority.
3. Confirmation that the property is connected to the mains drainage system and advise of the water authority to whom fees are payable in respect of sewerage.
4. Confirmation as to whether the present owners have arranged for the regular servicing of the central heating and hot water system.
5. Confirmation from the present owners and Local Authority that Japanese Knotweed has not been identified.
6. Confirmation whether cavity wall insulation has been installed.

You should immediately pass a copy of this report to your legal advisors with the request that in addition to the necessary standard searches and enquiries they check and confirm each and every one of the items referred above as well as the assumptions made.

12 - Regulation

I believe the property has Local Authority planning approval and complied with Building Regulations at the time of construction. I know of no roads, mining, statutory or environmental matters likely to adversely affect the property. Your legal advisors should check all of these matters in their searches.

Confirmation should be sought that all necessary statutory approvals were obtained and complied with in connection with the alterations undertaken within the property. You also need to ensure that a Completion Certificate was issued upon satisfactory completion of this work.

Your legal advisor should ensure that alterations to the mains and rainwater drainage as a result of the side extension is adequate and has been signed off as complete as part of the Building Control oversight process.

Your Legal Adviser should confirm that the removal of the ground floor chimney breasts was carried out with local authority Building Control approval (including the issuing of a final completion certificate) from the local council and advise on the implications.

You should ask your legal adviser to obtain the last electrical condition report, gas safety certificate, boiler installation certificate and annual service history and HETAS installation certificate for the installation of the solid fuel burner and advise on the implications should none be present.



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SAMPLE



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