

**REGULAR MEETING OF
THE PRESIDENT AND THE BOARD OF TRUSTEES
THE VILLAGE OF WAYNE
5N430 Railroad Street
Wayne, Illinois 60184**

**Tuesday, January 2, 2024
7:30pm**

**Link to Join Webinar
<https://us06web.zoom.us/j/85036473381>**

- I. Pledge of Allegiance**
- II. Call to Order - Roll Call**
- III. Public Comment - (please limit your comments to three minutes)**
The Public Comment section is intended to give the public an opportunity to present a comment or opinion to the Board of Trustees. It is not intended to be a time for questions and answers or debate on political issues. Discussion between speakers and other members of the audience will not be permitted. For questions please email members of the Board directly and a Board member or staff will respond directly. Public Comment should be limited to this portion of the agenda and the public should not interrupt the Board during the remainder of the meeting. Should a member of the public become disruptive or interrupt another speaker they will be warned once, and if the disruption continues, removed from the meeting.
- IV. Reports of Boards, Commissions, Staff, and Action Items**
 - A. Plan Commission**
 - B. Zoning Board of Appeals**
 - C. Engineering**
 - 1. Authorization to Prepare Bid Documents for 2024 Road Resurfacing**
 - 2. Administration of Stormwater Ordinance on Kane County Properties in Village of Wayne**
 - D. Park Commission**
- V. Consent Agenda**
 - A. Minutes December 19, 2023 – Open Session**
 - B. Authorization for Destruction of Verbatim Record of Closed Meetings held on the following dates, as no less than 18 months have passed and Minutes have been approved for such meeting. (Minutes of Closed Sessions have previously been approved by Board of Trustees:) 04/05/2022; 04/19/2022; 05/03/2022; 06/07/2022.**
- VI. Items Removed from Consent Agenda**
- VII. Ordinances and Resolutions**
- VIII. Reports of Officers and Action Items**
 - A. Clerk’s Report – Patti Engstrom**
 - B. Treasurer’s Report – Howard Levine**
 - C. President’s Report – Eileen Phipps**
 - D. Village Attorney’s Report – Mickey, Wilson, Weiler, Renzi, Lenert & Julien, P.C.**

- IX. Appointments – Village Commissions and Committees – President Phipps**

- X. Reports of Trustees and Action Items**
 - A. Public Safety – Pete Connolly**
 - B. Public Works – Mike Dimitroff**
 - C. Finance – Pete Connolly**
 - D. Administration – Emily Miller**
 - E. Development/Historic and Rural Preservation – Ed Hull**
 - F. Building & Zoning –Gary Figurski**
 - 1. Dunham Woods Riding Club – Additional Bar in Dining Room**
 - G. Parks – Emily Miller**
 - H. Technology – Guy Bevente**

- XI. Closed Session**
 - A. Pending, Imminent or Probable Litigation – Open Meetings Act, 5 ILCS 120/2 (c) (11)
Open Meetings Act, 5 ILCS 120/2 (c) (1)B**
 - B. Appointment, Employment and Compensation of Village Employees–Open Meetings Act,
5 ILCS 120/2 (c)(1)**
 - C. Purchase or Lease of Real Property – Open Meetings Act, 5 ILCS 120/2 (c) (6)**
 - D. The Setting of a Price for Sale or Lease of Village Property, 5 ILCS 120/2 (c) (6)**
 - E. Security Procedures, Personnel, Equipment in Response to Threat of Potential
Danger to Employees, Staff, Public or Public Property, 5 ILCS 120/2 (c) (8)**
 - F. Discussion of Closed Minutes for Purposes of Approval or Semi-Annual Review,
5 ILCS 120/2 (c) (21)**
 - G. The Selection of a Person to Fill Public Office, 5 ILCS 120/2 (c) (3)**

- XII. Old Business**

- XIII. New Business and Action Items**

- XIV. Adjournment**

In lieu of making a comment in person, a member of the public may submit a written comment by email no later than noon on the day preceding the day of the meeting to clerk@villageofwayne.org and it will be read at the meeting. Written comments should be limited to 450 words or less and, when read, are subject to the three minute time limit for public comment.

Note: Any person who has a disability requiring a reasonable accommodation to participate in this meeting should contact ADA Compliance Officer Mon-Thurs 8:00am–12:00pm Village of Wayne, 5N430 Railroad Street, P.O. Box 532, Wayne, IL 60184, or call (630) 584-3090. Requests for a qualified interpreter require five (5) working days' advance notice.

MEMORANDUM

December 7, 2023

TO: Village Board
FROM: Daniel L. Lynch, PE, CFM
SUBJECT: 2024 Road Program
(CBBEL Project No. 910043.H253)

We have prepared this Memorandum is to outline proposed roadway improvements for the 2024 Road Program within the Village of Wayne. This report will include proposed roads, prices, drainage/storm improvements, and methods used for the improvements.

ROAD PROGRAM

We have driven all Village streets and utilized the data obtained to select roadways for evaluation. The roads selected for inspection include Orchard, Elm, Keil, Peterson, Will Way, and Cedar Lane based on last resurfacing date and observed road conditions. The visual evaluation of general conditions for each roadway was performed on November 29, 2023. Upon inspection, all of roads displayed evident "alligator" and longitudinal cracking. In addition, there were two storm inlets below grade: one at the intersection of Orchard and Peterson and the other on the west end of Cedar Lane. The storm inlet at Orchard and Peterson sits well below the edge of pavement, and Public Works has added stone around the inlet to help stabilize the area. With the resurfacing, the grate elevation would be raised to more closely match the surrounding ground. The inlet on Cedar Lane also presents potential dangers for vehicles attempting to perform U-turns and from entering and exiting the adjacent drive. We have previously discussed this location with Public Works.

Proposed 2024 Road Program

Street Name	Last Resurfaced	Estimated Cost
Cedar Lane	2005	\$ 45,000
Will Way	2005	\$ 39,000
Keil Street	2005	\$ 11,000
Peterson Drive	2007	\$ 22,000
Elm Road	2007	\$ 29,500
Orchard Lane	2007	\$ 18,500
Storm/Drainage Improvements		\$ 20,000
Engineering		\$ 20,000
Estimated Net Total		\$ 205,000

*Based on 2023 Road Program Prices

Other roads inspected were Billy Burns, Derby, and Railroad. Billy Burns and Derby were in fair condition, while Railroad is in poor condition. We suggest deferring Railroad Street pending a decision on potential Village Hall scenarios. It was requested to also provide alternative options with the streets mentioned and can be found below:



CHRISTOPHER B. BURKE ENGINEERING, LTD.

9575 W Higgins Road, Suite 600 Rosemont, Illinois 60018-4920 Tel (847) 823-0500 Fax (847) 823-0520

MEMORANDUM

Alternative #1

Street Name	Last Resurfaced	Estimated Cost
Billy Burns	2005	\$ 45,000

Alternative #2

Street Name	Last Resurfaced	Estimated Cost
Derby	2005	\$ 55,000

Alternative #3

Street Name	Last Resurfaced	Estimated Cost
Railroad Street	2007	\$ 30,000

Each of these streets would be included in the bid documents as an alternate bid, which could then be included if the Village Board chose to include them in the contract.

This project consists of all local roads, the standard practice used in previous years is for 2" of asphalt to be milled and overlaid with 2" of new asphalt. These prices also include stripping for stop bars at intersections and aggregate shoulder stone. It should be noted that the prices used for the estimated cost were generally based on the 2023 road program and prices may vary during bidding.

If you have any questions, please feel free to contact me.



MEMORANDUM

December 21, 2023

TO: Village Board

FROM: Daniel L. Lynch, PE, CFM

SUBJECT: Enforcement of Stormwater Ordinance in Kane Co.
(CBBEL Project No. 910043A)

We have prepared this memorandum to outline how the Village stormwater ordinance is administered, with a proposed change in procedure. In 1991 when the Du Page County Stormwater and Floodplain Ordinance was becoming effective, the Village of Wayne board chose to adopt the ordinance throughout the Village so as to have one single ordinance Village-wide. We believed (and advised) then and continue with the opinion today that the decision is appropriate. As a bit of background, the State had passed legislation authorizing counties to pass county-wide stormwater regulations, and Du Page County was the first to do so. In adopting the regulations, the Village elected to give jurisdiction to review Special Management Areas (wetlands and floodplain) to Du Page County and to do so throughout the Village. The Village is responsible for review of all other aspects of the stormwater ordinance. This has been the practice since the Du Page Ordinance became effective in 1992. From time to time, there has been discussion about the Village taking back review authority for Special Management Areas on the Kane County side of town, as residents routinely question why they have to go to Du Page County for engineering approval when they reside in Kane County.

Du Page County staff recently asked me if we would be willing to take jurisdiction and review responsibility for wetlands and floodplain on the Kane County side of the Village. Christopher Burke Engineering has full capability of providing these services and we do so in many towns in Du Page County and throughout the Chicagoland area. We have a full Environmental Service department of qualified wetlands professionals, a Water Resources Department of specialists in floodplain and flood control, and I personally am a Certified Floodplain Manager, so we are well qualified to provide these review services. Further, we believe we will provide the reviews on a more timely and more cost-effective basis than currently provided by Du Page County. Review costs would be passed through to the applicant so there is no additional cost to the Village.

With the concurrence of the Board, we will notify the Du Page County staff that we are willing to take on the review responsibilities for Special Management Areas in the Kane County portion of the Village of Wayne. No change to Village Code is required.

If you have any questions, please feel free to contact me.



CHRISTOPHER B. BURKE ENGINEERING, LTD.

9575 W Higgins Road, Suite 600 Rosemont, Illinois 60018-4920 Tel (847) 823-0500 Fax (847) 823-0520

Village of Wayne

P.O. Box 532
5N430 Railroad Street
Wayne, IL 60184
Clerk's Office, Village President and Trustees 630-584-3090
Building Department 630-584-7760
Police Department 630-584-3031
Fax 630-584-0259

January 2, 2023

Village President and Board of Trustees,

Village Code Section 8-1-7 provides regulations for the Commercial Building Construction Process. Section 8-1-7, a separate Village Code subsection from applicable building construction code regulations, requires Village Board review and approval of an application for commercial building permit prior to issuance of a commercial building permit.

8-1-7: COMMERCIAL BUILDING CONSTRUCTION PROCESS:

A. Building Permit Issuance: No building permit shall be issued for the construction or alteration of any commercial building or structure within the village without review by the village board of trustees of a written report from the zoning enforcement officer prepared by him, after the review of site plans and construction plans for compliance with the village zoning ordinance.

B. Notice To Board Of Trustees: Upon receipt of an application for a building permit for the construction or alteration of any commercial building or structure within the village, the zoning enforcement officer, through the building and zoning department, shall send written notice to the president and board of trustees and include a written report of the zoning enforcement officer's review, said notice shall contain, among other things, sufficient information to identify for the village president and board of trustees the fact that a building permit for a commercial building or structure has been applied for, the type of construction contemplated and a copy of the building plan depicting the general nature and location of the proposed construction or alteration.

C. Village Board Action: At the first regularly scheduled board meeting following receipt of the notice required in subsection B of this section, or as soon as is reasonably practical thereafter, the village president and board of trustees shall review the report of the zoning enforcement officer. The village clerk shall notify the building and zoning department, in writing, upon completion of the review of the zoning enforcement officer's report by the village president and board of trustees.

D. Building Code and Zoning Ordinance Compliance: This section is in no way intended to remove from the director of building and zoning, the zoning enforcement officer or the building and zoning department itself the authority and responsibility of reviewing plans in order to ensure compliance with the existing building code and zoning ordinance of the village, as amended. (Ord. 88-16, 8-2-1988)

The property is located within a Commercial Equestrian (CE) zoning district. Application has been made for interior renovation to the Percheron Room per attached scope of work drawings.

Drawings and submittal documents are in the process of being reviewed for construction code compliance for proposed electrical, plumbing and interior finish installations for the project.

Based on the aforementioned information and minor nature of the project, it is recommended that the Village Board consider the proposed interior renovation project for approval as required by section 8-1-7 of the Village Code.

Sincerely,

A handwritten signature in black ink, appearing to read "Michael J. Gricus", with a long, sweeping horizontal stroke extending to the right.

Michael J Gricus

VILLAGE OF WAYNE
5N430 Railroad Street, P.O. Box 532
Wayne, Illinois 60184
Email: bldg.zoning@villageofwayne.org



APPLICATION FOR PERMIT
(Type or Print in Ink)
Phone: 630-584-7760 Fax: 630-584-0259

OFFICE HOURS
8:00 AM – 12:00 Noon
Monday – Thursday

PERMIT NO.
23-152
RECEIPT NO.

NEW CONSTRUCTION: IT WILL BE UNLAWFUL TO OCCUPY THE PREMISES STATED BELOW UNTIL FINAL INSPECTION HAS BEEN PERFORMED, APPROVED AND CERTIFICATE OF OCCUPANCY HAS BEEN ISSUED.

APPLICANT NAME: Durham Woods Riding Club DATE: 12-20-2023
ADDRESS OF PROPERTY: 33W333 ARMY TRAIL Rd Wayne IL 60184
PURPOSE OF PERMIT: Remodel: BAR ADDITION CONSTRUCTION COST: Plumbing & elect estimated \$14,000
EMAIL: Joe.BARON@ME.COM PHONE TO CONTACT WHEN PERMIT IS READY: 630-940-8350

OWNER NAME (IF DIFFERENT THAN ABOVE): _____ OWNER PHONE: _____

OWNER ADDRESS (IF DIFFERENT THAN ABOVE): _____

RESIDENTIAL COMMERCIAL NAME/TYPE OF BUSINESS: _____ SQUARE FT: _____

ZONING DISTRICT: _____ PROPERTY ID #: _____ SUBDIVISION: _____

CONTRACTOR NAME _____ ADDRESS _____ PHONE # _____

ARCHITECT: _____

GEN'L CONTR: MIKE HARTMAN 847-343-3000

CEMENT CONTR: _____

CARPENTER: _____

MASON: _____

PLUMBER: _____

NO. OF FIXTURES: _____ OTHER: _____

ROOFER: _____

ELEC. CONTR: _____

_____ AMP SERVICE _____ # OF ONE POLE CIR _____ # OF TWO POLE CIR _____ # OF THREE POLE CIR

MECH. CONTR/ELEV. CONTR _____

ENGINEER/ARBORIST/TREE SERVICE: _____

The undersigned hereby applies to the Village of Wayne, DuPage and Kane Counties, Illinois for a permit herein described and if granted, the applicant shall comply with all requirements of the Village Ordinances relating thereto and pay the fees required. PERMITS ARE VALID FOR 12 MONTHS IF CONSTRUCTION HAS COMMENCED, AND 6 MONTHS IF WORK HAS NOT BEEN STARTED. All work must be completed within said time frames unless extended in writing by the Village (which is not guaranteed). You will be subject to additional permit fees after the expiration date to extend a permit. No error or omission in either the plans or application, whether or not the plans or application have been approved by the Building Official, shall permit or relieve the applicant, owner or his successors in title from constructing the work in a workmanlike standard and in compliance with all laws, regulations and ordinances of the State of Illinois and the Village. Approval by the Village is to determine general compliance with ordinances and does not constitute a warranty or guarantee of any type or character regarding the plans. The applicant, having read this application and fully understanding the intent thereof, declares that the statements are true to the best of his/her knowledge and belief.

Joe Baron
SIGNATURE OF AGENT OR OWNER
Joe BARON
PRINT NAME

PERMIT ISSUED BY _____ DIRECTOR OF BUILDING AND ZONING

DATE PERMIT ISSUED: _____

PERMIT FEES: \$ _____ PAID PLAN REVIEW FEES: \$ _____ PAID
24-HOUR NOTICE REQUIRED FOR ALL INSPECTIONS THE APPLICANT OF THIS PERMIT AGREES TO PAY ALL PLAN REVIEW FEES WHETHER THEY RECEIVE A PERMIT OR NOT.



KDT
 DATE
 SHEET
 REVISIONS
 PROJECT
 NUMBER
 ISSUE

Drawn

DUNHAM WOODS RIDING CLUB

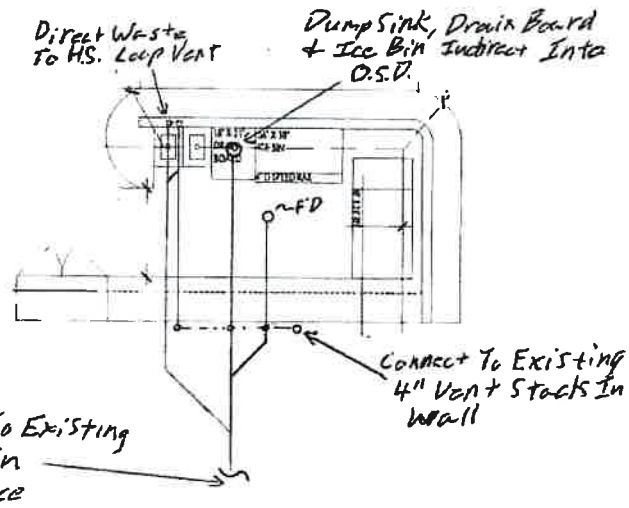
DATE
 PURPOSE

PREC
 TR

ENI

ID

NOT FOR CONSTRUCTION



ENLARGED BAR PLAN - PERCHERON ROOM
 SCALE 1/4" = 1'-0"



KDI D.
SURETY,
ST. LOUIS,
MISSOURI,
INC.

Shirley

DUNHAM WOODS RIDING CLUB

DATE: 1/10/17

PROJ: 180

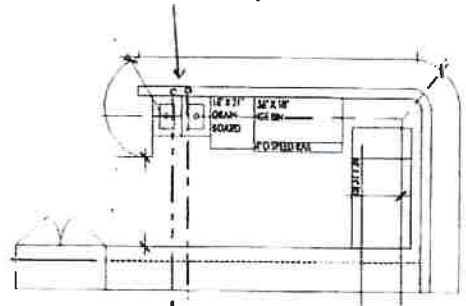
ENL

P

ID

NOT FOR CONSTRUCTION

HW & CW UP TO
H.S. & DUMP SINK



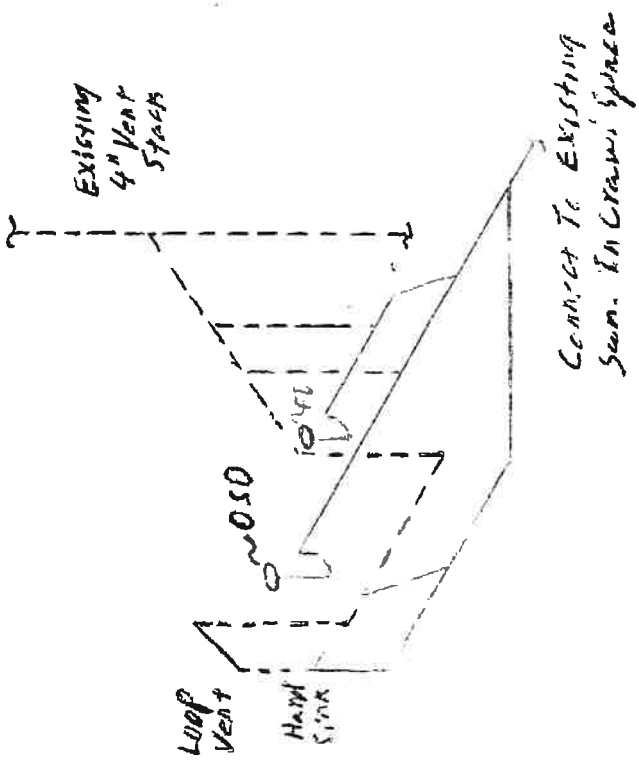
Connect HW & CW
In Crawl Space
Below



1 ENLARGED BAR PLAN - PERCHERON ROOM
SCALE: 1/4" = 1'-0"

DUNHAM WOODS RIDING CLUB
BAR ADDITION TO DINING ROOM

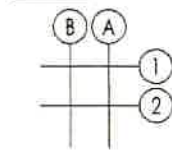
PLAN BY JACK FAZIO
IDPH: 058-123513



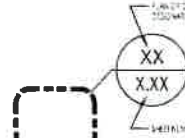
Not To Scale

DRAWING SYMBOLS

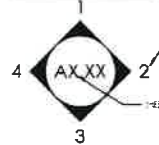
COLUMN SYMBOL & CENTER LINES



PARTIAL PLAN AND DETAIL TAG



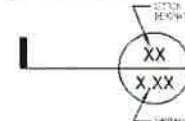
INTERIOR ELEVATION TAG



KEY NOTE



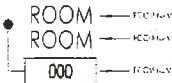
DETAIL SECTION TAG



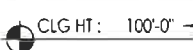
DRAWING REVISION



ROOM



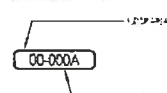
ELEVATION HEIGHT DESIGNATOR



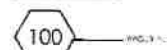
CEILING HEIGHT DESIGNATOR



DOOR NUMBERS



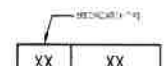
WINDOW NUMBERS



REFERENCE NORTH ARROW



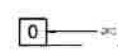
FF&E SPECIFICATION BOX



MATCH LINE GRID DESIGNATOR



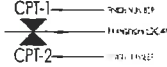
GRID DESIGNATOR



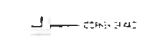
FLOOR FINISH



FLOOR TRANSITION



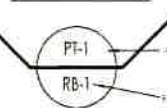
CORNER GUARD



AREA NOT IN CONTRACT



WALL AND BASE FINISHES



PLAN		ELEV		(NOTE: NOT ALL SYMBOLS SHOWN ARE REQUIRED FOR THIS PROJECT)
SURFACE MOUNTED	FLR/CLG MOUNTED	VERT.	HORZ.	
				DOOR SWITCH (DOOR FRAME JAMB MOUNT)
				SINGLE POLE SWITCH
				DOUBLE POLE SWITCH
				3-WAY SWITCH
				4-WAY SWITCH
				DIMMER SWITCH
				TIMER SWITCH
				CONTROL STATION
				SINGLE RECEPTACLE OUTLET
				DUPLEX RECEPTACLE OUTLET
				QUADRUPLEX RECEPTACLE OUTLET
				DUPLEX ISOLATED GROUND TYPE U.P.S. OUTLET
				QUADRUPLEX ISOLATED GROUND TYPE U.P.S. OUTLET
				DUPLEX RECEPTACLE OUTLET-1/2 SWITCHED
				DUPLEX RECEPTACLE OUTLET, WEATHER PROOF
				DUPLEX RECEPTACLE G.F.I. OUTLET
				MULTI-OUTLET PLUG STRIP
				CLOCK OUTLET
				JUNCTION BOX
				FAX OUTLET (Comb. phone/duplex recept.)
				TELEPHONE OUTLET
				COMPUTER OUTLET
				COMBINATION PHONE/COMPUTER OUTLET
				SPECIAL PURPOSE CONNECTION
				TRANSFORMER
				DOOR BELL CHIME/BUZZER
				DOOR BELL PUSH BUTTON
				ELECTRICAL SERVICE PANEL

	WALL MTD LIGHT FIXTURE
	RECESSED LIGHT FIXTURE
	TIMER SWITCHED HEAT LAMP
	RECESSED WALL WASHER FIXTURE
	RECESSED ADJUSTABLE SPOT FIXTURE
	TRACK LIGHTING
	RECESSED FLORESCENT LIGHT FIXTURE
	SURFACE MOUNT FLORESCENT LIGHT FIXTURE
	SURFACE MOUNTED CEILING LIGHT
	DECORATIVE CEILING FAN
	THERMOSTAT- CONTROL
	THERMOSTAT- SENSOR
	SUPPLY AIR DIFFUSER
	RETURN AIR GRILLE / CEILING EXHAUST FAN
	SPEAKER OUTLET
	TELEVISION/CABLE OUTLET
	AUDIO VOLUME CONTROL OUTLET
	MICROPHONE OUTLET
	BUILDER STANDARD
	FIRE SPRINKLER HEAD
	FIRE ALARM MANUAL PULL STATION
	FIRE ALARM SPEAKER
	FIRE ALARM STROBE LIGHT
	EXIT LIGHT- SINGLE FACE
	EXIT LIGHT- DOUBLE FACE
	SMOKE DETECTOR
	HEAT DETECTOR
	CARBON MONOXIDE DETECTOR
	FIRE EQUIPMENT CABINET
	PANIC BUTTON
	SECURITY CAMERA
	ALARM

DRAWING INDEX	
SHEET #:	SHEET NAME:
ID0-1	COVER SHEET
ID0-2	GENERAL NOTES
ID0-3	GENERAL NOTES
ID0-4	GENERAL NOTES
ID0-5	FINISH LEGENDS
ID0-6	FINISH SCHEDULE
ID2-1.1	FURNITURE PLAN
ID3-1.1	FLOOR FINISH PLAN
ID4-1.1	WALL FINISH PLAN
ID7-1.1-2	ELEVATIONS
CLIENT: DUNHAM WOODS RIDING CLUB CONTACT: EDGAR GUTIERREZ PHONE: EMAIL: GM@DUNHAMWOODSRIDINGCLUB.COM	
DESIGN TEAM: KDI DESIGN, INC. 1607 E. MAIN STREET, SUITE 2F ST. CHARLES, IL 60174 CONTACT: BRECKLEN WILLIAMS PHONE: 630.402.9520 EMAIL: BRECKLENW@KDI DESIGN.COM	
THESE DRAWINGS ARE THE INSTRUMENTS OF SERVICE AND ARE THE PROPERTY OF THE DESIGNER. WHO EXPRESSLY RESERVE ITS COMMON LAW COPYRIGHT AND OTHER PROPERTY RIGHTS TO THESE DRAWINGS. THESE DRAWINGS ARE NOT TO BE REPRODUCED, CHANGED OR COPIED IN ANY FORM OR MANNER WHATSOEVER, NOR ARE THEY TO BE ASSIGNED TO ANY THIRD PARTY, WITHOUT FIRST OBTAINING THE EXPRESSED WRITTEN PERMISSION AND CONSENT OF THE DESIGNER. WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. ALL DIMENSIONS, LEVELS, LAYOUTS AND FIELD CONDITIONS SHALL BE VERIFIED AT THE SITE BY THE CONTRACTOR BEFORE PROCEEDING WITH THE WORK.	

NOT FOR CONSTRUCTION



ARCHITECTURAL
MECHANICAL
ELECTRICAL



DUNHAM WOODS RIDING CLUB
33W333 ARMY TRAIL ROAD
WAYNE, IL 60184

DRAWING INDEX	
SHEET #:	SHEET NAME:
ID0-1	COVER SHEET
COVER	

ABBREVIATIONS

L	ANGLE	CLG HT	CEILING HEIGHT	EXP	EXPOSED OR EXPANSION	HR	HANDRAIL	MM	MILLIMETER	PSF	POUNDS PER SQUARE FOOT
&	AND	CLK	CAULK (ING)	EXST GR	EXISTING GRADE	HSKPG	HOUSEKEEPING	MO	MASONRY OPENING	PSI	POUNDS PER SQUARE INCH
[CHANNEL	CLL	COLUMN LINE OR	EXT	EXTERIOR OR EXTINGUISHER	HT	HEIGHT	MR	MOISTURE RESISTANT	PT	POST TENSIONED OR PAINT
°	DEGREE		CONTRACT LIMIT LINE	EXT GR	EXTERIOR GRADE	HVAC	HEATING/VENTILATING/ AIR CONDITIONING	MS	MOP SINK	PTN	PARTITION
∅	DIAMETER	CLO	CLOSET	FA	FIRE ALARM			MTD	MOUNTED	QT	QUARRY TILE
L	MATCH LINE	CLR	CLEAR	FAB	FABRIC	HW	HOT WATER	MTG	MEETING	QTB	QUARRY TILE BASE
+/-	PLUS OR MINUS	COL	COLUMN	FC	FOOT CANDLE	IBC	INTERNATIONAL BUILDING CODE	MTL	METAL	QTF	QUARRY TILE FLOOR
ABV	ABOVE	CONT	CONTINUOUS, CONTINUED	FD	FLOOR DRAIN	ID	INSIDE DIAMETER OR INTERIOR DESIGN (ER)	MULL	MULLION	QTR	QUARTER
A/C	AIR CONDITIONER	CMU	CONCRETE MASONRY UNIT	FDR	FIRE DOOR			MULT	MULTIPLE	QTZ	QUARTZ
ACST	ACOUSTIC	CONC	CONCRETE	FEC	FIRE EXTINGUISHER CABINET	INCL	INCLUDE(D), INCLUDING	N	NORTH	QTY	QUANTITY
ACT	ACOUSTICAL CEILING TILE	CONF	CONFERENCE	FF	FINISHED FACE OR FINISHED FLOOR	IFS	INSIDE FACE OF STUD	N/A	NOT APPLICABLE	QUAD	QUADRANT
ACP	ACOUSTICAL CEILING PANEL	CONN	CONNECTION			ILLUM	ILLUMINATION	NIC	NOT IN CONTRACT	R	RADIUS OR RISER
ADA	AMERICANS WITH DISABILITIES ACT	CONSTR	CONSTRUCTION	FF EL	FINISH FLOOR ELEVATION	INCL	INCLUDE (ING)	NO	NUMBER	RA	RETURN AIR
ADDM	ADDENDUM	CONSULT	CONSULTANT	FF&E	FURNITURE, FIXTURE & EQUIPMENT	INSUL	INSULATION	NOC	NOTICE OF CLARIFICATION	RB	RESILIENT OR RUBBER BASE
ADJ	ADJUSTABLE	CONT	CONTINUOUS	FG	FIXED GLASS	INSUL PNL	INSULATED METAL PANEL	NOM	NOMINAL	RC	REINFORCED CONCRETE OR REMOTE CONTROL
ADMIN	ADMINISTRATION	CONTR	CONTRACTOR	FIN	FINISH (ED)	INT	INTERIOR	NONFLMB	NONFLAMMABLE		
AFF	ABOVE FINISHED FLOOR	CORR	CORRIDOR	FIN BS	FINISH BOTH SIDES	INTM	INTERMEDIATE	NTS	NOT TO SCALE	RCP	REFLECTED CEILING PLAN
AHU	AIR HANDLING UNIT	CPT	CARPETING, CARPET TILE	FIX	FIXTURE	IR	INSIDE RADIUS	OA	OVERALL OR OUTSIDE AIR	REC	RECESSED
ALT	ALTERNATE	CR	CHAIR RAIL OR CLOSET ROD	FLASH	FLASHING	JAN	JANITOR	OBS	OBSCURED	RECT	RECTANGLE
ALUM	ALUMINUM	CS	CAST STONE	FLO	FLUORESCENT	JAN CL	JANITOR CLOSET	OC	ON CENTER	REF	REFERENCE OR REFRIGERATOR
ALNMT	AUGNMENT	CTR	CENTER	FLR	FLOOR	J-BOX	JUNCTION BOX	OD	OUTSIDE DIAMETER		THERMAL RESISTANCE
ALLOW	ALLOWANCE	CTRL	CONTROL	FO	FINISHED OPENING	JT	JOINT	OF	OUTSIDE FACE	REG	REGISTER
ALT	ALTERNATE	DBL	DOUBLE	FOC	FACE OF CONCRETE	KIT	KITCHEN	OFF	OFFICE	REV	REVISION
ANOD	ANODIZED	DEMO	DEMOLISH (ION)	FOF	FACE OF FINISH	KO	KNOCKOUT	OF	OUTSIDE FACE OF STUD	REVD	REVISED
AP	ACCESS PANEL	DET	DETAIL	FOS	FACE OF STUB	KPL	KICKPLATE	OH	OVERHANG	REINF	REINFORCED/REINFORCING
APPROX	APPROXIMATE	DF	DRINKING FOUNTAIN	FOUNT	FOUNTAIN	LAB	LABORATORY	OH DR	OVERHEAD DOOR (COILING)	REQ	REQUEST
ARCH	ARCHITECT	DIA	DIAMETER	FOW	FACE OF WALL	LAV	LAVATORY	OF/CI	OWNER FURNISHED/CONTRACTOR INSTALLED	REQD	REQUIRED
ASPH	ASPHALT	DIAG	DIAGONAL OR DIAGRAM	FP	FIRE PROOF	LB	POUNDS	OF/OI	OWNER FURNISHED/OWNER INSTALLED	REST	RESTROOM
ATT	ATTENTION	DIM	DIMENSION	FR	FIRE RATING	LC	LAUNDRY CHUTE			RET	RETURN
AUTO	AUTOMATIC	DIR	DIRECTION	FRG	FIBER REINFORCED GYPSUM	LF	LINEAR FOOT/FEET			RSF	RESILIENT SHEET FLOORING
AUX	AUXILIARY	DISP	DISPENSER	FRP	FIBERGLASS REINFORCED PLASTIC	LH	LEFT HAND	O/O	OUT TO OUT	RDG INS	RIGID INSULATION
AV	AUDIO/VISUAL	DIST	DISTANCE	FT	FOOT/FEET	UB	LIBRARY	OPNG	OPENING	RH	RIGHT HAND
AVE	AVENUE	DN	DOWN	FURG	FURRING	LIN	LINEAR	OPNG	OPENING	RM	ROOM
AVG	AVERAGE	DOZ	DOZEN	FURN	FURNITURE	LMST	LUSTONE	OPP	OPPOSITE	RMDL	REMODEL(ED)
AWP	ACOUSTICAL WALL PANEL	DR	DOOR OR DRAIN	GA	GAUGE	LT(S)	LIGHT(S)	OPR	OPERABLE	RND	ROUND
B/B	BACK TO BACK	DR CL	DOOR CLOSER	GALV	GALVANIZED	LT WT	LIGHT WEIGHT	OPT	OPTIONAL	RO	ROUGH OPENING
BD	BOARD	DR FR	DOOR FRAME	GB	GRAB BAR	LTC	LIGHT WEIGHT CONCRETE	OR	OUTSIDE RADIUS	ROW	RIGHT OF WAY
BFF	BELOW FINISHED FLOOR	DRW	DRAWER	GC	GENERAL CONTRACTOR	LTG	LIGHTING	ORN	ORNAMENTAL	RST	REINFORCED STEEL
BKG	BACKING	DW	DISH WASHER	GFRG	GLASS FIBER REINFORCED CONCRETE	LV	LOW VOLTAGE	OZ	OUNCE	RTF	RUBBER TILE FLOORING
BL	BASE LINE	DWG	DRAWING			LVR	LOUVER (ED)	P	POLE	RWL	RECESSED WASTE RECEPTACLE
BLDG	BUILDING	E	EAST	GFRG	GLASS FIBER REINFORCED GYPSUM	LVT	LUXURY VINYL TILE	PAR	PARALLEL OR PARAPET	RUB	RUBBER
BLKG	BLOCKING	EA	EACH	GFRP	GLASS FIBER REINFORCED PLASTER	M	METER	PBD	PARTICLE BOARD	S	SOUTH
BLW CLG	BELOW CEILING	ELEC	ELECTRIC(AL)	GL	GLASS	MAHOG	MAHOGANY	PCC	PRECAST CONCRETE	SAG	SUPPLY AIR GRILLE
BM	BEAM	EDF	ELECTRIC DRINKING FOUNTAIN	GLZ	GLAZING	MAINT	MAINTENANCE	PCF	POUNDS PER CUBIC FEET	SAPC	SUSPENDED ACOUSTICAL PLASTER CEILING
B PL	BASE PLATE	EGB	EXTERIOR GYPSUM BOARD	GR FL	GROUND FLOOR	MAT	WALK-OFF MATERIAL	PCI	PRECAST/PRESTRESSED CONCRETE INSTITUTE	SAT	SUSPENDED ACOUSTICAL TILE CEILING
BRK	BRICK	EGSB	EXTERIOR GYPSUM SHEATHING BOARD	GSB	GYPSUM SHEATHING BOARD	MATL	MATERIAL				
BRZ	BRONZE			GT	GROUT	MAX	MAXIMUM	PERIM	PERIMETER		
BW	BOTH WAYS	EIFS	EXTERIOR INSULATION AND FINISH SYSTEM	GR	GRANITE	ME	MECHANICAL ENGINEER	PERM	PERMANENT	SATC	SUSPENDED ACOUSTICAL TILE CEILING
CAB	CABINET			GYM	GYMNASIUM	MECH	MECHANICAL	PERP	PERPENDICULAR		
CATW	CATWALK	EJ	EXPANSION JOINT	GYP	GYPSUM	MECH RM	MECHANICAL ROOM	PI	POINT OF INTERSECTION	SC	SOLID CORE
CC	CUBICLE CURTAIN	EL	ELEVATION (HEIGHT)	GYP BD	GYPSUM BOARD	MED	MEDIUM	PIL	PILASTER	SCHED	SCHEDULE
CD	CONSTRUCTION DOCUMENTS/ CONTRACT DOCUMENTS	ELEC	ELECTRIC (AL)	HC	HOLLOW CORE	METD	METAL DOOR	PK GAR	PARKING GARAGE	SCHEM	SCHEMATIC
		ELEV	ELEVATOR	HCWD	HOLLOW CORE WOOD DOOR	METF	METAL FLASHING	PK LOT	PARKING LOT	SCMU	SOLID CONCRETE MASONRY UNIT
CER	CERAMIC	ENCL	ENCLOSURE	H&CW	HOT AND COLD WATER	MEZZ	MEZZANINE	PLAS	PLASTER OR PLASTIC	SCWD	SOLID CORE WOOD DOOR
CF/CI	CONTRACTOR FURNISHED/ CONTRACTOR INSTALLED	ENTR	ENTRANCE	HCP	HANDICAPPED	MF	MILL FINISH	PLAM	PLASTIC LAMINATE	SD	SMOKE DETECTOR, STORM DRAIN OR SUPPLY DUCT
		EP	ELECTRICAL PANEL	HD	HEAVY DUTY	MFR	MANUFACTURER	PLB	PLUMBING		
CF/OI	CONTRACTOR FURNISHED/ OWNER INSTALLED	EQ	EQUAL, EQUIVALENT	HDO	HIGH DENSITY OVERLAY	MFR REC	MANUFACTURER'S RECOMMENDATION	PLYWD	PLYWOOD	SECT	SECTION
		EQUIP	EQUIPMENT	HDWD	HARDWOOD			PNL	PANEL	SF	SQUARE FEET
CIR	CIRCLE	EQUIV	EQUIVALENT	HDW	HARDWARE	MIC	MICROPHONE	POL	POLISHED	SHV	SHELVING
CG	CORNER GUARD	ESCAL	ESCALATOR	HM	HOLLOW METAL	MLWK	MILLWORK	POR	PORCELAIN	SHTHG	SHEATHING
CKT	CIRCUIT	EST	ESTIMATE	HMD	HOLLOW METAL DOOR	MIN	MINIMUM	PPGL	POLISHED PLATE GLASS	SHR	SHOWER
CL	CENTER LINE	ETR	EXISTING TO REMAIN	HMDF	HOLLOW METAL DOOR & FRAME	MISC	MISCELLANEOUS	PR	PAIR	SHT	SHEET
CLG	CEILING	EXH	EXHAUST	HMF	HOLLOW METAL FRAME	MLDG	MOULDING	PRKG	PARKING	SIM	SIMILAR
CLG DIF	CEILING DIFFUSER	EXIST	EXISTING	HORZ	HORIZONTAL	ML&P	METAL LATH & PLASTER	PREFAB	PREFABRICATED	SLNT	SEALANT



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DUNHAM WOODS RIDING CLUB
33W333 ARMY TRAIL ROAD
WAYNE, IL 60184

NOT FOR CONSTRUCTION

GENERAL NOTES

SND INS	SOUND INSULATION	VB	VINYL BASE
SP EL	SPOT ELEVATION	VCT	VINYL COMPOSITION TILE
SP FIN	SPECIAL FINISH	VENT	VENTILATION
SPEC	SPECIFICATION	VERT	VERTICAL
SPKLR	SPRINKLER	VEST	VESTIBULE
SPKR	SPEAKER	VIF	VERIFY IN FIELD
SPLY	SUPPLY	VNDR	VENDOR
SPT	SPECIALTY	VNR	VENEER
SQ	SQUARE	VOL	VOLUME
SQ IN	SQUARE INCH	VRFY	VERIFY
SQ YD	SQUARE YARD	VWC	VINYL WALL COVERING
SS	SOLID SURFACE	W	WEST OR WATT
SST	STAINLESS STEEL	W/	WITH
ST	STREET	W/C	WATER CLOSET
ST GL	STAINED GLASS	W/O	WITHOUT
STA	STATION	W/W	WALL TO WALL
STD	STANDARD	WARR	WARRANTY
STL JST	STEEL JOIST	WC	WALL COVERING
STN	STONE	WD	WOOD
STOR	STORAGE	WDW	WINDOW
STRUCT	STRUCTURE/STRUCTURAL	WGL	WIRED GLASS
STR STL	STRUCTURAL STEEL	WH	WALL HUNG OR WEEPHOLE
SUB	SUBSTITUTE	WI	WROUGHT IRON
SUB FL	SUB FLOOR	WL	WATER LINE
SURR	SURROUND	WP	WALL PROTECTION
SUSP	SUSPENDED	WPM	WATERPROOF MEMBRANE
SUSP CLG	SUSPENDED CEILING	WR	WATER/WEATHER RESISTANT
SV	SHEET VINYL	WS	WEATHERSTRIP
SYM	SYMBOL	WSCT	WAINSCOT
SYMM	SYMETRICAL	WW	WARM WHITE
SYS	SYSTEM	YD	YARD
TA	TOILET ACCESSORY		
TB	TOWEL BAR OR TILE BASE		
TC	TERRA COTTA		
T&G	TONGUE AND GROOVE		
TECH	TECHNICAL		
TEL	TELEPHONE		
TEMP	TEMPERATURE OR TEMPORARY		
TER	TERAZZO		
THK	THICK(NESS)		
THRES	THRESHOLD		
TL	TILE		
TMFD GL	TEMPERED GLASS		
TO	TOP OF		
TOFF	TOP OF FINISHED FLOOR		
TOW	TOP OF WALL		
T	TREAD (STAIR)		
TP	TOILET PARTITION		
TRANS	TRANSOM, TRANSPARENT OR TRANSITION		
TS	TRANSITION STRIP		
TSTAT	THERMOSTAT		
TV	TELEVISION		
TVOUT	TELEVISION OUTLET		
TYP	TYPICAL		
UFC	UNIFORM FIRE CODE		
UL	UNDERWRITER'S LABORATORIES		
UMC	UNIFORM MECHANICAL CODE		
UNO	UNLESS NOTED OTHERWISE		
UPH	UPHOLSTERY		
UNFIN	UNFINISHED		
UR	URINAL		
UWC	UPHOLSTERED WALL COVERING		
VAR	VARIES		
VAV	VARIABLE AIR VOLUME		

GENERAL NOTES

- G1. ALL DRAWINGS FOR DESIGN INTENT ONLY.
- G2. DIMENSIONS, TARGETS, ETC. THAT ARE TYPICAL FOR MANY AREAS ARE NOTED ONLY ONCE.
- G3. ALL DIMENSIONS INDICATED ON THE DRAWING ARE APPROXIMATE AND SHALL NOT BE USED FOR ORDERING AND/OR FABRICATING MATERIALS. CONTRACTOR SHALL VERIFY AND CHECK ALL DIMENSIONS PRIOR TO ORDERING AND/OR FABRICATING MATERIALS. THE CONTRACTOR SHALL NOT DETAIL, ORDER AND/OR FABRICATE ANY MATERIAL WITHOUT FIRST COORDINATING THE SAME WITH THE ACTUAL FIELD CONDITIONS. THE CONTRACTOR ALONE IS RESPONSIBLE FOR PROPER FITTING AND CONNECTION OF MATERIALS AND EQUIPMENT.
- G4. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS BY MEASUREMENTS TAKEN AT THE JOB SITE, AND SHALL TAKE ANY AND ALL OTHER MEASUREMENTS NECESSARY TO VERIFY THE DRAWINGS AND OR PERFORM HIS WORK PROPERLY. ANY DISCREPANCY BETWEEN THE DRAWINGS AND THE MEASURED DIMENSIONS OF THE SITE SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE ARCHITECT / DESIGNER AND NO WORK SHALL PROCEED UNTIL SUCH DISCREPANCY HAS BEEN RECTIFIED. ANY DISCREPANCIES BETWEEN THE DRAWINGS AND THE DIMENSIONS SHALL NOT BE THE REASONS FOR ANY EXTRA COST OR DELAY IN THE EXECUTION OF THE WORK AND SHALL BE PERFORMED PER THE INTENT OF THE CONTRACT DOCUMENTS AT NO EXTRA COST TO THE OWNER. (THE ARCHITECT SHALL BE CONSULTED IN ALL CASES WHERE CUTTING INTO A PORTION OF THE BUILDING IS EITHER DESIRABLE OR NECESSARY SO THAT SATISFACTORY REINFORCEMENT MAY BE PROVIDED).
- G5. WHEREVER THE WORD "PROVIDE" IS USED, IT SHALL MEAN "PROVIDE AND INSTALL." UNLESS SPECIFICALLY NOTED OTHERWISE ON THE DRAWING.
- G6. ALL WOOD NAILERS, BLOCKING, RAISED PLATFORM FRAMING, PLYWOOD, AND WHERE DETAILED OR REQUIRED FOR THE ATTACHMENT OF FINISHED MATERIALS SHALL BE PRESSURE TREATED WITH FIRE-RETARDANT CHEMICALS IN ACCORDANCE WITH ASTM #84-77. THE MATERIAL SHALL BEAR THE IDENTIFICATION OF AN AUTHORITATIVE TESTING OR INSPECTION AGENCY ACCEPTABLE TO THE GOVERNING AGENCY WITH THE PERFORMANCE RATING THEREOF.
- G7. THE CONTRACTOR IS RESPONSIBLE FOR PROTECTION OF HIS WORK DURING STORAGE, TRANSIT, INSTALLATION AND UNTIL FINAL OWNER ACCEPTANCE. UPON COMPLETION, THE CONTRACTOR SHALL CLEAN ALL WORK AND REPAIR AND REFINISH ANY DAMAGE TO THE SATISFACTION OF THE DESIGNER AND THE OWNER AS PART OF THE CONTRACT.
- G8. WHEN THE MANUFACTURERS OF MATERIALS OR FIXTURES USED ON THIS PROJECT PROVIDE MAINTENANCE OR INSTALLATION DIRECTIONS NOT COVERED IN THE SPECIFICATIONS OR DETAILED ON THE DRAWINGS, THE CONTRACTOR FURNISHING THE ITEM SHALL FOLLOW SUCH DIRECTIONS AND SHALL ISSUE APPROPRIATE COPIES TO HIS SUB-CONTRACTORS AND TO OTHER AFFECTED CONTRACTORS.
- G9. WOOD MOLDINGS AND TRIM PANELS SHALL BE DIRECTLY ATTACHED TO A FIRE-RESISTIVE SUB-SURFACE WITH MECHANICAL FASTENERS AND/OR ADHESIVE. FURRING, IF REQUIRED, SHALL BE FIRE-STOPPED WITH SOLID BLOCKING SPACED A MAXIMUM OF 8" ON CENTER. WOOD FURRING, WHERE REQUIRED SHALL BE FIRE-TREATED LUMBER CONFORMING TO ASTM E84. AND HAVING A THICKNESS NOT GREATER THAN 1-1/4".
- G10. INSTALL ALL ITEMS RIGID AND SECURE. PLUMB AND LEVEL. IN ALL INSTANCES WHERE MILLWORK OR CASEWORK ADJOINS OTHER WORK, THE MILLWORK OR CASEWORK SHALL BE SCRIBE CUT TO MAKE A NEAT AND PRESENTABLE JOINT.
- G12. THE GENERAL CONTRACTOR IS TO ALIGN AND FLOAT ALL FLOOR FINISH MATERIALS UNLESS NOTED OTHERWISE ON THE FLOOR FINISH PLANS.
- G13. THE CARPET INSTALLER MUST PROVIDE A CARPET SEAM LOCATION PLAN TO THE DESIGNER FOR APPROVAL PRIOR TO INSTALLATION OF CARPET.
- G14. WHERE NEW CONSTRUCTION MEETS EXISTING ADJACENT MATERIALS, CONTRACTOR TO COORDINATE WITH THE ARCHITECT. ALL AREAS REQUIRING TOUCH-UP WORK OR FINISH MATCHING TO BLEND NEW CONSTRUCTION WITH EXISTING.
- G15. CONTRACTOR TO COORDINATE ALL DISCREPANCIES BETWEEN THE DRAWINGS AND THE AS-BUILT CONDITIONS PRIOR TO ANY WORK OR INSTALLATION WITH THE ARCHITECT.
- G16. NOTES PERTAIN TO AREA WITHIN PROJECT SCOPE OF WORK ONLY.
- G17. REFER TO INTERIOR FINISH GENERAL NOTES FOR ALL SUBMITTAL AND/OR MOCK UP GUIDELINES AND REQUIREMENTS.
- G18. CONTACT KDI FOR CLARIFICATION IN THE EVENT OF CONTRADICTION INFORMATION BETWEEN DRAWINGS, LEGEND AND/OR SPECIFICATION, OR FOR FURTHER VERIFICATION.
- G19. REFER TO FINISH SCHEDULE FOR GENERAL FINISHES. REFER TO ALL INTERIOR FINISH NOTES AND INTERIOR DRAWINGS (INCLUDING PLANS, ELEVATIONS AND DETAILS) FOR COMPLETE INTERIOR INFORMATION.

- G20. IF COLOR OR FINISH IS NOT SPECIFIED CONTACT KDI FOR CLARIFICATION.
- G21. SUBMIT (4) SAMPLES FOR APPROVAL PER MATERIAL SPECIFIED. LABEL EACH TO MATCH THE FINISH LEGEND DESIGNATION. INCLUDE PRODUCT DATA, SEAMING DIAGRAMS AND SHOP DRAWINGS PRIOR TO PROCUREMENT OR FABRICATION.
- G22. PROVIDE REPRESENTATIVE SAMPLES FROM ALL DYE LOTS REQUIRED TO COMPLETE INSTALLATION.
- G23. ALL SPECIFIED MATERIALS ARE TO BE INSTALLED WITH BEST PRACTICES AND PER MANUFACTURER'S INSTALLATION INSTRUCTIONS AND RECOMMENDATIONS.
- G24. ALL FINISHES INSIDE COAT AND STORAGE CLOSETS SHALL BE CONSISTENT WITH THE ADJACENT FINISHES, UNO.
- G25. GENERAL CONTRACTOR TO COORDINATE ALL BLOCKING; LAYOUT DIMENSIONS AND PENETRATIONS REQUIRED.
- G26. ALL CONSTRUCTION MATERIALS, FIXTURES, FINISHES, ETC. ARE TO BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS.
- G27. THESE DRAWINGS SHALL NOT BE SCALED FOR CONSTRUCTION PURPOSES. IN THE EVENT OF AN INCORRECT OR AN OMISSION OF NECESSARY DIMENSIONS CONTRACTOR SHALL NOTIFY INTERIOR DESIGNER OR OWNER'S REPRESENTATIVE.
- G28. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL DIMENSIONS PRIOR TO CONSTRUCTION AND NOTIFY INTERIOR DESIGNER OF ANY DISCREPANCIES THAT COULD EFFECT THE DESIGN AND FINISH OUT OF THE PROJECT.

INTERIOR DEMOLITION NOTES

- D1. REMOVE EXISTING ARTWORK & ACCESSORIES WITHIN THE PROJECT SCOPE AND RETURN TO OWNER FOR STORAGE PRIOR TO DEMOLITION.

FLOOR FINISH NOTES

- F1. SEE FLOOR FINISH LEGEND FOR FLOOR FINISHES.
- F2. EXTEND ALL SPECIFIED FLOORING FOR A PARTICULAR AREA UNDER MILLWORK IN THAT AREA.
- F3. FLOORING TRANSITIONS TO OCCUR DIRECTLY UNDER DOOR (TRANSITION NOT VISIBLE IN EITHER ROOM). IN WRAPPED OPENINGS WITHOUT DOORS, REFERENCE FINISH PLANS FOR TRANSITION LOCATION.
- F5. APPROPRIATELY SIZED SCHLUTER RENO-U, TRANSITION STRIP IN BLACK SHALL BE FURNISHED & INSTALLED AT TRANSITIONS FROM TILE TO RESILIENT FLOORING. UNO.
- F6. PROVIDE A SUBMITTAL SCHEDULE ALLOWING FOR LONG LEAD ITEMS TO PREVENT SUBSTITUTIONS.
- F7. INSTALL DIRECTIONAL FLOORING ORIENTED AS SPECIFIED IN THE FINISH PLAN.
- F8. PROVIDE & APPLY SEAM ADHESIVE FOR EACH RESILIENT SHEET FLOOR AS SPECIFIED IN FINISH LEGEND, UNO.
- F9. 5% ATTIC STOCK TO BE CALCULATED FOR ALL TILE PRODUCT OR % ATTIC STOCK REQUIRED BY ARCHITECTURAL/GC DOCUMENTS (WHICHEVER IS GREATER).

TILE NOTES

- T1. FOR WALL & FLOOR TILE MATERIALS DISTRIBUTE DARK, MEDIUM, AND LIGHT TILES THROUGHOUT OVERALL AREA, UNLESS PATTERN IS NOTED OTHERWISE. DO NOT ALLOW CONCENTRATIONS OF SIMILAR TONAL DEGREE.
- T2. REQUIRED FLOOR CONTROL JOINTS TO FOLLOW GROUT LINE. DO NOT CUT FLOOR TILE.
- T3. CONTRACTOR TO UTILIZE THINSET SUITABLE TO SPECIFIED TILE SIZES AND FORMAT.
- T4. ALL HARD SURFACE FLOORING & GROUT TO BE CLEANED & SEALED PER MANUFACTURER'S RECOMMENDATIONS.
- T5. BUTT JOINT ALL TILE W/ GROUT LINES NOT TO EXCEED 1/8" FOR RECTIFIED TILE, 3/16" FOR NON-RECTIFIED TILE.
- T6. WHEN MONOLITHIC INSTALLATION IS SPECIFIED. ALWAYS START IN THE CENTER OF THE ROOM.
- T7. BACKSPASH FINISHED ENDS/ TILE BASE/ WAINSCOT TOP: SCHLUTER JOLLY IN BLACK. UNO.



KDI DESIGN INC



DUNHAM WOODS RIDING CLUB
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NOT FOR CONSTRUCTION

GENERAL NOTES

BASE FINISH NOTES

- B1. WALL BASE AT ALL CARPETED AREAS SHALL BE MILLWORK STRAIGHT BASE, UNO.
- B2. WALL BASE AT ALL RESILIENT FLOORS SHALL BE COVED BASE, UNO.
- B3. NEW BASE SHALL BE INSTALLED ON ALL NEW AND EXISTING WALLS, COLUMNS AND CONVECTORS AS NEEDED.
- B4. BASE CORNER SECTIONS SHALL NOT BE LESS THAN 6 INCHES IN LENGTH AS MEASURED FROM THE CORNER PROPER.

CEILING FINISH NOTES

- C1. REFER TO ARCHITECTURAL DRAWINGS FOR CEILING CONSTRUCTION DETAILS
- C2. SEE CEILING FINISH LEGEND FOR CEILING FINISHES.
- C3. WALL PAINT TO BE UTILIZED ON ASSOCIATED SOFFIT FACES, UNO. UNDERSIDE OF SOFFIT TO MATCH CEILING FINISH, UNO.
- C4. PROVIDE A SMOOTH LEVEL 4 DRYWALL FINISH ON ALL GYPSUM BOARD CEILINGS AND SOFFITS, ETC., UNO.
- C5. ALL EXISTING FIRE SPRINKLER HEADS, HVAC DIFFUSERS, RETURN AIR, LIGHT FIXTURES, SPEAKERS, CAMERAS, EXIT SIGNS, ETC. ARE TO REMAIN, UNO, ON THE ARCHITECTURAL AND/OR CONSULTANT DRAWINGS TO BE REMOVED OR RELOCATED.
- C6. ALL EXISTING & NEW CEILING HVAC GRILLS, LIGHT FIXTURE TRIMS, SPEAKER TRIMS, DOME CAMERA MOUNTING PLATES AND OTHER PAINTABLE ELEMENTS SHALL BE FINISHED TO MATCH THE ADJACENT NEW CEILING FINISH IN SATIN ENAMEL, UNO.
- C7. ALL NEW FIRE SPRINKLER HEADS AND SPRINKLER ESCUTCHEON PLATES TO MATCH EXISTING, UNO.

ELECTRICAL GENERAL NOTES

- E1. ALL EXISTING ELECTRICAL, PHONE, DATA, ETC. TO REMAIN UNO ON CONSULTANT DRAWINGS & INTERIOR DRAWINGS. ELECTRICAL SHOWN IS FOR PLACEMENT LOCATION ONLY. SEE ELECTRICAL CONTRACTORS PLANS FOR SWITCHING, CIRCUITRY, ETC. REPLACE ALL ELECTRICAL OUTLET SOCKETS AND COVER PLATE IN STANDARD FINISH AS SPECIFIED. PROVIDE (AS SPECIFIED) OUTLETS AND COVER PLATES FOR NEW ELECTRICAL & PHONE OUTLETS.
- E2. ALL NEW ELECTRICAL, PHONE, FAX AND TELEVISION OUTLETS SHALL BE MOUNTED VERTICALLY WITH THE CENTER LINE OF THE COVER PLATE CENTERED AT +18" AFF UNO ON THE FLOOR FINISH PLAN OR INTERIOR ELEVATIONS.
- E3. ALL NEW THERMOSTAT SENSORS AND/OR THERMOSTAT CONTROLS SHALL BE MOUNTED VERTICALLY WITH THE CENTER LINE OF THE COVER PLATE CENTERED AT +60" AFF UNO ON THE FLOOR FINISH PLAN OR INTERIOR ELEVATIONS.
- E4. ALL NEW WALL MOUNTED FIRE ALARM STROBE UNITS SHALL BE MOUNTED VERTICALLY WITH THE BOTTOM EDGE OF THE COVER PLATE CENTERED AT +80" AFF UNO ON THE FLOOR FINISH PLAN OR INTERIOR ELEVATIONS.
- E5. DEVICES INSTALLED ON ACOUSTICAL WALL PANELS TO BE MOUNTED ON FACE OF PANEL.
- E6. NEW OUTLET COVER PLATES AND DEVICES SHALL BE WHITE ON PAINTED OR WALL-COVERED WALLS, UNO.

MISC. INTERIORS NOTES

- MS1. ALL NEW LIGHTING SPECIFICATIONS ARE TO BE CONFIRMED BY ARCHITECT/ENGINEER TO CONFIRM/SPECIFY APPROPRIATE SUPPLEMENTAL LIGHTING TO ACHIEVE APPROPRIATE & CODE COMPLIANT LIGHTING LEVELS.
- MS2. ALL NEW DRAIN COVER PLATES TO BE SQUARE.
- MS3. MOP SINK AREAS TO RECEIVE STAINLESS STEEL WALL PROTECTION TO 48" AFF AND EPOXY PAINT ABOVE, UNO.
- MS4. PLUMBING FIXTURES SELECTIONS FOR DESIGN INTENT ONLY. GC/ PLUMBING CONTRACTOR TO CONFIRM SIZE COMPATIBILITY AND APPROPRIATENESS FOR APPLICATION, CODE COMPLIANCE, AND COORDINATION WITH EXISTING BUILDING CONDITIONS. FINAL SELECTIONS TO BE APPROVED BY KDI.

WALL FINISH NOTES

- W1. SEE WALL FINISH LEGEND FOR WALL FINISHES.
- W2. ALL PAINTED DOORS SHALL BE THE SAME COLOR ON BOTH SIDES, UNO.
- W3. PAINT GRILLES, WALL DIFFUSERS, ELECTRICAL PANELS, WALL MOUNTED BOXES, ACCESS PANELS, ETC., WHICH ARE EXPOSED IN FINISHED SPACES TO MATCH THE SURFACE ON WHICH THEY OCCUR. IF THE ITEM IS ON A WALL-COVERED WALL, PROVIDE A CUSTOM PAINT COLOR USED TO MATCH. CONTACT KDI FOR APPROVAL.
- W4. 5% ATTIC STOCK TO BE CALCULATED FOR ALL WALLCOVERING/TILE PRODUCT OR ¾ ATTIC STOCK REQUIRED BY ARCHITECTURAL/GC DOCUMENTS (WHICHEVER IS GREATER).
- W5. COORDINATE PRE-INSTALLATION MEETING FOR PATTERNED WALL TILE. PROVIDE SHOP DRAWINGS TO CONFIRM TILE LAYOUT BEFORE INSTALLATION.
- W6. PROVIDE DRAW-DOWN SAMPLES OF ALL SPECIFIED PAINT IN SPECIFIED SHEEN LEVEL.
- W7. PROVIDE A SMOOTH LEVEL 4 DRYWALL FINISH ON ALL GYPSUM WALLS, UNO.
- W8. IN CIRCUMSTANCES WHERE CONTRACTOR IS REQUIRED TO REMOVE ANY TYPE OF WALL BASE, ATTENTION MUST BE GIVEN TO NOT DISTURB EXISTING WALL TREATMENT.
- W9. TYPICAL OVERALL PAINT FINISHES (UNO, ON FINISH LEGEND OR SUGGESTED BY CONTRACTOR):
 - WALLS: EGG SHELL / SATIN

- TRIM: SEMI-GLOSS
- CEILING: FLAT
- CMU: SEMI-GLOSS
- DOORS & FRAME: SEMI-GLOSS

- W10. ALL FOOD SERVICE AREAS, JANITOR CLOSETS, SOILED UTILITY, HOUSE KEEPING, AND TOILET WALLS AND CEILING PAINT SHALL BE WASHABLE SEMI-GLOSS FINISH, UNO.
- W11. CONTRACTOR TO ENSURE THAT PAINT FORMULATION IS APPROPRIATE FOR SUBSTRATE.

MILLWORK FINISH NOTES

- M1. SEE MILLWORK LEGEND FOR MILLWORK FINISHES.
- M2. ELEVATION DRAWINGS ARE FOR DESIGN INTENT ONLY. ALL SHOP DRAWINGS TO BE SUBMITTED TO KDI FOR REVIEW AND APPROVAL, PRIOR TO FABRICATION.
- M3. GROMMETS, WHERE APPLICABLE, TO BE BLACK, UNO.
- M4. SAMPLE SUBMITTALS REQUIRED: QTY OF (2) & SAMPLE SIZE SHOULD BE NO LESS THAN 18"W X 24"L
- M5. LAMINATE DOOR, DRAWER, & COUNTERTOP EDGEBANDING TO BE 3MM TAPE TO MATCH FACE LAMINATE/MATERIAL OVER SIDE APPLICATION, UNO.
- M6. IN APPLICATIONS WHERE PVC EDGE BANDING IS UTILIZED, EDGE BANDING TO BE APPLIED OVER LAMINATE FRONT, IN ORDER TO PROTECT THE EDGE OF THE LAMINATE FACING.
- M7. IN APPLICATIONS WHERE LAMINATE SELF-EDGE IS UTILIZED, CONSTRUCTION TO CONSIST OF 'FACE OVER SIDE'.
- M8. ALL MILLWORK CABINETS & DRAWERS TO RECEIVE WHITE MELAMINE INTERIORS, UNO.
- M9. NO SOLID SURFACE BACKSPLASH ON TILED WALLS, UNO.
- M10. PROVIDE SOLID SURFACE COUNTER TOPS W/ INTEGRAL LIP AND BACKSPLASH AT ALL SINK COUNTERS WHERE WALLS ARE NOT TILED, UNO.
- M11. CAULK COUNTERS AT WALL INTERSECTION W/ CLEAR CAULK.
- M12. ALL FINISHES SHALL BE VERIFIED ON ALL APPROVED MILLWORK SHOP DRAWINGS.
- M13. MILLWORK FINISHES ON SHOP DRAWINGS MUST BE APPROVED BY KDI PRIOR TO PRODUCTION THROUGH SAMPLE SUBMITTALS.



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GENERAL NOTES

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FLOOR COVERING LEGEND							
ITEM	TYPE	MANUFACTURER	SIZE	PATTERN/COLOR	FINISH/ GROUT	CONTACT	REMARKS/ INSTALLATION NOTES & CLARIFICATIONS
LVT-1	LUXURY VINYL TILE	MANNINGTON COMMERCIAL	18" X 18" THICKNESS: 47 MM	PATTERN: STONE COLOR: WHITE MARBLE \$S5S2618	N/A	RYAN LINDQUIST 630.272.7788 RYAN.LINDQUIST@MANNINGTON.COM	INSTALLATION: DIAMOND PATTERN ROTATED AT 45 DEGREES IN ALTERNATING COLORS SEE FLOOR FINISH PLAN FOR DETAILS
LVT-2	LUXURY VINYL TILE	MANNINGTON COMMERCIAL	18" X 18" THICKNESS: 47 MM	PATTERN: STONE COLOR: BLACK MARBLE (\$S5S2621)	N/A	RYAN LINDQUIST 630.272.7788 RYAN.LINDQUIST@MANNINGTON.COM	INSTALLATION: DIAMOND PATTERN ROTATED AT 45 DEGREES IN ALTERNATING COLORS SEE FLOOR FINISH PLAN FOR DETAILS

WALL BASE LEGEND							
ITEM	TYPE	MANUFACTURER	SIZE	PATTERN/COLOR	FINISH/ GROUT	CONTACT	REMARKS/ INSTALLATION NOTES & CLARIFICATIONS
WD-1	WOOD TRIM			SHOE MOLDING	PAINTED PT-1		INSTALLED OVER EXISTING WALL BASE WHERE FLOORING IS BEING REPLACED, UNO.

PAINTING AND DECORATING LEGEND							
ITEM	TYPE	MANUFACTURER	SIZE	PATTERN/COLOR	FINISH/ GROUT	CONTACT	REMARKS/ INSTALLATION NOTES & CLARIFICATIONS
PT-1	PAINT	SHERWIN WILLIAMS	N/A	EGRET WHITE SW7570	N/A	SUSAN SIENKOWSKI 312.656.0622 SUSAN.E.SIENKOWSKI@SHERWIN.COM	FIELD PAINT; TRIM, DOORS AND CEILING TILE
WC-1	WALLCOVERING	PHILLIP JEFFRIES	52-54"	PATTERN: VINYL HOUNDSTOOTH COLOR: 7441 TERRIER WHITE	N/A	MARIELLEN O'DONNELL 312.636.6589 MODENNELL@PHILLIPJEFFRIES.COM	PERCHERON ROOM

MILLWORK SCHEDULE							
ITEM	TYPE	MANUFACTURER	SIZE	PATTERN/COLOR	FINISH/ GROUT	CONTACT	REMARKS/ INSTALLATION NOTES & CLARIFICATIONS
ST-1	STAIN			STAIN TO MATCH WILSONART: COLUMBIAN WALNUT			BAR FRONT, CABINETS AND COUNTERS
GL-1	MIRRORED GLASS			MIRRORED GLASS	N/A		BACK OF BAR SHELVES

CEILING FINISH LEGEND							
ITEM	TYPE	MANUFACTURER	SIZE	PATTERN/COLOR	FINISH/ GROUT	CONTACT	REMARKS/ INSTALLATION NOTES & CLARIFICATIONS
CLG-1	DIMENSIONAL CEILING	MDC WALL	24" X 24"	PATTERN: VAULTED CEILING COLOR: VINTAGE METAL	N/A	SUSAN ERNEST 847.217.2820 SERNEST@MDCWALL.COM	PERCHERON ROOM

SPECIALTY LEGEND							
ITEM	TYPE	MANUFACTURER	SIZE	PATTERN/COLOR	FINISH	CONTACT	REMARKS/ INSTALLATION NOTES & CLARIFICATIONS
HDW-1	HARDWARE	RICHELIEU	1 ¹ / ₄ "	CONTEMPORARY METAL KNOB - 5923 PRODUCT #: BP5923160	SATIN BRASS	DEBBIE COPOT 630.470.2554 DCOPOT@RICHELIEU.COM	BAR



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FINISH LEGEND

SHEET
ID0-5

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ROOM FINISH SCHEDULE

ROOM #	ROOM NAME	FLOOR	BASE	N WALL	E WALL	S WALL	W WALL	CEILING		DOORS		REMARKS/ INSTALLATION NOTES & CLARIFICATIONS
								MATERIAL	FINISH	DOOR	FRAMES	
	PERCHERON ROOM	LVT-1/2	ETR/WD-1	PT-1/WC-1	PT-1	PT-1	WC-1	CLG-1	PT-1	PT-1	PT-1	

MILLWORK SCHEDULE

ROOM NUMBER	ROOM NAME	DESCRIPTION	FINISH	REMARKS/ INSTALLATION NOTES & CLARIFICATIONS
	PERCHERON ROOM	BAR COUNTERTOP	ST-1	OGEE EDGE PROFILE
		BAR FRONT	ST-1	
		FLOATING SHELVES	ST-1	
		LOWER CABINETS	ST-1	



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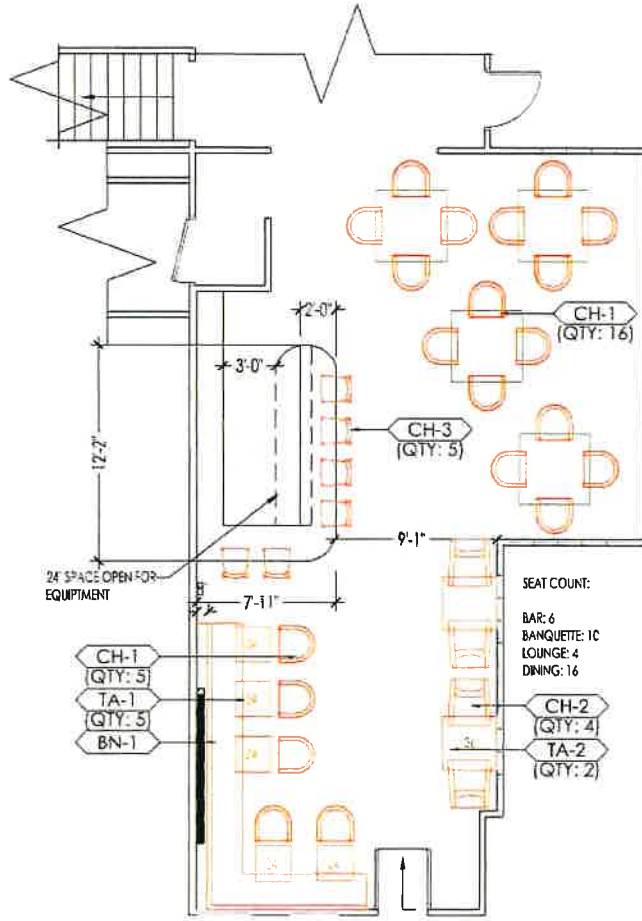
DATE	ISSUED FOR
11/20/23	REVIEW

PROJECT NUMBER:
1891 P23.02

TITLE:
FINISH SCHEDULE

SHEET:
100-6

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1 FURNITURE PLAN - OPT. 2
 SCALE: 1/8" = 1'-0"

FURNITURE LEGEND

	NEW FURNITURE
	EXISTING FURNITURE



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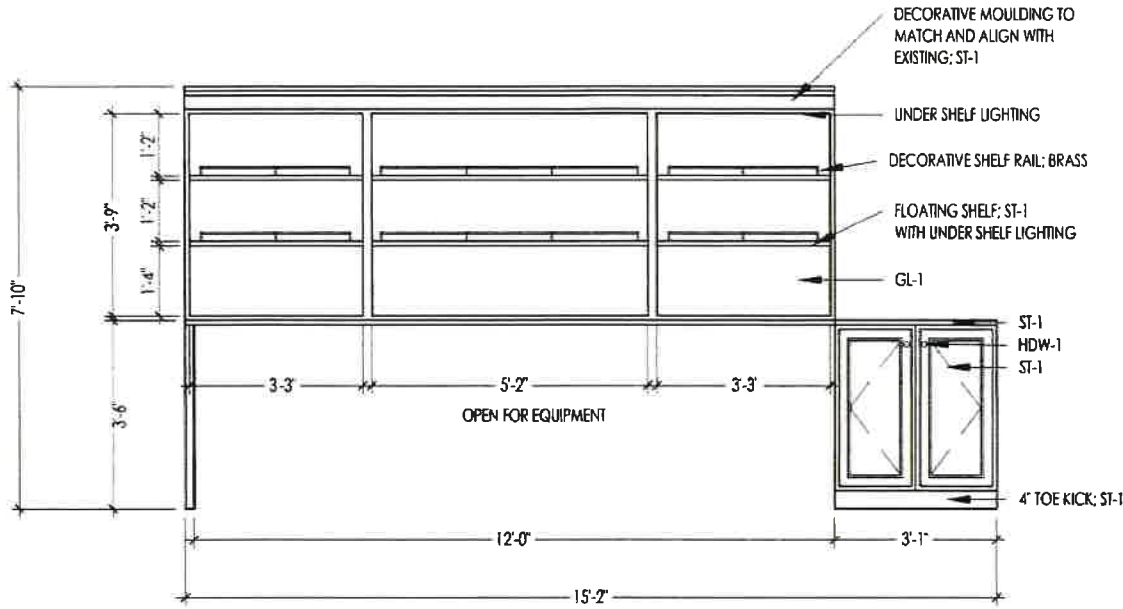
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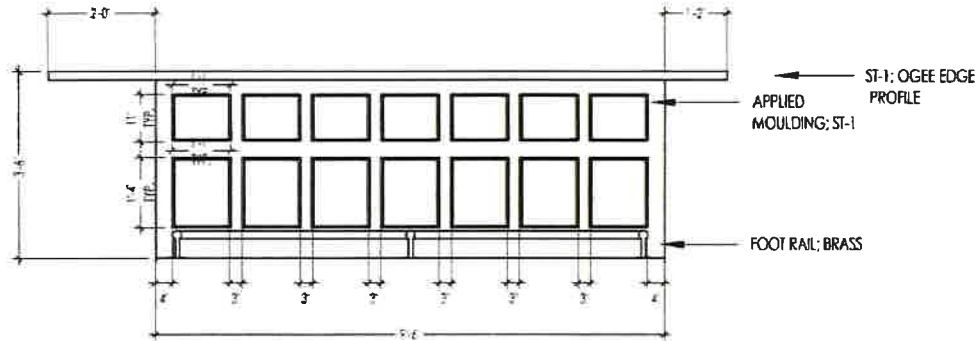
PROJECT NUMBER:
 1891.P23.02

TITLE:
 FURNITURE
 PLAN
 PERCHERON
 ROOM

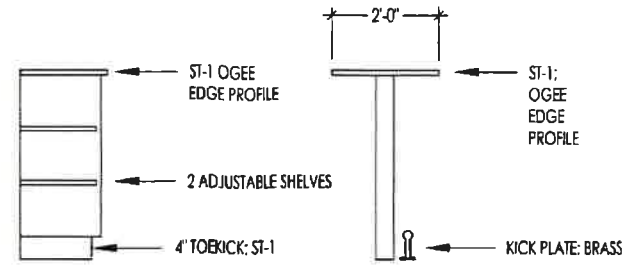
SHEET:
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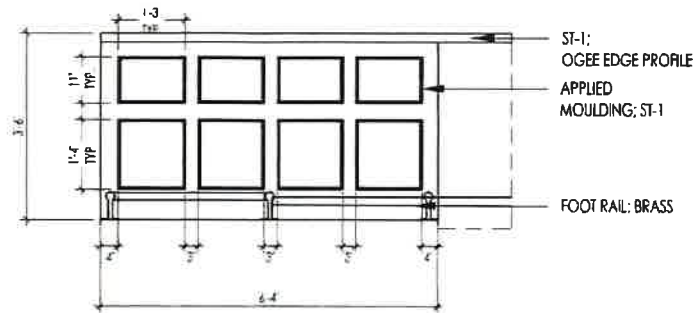
1 BACK BAR ELEVATION
SCALE: 3/8" = 1'-0"



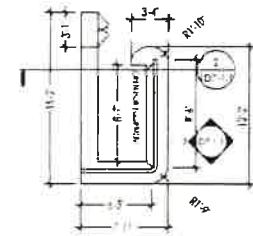
3 FRONT BAR ELEVATION
SCALE: 3/8" = 1'-0"



2 BAR SECTION
SCALE: 3/8" = 1'-0"



4 SIDE BAR ELEVATION
SCALE: 3/8" = 1'-0"



5 ENLARGED PLAN - BAR
SCALE: 1/8" = 1'-0"



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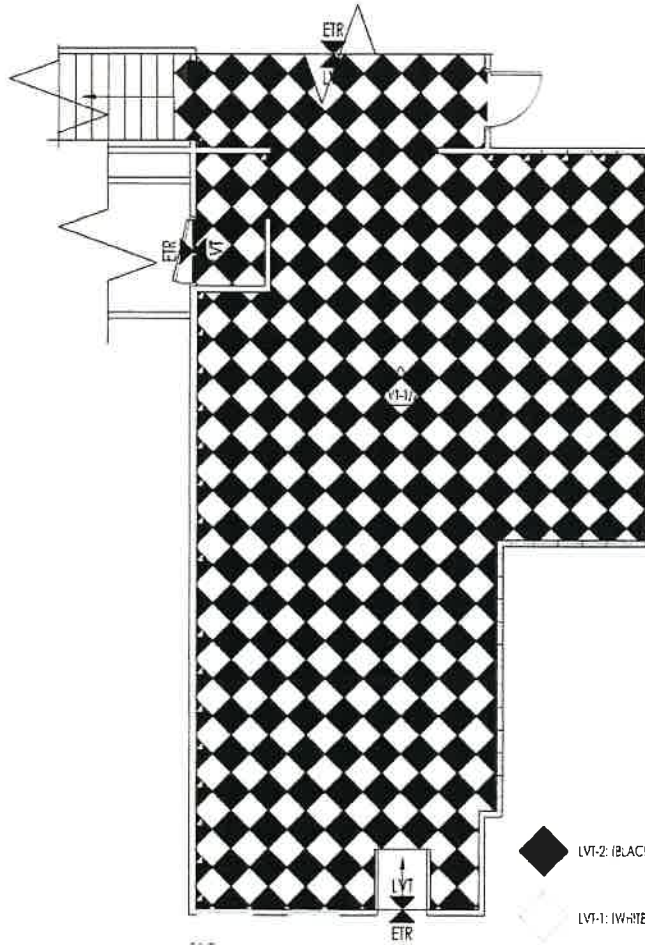
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TITLE:
BAR
ELEVATIONS
AND
DETAILS

SHEET:
ID7-1.1

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1 FLOOR FINISH PLAN - PERCHERON ROOM
SCALE: 1/8" = 1'-0"

FLOOR FINISH PLAN GENERAL NOTES

1. SEE COVER FOR GENERAL NOTES.
2. SEE FINISH LEGENDS AND ROOM FINISH SCHEDULES FOR COMPREHENSIVE FINISH INFORMATION.

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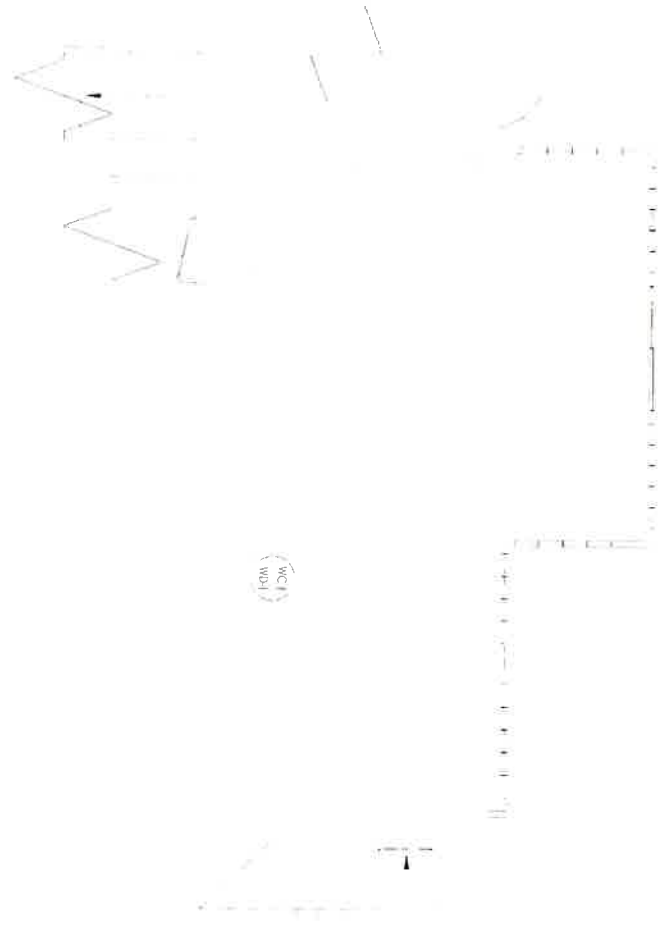
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TITLE:
FLOOR FINISH PLAN

SHEET:
ID3-1.1

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1

WALL FINISH PLAN - PERCHERON ROOM
SCALE: 1/8" = 1'-0"



ACCENT WALL FINISH PLAN GENERAL NOTES

- 1. SEE COVER FOR GENERAL NOTES.
- 2. SEE FINISH LEGENDS AND ROOM FINISH SCHEDULES FOR COMPREHENSIVE FINISH INFORMATION.
- 3. FIELD PAINT TO BE PT-1 FOR ALL AREAS UN-INDICATED ON ID4-1.1



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TITLE:
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FINISH
PLAN

SHEET:
ID4-1.1