

10 & 12 McCormack Crescent & 4 Merrett Avenue, Hoppers Crossing

77 CHILDREN CHILDCARE

TOWN PLANNING - SHEET LIST

SHEET No.	SHEET NAME	SCALE	CURRENT REVISION
TP01	COVER PAGE	N/A @ A1	A
TP02	NEIGHBOURHOOD SITE DESCRIPTION	1:1000 @ A1	
TP03	EXISTING CONDITIONS / DEMOLITION PLAN	1:100 @ A1	
TP04	DESIGN RESPONSE / SITE PLAN	1:100 @ A1	A
TP05	GROUND FLOOR PLAN	1:100 @ A1	A
TP06	ELEVATIONS	1:100 @ A1	A
TP07	STREETSCAPES	1:200 @ A3	A
TP08	GARDEN AREA PLAN	1:100 @ A1	A
TP09	SHADOW DIAGRAM 9am - 23rd SEPTEMBER	1:100 @ A1	A
TP10	SHADOW DIAGRAM 12pm - 23rd SEPTEMBER	1:100 @ A1	A
TP11	SHADOW DIAGRAM 3pm - 23rd SEPTEMBER	1:100 @ A1	A
TP12	3D ARTISTIC RENDERS	N/A @ A1	A
TP13	3D ARTISTIC RENDERS	N/A @ A1	A



ARTISTIC INTERPRETATION ONLY

REVISION A

RESPONSE TO RFI RECEIVED 24/08/2020

- ITEM 1:**
Indication of the staff number. The toilet facilities must be suited for the number of staff.
(REFER TO PAGE TP04, TP05, TP08)
- ITEM 2:**
All relevant commitments and initiatives must be indicated/shown on development plans and where measures cannot be visually shown, include a 'notes table' or 'ESD Schedule' providing details of the requirements (i.e. energy and water efficiency ratings for heating/cooling systems and plumbing fittings and fixtures, sensor lighting, etc.)
(REFER TO PAGE TP01)
- ITEM 3:**
For a development of this scale, BESS Energy credit Renewable Energy Systems - Solar must be targeted, provide calculation within the Sustainable Design Assessment (SDA) showing that the development can achieve 5% energy supply via on site solar energy and provide details on plan.
(REFER TO PAGE TP04, TP09, TP10, TP11)
- ITEM 4:**
Plans detail a 10000L rainwater tank however all assessment references a 12000L rainwater tank, please amend site plans to suit the modeled tank of 12000L and note plumbing connections from the roof downpipes, connection to the toilets, hot water system and/or landscape irrigation etc
(REFER TO PAGE TP04, TP09)
- ITEM 5:**
Currently the development fails the mandatory IEQ section of the BESS assessment. Council will accept the skylight recommendations put forward in the ESD report and waive the mandatory pass in the BESS IEQ section. Development plans must be updated to reflect the additional skylights. Alternatively, the applicant can provide an amended design and daylight modelling that meets the daylight performance of standards of BESS, this could include a combination of increasing window sizes and skylights to improve daylight potential.
(REFER TO PAGE TP04, TP05, TP09, TP10, TP11)
- ITEM 6:**
Light colour roof materials with Solar Reflectance Index (SRI) greater than 64, in accordance with the Green Star criteria for the heat island effect, should be specified.
ROOF INSULATION CALCULATIONS FOR PART J OF SDA REPORT IS THE SAME REGARDLESS OF ROOF COLOUR THEREFORE COLOUR HAS BEEN LEFT AS GREY
- ITEM 7:**
Bike parking must be relocated to the building side of the carpark to ensure cyclists do not have to dismount adjacent the roadway.
(REFER TO PAGE TP04, TP05, TP09, TP10, TP11)
- ITEM 8:**
NOTE HAS BEEN ADDED TO PLANS:
"THE KITCHEN MUST BE DESIGNED IN ACCORDANCE WITH FOOD SAFETY STANDARD 3.2.3 (FOOD PREMISES AND EQUIPMENT) AND THE AUSTRALIAN STANDARD 4674-2004 (DESIGN, CONSTRUCTION AND FIT-OUT OF FOOD PREMISES)."
(REFER TO PAGE TP05)
- ITEM 9:**
ALL PLAY OPEN METAL FENCING TO PLAY AREAS HAS BEEN AMENDED TO BE "1.8m SOLID FENCING" AND LOCATIONS HAVE BEEN AMENDED - AS A RESULT THE STORAGE AREA FOR CHILD ROOM 1 HAS BEEN AMENDED SLIGHTLY AND THEREFORE AREAS HAVE BEEN ADJUSTED
(REFER TO PAGE TP04, TP05, TP06, TP07)
- ITEM 10:**
NUMBER OF CHILDREN REDUCED BY 1 (FROM 78 TO 77)
(REFER TO PAGE TP04, TP05, TP08)

Sustainability Initiatives

BUILDING MANAGEMENT	
Thermal Performance	NCC 2016 - Part J assessment was carried out to a 10% improvement over minimum requirements for the building fabric.
WATER & STORMWATER	
Shower Heads	3 Star WELS rated (>6.0 L/min but <7.5 L/min).
Toilets	4 Star WELS rated.
Bathroom & Kitchen Taps	5 Star WELS rated.
Dishwashers	5 Star WELS rated.
Washing Machines	4 Star WELS rated.
Stormwater Management	Refer to InSite Stormwater report by Enrate (Aus) Pty Ltd
Water Harvesting & Re-use	12,000L Rainwater tank to be provided to the Childcare Centre and connected to all toilets for flushing. Rainwater tank to serve as catchment for a minimum 430.2m ² of roof area.
Irrigation System & Landscaping	Water efficient local indigenous plants to be incorporated into the landscape design. Water efficient irrigation system to be installed, and have a rain shut-off device installed.
ENERGY	
Energy Efficiency	Childcare centre assessment to a 10% improvement over minimum NCC requirements for the Building fabric.
Windows & Glazed Doors	Class 9b Childcare - Double Glazed Clear Low e.
Heating & Cooling System	Class 9b: All Heating and Cooling systems to be within one Star of the most efficient equivalent capacity unit available or have a Coefficient of Performance (COP) & Energy Efficiency Ratio (EER) not less than 85% of the CoP & EER of the most efficient equivalent capacity unit available.
Water Heater	Class 9b: Hot Water to be supplied by a system that is with one Star of the best available or 85% or better than the most efficient equivalent system available.
Lighting	Class 9b: Illumination power density to achieve the requirements of NCC 2016 Volume 1 - Table J6.2a, across a minimum 90% of the floor area. External perimeter lighting to be controlled by motion sensors.
Building Sealing	The building must be constructed to an acceptable level of air tightness as per NCC requirements.
INDOOR ENVIRONMENT QUALITY	
Daylighting	Glazing achieves 33% of floor area at 2% Daylight Factor. Additional skylights proposed to all kids rooms and Reception to increase that to 60% of the nominated spaces and provide daylight deep into each room.
Natural Ventilation	Aggregate ventilation openings to all Habitable rooms to be >10% of the floor area served as required by the NCC Volume 1 - Part F4.
Non Toxic Materials	Green Star compliant certified products are to be used for Paints, Carpets and Adhesives & Sealants. Where products are not certified under the Green Star recognised schemes, they must comply with the TVOC limits specified in the Green Building Council: Green Star - Interiors v1.2 Submission Guidelines (Refer to TVOC Limits tables in Appendix 4 for further detail).
TRANSPORT	
Bicycle Parking	Class 9b: 3 bicycle spaces are proposed.
WASTE MANAGEMENT	
Construction Waste	Separate bins to be provided on-site for separation of at least 80% of the construction waste material such as but not restricted to paper, plastic, timber etc and removal by qualified recycling contractors. Paint waste to be discarded appropriately as per manufacturer recommendations or by using paint waste hardeners. Paint waste must not be disposed of down drains or on-site.
Operational Waste	Separate bins for General Waste (2 x 660L) and Recycling (1 x 660L) to be provided to childcare centre. Ensure qualified Waste & Recycling collection contractors are in place to manage waste collection (Council collection or Private Contractors).
URBAN ECOLOGY	
Biodiversity	Landscaping plants to be Native or Local indigenous plants. Where possible all proposed Plants to be sourced locally. Top & Floor waste to be provided to each FOS / Courtyard.
Communal Spaces	548m ² of communal space is provided for the Childrens Play areas for the Childcare Centre (27% of Site).
INNOVATION	
Innovation	This development is not claiming any initiatives under this category.
BUILDING MATERIALS	
Sustainable Materials	Where timber is proposed in the construction, commitment to use only sustainable timber products with third party certification through schemes such as Forest Stewardship Council (FSC) or Australian Forest Certification Scheme (AFSC), sourced as plantation timber. Where possible and applicable, recycled steel should be used in the construction. Concrete to have 20% recycled content to reduce the use of Portland cement, and be sourced locally where available.

Required Performances				Total System		Daylight
Windows & Glazed Doors	Capral Window Code	Frame	Glazing Type	U-Value	SHGC	T _v
SW Awning Windows	CAP-116-21	Aluminium - Thermally Broken	LB ClrSO 5/12/5	2.70	0.37	0.47
All Other Orientations Awning Windows	CAP-022-06	Aluminium	LB ClrSO 5/12/5	3.60	0.41	0.52
All Hinged Glazed Doors	CAP-501-07	Aluminium	LB ClrSO 5/12/5	3.20	0.40	0.53

NOTE: Window supplier codes listed above are the only systems that can be purchased. No substitutions allowed and assessment updated to confirm compliance is maintained.

Skylight Performances	SHGC (10% Improvement)	U-Value (10% Improvement)
Reception	0.75	7.65
Kids Room 1	0.75	5.13
Kids Room 2	0.75	7.65



- TAB
400m
- MOSSFIEL CHILDRENS CENTRE
550m
- HOPPERS CROSSING
SECONDARY COLLEGE
700m
- KAROBRAN KINDERGARTEN
600m
- MOSSFIEL PRIMARY SCHOOL
750m
- MOSSFIEL KINDERGARTEN
750m
- FOOTBALL CLUB
700m
- ST PERTER APOSTLE PRIMARY
SCHOOL
300m
- WERRIBEE BAPTIST CHURCH
900m
- HEATHDALE CHRISTIAN
COLLEGE
1km
- GLENDALE AGED CARE
1.1km
- WERRIBEE PLAZA
650m
- HOPPERS CROSSING VET
450m
- MERRETT RESERVE
50m

IMAGE 1
18 MCCORMACK CRES



SINGLE STOREY
FACE BRICK
GABLE TILE ROOF
HIGH METAL FENCE

IMAGE 2
16 MCCORMACK CRES



SINGLE STOREY
FACE BRICK
HIPPED TILE ROOF
HIGH METAL FENCE

IMAGE 3
14 MCCORMACK CRES



SINGLE STOREY
FACE BRICK
HIPPED TILE ROOF
NO FENCE

IMAGE 4
12 MCCORMACK CRES (SUBJECT SITE)



SINGLE STOREY
FACE BRICK
HIPPED TILE ROOF
HIGH PALING FENCE

IMAGE 5
10 MCCORMACK CRES (SUBJECT SITE)



SINGLE STOREY
FACE BRICK
HIPPED TILE ROOF
NO FENCE

IMAGE 6
8 MCCORMACK CRES



DOUBLE STOREY
FACE BRICK & RENDER
GABLE METAL ROOF
HIGH METAL FENCE

IMAGE 7
6 MCCORMACK CRES



SINGLE STOREY
FACE BRICK
HIPPED TILE ROOF
NO FENCE

IMAGE 8
12 MERRETT AVE



SINGLE STOREY
FACE BRICK
GABLE TILE ROOF
NO FENCE

IMAGE 9
10 MERRETT AVE



SINGLE STOREY
FACE BRICK
GABLE TILE ROOF
NO FENCE

IMAGE 10
8 MERRETT AVE



SINGLE STOREY
FACE BRICK
GABLE TILE ROOF
NO FENCE

IMAGE 11
6 MERRETT AVE



SINGLE STOREY
FACE BRICK
GABLE TILE ROOF
HIGH METAL FENCE

IMAGE 12
4 MERRETT AVE



SINGLE STOREY
FACE BRICK
GABLE TILE ROOF
NO FENCE

IMAGE 13
12 MCCORMACK CRES (SUBJECT SITE)

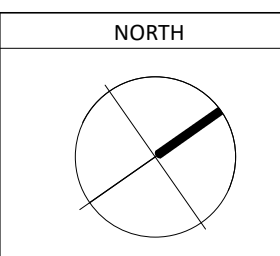


SINGLE STOREY
FACE BRICK
GABLE TILE ROOF
HIGH PALING FENCE

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Drawings are to be read in conjunction with the technical specification.
The drawings have been prepared where plans and setbacks are bounded by the owner's boundaries. Should any discrepancy arise due to the location of fences on the boundary, the owner shall relocate the fence on the boundary should any correction be required.

REV.	DESCRIPTION	DATE



77 CHILDREN CHILDCARE
10 & 12 McCormack Crescent & 4 Merrett Avenue, Hoppers Crossing

TOWN PLANNING - REV A
ISSUED: 17/09/2020

NEIGHBOURHOOD SITE DESCRIPTION

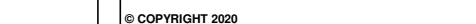
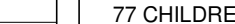
TOWN PLANNING DRAWINGS		REVISION:
Date:	22/04/2020	TP02
Drawn By:	GM	
Checked By:	-	
Scale:		1 : 1000 @A1

McCORMACK CRESCENT



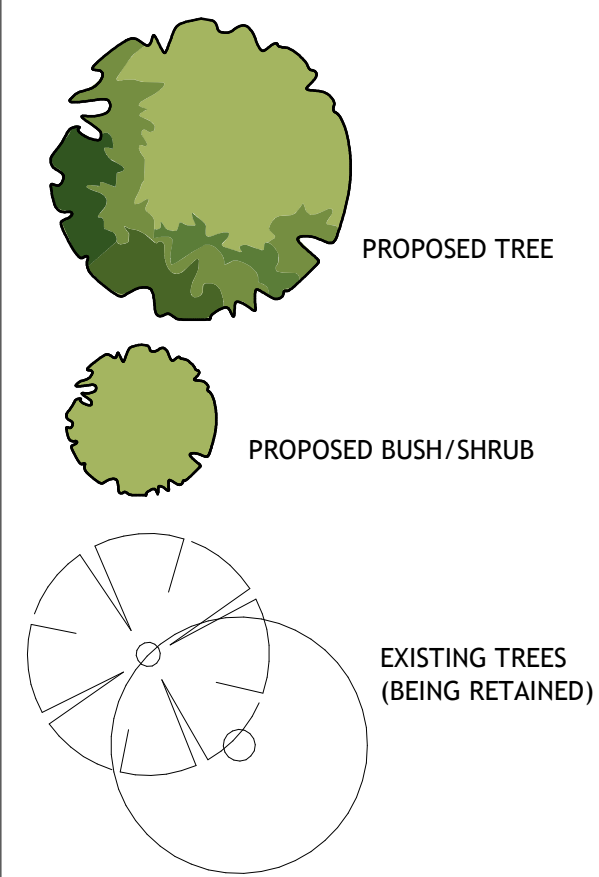
TREE LEGEND	
	EXISTING TREES TO BE REMOVED
	EXISTING TREES TO BE RETAINED
	STRUCTURAL ROOT ZONE
	TREE PROTECTION ZONE

DEMOLITION LEGEND	
	ALL EXISTING STRUCTURES, GROUND COVERING, ETC. WITH IN THE SITE (10 & 12 MCCORMACK CRESCENT & 4 MERRETT AVENUE, HOPPERS CROSSING) ASWELL AS ALL FENCING TO BE REMOVED/DEMOLISHED

	A. CORRECTION 2020	REV.	DESCRIPTION	DATE		77 CHILDREN CHILDCARE 10 12 McCormack Crescent & 4 Merrett Avenue, Hoppers Crossing	TOWN PLANNING - REV A ISSUED: 17/09/2020	EXISTING CONDITIONS / DEMOLITION PLAN		REVISION:		
	Copyright of designs shown herein is retained by this office. Written authority is required for any application. Figure dimensions take precedence over scaled dimensions. All dimensions and areas shown are approximate and subject to change. The contractor is to verify all dimensions on site prior to commencing work. Drawings are to be used in conjunction with the technical specification.							TOWN PLANNING DRAWINGS				
	The drawings have been prepared where plans and setbacks are bounded by the relevant boundaries. Should any discrepancy arise due to the location of a fence on the boundary, the owner shall remove the fence on the boundary should any contractual fence arise.							Date:	22/04/2020		TP03	
								Drawn By:	GM			
					Checked By:	-	Scale:	1 : 100 @A1				

T.B.M. ALUM. RIVET IN CROSSING
RL. 27.48 AHDT.B.M. ALUM. RIVET IN CROSSING
RL. 27.35 AHD

SERVICES LEGEND	
—W—W—	WATER
—G—G—	GAS
—E—E—	ELECTRICITY (UNDERGROUND)
—OHVE—OHVE—	ELECTRICITY (OVERHEAD)
—D—D—	DRAINAGE
—S—S—	SEWER
—T—T—	TELSTRA
**EXACT LOCATION OF SERVICES ARE TO BE CONFIRMED ON SITE	

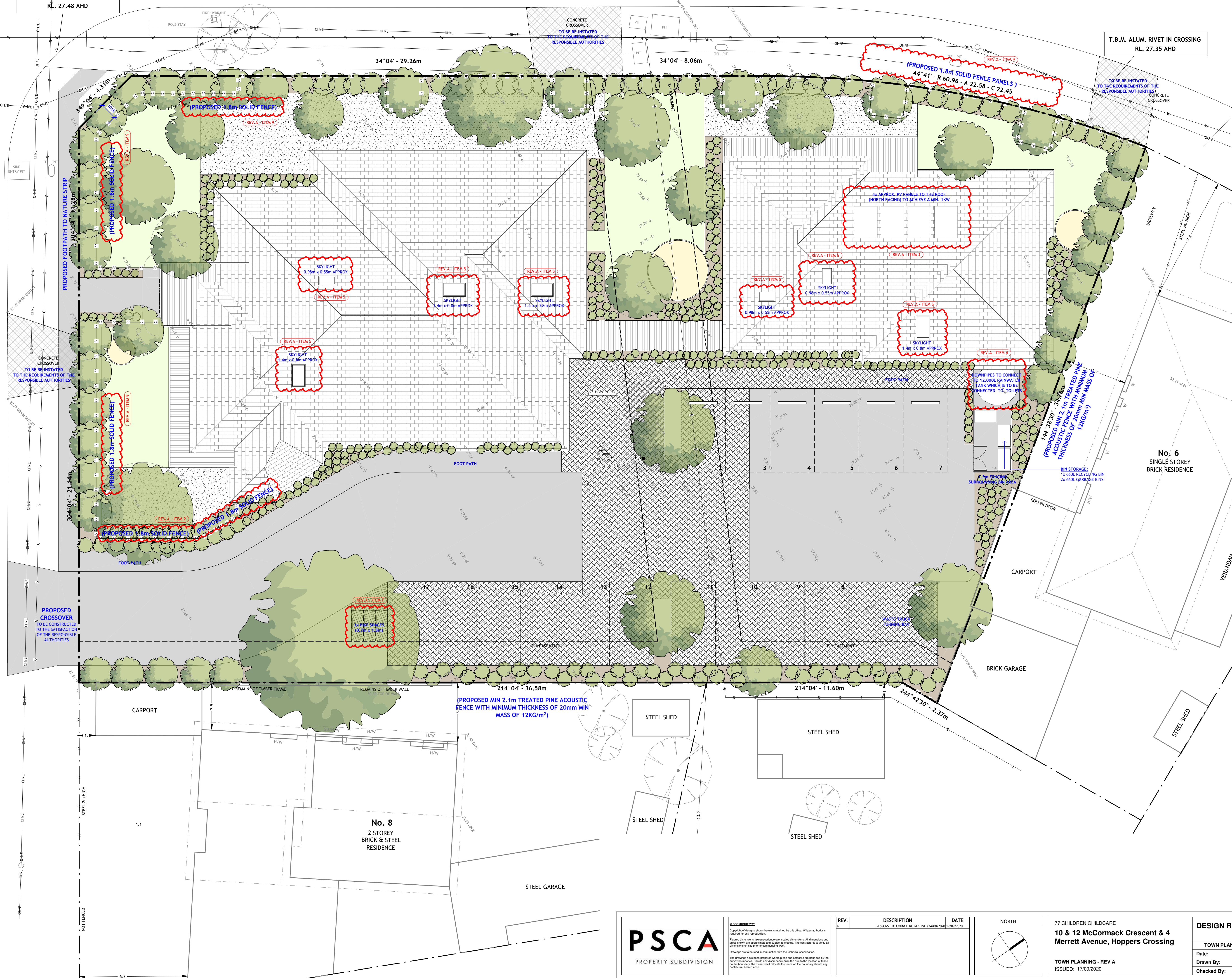
LANDSCAPE SCHEDULE:
LANDSCAPING SHOWN IS INDICATIVE ONLY. REFER TO LANDSCAPE PLAN
COMPLETED BY JACK WELBO

SITE - AREA SCHEDULE

NUMBER OF CHILDREN:	77
NUMBER OF STAFF:	14
CHILDREN ROOMS	
• ROOM 1 (3-6 YEARS) 22 CHILDREN	
72m² (71.5m² MIN. REQUIRED)	
• ROOM 2 (3-6 YEARS) 22 CHILDREN	
72m² (71.5m² MIN. REQUIRED)	
• ROOM 3 (3-6 YEARS) 22 CHILDREN	
72m² (71.5m² MIN. REQUIRED)	
• ROOM 4 (0-3 YEARS) 12 CHILDREN	
42m² (39m² MIN. REQUIRED)	
CHILDREN OUTDOOR PLAY	
• OUTDOOR PLAY (0-3 YEARS)	
85m² (84m² MIN. REQUIRED)	
• OUTDOOR PLAY (3-6 YEARS)	
463m² (462m² MIN. REQUIRED)	

NUMBER OF PARKLING SPACES: 17

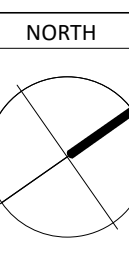
SITE AREA:	1997m²
BUILDING AREA:	546m²
GARDEN AREA:	759m² (38.0%)
SITE COVERAGE:	546m² (27.3%)
SITE PERMEABILITY:	1076m² (53.9%)



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REV.	DESCRIPTION	DATE
A	RESPONSE TO COUNCIL RFI RECEIVED 24/08/2020 17/09/2020	



77 CHILDREN CHILDCARE
10 & 12 McCormack Crescent & 4
Merrett Avenue, Hoppers Crossing

TOWN PLANNING - REV A
ISSUED: 17/09/2020

DESIGN RESPONSE / SITE PLAN

TOWN PLANNING DRAWINGS		REVISION: A
Date:	22/04/2020	TP04
Drawn By:	GM	
Checked By:	-	
Scale:	1 : 100 @A1	

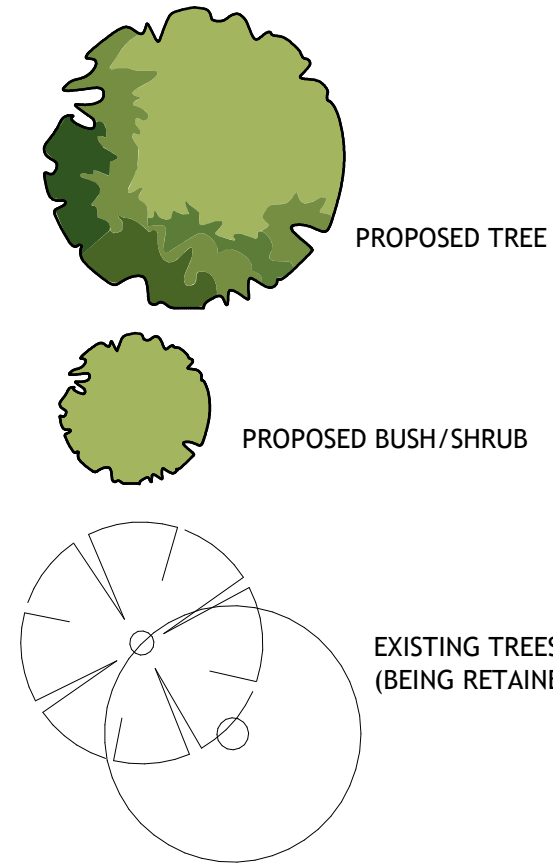
T.B.M. ALUM. RIVET IN CROSSING
RL. 27.48 AHD

T.B.M. ALUM. RIVET IN CROSSING
RL. 27.35 AHD

SERVICES LEGEND	
—W—W—	WATER
—G—G—	GAS
—E—E—	ELECTRICITY (UNDERGROUND)
—OHE—OHE—	ELECTRICITY (OVERHEAD)
—D—D—	DRAINAGE
—S—S—	SEWER
—T—T—	TELSTRA
**EXACT LOCATION OF SERVICES ARE TO BE CONFIRMED ON SITE	

LANDSCAPE SCHEDULE:

LANDSCAPING SHOWN IS INDICATIVE ONLY. REFER TO LANDSCAPE PLAN COMPLETED BY "JACK MERLO"

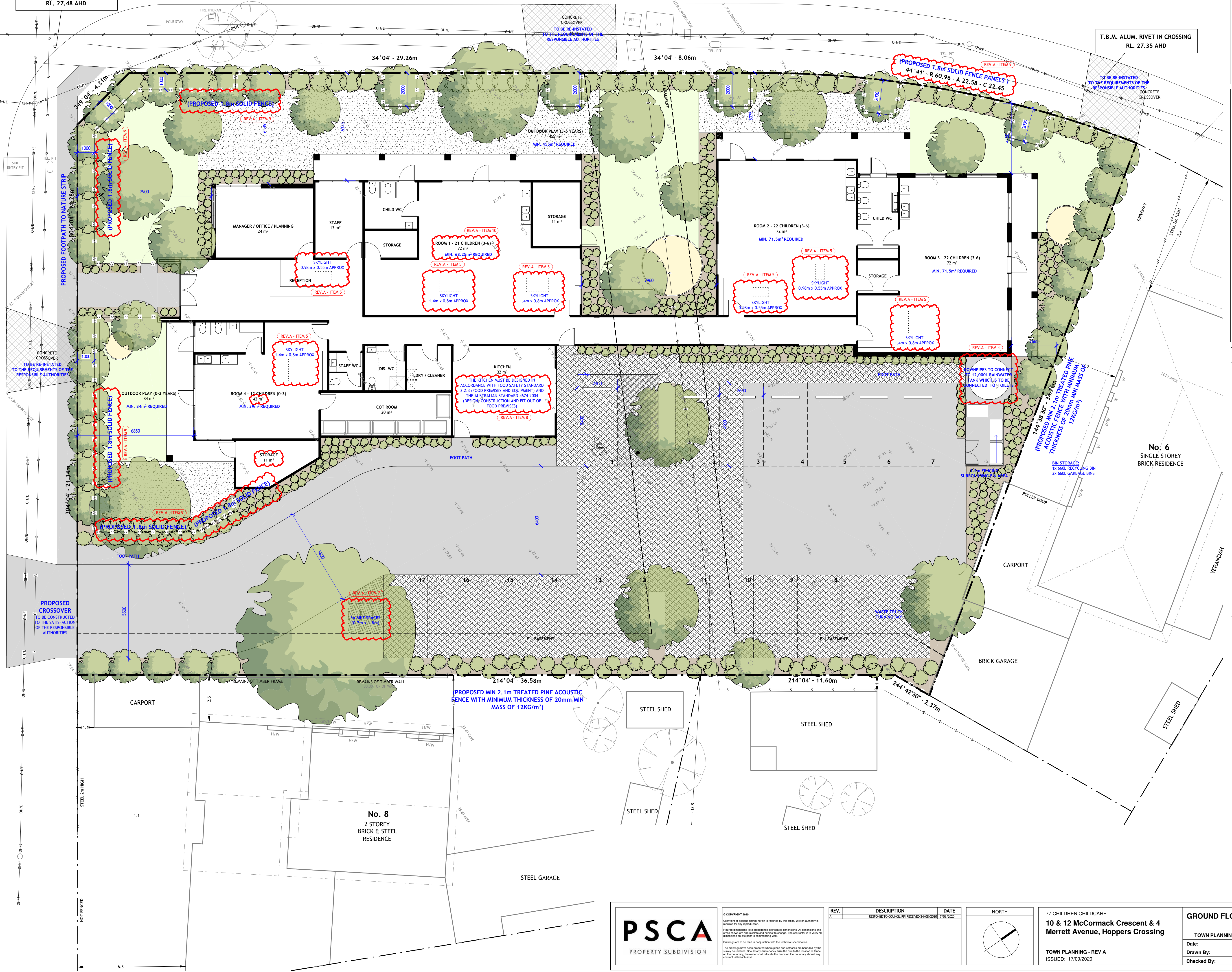


SITE - AREA SCHEDULE

NUMBER OF CHILDREN:	77	REV. A - ITEM 10
NUMBER OF STAFF:	14	REV. A - ITEM 1
CHILDREN ROOMS		
• ROOM 1 (3-6 YEARS) 22 CHILDREN	72m ² (71.5m ² MIN. REQUIRED)	
• ROOM 2 (3-6 YEARS) 22 CHILDREN	72m ² (71.5m ² MIN. REQUIRED)	
• ROOM 3 (3-6 YEARS) 22 CHILDREN	72m ² (71.5m ² MIN. REQUIRED)	
• ROOM 4 (0-3 YEARS) 12 CHILDREN	42m ² (39m ² MIN. REQUIRED)	
CHILDREN OUTDOOR PLAY		
• OUTDOOR PLAY (0-3 YEARS)	85m ² (84m ² MIN. REQUIRED)	
• OUTDOOR PLAY (3-6 YEARS)	463m ² (462m ² MIN. REQUIRED)	

NUMBER OF PARKLING SPACES: 17

SITE AREA:	1997m ²
BUILDING AREA:	546m ²
GARDEN AREA:	759m ² (38.0%)
SITE COVERAGE:	546m ² (27.3%)
SITE PERMEABILITY:	1076m ² (53.9%)



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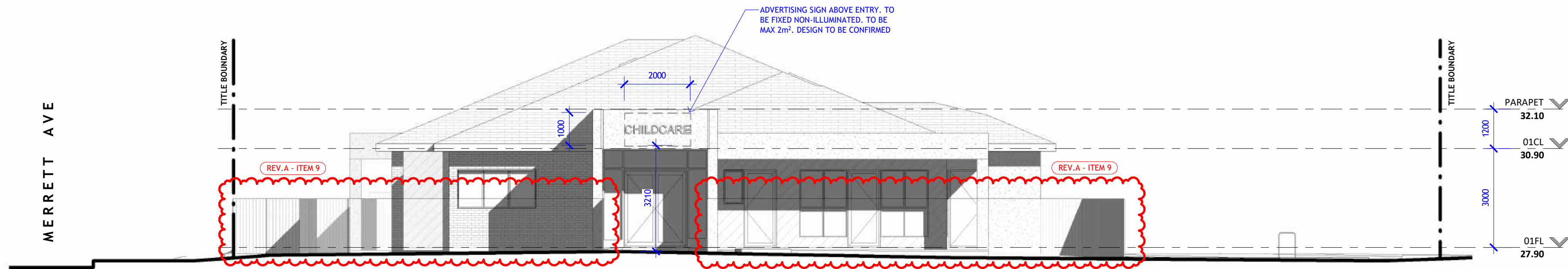
REV.	DESCRIPTION	DATE
A	RESPONSE TO COUNCIL RFI RECEIVED 24/08/2020	17/09/2020

NORTH

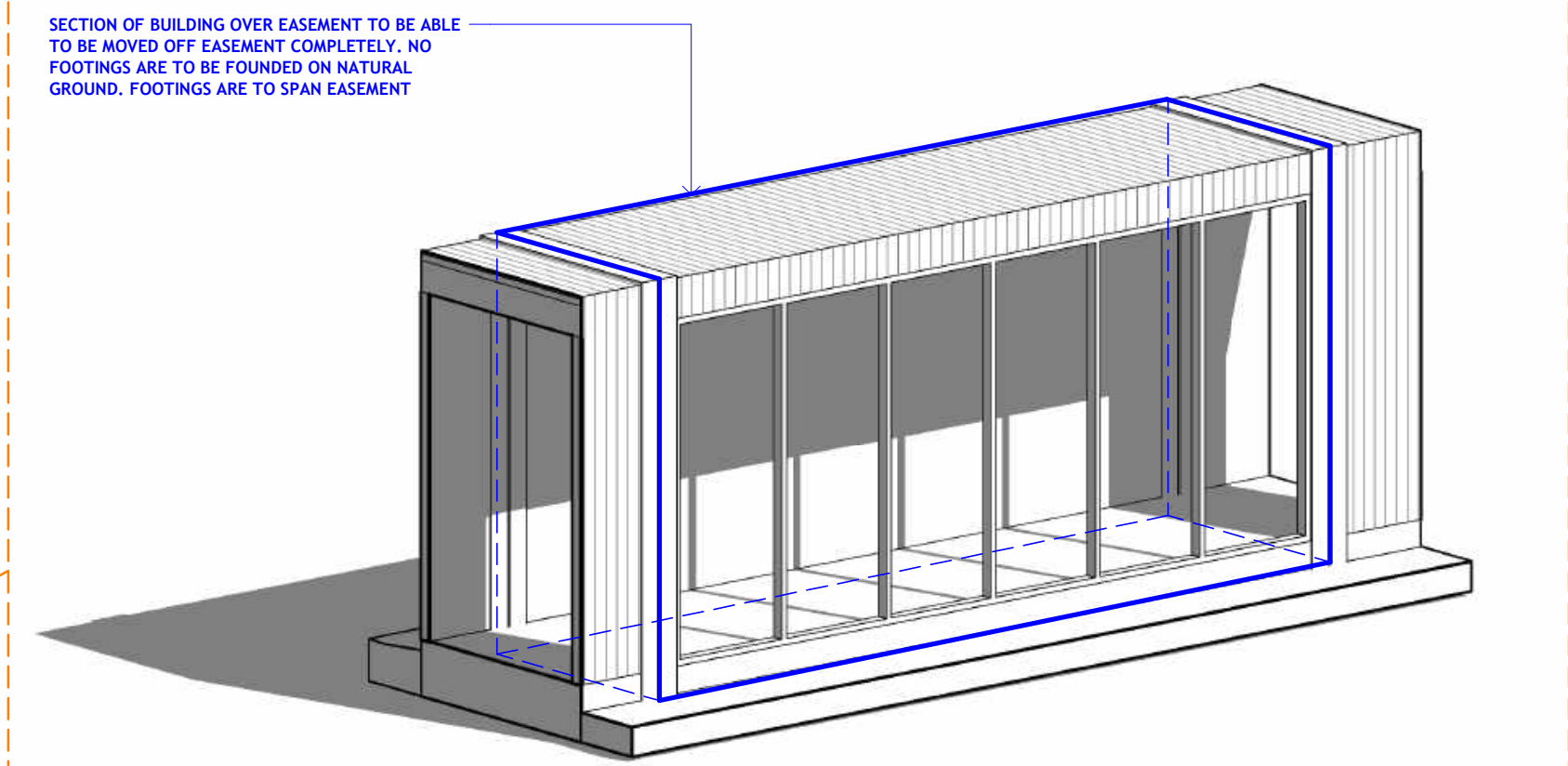
77 CHILDREN CHILDCARE
10 & 12 McCormack Crescent & 4
Merrett Avenue, Hoppers Crossing

TOWN PLANNING - REV A
ISSUED: 17/09/2020

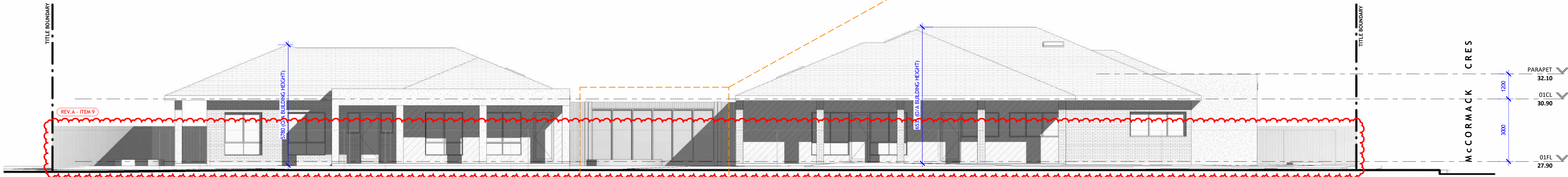
GROUND FLOOR PLAN		REVISION: A
TOWN PLANNING DRAWINGS		TP05 Scale: 1 : 100 @A1
Date:	22/04/2020	
Drawn By:	GM	
Checked By:	-	



WEST ELEVATION (McCORMACK CRES)
1 : 100



REMOVABLE BUILDING OVER EASEMENT



NORTH ELEVATION (MERRETT AVE)
1 : 100



EAST ELEVATION
1 : 100

MATERIALS SCHEDULE

GRAPHIC REPRESENTATION ON PLANS	MATERIAL GRAPHIC		BRICK RED BRICK - OR SIMILAR
			RENDER WHITE RENDER - OR SIMILAR
			COLORBOND CLADDING COLORBOND "WOODLAND GREY" - OR SIMILAR
			VERTICAL WEATHERBOARDS DARK GREY - OR SIMILAR
			WINDOW & DOOR FRAMING COLORBOND "NIGHT SKY" - OR SIMILAR
			FACIAS, GUTTERS, DOWNPIPES COLORBOND "NIGHT SKY" - OR SIMILAR
			TILE ROOFING GREY - OR SIMILAR



SOUTH ELEVATION
1 : 100



1:200 (APPROX)

An architectural elevation drawing of a two-story building with a gabled roof. A red scalloped line is drawn across the middle of the building, indicating a height limit. The building is shown within a blue dashed border.

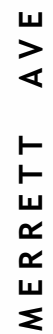


1 : 200



1:200 (APPROX)

Architectural drawing of a building facade. The building has a central entrance with a sign that reads "CHILD CARE". The drawing is annotated with red cloud-like shapes. Below the left cloud is the text "REV. A - ITEM 9". Below the right cloud is the text "REV. A - ITEM 9".



1 : 200



GARDEN AREA

SITE - AREA SCHEDULE

NUMBER OF CHILDREN: 77

NUMBER OF STAFF: 14

CHILDREN ROOMS

- ROOM 1 (3-6 YEARS) 22 CHILDREN 72m² (71.5m² MIN. REQUIRED)
- ROOM 2 (3-6 YEARS) 22 CHILDREN 72m² (71.5m² MIN. REQUIRED)
- ROOM 3 (3-6 YEARS) 22 CHILDREN 72m² (71.5m² MIN. REQUIRED)
- ROOM 4 (0-3 YEARS) 12 CHILDREN 42m² (39m² MIN. REQUIRED)

CHILDREN OUTDOOR PLAY

- OUTDOOR PLAY (0-3 YEARS) 85m² (84m² MIN. REQUIRED)
- OUTDOOR PLAY (3-6 YEARS) 463m² (462m² MIN. REQUIRED)

NUMBER OF PARKLING SPACES: 17

SITE AREA: 1997m²

BUILDING AREA: 546m²

GARDEN AREA: 759m² (38.0%)

SITE COVERAGE: 546m² (27.3%)

SITE PERMEABILITY: 1076m² (53.9%)

The main site plan illustrates the layout of the 77 Children Childcare facility. The building footprint is centrally located, with various rooms and outdoor play areas. Three distinct garden areas are highlighted in green: a large central garden (674 m²), a smaller garden to the south (77 m²), and a small garden to the east (8 m²). The plan shows the building's relationship to Merrett Avenue to the north and McCormack Crescent to the west. Key features include parking spaces, a carport, a brick garage, and several steel sheds. Easements and setbacks are clearly marked, along with various utility lines and structures like a fire hydrant and water control box. Dimensions for lot boundaries and building setbacks are provided throughout the plan.

MCCORMACK CRESCENT

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REV.	DESCRIPTION	DATE
A	RESPONSE TO COUNCIL RFI RECEIVED 24/08/2020	17/09/2020

NORTH

77 CHILDREN CHILDCARE

10 & 12 McCormack Crescent & 4 Merrett Avenue, Hoppers Crossing

TOWN PLANNING - REV A

ISSUED: 17/09/2020

GARDEN AREA PLAN		REVISION: A
TOWN PLANNING DRAWINGS		TP08
Date:	22/04/2020	
Drawn By:	GM	
Checked By:	-	
Scale:		1 : 100 @A1

SHADOW LEGEND

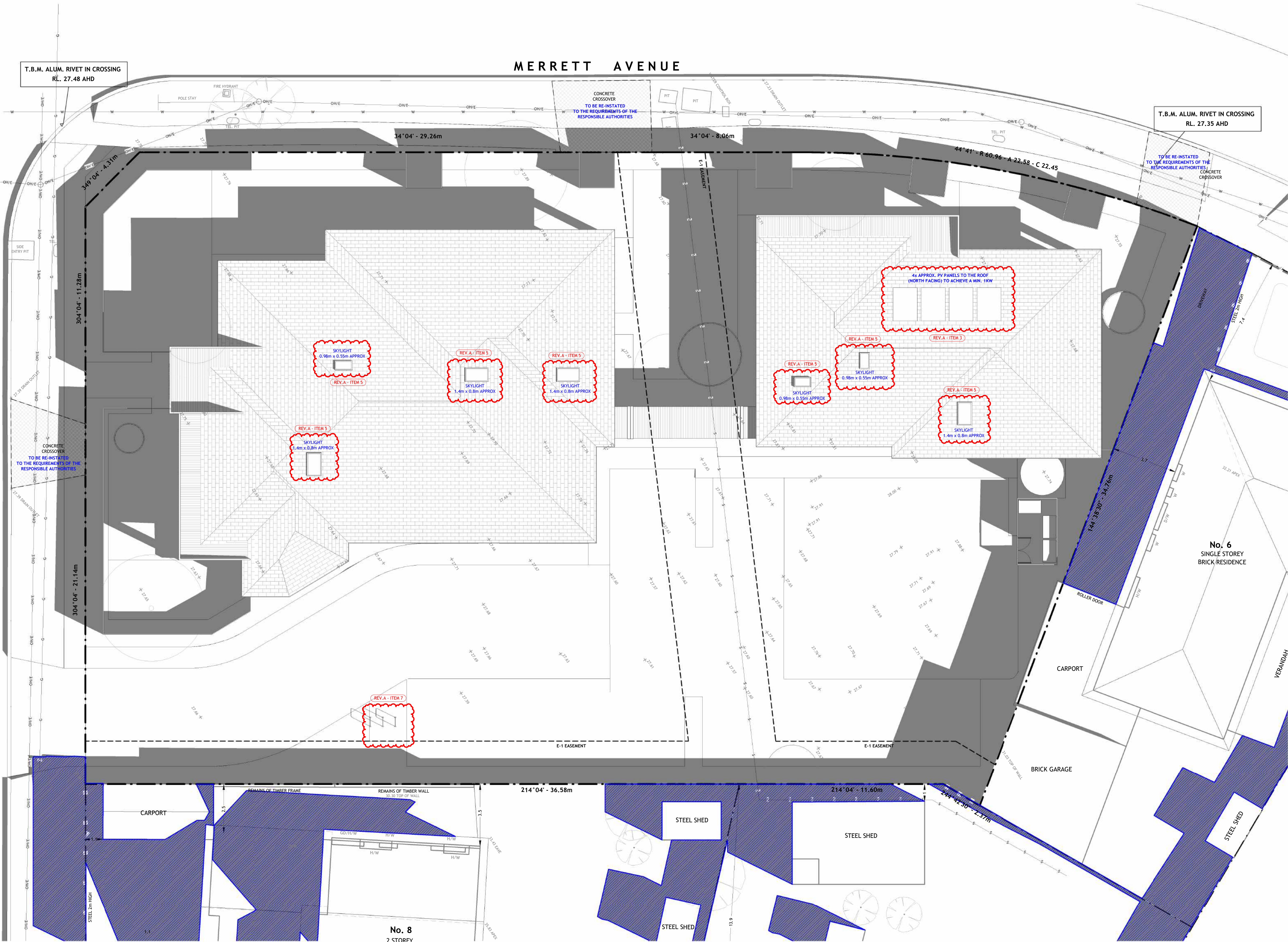
EXISTING SHADOWS

PROPOSED SHADOWS

AREA WHERE EXISTING SHADOWS AND PROPOSED SHADOWS OVERLAP

MCCORMACK CRESCENT

MERRETT AVENUE



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Drawings are to be read in conjunction with the technical specification.

The drawings have been prepared where plans and setbacks are bounded by the survey boundaries. Should any discrepancy arise due to the location of fences on the boundary, the owner shall relocate the fence on the boundary should any contractual dispute arise.

REV.	DESCRIPTION	DATE
A	RESPONSE TO COUNCIL RFI RECEIVED 24/08/2020	17/09/2020

NORTH

77 CHILDREN CHILDCARE

10 & 12 McCormack Crescent & 4 Merrett Avenue, Hoppers Crossing

TOWN PLANNING - REV A

ISSUED: 17/09/2020

SHADOW DIAGRAM 9am - 23rd SEPTEMBER

REVISION: A

TOWN PLANNING DRAWINGS	
Date:	22/04/2020
Drawn By:	GM
Checked By:	-

TP09

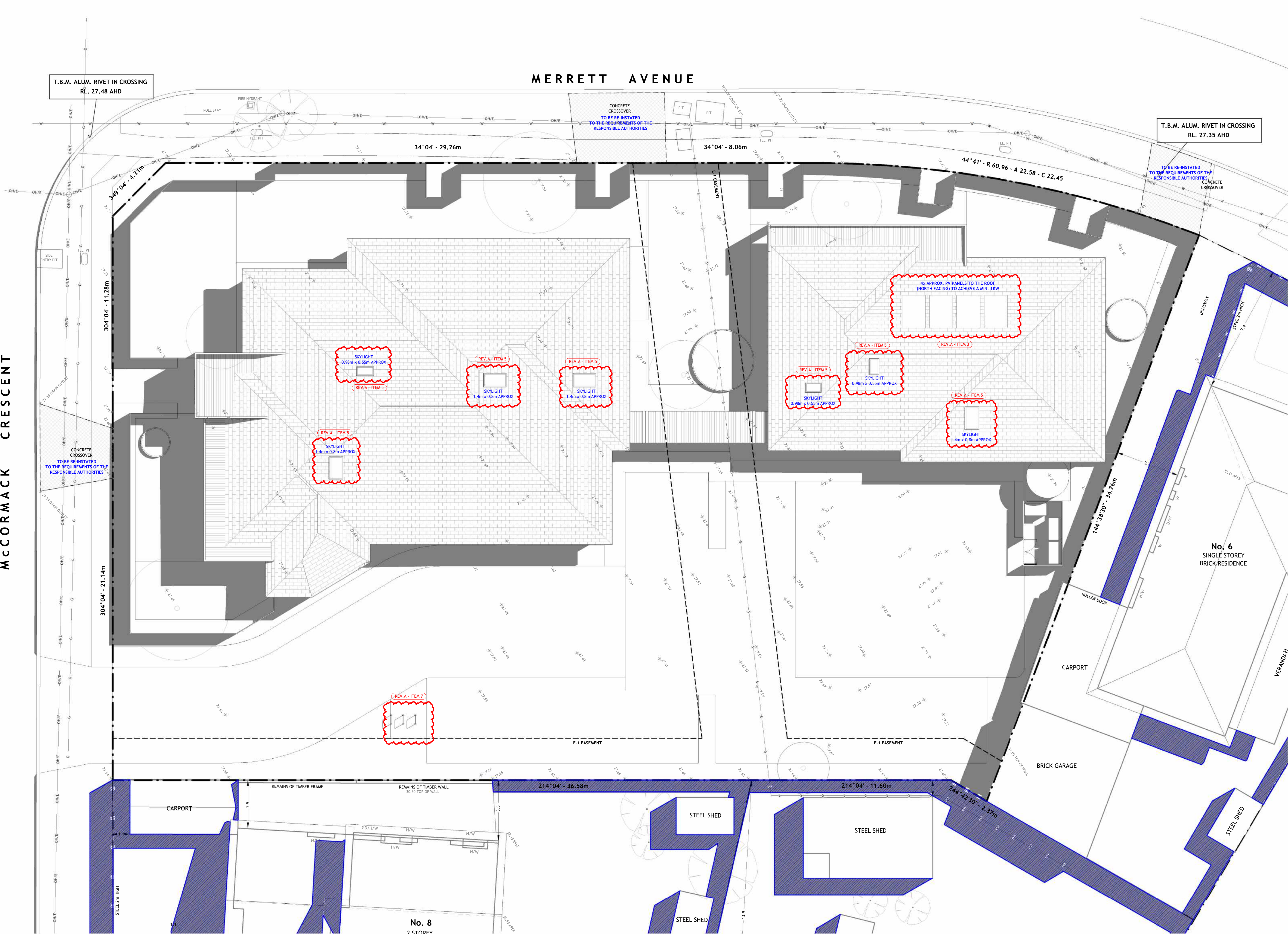
Scale: 1 : 100 @A1

SHADOW LEGEND

EXISTING SHADOWS

PROPOSED SHADOWS

AREA WHERE EXISTING SHADOWS AND PROPOSED SHADOWS OVERLAP



MCCORMACK CRESCENT

MERRETT AVENUE

T.B.M. ALUM. RIVET IN CROSSING
RL. 27.48 AHD

T.B.M. ALUM. RIVET IN CROSSING
RL. 27.35 AHD

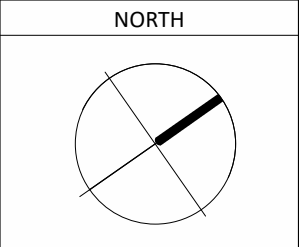
No. 6
SINGLE STOREY
BRICK RESIDENCE

No. 8
2 STOREY

PSCA
PROPERTY SUBDIVISION

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Drawings are to be read in conjunction with the technical specification.
The drawings have been prepared where plans and setbacks are bounded by the survey boundaries. Should any discrepancy arise the client is to liaise with the surveyor on the boundary. The owner shall relocate the fence on the boundary should any correction be required.

REV.	DESCRIPTION	DATE
A	RESPONSE TO COUNCIL RFI RECEIVED 24/08/2020 17/09/2020	



77 CHILDREN CHILDCARE
10 & 12 McCormack Crescent & 4
Merrett Avenue, Hoppers Crossing

TOWN PLANNING - REV A
ISSUED: 17/09/2020

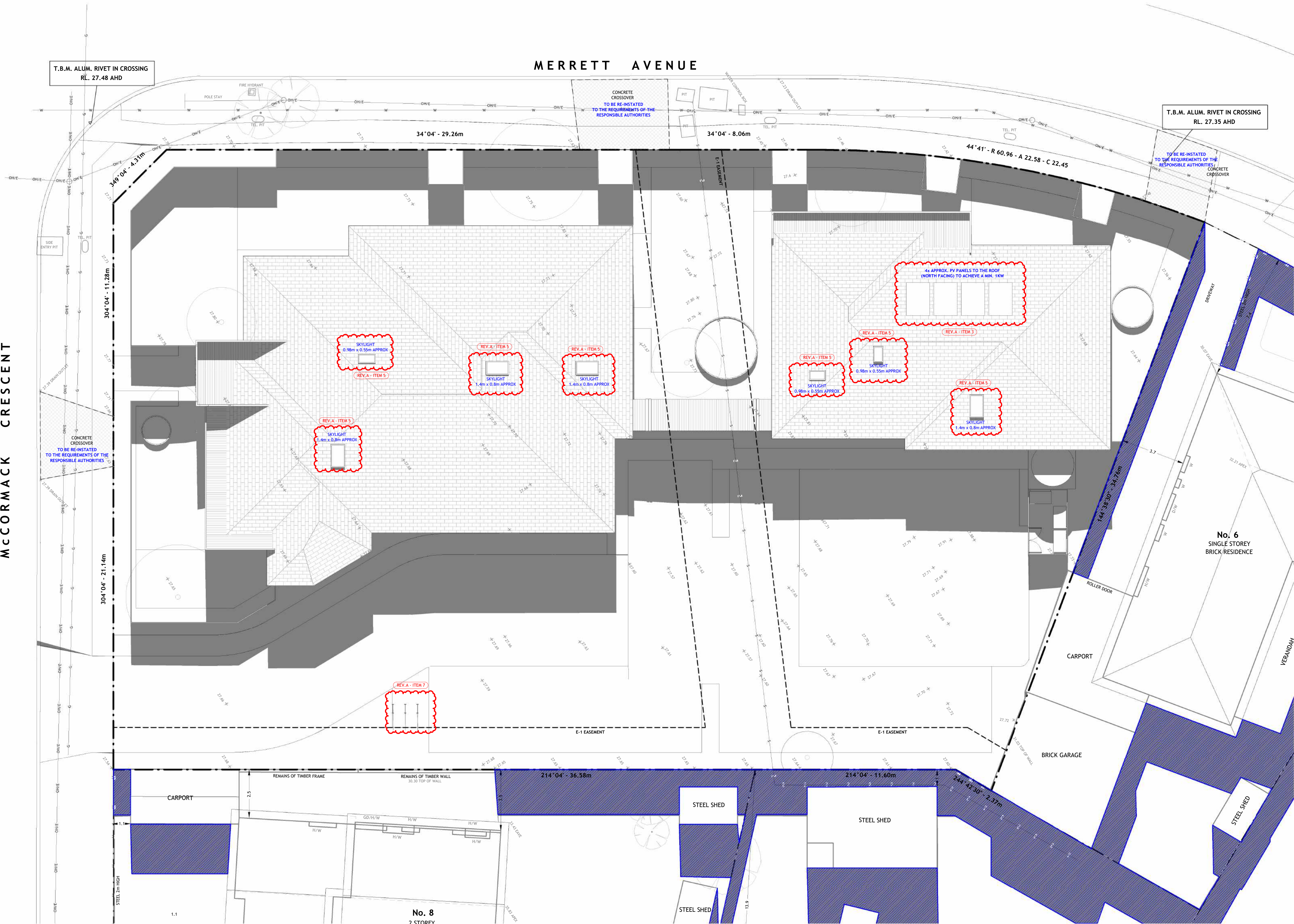
SHADOW DIAGRAM 12pm - 23rd SEPTEMBER			
TOWN PLANNING DRAWINGS			REVISION: A
Date:	22/04/2020	TP10	
Drawn By:	GM		
Checked By:	-	Scale:	1 : 100 @A1

SHADOW LEGEND

EXISTING SHADOWS

PROPOSED SHADOWS

AREA WHERE EXISTING SHADOWS AND PROPOSED SHADOWS OVERLAP



McCORMACK CRESCENT

T.B.M. ALUM. RIVET IN CROSSING
RL. 27.48 AHD

T.B.M. ALUM. RIVET IN CROSSING
RL. 27.35 AHD

CONCRETE CROSSOVER
TO BE RE-INSTATED
TO THE REQUIREMENTS OF THE
RESPONSIBLE AUTHORITIES

TO BE RE-INSTATED
TO THE REQUIREMENTS OF THE
RESPONSIBLE AUTHORITIES
CONCRETE CROSSOVER

CONCRETE CROSSOVER
TO BE RE-INSTATED
TO THE REQUIREMENTS OF THE
RESPONSIBLE AUTHORITIES

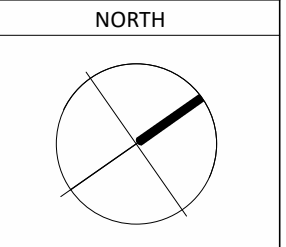
No. 6
SINGLE STOREY
BRICK RESIDENCE

No. 8
2 STOREY

PSCA
PROPERTY SUBDIVISION

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The drawings have been prepared where plans and setbacks are bounded by the lot boundaries. Should any discrepancy arise due to the location of fences on the boundary, the owner shall relocate the fence on the boundary should any contractual dispute arise.

REV.	DESCRIPTION	DATE
A	RESPONSE TO COUNCIL RFI RECEIVED 24/08/2020	17/09/2020



77 CHILDREN CHILDCARE
10 & 12 McCormack Crescent & 4
Merrett Avenue, Hoppers Crossing

TOWN PLANNING - REV A
ISSUED: 17/09/2020

SHADOW DIAGRAM 3pm - 23rd SEPTEMBER			REVISION: A
TOWN PLANNING DRAWINGS		TP11	
Date:	22/04/2020		
Drawn By:	GM		
Checked By:	-	Scale:	1 : 100 @A1

