

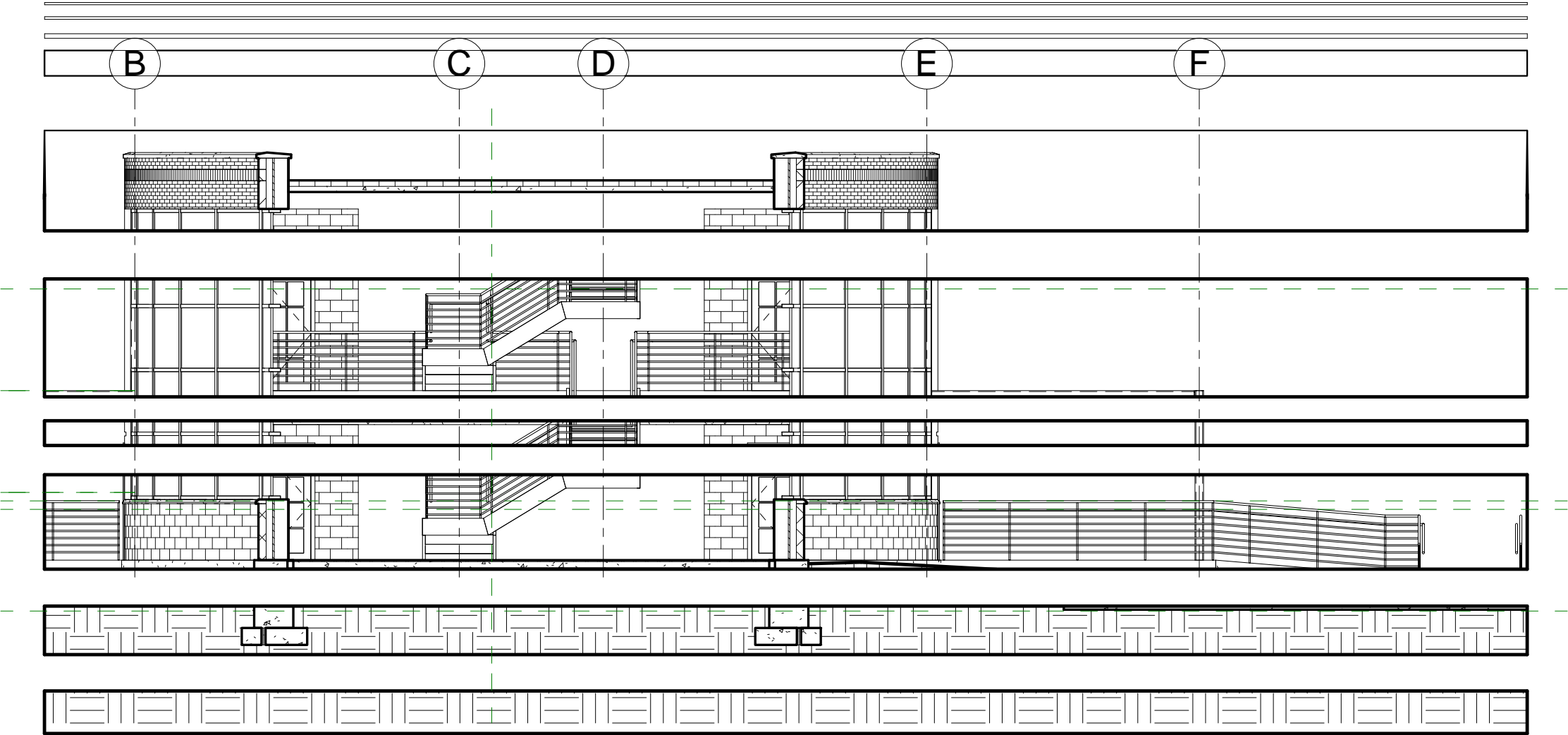
REVIT 2013

BIM TECHNOLOGY / 3D SOFTWARE VISUAL PERFORMANCE ANALYSIS.

NOTE: THIS PRESENTATION'S PRIMARY OBJECTIVE IS TO SIMULATE A DESIGN PROPOSAL BETWEEN THE CLIENT AND THEIR DESIGNER. ALL VIEWS WERE GENERATED DIRECTLY FROM THE MODEL AND WERE INTENTIONALLY PLACED ON THE SHEETS UNTOUCHED AS GENERAL SCHEMATIC DESIGN INTENT WITH FEW EXCEPTIONS TO SATISFY THE CLIENT'S TIMELINE REQUIREMENTS OF THE DELIVERABLES.

THE ADDITION OF SCHEDULES AND ALL OTHER UNNECESSARY CD ELEMENTS, (I.E., DOOR, WINDOW AND WALL TAGS, ETC.), NOT TYPICALLY SHOWN TO A CLIENT, WERE INCORPORATED TO DEMONSTRATE COMMAND AND CONTROL OF REVIT 2013; THEREFORE, THE 65 PAGES HERE ARE A PARTIAL DOCUMENTATION ONLY.

THE SECONDARY OBJECTIVE WAS TO ADAPT PRELIMINARY DESIGNS OF A 59,372 SQ. FT. BUILDING TO AN 11" X 17" SHEET FOR THE SOLE PURPOSE OF DEMONSTRATING THE SOFTWARE'S FLEXIBILITY.



Joseph Fontana
Architectural Designer
CADD-Ops & Protocol Consultant

New York Studio
38 West 75th Street, Apt. 1R
New York, NY 10023
212 724 6570
Shore Studios
104 Hudson Avenue
Red Bank, NJ 07701
Fontana.Architectural.Design@gmail.com
FontanaArchitecturalDesign.com

COLUMBIA UNIVERSITY Capital Improvement Program THE REVIT CENTER

THIS DRAWING REPRESENTS VISUAL CONCEPTS AND CONSTRUCTION SUGGESTIONS AS THEY VISUALLY EFFECT THE FINAL PRODUCT. THE DESIGNER DOES NOT ASSUME LIABILITY FOR ENGINEERING, CONSTRUCTION OR USE. THIS DESIGN PACKAGE IS AN INSTRUMENT OF SERVICE AND IS THE PROPERTY OF THE DESIGNER. ALL DRAWINGS, SPECIFICATIONS AND COPIES THEREOF FURNISHED BY FONTANA ARCHITECTURAL DESIGN ARE AND SHALL REMAIN THE SOLE PROPERTY OF THE FIRM. ANY USE OF REPRODUCTION OF THIS DRAWING, IN WHOLE OR IN PART, BY ANY MEANS WHATSOEVER, IS STRICTLY PROHIBITED EXCEPT WITH THE SPECIFIC WRITTEN CONSENT OF FONTANA ARCHITECTURAL DESIGN. INFRINGEMENTS WILL BE PROSECUTED. COPYRIGHT © 2012. ALL RIGHTS RESERVED. FONTANA ARCHITECTURAL DESIGN.

CONTRACTOR SHALL VERIFY ALL FIELD CONDITIONS AND BE RESPONSIBLE FOR FIELD FIT AND QUANTITY OF WORK. NO ALLOWANCES SHALL BE MADE ON BEHALF OF THE CONTRACTOR FOR ERROR OR NEGLECT ON THEIR PART.

ALL SHOP AND/OR CONSTRUCTION DRAWINGS, FINISH SAMPLES AND/OR CHANGES MUST BE SENT TO FONTANA ARCHITECTURAL DESIGN FOR FINAL APPROVAL AND SIGN OFF BEFORE CONSTRUCTION.

NO.	ISSUE	DATE

COVER

PROJECT: 10010
DATE: 12-10-2012
DRAWN: Joseph Fontana
REVIEWED: J. FONTANA
SCALE: 1/8" = 1'-0"

A000

New York Studio
38 West 75th Street, Apt. 1R
New York, NY 10023
212 724 6570

Shore Studios
104 Hudson Avenue
Red Bank, NJ 07701

Fontana.Architectural.Design@gmail.com
FontanaArchitecturalDesign.com

COLUMBIA
UNIVERSITY
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NO.	ISSUE	DATE

CONSULTANTS /
SHEETLIST

PROJECT:	10010
DATE:	12-10-2012
DRAWN:	Joseph Fontana
REVIEWED:	J. FONTANA
SCALE:	

A001

ARCHITECTS, LLC

PRINCIPAL'S NAME
CONTACT NAME

STREET ADDRESS
FLOOR, OFFICE
CITY, STATE 00000

WWW.ARCHITECTS.COM

M 212 555 1212
F 212 555 1212
C 212 555 1212

ACCCOSTICAL ENGINEERING, INC.

PRINCIPAL'S NAME
CONTACT NAME

STREET ADDRESS
FLOOR, OFFICE
CITY, STATE 00000

WWW.ACCOSTICAL.COM

M 212 555 1212
F 212 555 1212
C 212 555 1212

STRUCTURAL ENGINEERING, INC.

PRINCIPAL'S NAME
CONTACT NAME

STREET ADDRESS
FLOOR, OFFICE
CITY, STATE 00000

WWW.STRUCTURAL.COM

M 212 555 1212
F 212 555 1212
C 212 555 1212

ADVANCED COMPUTER
TECHNOLOGIES & EDUCATIONAL
RESEARCH CONSULTANT

PRINCIPAL'S NAME
CONTACT NAME

STREET ADDRESS
FLOOR, OFFICE
CITY, STATE 00000

WWW.COMPUTERTECHNOLOGIES.COM

M 212 555 1212
F 212 555 1212
C 212 555 1212

MECHANICAL ENGINEERING, INC.

PRINCIPAL'S NAME
CONTACT NAME

STREET ADDRESS
FLOOR, OFFICE
CITY, STATE 00000

WWW.MECHANICAL.COM

M 212 555 1212
F 212 555 1212
C 212 555 1212

LANDSCAPE ARCHITECTS

PRINCIPAL'S NAME
CONTACT NAME

STREET ADDRESS
FLOOR, OFFICE
CITY, STATE 00000

WWW.LANDSCAPEARCHITECTS.COM

M 212 555 1212
F 212 555 1212
C 212 555 1212

LIGHTING CONSULTANT, INC.

PRINCIPAL'S NAME
CONTACT NAME

STREET ADDRESS
FLOOR, OFFICE
CITY, STATE 00000

WWW.LIGHTING.COM

M 212 555 1212
F 212 555 1212
C 212 555 1212

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A001	CONSULTANTS / SHEETLIST	12/29/12
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AS01.2	SPECIFICATIONS	12/09/12
AS01.3	SPECIFICATIONS	12/09/12
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AS02.0	ROOM LEGEND	12/09/12
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AV003.1a	SOUTHWEST ENTRANCE	01/22/13
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SECTION 01000
GENERAL CONDITIONS

1. BIDDERS ARE INSTRUCTED TO VISIT AND INSPECT THE PREMISES PRIOR TO SUBMITTING THEIR PROPOSALS AND TO FAMILIARIZE THEMSELVES WITH THE CONDITIONS UNDER WHICH THE WORK WILL BE PERFORMED. NO SUBSEQUENT EXTRAS OR ADDITIONS WILL BE ALLOWED ON ANY CLAIM OF LACK OF KNOWLEDGE OF CONDITIONS OR CIRCUMSTANCES ABOUT WHICH THE BIDDER COULD HAVE INFORMED HIMSELF.

2. BIDDERS SHALL MAKE KNOWN TO THE FONTANA ARCHITECTURAL DESIGN AND THE CLIENT, LIMITATIONS, EXCLUSIONS, OR MODIFICATIONS TO THE PROJECT DURING THE BID PHASE OF THE PROJECT UNLESS NOTED THEY WILL BE PRESUMED INCLUDED.

3. ALL CONTRACTORS INVOLVED IN THIS WORK SHALL CARRY PROPERTY DAMAGE AND PUBLIC LIABILITY INSURANCE AS REQUIRED BY GOVERNMENTAL AGENCIES HAVING JURISDICTION AND COMPLY WITH STATUTORY REQUIREMENTS FOR DISABILITY AND WORKER'S COMPENSATION. THEY WILL COMPLY WITH ALL RULES AND REGULATIONS DICTATED BY THE CLIENT AND THE CONDITIONS OF THE JOB. INSURANCE SHALL PROTECT THE CLIENT AND ANY CONTRACTORS NEGLIGENCE. A PROPERLY EXECUTED CERTIFICATE OF INSURANCE SHALL BE SUBMITTED TO OWNER PRIOR TO THE COMMENCEMENT OF ANY WORK.

4. THE CONTRACTORS SHALL REVIEW ALL PLANS AND SPECIFICATIONS AND VERIFY ALL GOVERNING DIMENSIONS AT THE BUILDING PRIOR TO THE COMMENCEMENT OF WORK. HE SHALL EXAMINE ALL ADJOINING WORK OR AREAS UPON WHICH THE PERFORMANCE OF HIS WORK IS IN ANY WAY DEPENDENT. ANY VARIATIONS OR DISCREPANCIES SHALL BE REPORTED WITH ALL DUE EXPEDIENCY FOR THE WORK IN QUESTION TO FONTANA ARCHITECTURAL DESIGN IN WRITING. ANY AND ALL ERRORS AND/OR OMISSIONS THAT OCCUR AS A RESULT OF HIS FAILURE TO DO SO SHALL BE HIS RESPONSIBILITY.

5. THE CONTRACTOR SHALL COMPLY WITH THE RULES AND REGULATIONS OF THE BUILDING AS TO THE HOURS IF AVAILABILITY OF ELEVATORS AND/OR LOADING DOCKS FOR THE PURPOSE OF DELIVERY. THE MANNER OF HANDLING MATERIALS, EQUIPMENT, AND DEBRIS SO AS TO AVOID CONFLICT AND INTERFERENCE WITH NORMAL BUILDING OPERATIONS.

6. IT SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO COMPLY WITH ALL BUILDING MANAGEMENT REGULATIONS. WHERE THE BUILDING MANAGEMENT FOR ALTERATION WORK, CONSTRUCTION NOTES, OR DRAWINGS CALL FOR ANY WORK OF A MORE STRINGENT NATURE THAT THAT REQUIRED BY THE BUILDING CODE OR ANY OTHER DEPARTMENT HAVING JURISDICTION OVER THE WORK, THE WORK OF A MORE STRINGENT NATURE CALLED FOR BY THE CONTRACT, CONSTRUCTION NOTES, DRAWINGS, OR JOB CONDITIONS SHALL BE FURNISHED IN ALL CASE.

7. WORK IS TO BE PERFORMED IN ACCORDANCE WITH RULES AND REGULATIONS OF GOVERNMENTAL AGENCIES HAVING JURISDICTION AND SHALL CONFORM TO ALL CITY, COUNTY, STATE AND FEDERAL CONSTRUCTION SAFETY AND SANITARY LAWS, CODES, STATUTES AND ORDINANCES. ANY DISCREPANCIES, VARIATIONS OR OMISSIONS IN THE CONTRACT DOCUMENTS SHALL BE REPORTED PROMPTLY TO FONTANA ARCHITECTURAL DESIGN.

8. ALL FEES, TAXES, APPLICATIONS AND CERTIFICATES OF INSPECTIONS AND THE FILING OF ALL WORK WITH THE GOVERNMENTAL AGENCIES SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.

9. THE CONTRACTOR SHALL SUBMIT TO THE ARCHITECT ALL CERTIFICATES FROM THE BUREAU OF ELECTRIC CONTROL AND N.Y.B.F.U., ETC. AND/OR BS & A OR APPROVALS FOR MATERIALS AND/OR ASSEMBLIES (C26-106-3). APPROVALS ARE REQUIRED FOR BUT NOT LIMITED TO COMBUSTIBLE MATERIALS SUCH AS:

- A: WOOD FRAMING, WOOD RAILS AND PLYWOOD PANELS.
- B: PLASTIC LAMINATE FACINGS.
- C: ACOUSTICAL CEILING ASSEMBLIES.
- D: FURNITURE SYSTEM RACEWAYS

10. THROUGHOUT THE DURATION OF THE PROJECT, THE CONTRACTOR SHALL REFRAIN FROM ACTIONS THAT COULD LEAD TO THE FILING OF A CLAIM OF LIEN AGAINST THE CLIENT/TENANT AND/OR THE BUILDING OWNERS BY SUB-CONTRACTORS OR SUPPLIERS OF LABOR, MATERIALS, SERVICES OR EQUIPMENT OR ANY OTHER INDIVIDUAL COMPANY, OR ENTITY SO ENTITLED UNDER GOVERNING LAWS AND REGULATIONS UNLESS HE CAN SHOW REASONABLE AND JUSTIFIABLE CAUSE APPROVAL FOR FINAL PAYMENT SHALL BE CONTINGENT UPON THE CONTRACTOR'S OBTAINING AND FURNISHING TO CLIENT SIGNED RELEASES FROM SUCH INDIVIDUALS, COMPANIES, OR ENTITIES.

11. DRAWINGS IN THIS SET AND THE DESIGN THEREON ARE THE PROPERTY OF JOSEPH FONTANA ARCHITECTURAL DESIGN. ALL DRAWINGS AND NOTES ARE COMPLEMENTARY AND WHAT IS CALLED FOR BY ANY WILL BE BINDING AS IF CALLED FOR BY ALL EACH SUB-TRADE WILL BE RESPONSIBLE FOR REVIEWING THE ENTIRE SET OF DRAWINGS AND NOTING HIS WORK AS APPLICABLE WORK INDICATED OR INFERRED ON THE DRAWINGS WILL BE DEEMED AND INCLUDED IN SUB-CONTRACTORS COSTS. THE SAME SHALL APPLY TO GENERAL CONTRACTOR. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR DISTRIBUTION OF ALL DRAWINGS TO ALL SUB-CONTRACTORS AND DEFINING EACH SUB-CONTRACTORS SCOPE OF RESPONSIBILITY. ANY WORK NOT SPECIFICALLY ACCEPTED BY AN INDIVIDUAL SUB-CONTRACTOR. SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.

12. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE EXTENT, NATURE AND SCOPE OF WORK DESCRIBED IN THE CONTRACT DOCUMENTS. THE CONTRACTOR IS TO PROVIDE ALL LABOR AND MATERIALS NECESSARY TO EXECUTE ALL WORK AS SHOWN ON THESE DRAWINGS WITH THE EXCEPTION OF THOSE ITEMS NOTED AS SEPARATE CONTRACTS OR "NIC". HE SHALL HOWEVER BE RESPONSIBLE FOR COORDINATING THE WORK UNDER THIS CONTRACT WITH THAT OF ALL OTHER TRADES AND/OR VENDORS, OPERATING UNDER SEPARATE CONTRACT WITH JOSEPH FONTANA ARCHITECTURAL DESIGN OR CLIENT/TENANT, WITHIN THE PROJECT SCHEDULE.

13. ALL WORK SHALL BE COMPLETED FOR THE AGREED CONTRACT PRICE WITHOUT RECOURSE TO LABOR STOPPAGES OR REVISIONS OR GOVERNING REGULATIONS LAWS, AND CODES ABOUT WHICH THE CONTRACTOR SHOULD HAVE REASONABLY BEEN EXPECTED TO HAVE HAD FOREWARNING AND TO HAVE MADE APPROPRIATE CONTINGENCY PLANS PRIOR TO THE SIGNING OF THIS CONTRACT. THE CONTRACTOR SHALL NOT PROCEED WITH ANY ADDITIONAL WORK OR CHANGES FOR WHICH HE EXPECTS ADDITIONAL COMPENSATION BEYOND THE CONTRACT AMOUNT WITHOUT WRITTEN AUTHORIZATION FROM CLIENT/TENANT AND/OR JOSEPH FONTANA ARCHITECTURAL DESIGN. FAILURE TO OBTAIN SUCH AUTHORIZATION SHALL INVALIDATE ANY CLAIM FOR SUCH EXTRA COMPENSATION. ALL SUCH REQUESTS SHALL BE MADE ON FORM _____AS PUBLISHED BY THE AMERICAN INSTITUTE OF ARCHITECTS (AIA).

14. SUBMITTAL OF A BID SHALL CONSTITUTE THE CONTRACTORS AGREEMENT TO ALL TERM AND CONDITIONS SET FORTH IN WHOLE AND WITHOUT ACCEPTION.

15. IT IS INTENDED THAT THE CONTRACTOR PROVIDE A COMPLETE JOB AND ANY OMISSION IS THESE NOTES OR IN THE OUTLINE OF WORK SHALL NOT BE CONSTRUED AS RELIEVING THE CONTRACTOR OF SUCH RESPONSIBILITIES AS ARE IMPLIED BY THE SCOPE OF THE WORK EXCEPT FIR ITEMS SPECIFICALLY NOTED.

16. WITHIN ONE WEEK OF BEING AWARDED THE CONTRACT, THE CONTRACTOR SHALL PREPARE AND SUBMIT TO JOSEPH FONTANA ARCHITECTURAL DESIGN A CONSTRUCTION SCHEDULE INCLUDING A READY DATE FOR THE INSTALLATION OF COMMUNICATIONS CABLE AND ANY OTHER EQUIPMENT, WIRING OR CABLE NOTED IN THE CONTRACT DOCUMENTS. DATES SHALL BE INDICATED FOR SUBMISSION OF SHOP DRAWINGS ALLOWING A MINIMUM OF FIVE (5) WORKING DAYS FOR THE REVIEW OF EACH SUBMISSION. SCHEDULE SHALL INCLUDE ANTICIPATED DELIVERY DATES OF ALL MATERIALS OTHER THAN STANDARD AND READILY AVAILABLE BUILDING MATERIALS.

17. DURING THE COURSE OF CONSTRUCTION ACTUAL LOCATIONS SHALL BE INDICATED TO SCALE IN CONTRACTING INK ON THE DRAWINGS FOR ALL CONSTRUCTION CHANGES, RINGS OF MECHANICAL AND ELECTRICAL WORK INCLUDING SITE UTILITIES AND CONCEALED DEVIATIONS FROM THE DRAWINGS. UPON COMPLETION OF THE PROJECT, INCLUDING THE PUNCH LIST, THIS INFORMATION SHALL BE TRANSFERRED TO A SET OF SEPIA DRAWINGS PROVIDED DURING THE AWARD. THIS SET SHALL BE CONSPICUOUSLY MARKED "AS BUILT SET" AND RETURNED TO JOSEPH FONTANA ARCHITECTURAL DESIGN.

18. A COPY OF THE LATEST SET OF ARCHITECTURAL AND ENGINEERING DRAWINGS SHALL BE KEPT AT THE JOB SITE. THESE DRAWINGS ARE TO BE MOUNTED AND UPDATED BY THE CONTRACTOR DURING CONSTRUCTION. THE SET IS TO BE RETURNED TO THE ARCHITECT AT THE COMPLETION OF THE PROJECT NOTED AS "AS BUILT."

19. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DISTRIBUTION IF DRAWINGS TO ALL TRADES UNDER HIS JURISDICTION.

20. DO NOT SCALE DRAWINGS, DIMENSIONS SHALL GOVERN. DETAILS SHALL GOVERN OVER PLANS AND ELEVATIONS LARGE SCALE DETAILS SHALL GOVERN OVER SMALLER SCALE DETAILS.

21. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR ALL WOODWORK, DOORS AND FRAMES AND SUCH WORK AS MAY BE SPECIFICALLY REQUESTED IN THE CONTRACT DOCUMENTS TO FONTANA ARCHITECTURAL DESIGN FOR WRITTEN APPROVAL. SHOP DRAWINGS SHALL SHOW ALL DIMENSIONS AND CONDITIONS AND SHALL BE SUBMITTED IN SEPIA FORM. WHEN FONTANA ARCHITECTURAL DESIGN REQUIRES THE REVISION AND RE-SUBMITTAL OF SHOP DRAWINGS SUCH RE-SUBMITTAL SHALL OCCUR WITHIN ONE (1) WEEK OF NOTIFICATION OF SUCH REQUIREMENT.

22. ALL WORK SHALL BE PERFORMED BY SKILLED AND QUALIFIED WORKMEN AND IN ACCORDANCE WITH THE BEST PRACTICES OF THE TRADES INVOLVED. CARE SHALL BE TAKEN TO ENSURE COMPLIANCE WITH BUILDING REGULATIONS AND/OR GOVERNMENTAL LAWS, STATUTES OR ORDINANCES CONCERNING THE USE OF UNION LABOR.

23. ANY INFORMATION REQUIRED BY THE CONTRACTORS THAT IS NOT SHOWN ON DRAWINGS OR OTHER CONTRACT DOCUMENTS SHALL BE REQUESTED BY THE CONTRACTOR FROM FONTANA ARCHITECTURAL DESIGN. UNDER NO CIRCUMSTANCES SHALL REQUESTS BE MADE TO THE CLIENT DIRECTLY.

24. MAINTAIN IN OPERATING MODE ALL EXISTING FIRE HORNS, EXIT SIGNS, FIRE STAIRS, FIRE WARNING STATIONS, FIRE ALARMS, ETC. THAT ARE SCHEDULED TO REMAIN THROUGHOUT THE CONSTRUCTION PHASE.

25. THE CONTRACTOR SHALL PROTECT EXISTING ACTIVE SERVICES AND UTILITY LINES ENCOUNTERED. DO NOT INTERRUPT SERVICES TO OTHER PARTS OF THE BUILDING. TEMPORARY INTERRUPTION OF

SERVICES, IF REQUIRED, SHALL BE DONE ONLY WITH THE APPROVAL OF BUILDING MANAGEMENT. ALL REQUESTS SHALL BE IN DONE IN WRITING AND INCLUDE, BUT NOT BE LIMITED TO: THE TIME AND DATE IF INTERRUPTION, DURATION, EXTENT OF BUILDING OR AREA WHICH WILL BE AFFECTED AND AN AREA RESPONSIBLE FOR THE RAMIFICATIONS OF BUILDING SERVICE INTERRUPTION. ANY INTERRUPTION OF BUILDING SERVICES SHALL REQUIRE A 48 HOUR ADVANCE NOTIFICATION.

26. THE CONTRACTOR SHALL EXERCISE GREAT CARE IN PROTECTING ALL MATERIALS EXISTING ON THE JOB FROM DAMAGE OR THEFT AND SHALL MAINTAIN PROTECTION FOR ALL TRAFFIC AREAS OF THE BUILDING TO BE USED DURING THE EXECUTION OF THE WORK RELATING TO THIS CONTRACT WITH THE UNDERSTANDING THAT THE CONTRACTOR WILL RECTIFY ANY DAMAGE ATTRIBUTABLE TO HIS OPERATIONS.

27. ALL EXISTING APPURTENANCES NOT BEING REMOVED SHALL BE REFURNISHED WHERE REQUIRED. ALL LOOSE ITEMS SHALL BE TIGHTENED (CEILING EXIT SIGNS, ETC.) THE GENERAL CONTRACTOR SHALL ACHIEVE A FINISHED COMPLETE INSTALLATION AND REPLACE ANY MISSING PARTS.

28. THE GENERAL CONTRACTOR SHALL THOROUGHLY PROTECT AND CLEAN ALL CONSTRUCTION INCLUDING BUT NOT LIMITED TO STONE, WOOD, FURNITURE, WALLS, LIGHT FIXTURES, DIFFUSERS, DOORS, FRAMES, CONVECTOR COVERS AND UNITS, ETC. DURING CONSTRUCTION AND PRIOR TO PUNCH LIST REVIEW BY FONTANA ARCHITECTURAL DESIGN.

29. CONTRACTOR SHALL AT ALL TIMES KEEP THE PREMISES FREE OF ACCUMULATIONS OF WASTE MATERIALS OR RUBBISH CAUSED BY HIS OPERATIONS OR THE OPERATIONS OF THE TENANT/CLIENT SEPARATE CONTRACTORS. CONTRACTOR SHALL CONFINE HIS OPERATIONS FOR THE REMOVAL TO SUCH METHODS AS MAY BE AGREEABLE TO THE OWNER. THE PROJECT SHALL BE LEFT CLEAN AND CLEAR TO THE SATISFACTION OF FONTANA ARCHITECTURAL DESIGN AND THE DISPOSITION OF ALL SALVAGED MATERIAL IS TO BE CLEARED WITH THE CLIENT/OR TENANT PRIOR TO REMOVAL. THE PREMISES SHALL BE SWEEP CLEAN OF RELATED CONSTRUCTION DEBRIS DAILY.

30. UPON COMPLETION OF THE PROJECT THE GENERAL CONTRACTOR SHALL PROVIDE A GENERAL CLEANING THROUGHOUT THE SPACE. THE GENERAL CONTRACTOR IS RESPONSIBLE TO CLEAN UP AND REMOVE FROM THE PREMISES ALL SURPLUS AND/OR WASTE MATERIALS, TOOLS, RUBBISH, WRAPPINGS AND SALVAGE AS GENERATED BY THE CONSTRUCTION DEMOLITION AND/OR DELIVERY AND INSTALLATION OF CARPET, WOODWORK, FURNITURE OR OTHER TRADES WHICH MAY BE EMPLOYED BY THE OWNER.

31. THERE SHALL BE NO SUBSTITUTION OF MATERIALS WHERE A MANUFACTURER IS SPECIFIED. WHERE THE TERM "OR APPROVED EQUAL" IS USED, FONTANA ARCHITECTURAL DESIGN SHALL DETERMINE THE EQUALITY BASED UPON THE INFORMATION SUBMITTED BY THE CONTRACTOR. UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR ASSUME THE REVIEW OF A PRODUCT OR MATERIAL BY FONTANA ARCHITECTURAL DESIGN IS AGRANT OF APPROVAL. FONTANA ARCHITECTURAL DESIGN RESERVES THE RIGHT TO DISMISS ANY ALTERNATE PRODUCT SUBMITTAL WITHOUT JUSTIFICATION. THE CONTRACTOR SHALL FURNISH AND INSTALL ALL MATERIAL AND EQUIPMENT AS SHOWN UNLESS OTHERWISE NOTED BY THE OWNER OR BY THE ARCHITECT. ALL MATERIAL SHALL BE NEW AND OF BEST QUALITY UNLESS OTHERWISE INDICATED. SAID MATERIALS SHALL BE INSTALLED IN STRICT ACCORDANCE WITH THE MANUFACTURERS SPECIFICATIONS AS WELL AS INDUSTRY STANDARDS RELATED TO SAID WORK.

32. THE CONTRACTOR SHALL INCLUDE ALL CUTTING, DRILLING AND PATCHING REQUIRED TO PERMIT THE INSTALLATION OF HIS WORK. CUTTING, CHASING, DRILLING OR DEMOLITION OF WALLS, SLABS, ETC. REQUIRING THE USE OF JACK HAMMERS OR OTHER HEAVY DUTY HAND OR POWER TOOLS SHALL BE PERFORMED AFTER REGULAR BUSINESS HOURS ON AN OVERTIME BASIS UNLESS THE OWNER EXPRESSLY PERMITS IT IN WRITTEN FORM, TO BE OTHERWISE COORDINATED WITH BUILDING MANAGEMENT.

33. THE GENERAL CONTRACTOR SHALL INCLUDE IN HIS PROPOSAL ALL COSTS (INCLUDING OVERTIME WORK) FOR REMOVAL, NEW INSTALLATION AND REINSTALLATION WORK FOR ANY PLUMBING, CEILING ELECTRICAL TELEPHONE COMMUNICATIONS EQUIPMENT OR HVAC WORK (TAKE DOWN AND REINSTALLATION) ON FLOOR ABOVE OR BELOW TENANT SPACE TO COMPLETE THE WORK ON FLOOR BEING RENOVATED.

34. ALL WOODWORK ATTACHED TO PREMISES AND ALL METAL DOORS SHALL BE FIREPROOFED TO COMPLY WITH THE LOCAL BUILDING CODE, ALL WOOD SHALL COMPLY WITH THE COMBUSTIBILITY LIMITATIONS OF THE NEW STATE AND LOCAL BUILDING CODES AND SHALL ALSO MEET WITH WORKING LIMITATIONS OF FIRE RETARDING WOOD IN CONSTRUCTION OF THE NEW YORK STATE BUILDING CODE. CERTIFICATION SHALL BE SUBMITTED TO THE ARCHITECT PRIOR TO INSTALLATION.

35. ALL DOORS REQUIRED TO BE FIRE-RATED SHALL BEAR THE PROPER UL AND BSA LABELS AFFIXED TO THE STILE ON THE HINGE SIDE OF THE DOOR.

36. WHERE OPENINGS OCCUR IN EXISTING FIRE RATED PARTITIONS DUE TO EXISTING OR NEW CONDUIT RUNS, DUCTWORK, CABLES, PIPING, ETC. AND/OR WHERE EXISTING FIREPROOFING HAS BEEN REMOVED AS A RESULT OF ANY CONSTRUCTION WORK. THE GENERAL CONTRACTOR SHALL CLOSE/PATCH ALL OPENINGS AS REQUIRED TO MATCH ADJACENT AREAS IN MATERIALS AND FIRE RATING.

37. IF THE LOCATION OF THE WORK IS AN OCCUPIED AREA THAT MUST REMAIN IN OPERATION DURING THE PROGRESS OF THE WORK, THE CONTRACTOR IS TO PROVIDE A MINIMUM OF INTERFERENCE WITH THE OPERATION. NOTIFY THE USER AND THE BUILDING MANAGER.

38. THE GENERAL CONTRACTOR SHALL ERECT ALL NECESSARY TEMPORARY SOLID AND/OR PLASTIC DROP CLOTH PARTITIONS TO PROTECT OCCUPIED AREAS WHILE DEMOLITION AND CONSTRUCTION ARE IN PROGRESS.

39. THE CONTRACTOR SHALL TAKE SPECIAL PRECAUTIONS, SATISFACTORY TO THE BUILDING OWNER AND O.S.H.A TO PROTECT THE WORKMEN AND THE BUILDING OCCUPANTS FROM HAZARDOUS CONDITIONS WHILE THE WORK IS IN PROGRESS.

40. THE CONTRACTOR SHALL MAINTAIN FREE AND UNOBSTRUCTED ACCESS TO ALL AREAS TO THE BUILDING, FIRE STAIRS AND TO THE OUTSIDE OF THE BUILDING AT ALL TIMES DURING THE COURSE OF CONSTRUCTION.

41. THE CONTRACTOR SHALL CONTROL CLEANING AND INSTALL TEMPORARY PROTECTION TO PREVENT DIRT OR DUST FROM LEAVING THE JOB SITE AND INFILTRATING AREAS NOT INVOLVED IN THE PROJECT. THIS INCLUDES THE ELEVATORS, FIRE STAIRS, CORRIDORS, ADJACENT TENANTS & MECHANICAL SYSTEMS. PROTECT ALL AREAS AS REQUIRED.

42. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGES TO EXISTING PARTITIONS, FLOORS, CEILINGS, FINISHED WORK, FURNITURE AND FURNISHINGS, OR ANY PART OF THE BUILDING OR EQUIPMENT CAUSED BY THE WORK OF THE CONTRACTOR OR HIS WORKMEN AT NO ADDITIONAL EXPENSE TO THE OWNER OF THE TENANT.

43. ALL INSTALLED PLUMBING, MECHANICAL AND ELECTRICAL EQUIPMENT SHALL OPERATE AS QUIETLY AND AS FREE OF VIBRATION AS POSSIBLE. INSTALL ISOLATION DAMPERS UNDER AND/OR ABOVE ALL VIBRATION PRODUCING EQUIPMENT.

44. ALL WORK AND MATERIALS SHALL BE GUARANTEED AGAINST DEFECTS IN DESIGN, WORKMANSHIP, AND MATERIALS FOR A PERIOD OF AT LEAST ONE (1) YEAR FROM FONTANA ARCHITECTURAL DESIGN APPROVAL FOR FINAL PAYMENT. THIS GUARANTEE SHALL PROVIDE THAT ANY DEFECTS IN MATERIALS OR WORKMANSHIP SHALL BE REMEDIED OR REPLACED TO THE SATISFACTION OF FONTANA ARCHITECTURAL DESIGN AND THE OWNER IN AN EXPEDIENT MANNER AT THE SOLE EXPENSE OF THE GENERAL CONTRACTOR.

45. UPON COMPLETION OF JOB, THE GENERAL CONTRACTOR SHALL SUBMIT CERTIFICATES OF ALL CONTROLLED INSPECTIONS FROM THE DEPARTMENT OF BUILDINGS INCLUDING, BUT NOT LIMITED TO, CONSTRUCTION, FIRE STOPPING, MECHANICAL, FIRE ALARM, SPRINKLER, ELECTRICAL, AND STRUCTURAL STEEL.

46. UPON COMPLETION OF THE WORK THE CONTRACTOR SHALL NOTIFY FONTANA ARCHITECTURAL DESIGN WHO SHALL COMPILE A "PUNCH LIST". IF CORRECTIONS AND UNSATISFACTORY AND/OR INCOMPLETE WORK IS PRESENT, FINAL PAYMENT WILL BE CONTINGENT UPON THE COMPLETION OF THESE ITEMS UNDER THE TERMS OF THE CONTRACT.

47. THE FIRM OF FONTANA ARCHITECTURAL DESIGN, ITS PRINCIPALS, EMPLOYEES AND CONSULTANTS HAVE NOT BEEN RETAINED TO PROVIDE SERVICES RELATED TO ASBESTOS, TOXIC

WASTE OR HAZARDOUS MATERIALS. THEIR REMOVAL ABATEMENTS OR ENCAPSULATING.

48. GENERAL CONTRACTOR WILL NOT PROHIBIT ACCESS TO SPACE BY OTHER TRADES CONTRACTED BY OWNER BEFORE, DURING OR AFTER PROJECT CONSTRUCTION INCLUDING BUT NOT LIMITED TO TELECOMMUNICATIONS, SECURITY, FURNITURE, HVAC, PLUMBING AND ELECTRICAL.

49. ALL FINISHES MUST COMPLY WITH THE SMOKE DEVELOPMENT & FLAME SPREAD RATING OF THE LOCAL BUILDING CODE.

SECTION 02110
DEMOLITION

1. CONTRACTOR SHALL SCHEDULE DEMOLITION AND REMOVALS SO AS TO AVOID DELAYS IN THE WORK.

2. CONTRACTOR(S) SHALL CONFORM WITH REGULATIONS AND REQUIREMENTS OF THE PROPERTY MANAGER AS PERMITTED HOURS AND SCHEDULING FOR DEMOLITION AND REMOVALS.

3. GENERAL CONTRACTOR TO NOTIFY THE PROPERTY MANAGER AT LEAST 48 HOURS PRIOR TO START OF DEMOLITION, COORDINATE WITH THE PROPERTY MANAGER.

4. PUBLIC AREAS SUCH AS LOBBIES, PUBLIC CORRIDORS AND SERVICES CORRIDORS SHALL BE PROTECTED AS DIRECTED BY THE PROPERTY MANAGER.

5. IN ALL OCCUPIED AREAS, CONTRACTOR SHALL PROVIDE PROTECTION FOR ALL CLIENT/TENANT EQUIPMENT WHETHER REMAINING IN OPERATION OR STORED ON SITE.

6. IN ALL OCCUPIED AREAS, CONTRACTOR SHALL MAINTAIN EXISTING POWER AND TELEPHONE SERVICE. TEMPORARY LIGHT AND POWER SHALL BE PROVIDED FOR ALL TRADES IN AREAS OF DEMOLITION.

7. DAMPERS, WALL VENTS, DIFFUSERS, SHAFTS, ETC. SHALL BE COVERED WITH A DUST BARRIER PRIOR TO DEMOLITION.

8. CONTRACTOR TO DEMOLISH AND REMOVE COMPLETELY ALL REQUIRED ELEMENTS IF THE EXISTING INSTALLATION AS PER PLAN (INCLUDING BUT NOT LIMITED TO WALLS, CEILINGS, DOORS, FRAMES, MOLDINGS, WALL COVERINGS, FLOOR COVERINGS, ETC.) SO AS TO PROPERLY PREPARE FOR THE EXECUTION AND INSTALLATION OF THE NEW WORK.

9. CONTRACTOR TO TAKE PROPER PRECAUTIONS TO PREVENT DUST AND DIRT FROM RISING DURING DEMOLITION INCLUDING THE ERECTION OF PLASTIC DROP CLOTH PARTITIONS AS REQUIRED TO PROTECT THE ADJACENT AREAS WHILE DEMOLITION AND CONSTRUCTION ARE IN PROGRESS.

10. THE GENERAL CONTRACTOR SHALL SURVEY ALL EXISTING FINISHED SURFACES TO INCLUDE CORNER BEADS, STOPS, DOOR BUCKS, PLASTER AT EXISTING WALLS AND COLUMNS, ETC. FOR CHIPS, CRACKS, HOLES OR ANY OTHER DEFECTS CAUSING AN APPEARANCE LESS THAN A NEW, FIRST CLASS, FINISHED INSTALLATION. HE SHALL REPAIR OR, IF BEYOND REPAIR REMOVE AND REPLACED DEFECTIVE SURFACES WITH NEW TO THE SATISFACTION OF FONTANA ARCHITECTURAL DESIGN.

11. WHERE EXISTING SURFACES AND NEW FINISHED SURFACES DO NOT ALIGN AS A RESULT OF DEMOLITION OR SURFACE DEFECTS AS LISTED ABOVE, THE GENERAL CONTRACTOR SHALL CHOP OUT THE EXISTING FINISH, INSTALL NEW CORNER BEADS AND STOPS AND INSTALL NEW SMOOTH, FLUSH ALIGNED SURFACE TO MATCH ADJACENT CONSTRUCTION.

12. REMOVE LOOSE OR DEFECTIVE PLASTER ON EXISTING CONSTRUCTION WHICH IS TO REMAIN AND PLASTER BEADS AT EXISTING CORNERS WHERE NEW PARTITIONS ARE TO ALIGN WITH EXISTING FINISH.

13. IN AREAS WHERE THE FLOOR SLAB HAS BEEN DAMAGED BY REMOVALS OF TILE, CARPET, PARTITIONS, ETC. THE GENERAL CONTRACTOR SHALL PATCH THE SLAB TO LEVEL AND AS REQUIRED TO RECEIVE NEW FINISHED FLOORING.

14. PIPES AND CONDUITS ENCOUNTERED IN DEMOLISHED PARTITIONS AND SERVING AREAS WHICH ARE TO REMAIN ACTIVE SHALL BE REROUTED AND CONCEALED.

15. REMOVE PROMPTLY FROM THE PREMISES ALL PRODUCTS OF DEMOLITION NOT DESIGNATED TO BE SALVAGED. NO DEBRIS SHALL BE ALLOWED TO ACCUMULATE.

16. REMOVAL FROM THE PREMISES AND THE BUILDING OF ALL DEMOLISHED ITEMS AND DEMOLITION DEBRIS OF ALL TRADES AND SUBCONTRACTORS SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.

17. GENERAL CONTRACTOR TO COORDINATE AND COOPERATE WITH OTHER CONTRACTORS TO VERIFY AND SCHEDULE REMOVALS OF CONDUIT, LIGHTING, ELECTRICAL OUTLETS, PLUMBING, PRIOR TO DEMOLITION.

18. PLUMBING CONTRACTOR SHALL BE RESPONSIBLE FOR DISCONNECTING AND DISMANTLING ALL PLUMBING FIXTURES INCLUDING SPRINKLERS AS INDICATED OR REQUIRED. ALL PLUMBING DEMOLITION TO BE PREPARED BY PLUMBING CONTRACTOR FOR REMOVAL FROM PREMISES BY THE GENERAL CONTRACTOR.

19. THE MECHANICAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE DISCONNECTION AND DISMANTLING OF ANY OR ALL CHILLERS, AIR HANDLERS, PUMPS, COMPRESSORS, DUCTS, FANS OR PIPES AS INDICATED OR REQUIRED TO BE REMOVED.

20. THE ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE DISCONNECTION AND DISMANTLING IF ANY OR ALL PANELS, TRANSFORMERS, LIGHT FIXTURES, POWER CABLING AND OTHER DEVICES AS INDICATED OR REQUIRED TO BE PREPARED BY THE EC FOR REMOVAL FROM THE PREMISES BY THE GC.

21. ALL PROJECTING PLUMBING, HVAC, ELECTRICAL AND TELEPHONE OUTLETS AND ALL OTHER PROJECTING ITEMS WHICH ARE BEING ABANDONED SHALL BE REMOVED BACK TO THE POINT OF ORIGIN AND SURFACE MATCHED AS REQUIRED AND AS PER LOCAL BUILDING CODES. ELECTRICAL CONDUITS SWITCHES, BOXES, ETC. REMAINING AFTER DEMOLITION (TO BE ABANDONED) SHALL BE REMOVED TO THE SOURCE CUT AND CAPPED FLUSH BEHIND FINISHED SURFACES.

22. EXISTING WINDOW TREATMENTS TO REMAIN AS NOTED ON DRAWING SHALL BE REMOVED, CLEANED AND REFURNISHED AS REQUIRED. THEY SHALL BE REINSTALLED AFTER COMPLETION OF ALL CONSTRUCTION.

23. DEMOLITION NOTES AND/OR SPECIFICATIONS ON ENGINEERING DRAWINGS SHALL ALSO APPLY TO THIS SECTION OF THE WORK.

Joseph Fontana
Architectural Designer

CADD-Ops & Protocol Consultant

New York Studio

38 West 75th Street, Apt. 1R
New York, NY 10023
212 724 6570

Shore Studios

104 Hudson Avenue
Red Bank, NJ 07701

Fontana.Architectural.Design@gmail.com
FontanaArchitecturalDesign.com

COLUMBIA
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Capital Improvement
Program
THE REVIT
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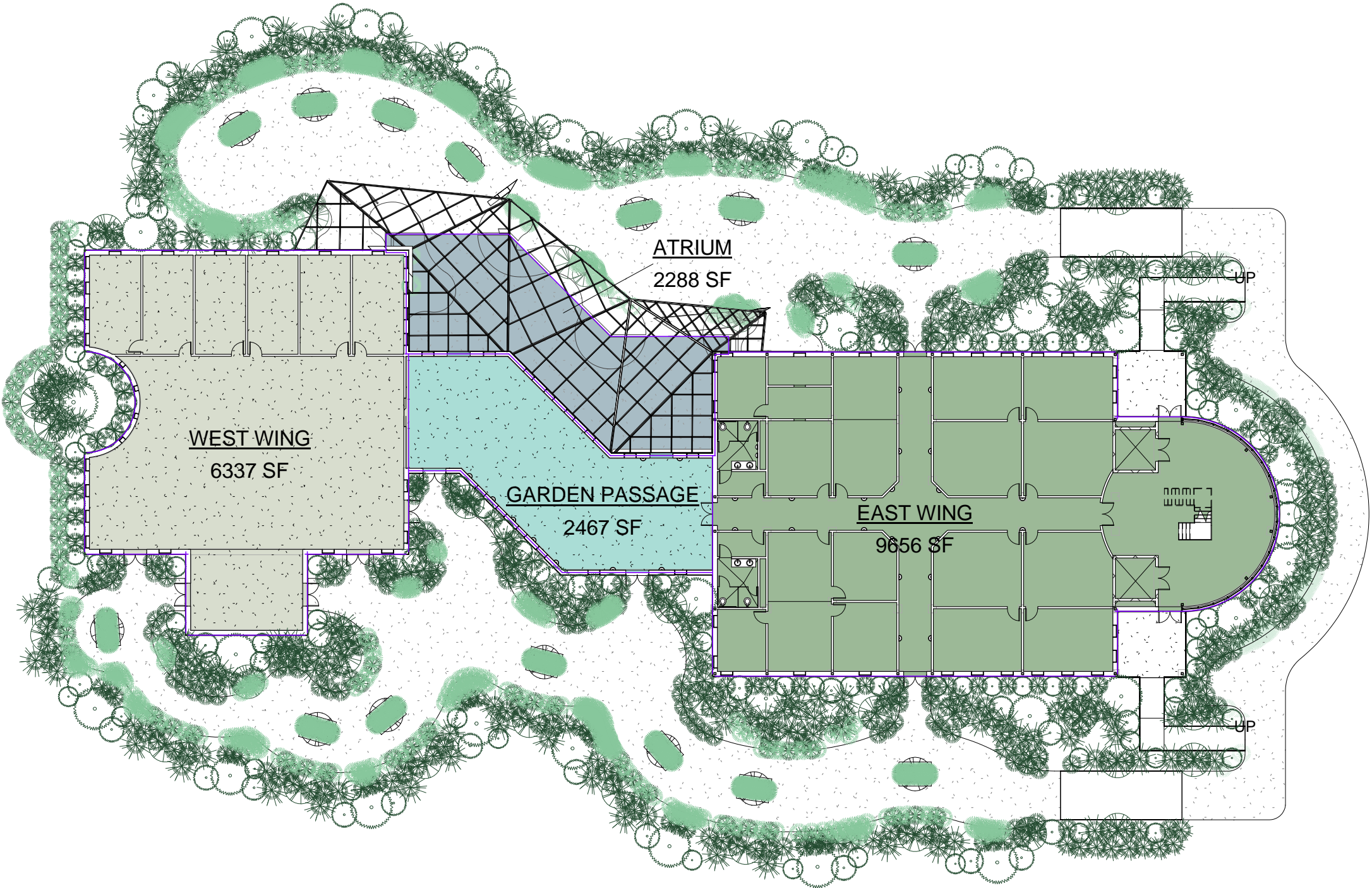
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NO.	ISSUE	DATE

SPECIFICATIONS

PROJECT:	10010
DATE:	12-10-2012
DRAWN:	Joseph Fontana
REVIEWED:	J. FONTANA
SCALE:	

AS01.1



Building Area Legend

- ATRIVIUM
- EAST WING
- GARDEN PASSAGE
- WEST WING

Joseph Fontana
Architectural Designer
CADD-Ops & Protocol Consultant

New York Studio
38 West 75th Street, Apt. 1R
New York, NY 10023
212 724 6570

Shore Studios
104 Hudson Avenue
Red Bank, NJ 07701

Fontana.Architectural.Design@gmail.com
FontanaArchitecturalDesign.com

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NO.	ISSUE	DATE

**BUILDING AREA
PLAN**

PROJECT: 10010

DATE: 12-10-2012

DRAWN: Joseph Fontana

REVIEWED: J. FONTANA

SCALE: 1" = 30'-0"

AS02

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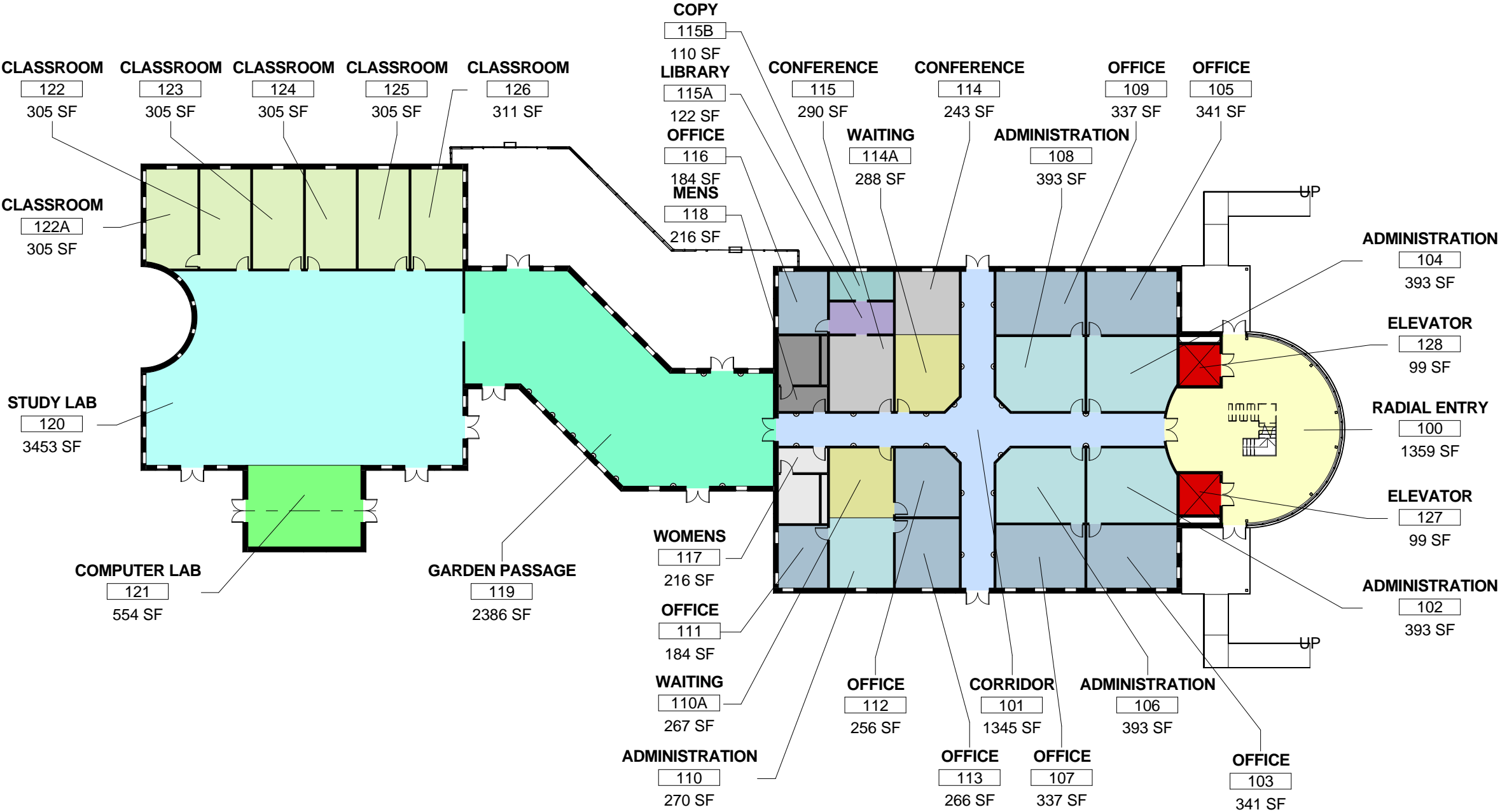
NO.	ISSUE	DATE

ROOM LEGEND

PROJECT:	10010
DATE:	12-10-2012
DRAWN:	Joseph Fontana
REVIEWED:	J. FONTANA
SCALE:	1" = 30'-0"

AS02.0

2/23/2013 10:03:00 AM



Room Legend

- ELEVATOR
- CORRIDOR
- ADMINISTRATION
- OFFICE
- WAITING

- CONFERENCE
- LIBRARY
- COPY
- WOMENS
- MENS

- STUDY LAB
- CLASSROOM
- GARDEN PASSAGE
- RADIAL ENTRY
- COMPUTER LAB

New York Studio

38 West 75th Street, Apt. 1R
New York, NY 10023
212 724 6570

Shore Studios

104 Hudson Avenue
Red Bank, NJ 07701

Fontana.Architectural.Design@gmail.com
FontanaArchitecturalDesign.com

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NO.	ISSUE	DATE

ROOM SCHEDULE

PROJECT:	10010
DATE:	12-10-2012
DRAWN:	Joseph Fontana
REVIEWED:	J. FONTANA
SCALE:	

AS02.1

ROOM							
Number	Name	Area	Base	Wall	Floor	Ceiling	Comments

LEVEL 1

ADMINISTRATION

110	ADMINISTRATION	270 SF	WD	PT	CPT	ACT	
102	ADMINISTRATION	393 SF					
106	ADMINISTRATION	393 SF					
108	ADMINISTRATION	393 SF					
104	ADMINISTRATION	393 SF					

CLASSROOM

126	CLASSROOM	311 SF					
125	CLASSROOM	305 SF					
124	CLASSROOM	305 SF					
123	CLASSROOM	305 SF					
122	CLASSROOM	305 SF					
122A	CLASSROOM	305 SF					

COMPUTER LAB

121	COMPUTER LAB	554 SF					
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ROOM							
Number	Name	Area	Base	Wall	Floor	Ceiling	Comments

CONFERENCE

114	CONFERENCE	243 SF	WD	PT	CPT	GYP	
115	CONFERENCE	290 SF					

COPY

115B	COPY	110 SF					
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CORRIDOR

101	CORRIDOR	1345 SF					
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ELEVATOR

128	ELEVATOR	99 SF	WD	PT	TER	GYP	
127	ELEVATOR	99 SF	WD	PT	TER	GYP	

GARDEN PASSAGE

119	GARDEN PASSAGE	2386 SF					
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LIBRARY

115A	LIBRARY	122 SF					
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MENS

118	MENS	216 SF					
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OFFICE

111	OFFICE	184 SF	WD	PT	CPT	ACT	
107	OFFICE	337 SF					
103	OFFICE	341 SF					
109	OFFICE	337 SF					
113	OFFICE	266 SF					
112	OFFICE	256 SF					
116	OFFICE	184 SF					
105	OFFICE	341 SF					

RADIAL ENTRY

100	RADIAL ENTRY	1359 SF					
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STUDY LAB

120	STUDY LAB	3453 SF	WD	PT	CPT	GYP	
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WAITING

110A	WAITING	267 SF	WD	PT	CPT	ACT	
114A	WAITING	288 SF					

WOMENS

117	WOMENS	216 SF	WD	PT	TILE	GYP	
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LEVEL 2

ADMINISTRATION

208	ADMINISTRATION	393 SF	WD	PT	CPT	ACT	
204	ADMINISTRATION	393 SF	WD	PT	CPT	ACT	
206	ADMINISTRATION	393 SF	WD	PT	CPT	ACT	
202	ADMINISTRATION	393 SF	WD	PT	CPT	ACT	
210	ADMINISTRATION	270 SF	WD	PT	CPT	ACT	

CONFERENCE

215	CONFERENCE	290 SF	WD	PT	CPT	GYP	
214	CONFERENCE	243 SF	WD	PT	CPT	GYP	

COPY

215B	COPY	110 SF	WD	PT	CPT	GYP	
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CORRIDOR

201	CORRIDOR	1345 SF	WD	PT	CPT	GYP	
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LIBRARY

215A	LIBRARY	122 SF	WD	PT	CPT	GYP	
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MENS

218	MENS	216 SF	WD	PT	TILE	GYP	
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OFFICE

216	OFFICE	184 SF	WD	PT	CPT	GYP	
209	OFFICE	337 SF	WD	PT	CPT	GYP	
205	OFFICE	341 SF	WD	PT	CPT	GYP	
207	OFFICE	337 SF	WD	PT	CPT	GYP	
203	OFFICE	341 SF	WD	PT	CPT	GYP	
213	OFFICE	266 SF	WD	PT	CPT	GYP	
212	OFFICE	256 SF	WD	PT	CPT	GYP	
211	OFFICE	184 SF	WD	PT	CPT	GYP	

WAITING

214A	WAITING	288 SF	WD	PT	CPT	GYP	
210A	WAITING	267 SF	WD	PT	CPT	GYP	

WOMENS

217	WOMENS	216 SF	WD	PT	TILE	GYP	
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LEVEL 3

ADMINISTRATION

302	ADMINISTRATION	393 SF	WD	PT	CPT	ACT	
304	ADMINISTRATION	393 SF	WD	PT	CPT	ACT	
306	ADMINISTRATION	393 SF	WD	PT	CPT	ACT	
308	ADMINISTRATION	393 SF	WD	PT	CPT	ACT	
310	ADMINISTRATION	270 SF	WD	PT	CPT	ACT	

CONFERENCE

314	CONFERENCE	243 SF	WD	PT	CPT	GYP	
315	CONFERENCE	290 SF	WD	PT	CPT	GYP	

CORRIDOR

301	CORRIDOR	1345 SF	WD	PT	TER	GYP	
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ROOM							
Number	Name	Area	Base	Wall	Floor	Ceiling	Comments

LIBRARY

315A	LIBRARY	122 SF	WD	PT	CPT	GYP	
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MENS

318	MENS	216 SF	WD	PT	TILE	GYP	
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OFFICE

303	OFFICE	341 SF	WD	PT	CPT	GYP	
305	OFFICE	341 SF	WD	PT	CPT	GYP	
307	OFFICE	337 SF	WD	PT	CPT	GYP	
309	OFFICE	337 SF	WD	PT	CPT	GYP	
311	OFFICE	184 SF	WD	PT	CPT	GYP	
312	OFFICE	256 SF	WD	PT	CPT	GYP	
313	OFFICE	266 SF	WD	PT	CPT	GYP	
316	OFFICE	184 SF	WD	PT	CPT	GYP	

WAITING

310A	WAITING	267 SF	WD	PT	CPT	GYP	
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WOMENS

317	WOMENS	216 SF	WD	PT	TILE	GYP	
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LEVEL 4

ADMINISTRATION

408	ADMINISTRATION	393 SF	WD	PT	CPT	ACT	
404	ADMINISTRATION	393 SF	WD	PT	CPT	ACT	
406	ADMINISTRATION	393 SF	WD	PT	CPT	ACT	
402	ADMINISTRATION	393 SF	WD	PT	CPT	ACT	
410	ADMINISTRATION	270 SF	WD	PT	CPT	ACT	

CONFERENCE

415	CONFERENCE	290 SF	WD	PT	CPT	GYP	
414	CONFERENCE	243 SF	WD	PT	CPT	GYP	

COPY

415B	COPY	110 SF	WD	PT	CPT	GYP	
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CORRIDOR

401	CORRIDOR	1345 SF	WD	PT	TER	GYP	
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LIBRARY

415A	LIBRARY	122 SF	WD	PT	CPT	GYP	
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MENS

418	MENS	216 SF	WD	PT	TILE	GYP	
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OFFICE

416	OFFICE	184 SF	WD	PT	CPT	GYP	
409	OFFICE	337 SF	WD	PT	CPT	GYP	
405	OFFICE	341 SF	WD	PT	CPT	GYP	
407	OFFICE	337 SF	WD	PT	CPT	GYP	
403	OFFICE	341 SF	WD	PT	CPT	GYP	
413	OFFICE	266 SF	WD	PT	CPT	GYP	
412	OFFICE	256 SF	WD	PT	CPT	GYP	
411	OFFICE	184 SF	WD	PT	CPT	GYP	

WAITING

414A	WAITING	288 SF	WD	PT	CPT	GYP	
410A	WAITING	267 SF	WD	PT	CPT	GYP	

WOMENS

417	WOMENS	216 SF	WD	PT	TILE	GYP	
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LEVEL 5

ADMINISTRATION

502	ADMINISTRATION	393 SF	WD	PT	CPT	ACT	
504	ADMINISTRATION	393 SF	WD	PT	CPT	ACT	
506	ADMINISTRATION	393 SF	WD	PT	CPT	ACT	
508	ADMINISTRATION	393 SF	WD	PT	CPT	ACT	
510	ADMINISTRATION	270 SF	WD	PT	CPT	ACT	

CONFERENCE

514	CONFERENCE	243 SF	WD	PT	CPT	GYP	
515	CONFERENCE	290 SF	WD	PT	CPT	GYP	

CORRIDOR

501	CORRIDOR	1345 SF	WD	PT	TER	GYP	
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LIBRARY

515A	LIBRARY	122 SF	WD	PT	CPT	GYP	
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MENS

518	MENS	216 SF	WD	PT	TILE	GYP	
-----	------	--------	----	----	------	-----	--

OFFICE

503	OFFICE	341 SF	WD	PT	CPT	GYP	
505	OFFICE	341 SF	WD	PT	CPT	GYP	
507	OFFICE	337 SF	WD	PT	CPT	GYP	
509	OFFICE	337 SF	WD	PT	CPT	GYP	
511	OFFICE	184 SF	WD	PT	CPT	GYP	
512	OFFICE	256 SF	WD	PT	CPT	GYP	
513	OFFICE	266 SF	WD	PT	CPT	GYP	
516	OFFICE	184 SF	WD	PT	CPT	GYP	

WAITING

514A	WAITING	288 SF	WD	PT	CPT	GYP	
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WOMENS

517	WOMENS	216 SF	WD	PT	TILE	GYP	
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Grand total: 118

44939 SF

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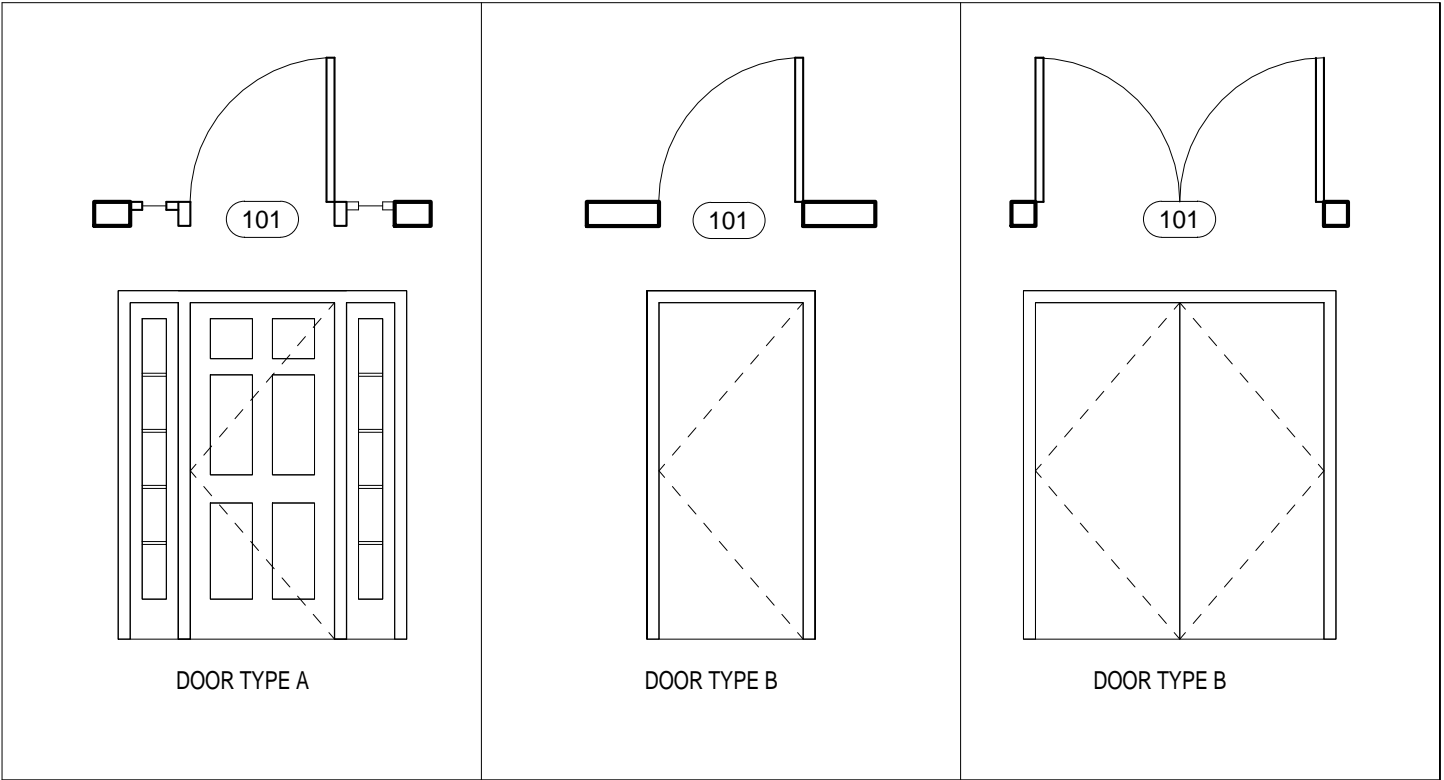
ALL SHOP AND/OR CONSTRUCTION DRAWINGS, FINISH SAMPLES AND/OR CHANGES MUST BE SENT TO FONTANA ARCHITECTURAL DESIGN FOR FINAL APPROVAL AND SIGN OFF BEFORE CONSTRUCTION.

NO.	ISSUE	DATE

DOOR LEGEND

PROJECT:	10010
DATE:	12-10-2012
DRAWN:	Joseph Fontana
REVIEWED:	J. FONTANA
SCALE:	1/4" = 1'-0"

AS03.0



DOOR TYPE

1/4" = 1'-0"

DOOR						
DOOR	DOOR INFO.			PANEL AND FRAME INFO.		COMMENTS
	HEIGHT	WIDTH	LEVEL	FINISH	FRAME	

LEVEL 1						
100A	6' - 8"	5' - 8"	LEVEL 1	WD	WD	
100B	6' - 8"	5' - 8"	LEVEL 1	WD	WD	
101A	6' - 8"	5' - 8"	LEVEL 1	WD	WD	
101B	6' - 8"	5' - 8"	LEVEL 1	PT	PT	
101C	6' - 8"	5' - 8"	LEVEL 1	PT	PT	
101D	6' - 8"	5' - 8"	LEVEL 1	PT	PT	
102A	7' - 0"	3' - 0"	LEVEL 1	WD	WD	
103A	7' - 0"	3' - 0"	LEVEL 1	WD	WD	
104A	7' - 0"	3' - 0"	LEVEL 1	WD	WD	
105A	7' - 0"	3' - 0"	LEVEL 1	WD	WD	
106A	7' - 0"	3' - 0"	LEVEL 1	WD	WD	
107A	7' - 0"	3' - 0"	LEVEL 1	WD	WD	
108A	7' - 0"	3' - 0"	LEVEL 1	WD	WD	
109A	7' - 0"	3' - 0"	LEVEL 1	WD	WD	
110A	7' - 0"	3' - 0"	LEVEL 1	PT	PT	
111A	7' - 0"	3' - 0"	LEVEL 1	PT	PT	
112B	7' - 0"	3' - 0"	LEVEL 1	PT	PT	
113A	7' - 0"	3' - 0"	LEVEL 1	PT	PT	
114A	7' - 0"	3' - 0"	LEVEL 1	PT	PT	
115A	7' - 0"	3' - 0"	LEVEL 1	PT	PT	
116A	7' - 0"	3' - 0"	LEVEL 1	PT	PT	
117A	7' - 0"	3' - 0"	LEVEL 1	PT	WD	
117B	7' - 0"	3' - 0"	LEVEL 1	PT	PT	
118A	7' - 0"	3' - 0"	LEVEL 1	PT	PT	
118B	7' - 0"	3' - 0"	LEVEL 1	WD	WD	
119A	6' - 8"	5' - 8"	LEVEL 1	WD	WD	
119B	6' - 8"	5' - 8"	LEVEL 1	WD	WD	
119C	6' - 8"	5' - 8"	LEVEL 1	WD	WD	
119D	6' - 8"	5' - 8"	LEVEL 1	WD	WD	
120A	6' - 8"	5' - 8"	LEVEL 1	WD	WD	
120B	6' - 8"	5' - 8"	LEVEL 1	WD	WD	
120C	6' - 8"	5' - 8"	LEVEL 1	WD	WD	
121A	6' - 8"	5' - 8"	LEVEL 1	PT	PT	
121B	6' - 8"	5' - 8"	LEVEL 1	PT	PT	
122A	7' - 0"	3' - 0"	LEVEL 1	PT	PT	
122B	7' - 0"	3' - 0"	LEVEL 1	WD	WD	
123A	7' - 0"	3' - 0"	LEVEL 1	WD	WD	
124A	7' - 0"	3' - 0"	LEVEL 1	WD	WD	
125A	7' - 0"	3' - 0"	LEVEL 1	WD	WD	
126A	7' - 0"	3' - 0"	LEVEL 1	WD	WD	
127.1	6' - 8"	5' - 8"	LEVEL 1	WD	WD	
128.1	6' - 8"	5' - 8"	LEVEL 1	WD	WD	

LEVEL 1: 42						
LEVEL 2						
127.2	6' - 8"	5' - 8"	LEVEL 2	WD	WD	
128.2	6' - 8"	5' - 8"	LEVEL 2	WD	WD	
201A	6' - 8"	5' - 8"	LEVEL 2	PT	PT	
202A	7' - 0"	3' - 0"	LEVEL 2	WD	WD	
203A	7' - 0"	3' - 0"	LEVEL 2	WD	WD	
204A	7' - 0"	3' - 0"	LEVEL 2	WD	WD	
205A	7' - 0"	3' - 0"	LEVEL 2	PT	PT	
206A	7' - 0"	3' - 0"	LEVEL 2	PT	PT	
207A	7' - 0"	3' - 0"	LEVEL 2	WD	WD	
208A	7' - 0"	3' - 0"	LEVEL 2	WD	WD	
209A	7' - 0"	3' - 0"	LEVEL 2	WD	WD	
210A	7' - 0"	3' - 0"	LEVEL 2	PT	PT	
211A	7' - 0"	3' - 0"	LEVEL 2	PT	PT	
212A	7' - 0"	3' - 0"	LEVEL 2	WD	WD	
213A	7' - 0"	3' - 0"	LEVEL 2	WD	WD	
214A	7' - 0"	3' - 0"	LEVEL 2	WD	WD	
215A	7' - 0"	3' - 0"	LEVEL 2	WD	WD	
216A	7' - 0"	3' - 0"	LEVEL 2	WD	WD	

DOOR						
DOOR	DOOR INFO.			PANEL AND FRAME INFO.		COMMENTS
	HEIGHT	WIDTH	LEVEL	FINISH	FRAME	

217A	7' - 0"	3' - 0"	LEVEL 2	WD	WD	
217B	7' - 0"	3' - 0"	LEVEL 2	WD	WD	
218A	7' - 0"	3' - 0"	LEVEL 2	WD	WD	
218B	7' - 0"	3' - 0"	LEVEL 2	WD	WD	

LEVEL 2: 22						
LEVEL 3						
127.3	6' - 8"	5' - 8"	LEVEL 3	WD	WD	
128.3	6' - 8"	5' - 8"	LEVEL 3	WD	WD	
301A	6' - 8"	5' - 8"	LEVEL 3	WD	WD	
302A	7' - 0"	3' - 0"	LEVEL 3	WD	WD	
303A	7' - 0"	3' - 0"	LEVEL 3	PT	PT	
304A	7' - 0"	3' - 0"	LEVEL 3	PT	PT	
305A	7' - 0"	3' - 0"	LEVEL 3	WD	WD	
306A	7' - 0"	3' - 0"	LEVEL 3	WD	WD	
307A	7' - 0"	3' - 0"	LEVEL 3	WD	WD	
308A	7' - 0"	3' - 0"	LEVEL 3	WD	WD	
309A	7' - 0"	3' - 0"	LEVEL 3	WD	WD	
310A	7' - 0"	3' - 0"	LEVEL 3	PT	PT	
311A	7' - 0"	3' - 0"	LEVEL 3	WD	WD	
312A	7' - 0"	3' - 0"	LEVEL 3	WD	WD	
313A	7' - 0"	3' - 0"	LEVEL 3	PT	PT	
314A	7' - 0"	3' - 0"	LEVEL 3	PT	PT	
315A	7' - 0"	3' - 0"	LEVEL 3	WD	WD	
316A	7' - 0"	3' - 0"	LEVEL 3	WD	WD	
317A	7' - 0"	3' - 0"	LEVEL 3	WD	WD	
317B	7' - 0"	3' - 0"	LEVEL 3	PT	PT	
318A	7' - 0"	3' - 0"	LEVEL 3	WD	WD	
318B	7' - 0"	3' - 0"	LEVEL 3	WD	WD	

LEVEL 3: 22						
LEVEL 4						
127.4	6' - 8"	5' - 8"	LEVEL 4	WD	WD	
128.4	6' - 8"	5' - 8"	LEVEL 4	WD	WD	
401A	6' - 8"	5' - 8"	LEVEL 4	WD	WD	
402A	7' - 0"	3' - 0"	LEVEL 4	PT	PT	
403A	7' - 0"	3' - 0"	LEVEL 4	WD	WD	
404A	7' - 0"	3' - 0"	LEVEL 4	PT	PT	
405A	7' - 0"	3' - 0"	LEVEL 4	PT	PT	
406A	7' - 0"	3' - 0"	LEVEL 4	PT	PT	
407A	7' - 0"	3' - 0"	LEVEL 4	WD	WD	
408A	7' - 0"	3' - 0"	LEVEL 4	PT	PT	
409A	7' - 0"	3' - 0"	LEVEL 4	WD	WD	
410A	7' - 0"	3' - 0"	LEVEL 4	WD	WD	
411A	7' - 0"	3' - 0"	LEVEL 4	PT	PT	
412A	7' - 0"	3' - 0"	LEVEL 4	PT	PT	
413A	7' - 0"	3' - 0"	LEVEL 4	PT	PT	
414A	7' - 0"	3' - 0"	LEVEL 4	PT	PT	
415A	7' - 0"	3' - 0"	LEVEL 4	WD	WD	
416A	7' - 0"	3' - 0"	LEVEL 4	PT	PT	
417A	7' - 0"	3' - 0"	LEVEL 4	PT	PT	
417B	7' - 0"	3' - 0"	LEVEL 4	PT	PT	
418A	7' - 0"	3' - 0"	LEVEL 4	WD	WD	
418B	7' - 0"	3' - 0"	LEVEL 4	PT	PT	

LEVEL 4: 22						
LEVEL 5						
127.5	6' - 8"	5' - 8"	LEVEL 5	PT	PT	
128.5	6' - 8"	5' - 8"	LEVEL 5	PT	PT	
501A	6' - 8"	5' - 8"	LEVEL 5	PT	PT	
502A	7' - 0"	3' - 0"	LEVEL 5	PT	PT	
503A	7' - 0"	3' - 0"	LEVEL 5	WD	WD	
504A	7' - 0"	3' - 0"	LEVEL 5	PT	PT	
505A	7' - 0"	3' - 0"	LEVEL 5	PT	PT	
506A	7' - 0"	3' - 0"	LEVEL 5	WD	WD	
507A	7' - 0"	3' - 0"	LEVEL 5	PT	PT	
508A	7' - 0"	3' - 0"	LEVEL 5	WD	WD	
509A	7' - 0"	3' - 0"	LEVEL 5	PT	PT	
510A	7' - 0"	3' - 0"	LEVEL 5	PT	PT	
511A	7' - 0"	3' - 0"	LEVEL 5	WD	WD	
512A	7' - 0"	3' - 0"	LEVEL 5	PT	PT	
513A	7' - 0"	3' - 0"	LEVEL 5	PT	PT	
514A	7' - 0"	3' - 0"	LEVEL 5	WD	WD	
515A	7' - 0"	3' - 0"	LEVEL 5	WD	WD	
516A	7' - 0"	3' - 0"	LEVEL 5	WD	WD	
517A	7' - 0"	3' - 0"	LEVEL 5	PT	PT	
517B	7' - 0"	3' - 0"	LEVEL 5	PT	PT	
518A	7' - 0"	3' - 0"	LEVEL 5	WD	WD	
518B	7' - 0"	3' - 0"	LEVEL 5	PT	PT	

LEVEL 5: 22						
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Joseph Fontana
Architectural Designer
CADD-Ops & Protocol Consultant

New York Studio
38 West 75th Street, Apt. 1R
New York, NY 10023
212 724 6570

Shore Studios
104 Hudson Avenue
Red Bank, NJ 07701

Fontana.Architectural.Design@gmail.com
FontanaArchitecturalDesign.com

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NO.	ISSUE	DATE

DOOR SCHEDULE

PROJECT:	10010
DATE:	12-10-2012
DRAWN:	Joseph Fontana
REVIEWED:	J. FONTANA
SCALE:	

AS03.1

MATERIAL TAKEOFF MASTER 1 OF 2		
Area	Name	Count
128 SF	Acoustic Ceiling Tile 24 x 48	2
102 SF	Acoustic Ceiling Tile 24 x 48	1
114 SF	Acoustic Ceiling Tile 24 x 48	1
152 SF	Acoustic Ceiling Tile 24 x 48	1
168 SF	Acoustic Ceiling Tile 24 x 48	1
224 SF	Acoustic Ceiling Tile 24 x 48	1
234 SF	Acoustic Ceiling Tile 24 x 48	1
258 SF	Acoustic Ceiling Tile 24 x 48	1
611 SF	Acoustic Ceiling Tile 24 x 48	2
619 SF	Acoustic Ceiling Tile 24 x 48	2
721 SF	Acoustic Ceiling Tile 24 x 48	2
722 SF	Acoustic Ceiling Tile 24 x 48	2
483 SF	Acoustic Ceiling Tile 24 x 48	1
490 SF	Acoustic Ceiling Tile 24 x 48	1
5025 SF		19
239 SF	Air	1
810 SF	Air	2
859 SF	Air	2
490 SF	Air	1
604 SF	Air	1
607 SF	Air	1
629 SF	Air	1
667 SF	Air	1
684 SF	Air	1
747 SF	Air	1
822 SF	Air	1
838 SF	Air	1
854 SF	Air	1
1116 SF	Air	1
1320 SF	Air	1
1334 SF	Air	1
1931 SF	Air	1
3030 SF	Air	1
3407 SF	Air	1
3716 SF	Air	1
4333 SF	Air	1
4393 SF	Air	1
33431 SF		24
250 SF	Air Infiltration Barrier	1
827 SF	Air Infiltration Barrier	2
868 SF	Air Infiltration Barrier	2
496 SF	Air Infiltration Barrier	1
604 SF	Air Infiltration Barrier	1
621 SF	Air Infiltration Barrier	1
656 SF	Air Infiltration Barrier	1
679 SF	Air Infiltration Barrier	1
697 SF	Air Infiltration Barrier	1
752 SF	Air Infiltration Barrier	1
847 SF	Air Infiltration Barrier	1
851 SF	Air Infiltration Barrier	1
854 SF	Air Infiltration Barrier	1
1124 SF	Air Infiltration Barrier	1
1328 SF	Air Infiltration Barrier	1
1340 SF	Air Infiltration Barrier	1
1947 SF	Air Infiltration Barrier	1
3062 SF	Air Infiltration Barrier	1
3424 SF	Air Infiltration Barrier	1
3726 SF	Air Infiltration Barrier	1
4346 SF	Air Infiltration Barrier	1
4406 SF	Air Infiltration Barrier	1
33707 SF		24
8 SF	Aluminum, Anodized Red	1
72 SF	Aluminum, Anodized Red	9
8 SF	Aluminum, Anodized Red	1
9 SF	Aluminum, Anodized Red	1
10 SF	Aluminum, Anodized Red	1
322 SF	Aluminum, Anodized Red	32

MATERIAL TAKEOFF MASTER 1 OF 2		
Area	Name	Count
206 SF	Aluminum, Anodized Red	20
11 SF	Aluminum, Anodized Red	1
11 SF	Aluminum, Anodized Red	1
12 SF	Aluminum, Anodized Red	1
12 SF	Aluminum, Anodized Red	1
208 SF	Aluminum, Anodized Red	16
14 SF	Aluminum, Anodized Red	1
28 SF	Aluminum, Anodized Red	2
14 SF	Aluminum, Anodized Red	1
14 SF	Aluminum, Anodized Red	1
14 SF	Aluminum, Anodized Red	1
15 SF	Aluminum, Anodized Red	1
15 SF	Aluminum, Anodized Red	1
15 SF	Aluminum, Anodized Red	1
16 SF	Aluminum, Anodized Red	1
17 SF	Aluminum, Anodized Red	1
120 SF	Aluminum, Anodized Red	7
34 SF	Aluminum, Anodized Red	2
17 SF	Aluminum, Anodized Red	1
17 SF	Aluminum, Anodized Red	1
17 SF	Aluminum, Anodized Red	1
17 SF	Aluminum, Anodized Red	1
18 SF	Aluminum, Anodized Red	1
107 SF	Aluminum, Anodized Red	6
18 SF	Aluminum, Anodized Red	1
18 SF	Aluminum, Anodized Red	1
18 SF	Aluminum, Anodized Red	1
18 SF	Aluminum, Anodized Red	1
18 SF	Aluminum, Anodized Red	1
19 SF	Aluminum, Anodized Red	1
38 SF	Aluminum, Anodized Red	2
20 SF	Aluminum, Anodized Red	1
20 SF	Aluminum, Anodized Red	1
20 SF	Aluminum, Anodized Red	1
20 SF	Aluminum, Anodized Red	1
21 SF	Aluminum, Anodized Red	1
42 SF	Aluminum, Anodized Red	2
22 SF	Aluminum, Anodized Red	1
23 SF	Aluminum, Anodized Red	1
23 SF	Aluminum, Anodized Red	1
23 SF	Aluminum, Anodized Red	1
46 SF	Aluminum, Anodized Red	2
46 SF	Aluminum, Anodized Red	2
23 SF	Aluminum, Anodized Red	1
23 SF	Aluminum, Anodized Red	1
24 SF	Aluminum, Anodized Red	1
24 SF	Aluminum, Anodized Red	1
24 SF	Aluminum, Anodized Red	1
24 SF	Aluminum, Anodized Red	1
25 SF	Aluminum, Anodized Red	1
25 SF	Aluminum, Anodized Red	1
25 SF	Aluminum, Anodized Red	1
25 SF	Aluminum, Anodized Red	1
25 SF	Aluminum, Anodized Red	1
26 SF	Aluminum, Anodized Red	1
27 SF	Aluminum, Anodized Red	1
27 SF	Aluminum, Anodized Red	1
27 SF	Aluminum, Anodized Red	1
27 SF	Aluminum, Anodized Red	1
28 SF	Aluminum, Anodized Red	1
28 SF	Aluminum, Anodized Red	1
28 SF	Aluminum, Anodized Red	1
28 SF	Aluminum, Anodized Red	1
28 SF	Aluminum, Anodized Red	1
57 SF	Aluminum, Anodized Red	2
29 SF	Aluminum, Anodized Red	1
30 SF	Aluminum, Anodized Red	1
30 SF	Aluminum, Anodized Red	1
60 SF	Aluminum, Anodized Red	2
31 SF	Aluminum, Anodized Red	1
31 SF	Aluminum, Anodized Red	1
31 SF	Aluminum, Anodized Red	1
31 SF	Aluminum, Anodized Red	1
32 SF	Aluminum, Anodized Red	1
33 SF	Aluminum, Anodized Red	1
34 SF	Aluminum, Anodized Red	1
35 SF	Aluminum, Anodized Red	1
36 SF	Aluminum, Anodized Red	1

MATERIAL TAKEOFF MASTER 1 OF 2		
Area	Name	Count
37 SF	Aluminum, Anodized Red	1
37 SF	Aluminum, Anodized Red	1
40 SF	Aluminum, Anodized Red	1
3048 SF		180
206 SF	Brick, Common	1
232 SF	Brick, Common	1
700 SF	Brick, Common	2
756 SF	Brick, Common	2
510 SF	Brick, Common	1
552 SF	Brick, Common	1
564 SF	Brick, Common	1
566 SF	Brick, Common	1
585 SF	Brick, Common	1
651 SF	Brick, Common	1
746 SF	Brick, Common	1
772 SF	Brick, Common	1
814 SF	Brick, Common	1
1033 SF	Brick, Common	1
1237 SF	Brick, Common	1
1287 SF	Brick, Common	1
1796 SF	Brick, Common	1
2750 SF	Brick, Common	1
3265 SF	Brick, Common	1
3470 SF	Brick, Common	1
4020 SF	Brick, Common	1
4076 SF	Brick, Common	1
30588 SF		24
254 SF	Cherry	1
1218 SF	Cherry	4
311 SF	Cherry	1
1784 SF		6
1530 SF	Concrete - Cast-in-Place Concrete	51
63 SF	Concrete - Cast-in-Place Concrete	2
72 SF	Concrete - Cast-in-Place Concrete	2
570 SF	Concrete - Cast-in-Place Concrete	15
38 SF	Concrete - Cast-in-Place Concrete	1
880 SF	Concrete - Cast-in-Place Concrete	22
90 SF	Concrete - Cast-in-Place Concrete	2
93 SF	Concrete - Cast-in-Place Concrete	2
149 SF	Concrete - Cast-in-Place Concrete	2
149 SF	Concrete - Cast-in-Place Concrete	2
3634 SF		101
1667 SF	Concrete - Precast Concrete	90
2116 SF	Concrete - Precast Concrete	14
3783 SF		104
29 SF	Concrete Masonry Units	1
37 SF	Concrete Masonry Units	1
40 SF	Concrete Masonry Units	1
44 SF	Concrete Masonry Units	1
100 SF	Concrete Masonry Units	2
102 SF	Concrete Masonry Units	2
52 SF	Concrete Masonry Units	1
53 SF	Concrete Masonry Units	1
161 SF	Concrete Masonry Units	2
88 SF	Concrete Masonry Units	1
91 SF	Concrete Masonry Units	1
93 SF	Concrete Masonry Units	1
94 SF	Concrete Masonry Units	1
96 SF	Concrete Masonry Units	1
129 SF	Concrete Masonry Units	1
135 SF	Concrete Masonry Units	1
256 SF	Concrete Masonry Units	1
264 SF	Concrete Masonry Units	1
266 SF	Concrete Masonry Units	1
326 SF	Concrete Masonry Units	1
330 SF	Concrete Masonry Units	1
802 SF	Concrete Masonry Units	2
974 SF	Concrete Masonry Units	2
1037 SF	Concrete Masonry Units	2
1238 SF	Concrete Masonry Units	2
6840 SF		32
118 SF	Concrete, Cast-in-Place gray	3
45 SF	Concrete, Cast-in-Place gray	1
46 SF	Concrete, Cast-in-Place gray	1
52 SF	Concrete, Cast-in-Place gray	1
55 SF	Concrete, Cast-in-Place gray	1
135 SF	Concrete, Cast-in-Place gray	2
69 SF	Concrete, Cast-in-Place gray	1
70 SF	Concrete, Cast-in-Place gray	1

MATERIAL TAKEOFF MASTER 1 OF 2		
Area	Name	Count
74 SF	Concrete, Cast-in-Place gray	1
74 SF	Concrete, Cast-in-Place gray	1
78 SF	Concrete, Cast-in-Place gray	1
160 SF	Concrete, Cast-in-Place gray	2
83 SF	Concrete, Cast-in-Place gray	1
88 SF	Concrete, Cast-in-Place gray	1
95 SF	Concrete, Cast-in-Place gray	1
96 SF	Concrete, Cast-in-Place gray	1
99 SF	Concrete, Cast-in-Place gray	1
100 SF	Concrete, Cast-in-Place gray	1
102 SF	Concrete, Cast-in-Place gray	1
106 SF	Concrete, Cast-in-Place gray	1
108 SF	Concrete, Cast-in-Place gray	1
113 SF	Concrete, Cast-in-Place gray	1
115 SF	Concrete, Cast-in-Place gray	1
128 SF	Concrete, Cast-in-Place gray	1
284 SF	Concrete, Cast-in-Place gray	2
290 SF	Concrete, Cast-in-Place gray	2
155 SF	Concrete, Cast-in-Place gray	1
169 SF	Concrete, Cast-in-Place gray	1
174 SF	Concrete, Cast-in-Place gray	1
180 SF	Concrete, Cast-in-Place gray	1
364 SF	Concrete, Cast-in-Place gray	2
195 SF	Concrete, Cast-in-Place gray	1
207 SF	Concrete, Cast-in-Place gray	1
508 SF	Concrete, Cast-in-Place gray	2
278 SF	Concrete, Cast-in-Place gray	1
557 SF	Concrete, Cast-in-Place gray	2
286 SF	Concrete, Cast-in-Place gray	1
304 SF	Concrete, Cast-in-Place gray	1
309 SF	Concrete, Cast-in-Place gray	1
315 SF	Concrete, Cast-in-Place gray	1
321 SF	Concrete, Cast-in-Place gray	1
785 SF	Concrete, Cast-in-Place gray	2
447 SF	Concrete, Cast-in-Place gray	1
486 SF	Concrete, Cast-in-Place gray	1
539 SF	Concrete, Cast-in-Place gray	1
557 SF	Concrete, Cast-in-Place gray	1
596 SF	Concrete, Cast-in-Place gray	1
606 SF	Concrete, Cast-in-Place gray	1
2279 SF	Concrete, Cast-in-Place gray	1
2389 SF	Concrete, Cast-in-Place gray	1
5954 SF	Concrete, Cast-in-Place gray	1
6490 SF	Concrete, Cast-in-Place gray	1
32359 SF	Concrete, Cast-in-Place gray	4
8192 SF	Concrete, Cast-in-Place gray	1
9216 SF	Concrete, Cast-in-Place gray	1
78000 SF		68
6271 SF	Concrete, Lightweight	1
9193 SF	Concrete, Lightweight	1
15463 SF		2
818 SF	Copper	1
1249 SF	Copper	1
2172 SF	Copper	1
4239 SF		3
50 SF	Counter Top	2
50 SF		2
128 SF	Default	2
102 SF	Default	1
114 SF	Default	1
152 SF	Default	1
168 SF	Default	1
224 SF	Default	1
234 SF	Default	1
258 SF	Default	1
611 SF	Default	2
619 SF	Default	2
721 SF	Default	2
722 SF	Default	2
483 SF	Default	1
490 SF	Default	1
5025 SF		19
273 SF	Default Light Source	29
273 SF		29
2365 SF	Door - Frame	101
756 SF	Door - Frame	29
3122 SF		130
4579 SF	Door - Panel	101
1402 SF	Door - Panel	29
5981 SF		130
233993 SF		897

Joseph Fontana
Architectural Designer
CADD-Ops & Protocol Consultant

New York Studio
38 West 75th Street, Apt. 1R
New York, NY 10023
212 724 6570

Shore Studios
104 Hudson Avenue
Red Bank, NJ 07701

Fontana.Architectural.Design@gmail.com
FontanaArchitecturalDesign.com

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NO.	ISSUE	DATE

PROJECT: 10010

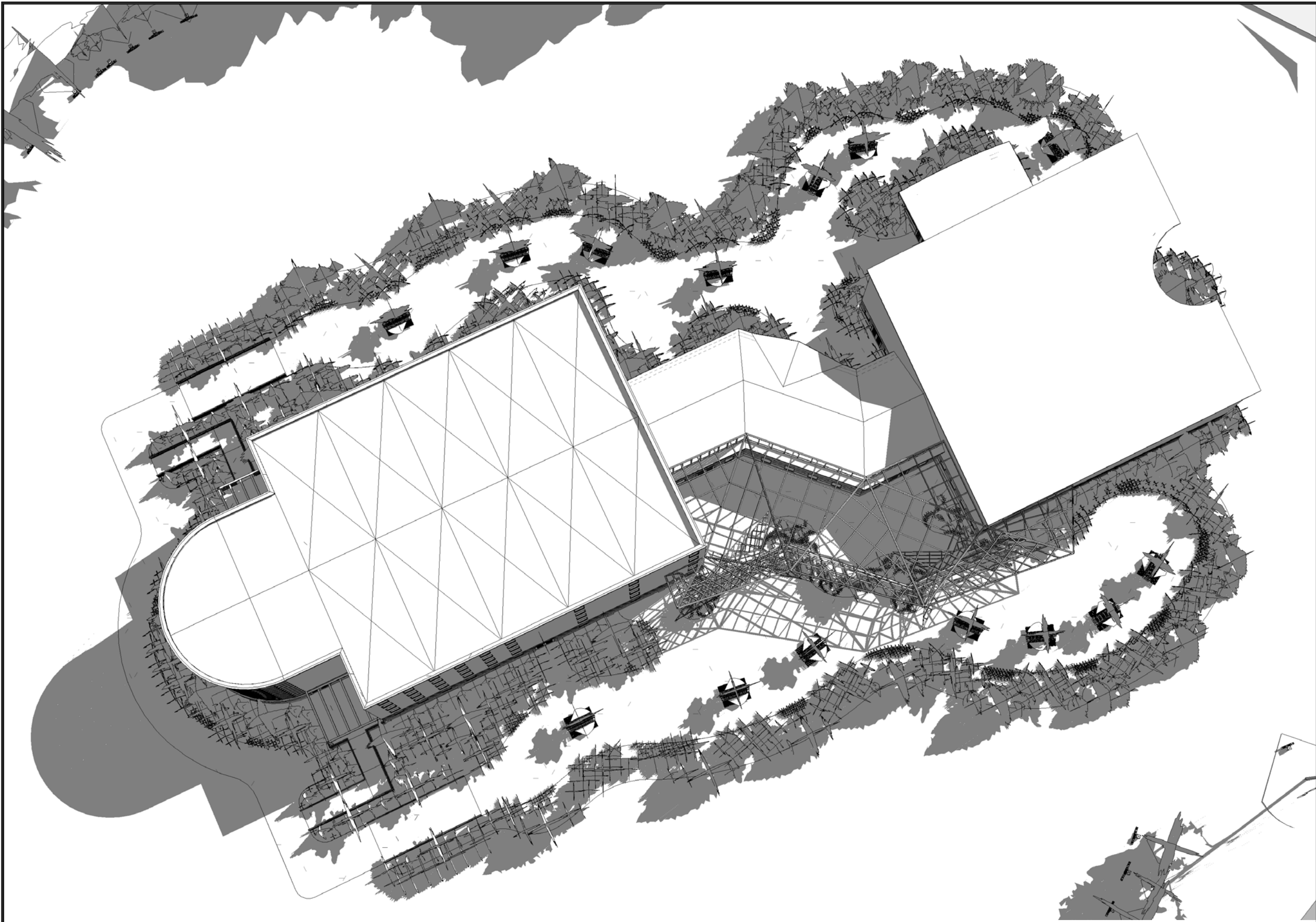
DRAWN: Joseph Fontana

REVIEWED: J. FONTANA

SCALE:

AS04.1

2/23/2013 10:03:04 AM



SOUTHEAST SITE AERIAL @ 728'

Joseph Fontana
Architectural Designer
CADD-Ops & Protocol Consultant

New York Studio
38 West 75th Street, Apt. 1R
New York, NY 10023
212 724 6570

Shore Studios
104 Hudson Avenue
Red Bank, NJ 07701

Fontana.Architectural.Design@gmail.com
FontanaArchitecturalDesign.com

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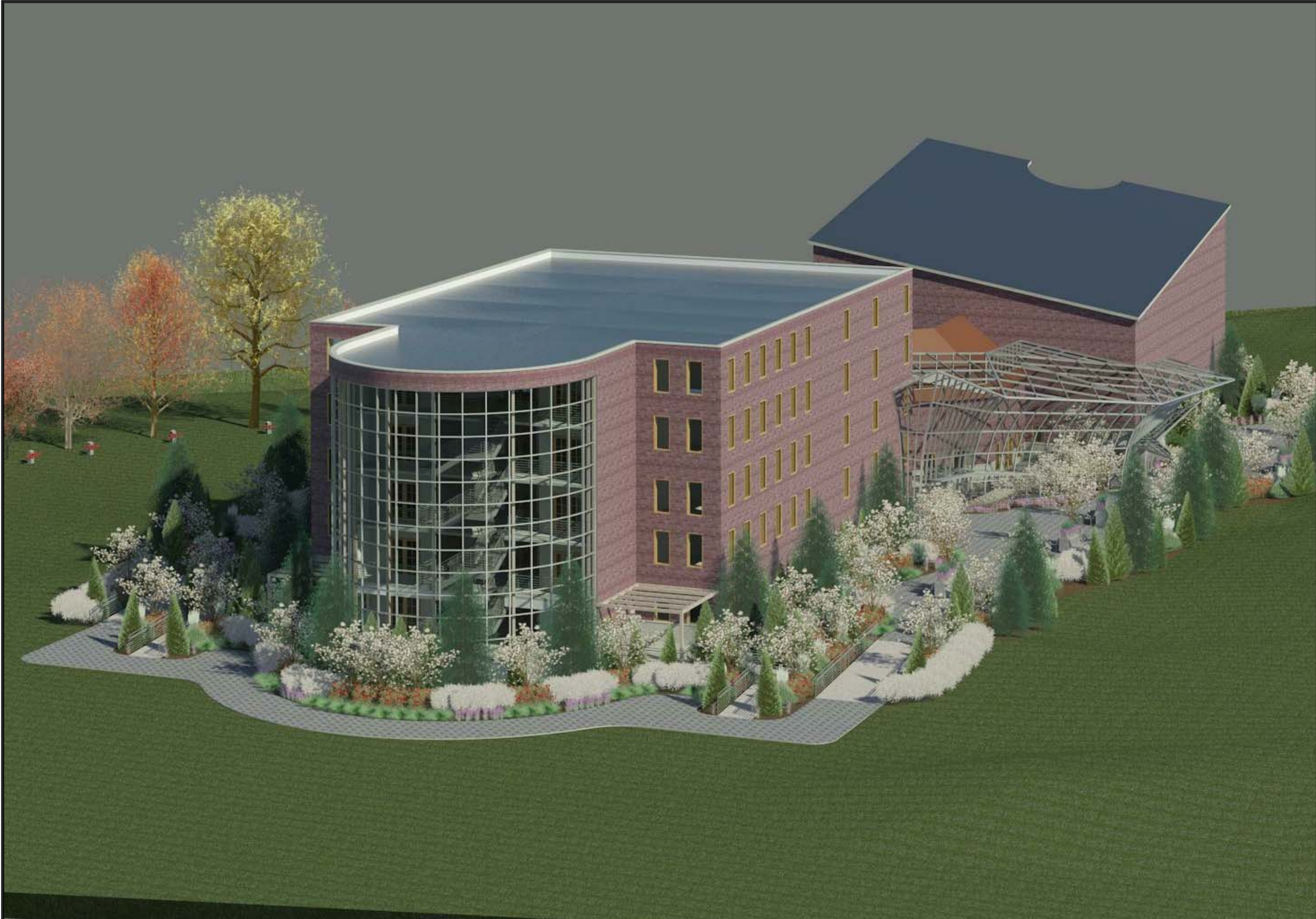
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NO.	ISSUE	DATE

SOUTHEAST SITE
AERIAL @ 728"

PROJECT:	10010
DATE:	12-10-2012
DRAWN:	Joseph Fontana
REVIEWED:	J. FONTANA
SCALE:	12" = 1'-0"

AV001.1



Joseph Fontana
Architectural Designer
CADD-Ops & Protocol Consultant

New York Studio
38 West 75th Street, Apt. 1R
New York, NY 10023
212 724 6570

Shore Studios
104 Hudson Avenue
Red Bank, NJ 07701

Fontana.Architectural.Design@gmail.com
FontanaArchitecturalDesign.com

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NO.	ISSUE	DATE

SOUTHEAST SITE
AERIAL @ 151' -
RENDERED

PROJECT:	10010
DATE:	12-10-2012
DRAWN:	Joseph Fontana
REVIEWED:	J. FONTANA
SCALE:	12" = 1'-0"

AV002.1b

SOUTHEAST SITE AERIAL @ 151' - RENDERED



SOUTHWEST ENTRANCE - RENDERED

Joseph Fontana
Architectural Designer
CADD-Ops & Protocol Consultant

New York Studio
38 West 75th Street, Apt. 1R
New York, NY 10023
212 724 6570

Shore Studios
104 Hudson Avenue
Red Bank, NJ 07701

Fontana.Architectural.Design@gmail.com
FontanaArchitecturalDesign.com

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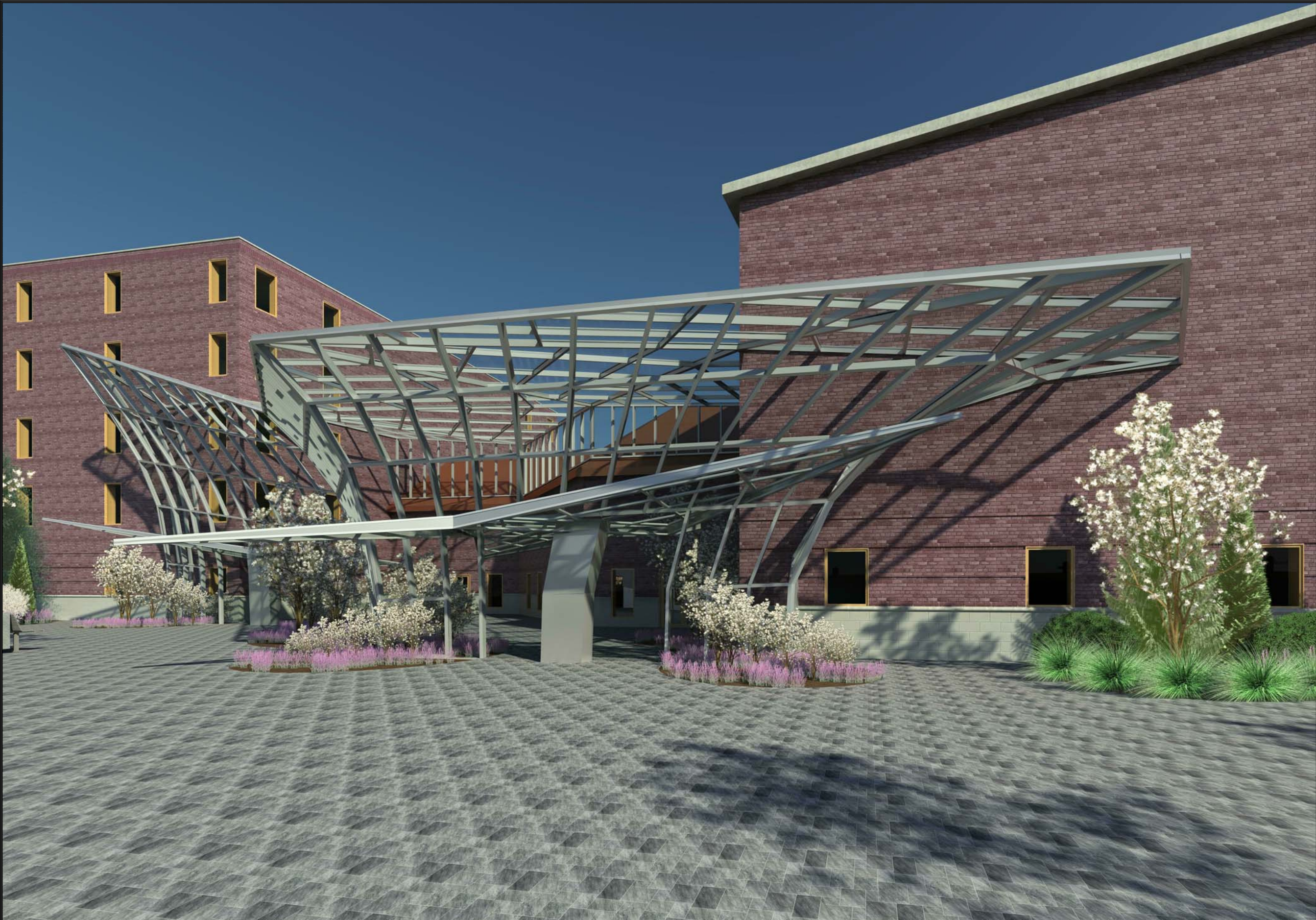
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NO.	ISSUE	DATE

SOUTHWEST
ENTRANCE -
RENDERED

PROJECT:	10010
DATE:	12-10-2012
DRAWN:	Joseph Fontana
REVIEWED:	J. FONTANA
SCALE:	12" = 1'-0"

AV003.1b



ATRIUM EAST - RENDERED

Joseph Fontana
Architectural Designer
CADD-Ops & Protocol Consultant

New York Studio
38 West 75th Street, Apt. 1R
New York, NY 10023
212 724 6570

Shore Studios
104 Hudson Avenue
Red Bank, NJ 07701

Fontana.Architectural.Design@gmail.com
FontanaArchitecturalDesign.com

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NO.	ISSUE	DATE

ATRIUM EAST -
RENDERED

PROJECT:	10010
DATE:	12-10-2012
DRAWN:	Joseph Fontana
REVIEWED:	J. FONTANA
SCALE:	12" = 1'-0"

AV005.1b



ATRIUM GARDENS EAST - RENDERED

Joseph Fontana
Architectural Designer
CADD-Ops & Protocol Consultant

New York Studio
38 West 75th Street, Apt. 1R
New York, NY 10023
212 724 6570

Shore Studios
104 Hudson Avenue
Red Bank, NJ 07701

Fontana.Architectural.Design@gmail.com
FontanaArchitecturalDesign.com

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NO.	ISSUE	DATE

**ATRIUM GARDENS
EAST - RENDERED**

PROJECT:	10010
DATE:	12-10-2012
DRAWN:	Joseph Fontana
REVIEWED:	J. FONTANA
SCALE:	12" = 1'-0"

AV005.2b



SOUTH WING CORRIDOR - RENDERED

Joseph Fontana
Architectural Designer
CADD-Ops & Protocol Consultant

New York Studio
38 West 75th Street, Apt. 1R
New York, NY 10023
212 724 6570

Shore Studios
104 Hudson Avenue
Red Bank, NJ 07701

Fontana.Architectural.Design@gmail.com
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NO.	ISSUE	DATE

SOUTH WING
CORRIDOR -
RENDERED

PROJECT:	10010
DATE:	12-10-2012
DRAWN:	Joseph Fontana
REVIEWED:	J. FONTANA
SCALE:	12" = 1'-0"

AV007.1



NORTHEAST CLASSROOM - RENDERED - BEST MODE

Joseph Fontana
Architectural Designer
CADD-Ops & Protocol Consultant

New York Studio
38 West 75th Street, Apt. 1R
New York, NY 10023
212 724 6570

Shore Studios
104 Hudson Avenue
Red Bank, NJ 07701

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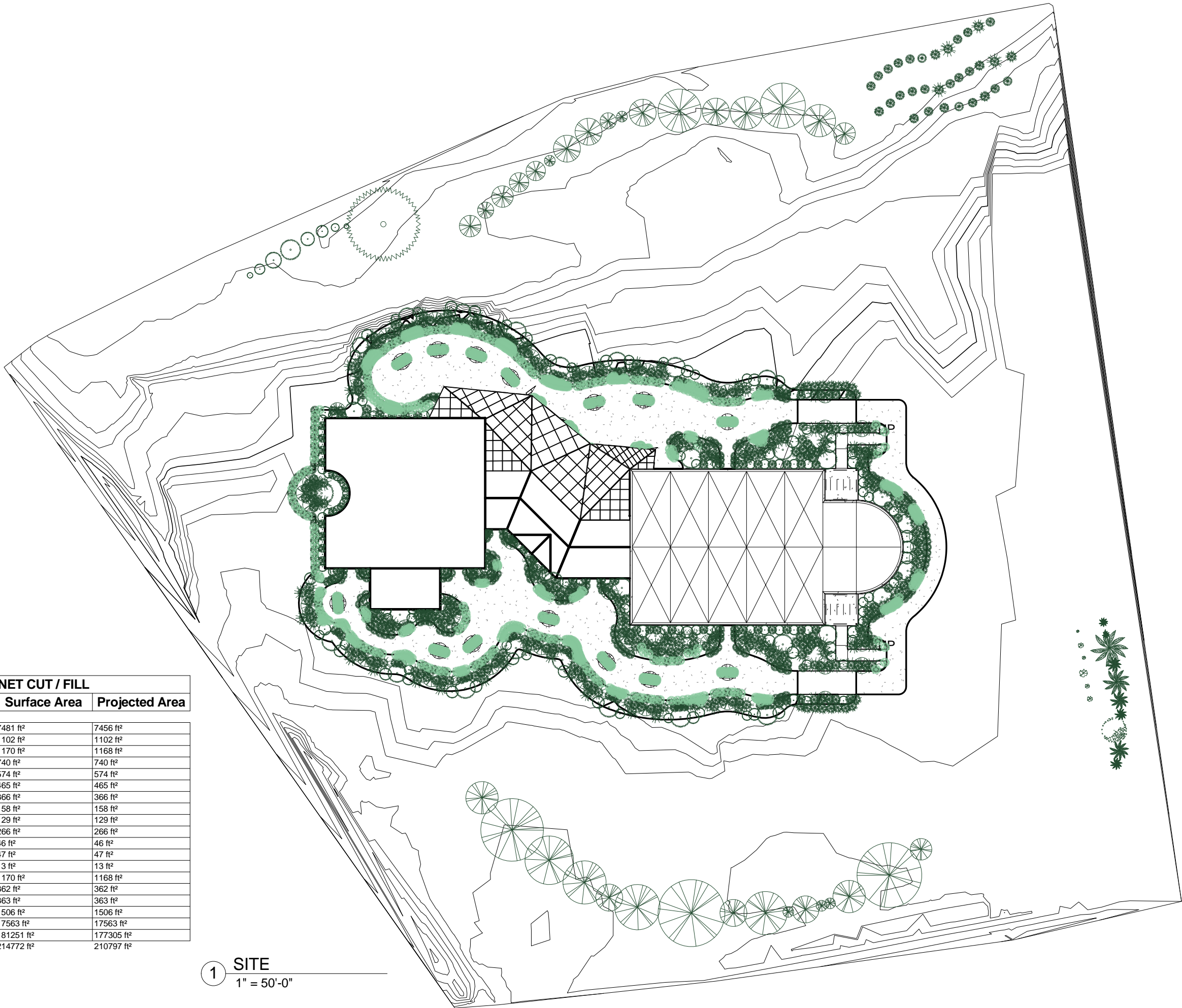
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NO.	ISSUE	DATE

NORTHEAST
CLASSROOM -
RENDERED - BEST
MODE

PROJECT:	10010
DATE:	12-10-2012
DRAWN:	Joseph Fontana
REVIEWED:	J. FONTANA
SCALE:	12" = 1'-0"

AV008.1b



NET CUT / FILL		
Net cut/fill	Surface Area	Projected Area
2480.72 ft³	7481 ft²	7456 ft²
1991.81 ft³	1102 ft²	1102 ft²
1432.45 ft³	1170 ft²	1168 ft²
1244.97 ft³	740 ft²	740 ft²
640.56 ft³	574 ft²	574 ft²
451.48 ft³	465 ft²	465 ft²
420.06 ft³	366 ft²	366 ft²
161.04 ft³	158 ft²	158 ft²
155.48 ft³	129 ft²	129 ft²
56.58 ft³	266 ft²	266 ft²
52.66 ft³	46 ft²	46 ft²
49.13 ft³	47 ft²	47 ft²
5.60 ft³	13 ft²	13 ft²
-156.11 ft³	1170 ft²	1168 ft²
-320.83 ft³	362 ft²	362 ft²
-430.50 ft³	363 ft²	363 ft²
-2366.43 ft³	1506 ft²	1506 ft²
-9953.63 ft³	17563 ft²	17563 ft²
-50344.38 ft³	181251 ft²	177305 ft²
-54429.33 ft³	214772 ft²	210797 ft²

1 SITE
1" = 50'-0"

Joseph Fontana
Architectural Designer
CADD-Ops & Protocol Consultant

New York Studio
38 West 75th Street, Apt. 1R
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212 724 6570

Shore Studios
104 Hudson Avenue
Red Bank, NJ 07701

Fontana.Architectural.Design@gmail.com
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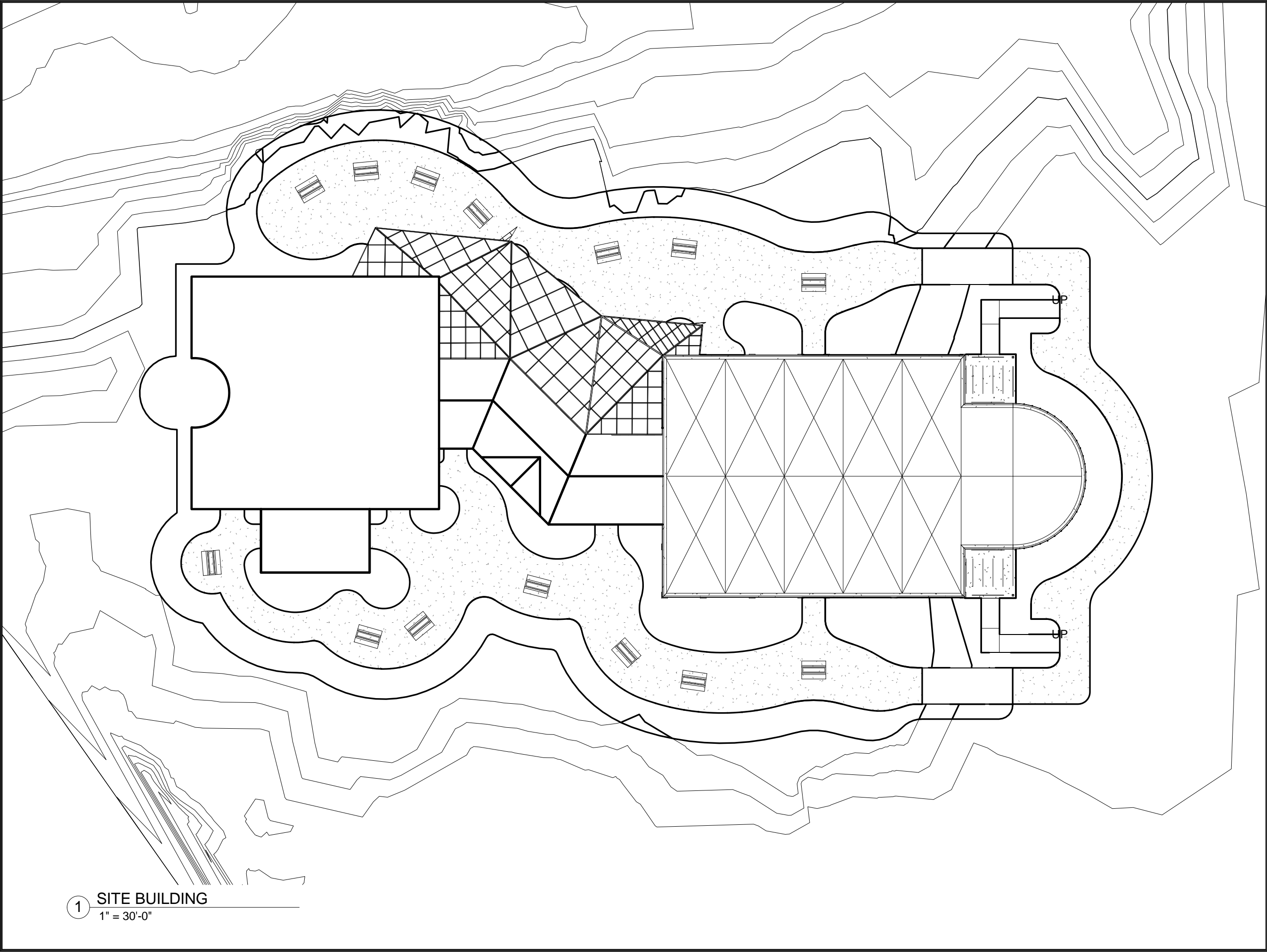
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NO.	ISSUE	DATE

SITE PLAN

PROJECT:	10010
DATE:	12-10-2012
DRAWN:	Joseph Fontana
REVIEWED:	J. FONTANA
SCALE:	1" = 50'-0"

C101.1



1 SITE BUILDING
1" = 30'-0"

Joseph Fontana
Architectural Designer
CADD-Ops & Protocol Consultant

New York Studio
38 West 75th Street, Apt. 1R
New York, NY 10023
212 724 6570

Shore Studios
104 Hudson Avenue
Red Bank, NJ 07701

Fontana.Architectural.Design@gmail.com
FontanaArchitecturalDesign.com

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NO.	ISSUE	DATE

**SITE BUILDING
PLAN**

PROJECT:	10010
DATE:	12-10-2012
DRAWN:	Joseph Fontana
REVIEWED:	J. FONTANA
SCALE:	1" = 30'-0"

C101.1a



SITE BUILDING PLAN

Joseph Fontana
Architectural Designer
CADD-Ops & Protocol Consultant

New York Studio
38 West 75th Street, Apt. 1R
New York, NY 10023
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Shore Studios
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Red Bank, NJ 07701

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NO.	ISSUE	DATE

SITE BUILDING
PLAN

PROJECT:	10010
DATE:	12-10-2012
DRAWN:	Joseph Fontana
REVIEWED:	J. FONTANA
SCALE:	1" = 30'-0"

CV001



SOUTH SITE ELEVATION



NORTH SITE ELEVATION

Joseph Fontana
Architectural Designer
CADD-Ops & Protocol Consultant

New York Studio
38 West 75th Street, Apt. 1R
New York, NY 10023
212 724 6570

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104 Hudson Avenue
Red Bank, NJ 07701

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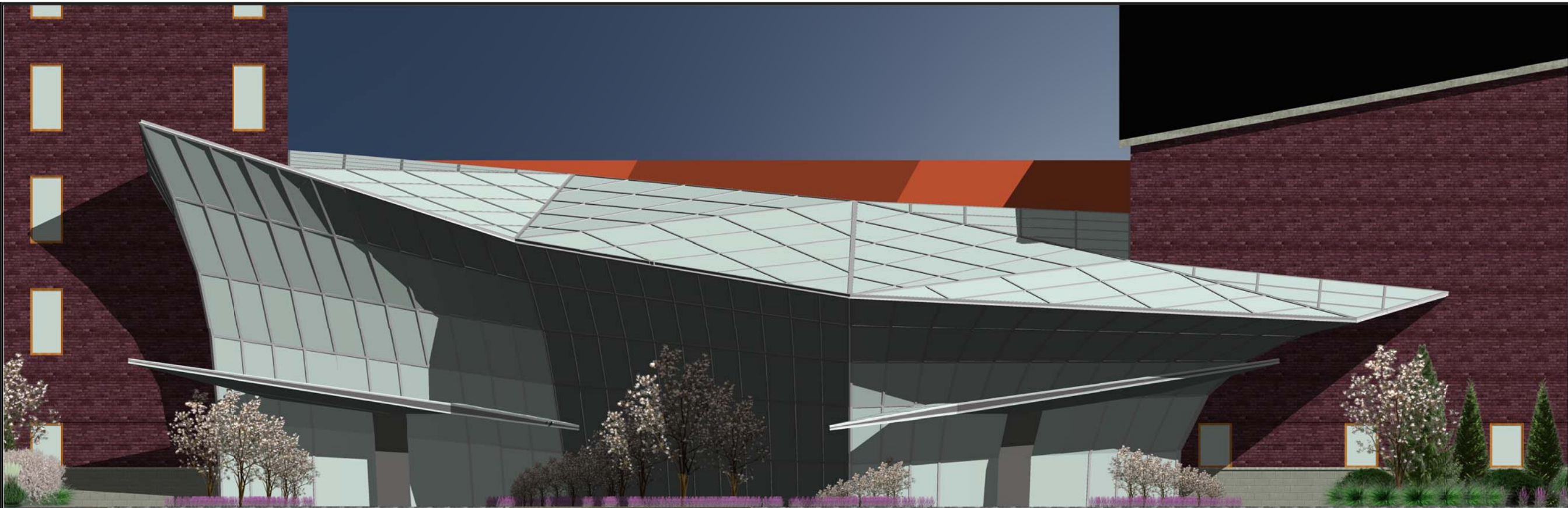
ALL SHOP AND/OR CONSTRUCTION DRAWINGS, FINISH SAMPLES AND/OR CHANGES MUST BE SENT TO FONTANA ARCHITECTURAL DESIGN FOR FINAL APPROVAL AND SIGN OFF BEFORE CONSTRUCTION.

NO.	ISSUE	DATE

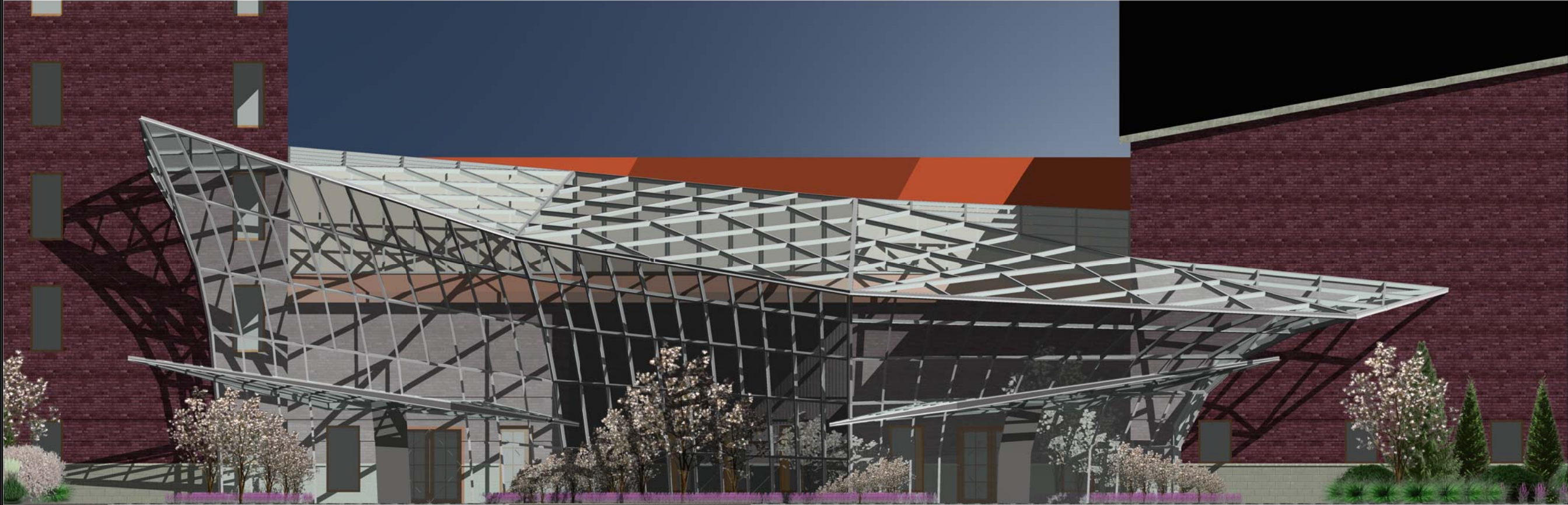
NORTH & SOUTH
SITE ELEVATION

PROJECT:	10010
DATE:	12-10-2012
DRAWN:	Joseph Fontana
REVIEWED:	J. FONTANA
SCALE:	1/16" = 1'-0"

CV002



ATRIUM SITE EAST ELEVATION "REALISTIC"



ATRIUM SITE EAST ELEVATION "REALISTIC" GLASS @ 1%

Joseph Fontana
Architectural Designer
CADD-Ops & Protocol Consultant

New York Studio
38 West 75th Street, Apt. 1R
New York, NY 10023
212 724 6570

Shore Studios
104 Hudson Avenue
Red Bank, NJ 07701

Fontana.Architectural.Design@gmail.com
FontanaArchitecturalDesign.com

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NO.	ISSUE	DATE

**ATRIUM SITE EAST
ELEVATIONS**

PROJECT:	10010
DATE:	12-10-2012
DRAWN:	Joseph Fontana
REVIEWED:	J. FONTANA
SCALE:	1" = 10'-0"

CV003

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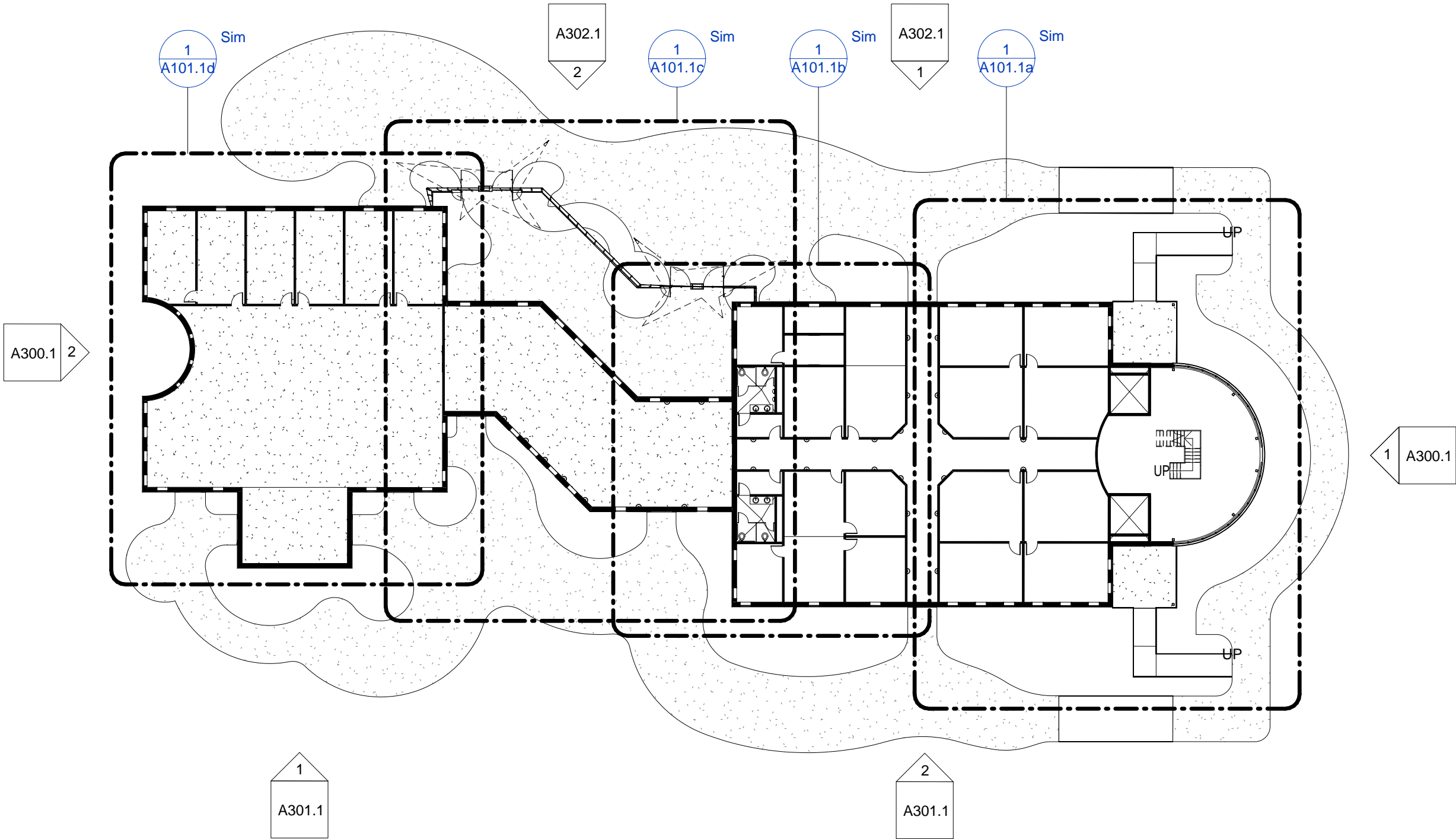
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NO.	ISSUE	DATE

FIRST FLOOR
DRAWING KEY

PROJECT:	10010
DATE:	12-10-2012
DRAWN:	Joseph Fontana
REVIEWED:	J. FONTANA
SCALE:	1" = 30'-0"

A101.0



1 FIRST FLOOR DRAWING KEY
1" = 30'-0"

Joseph Fontana
Architectural Designer
CADD-Ops & Protocol Consultant

New York Studio
38 West 75th Street, Apt. 1R
New York, NY 10023
212 724 6570

Shore Studios
104 Hudson Avenue
Red Bank, NJ 07701

FontanaArchitecturalDesign@gmail.com
FontanaArchitecturalDesign.com

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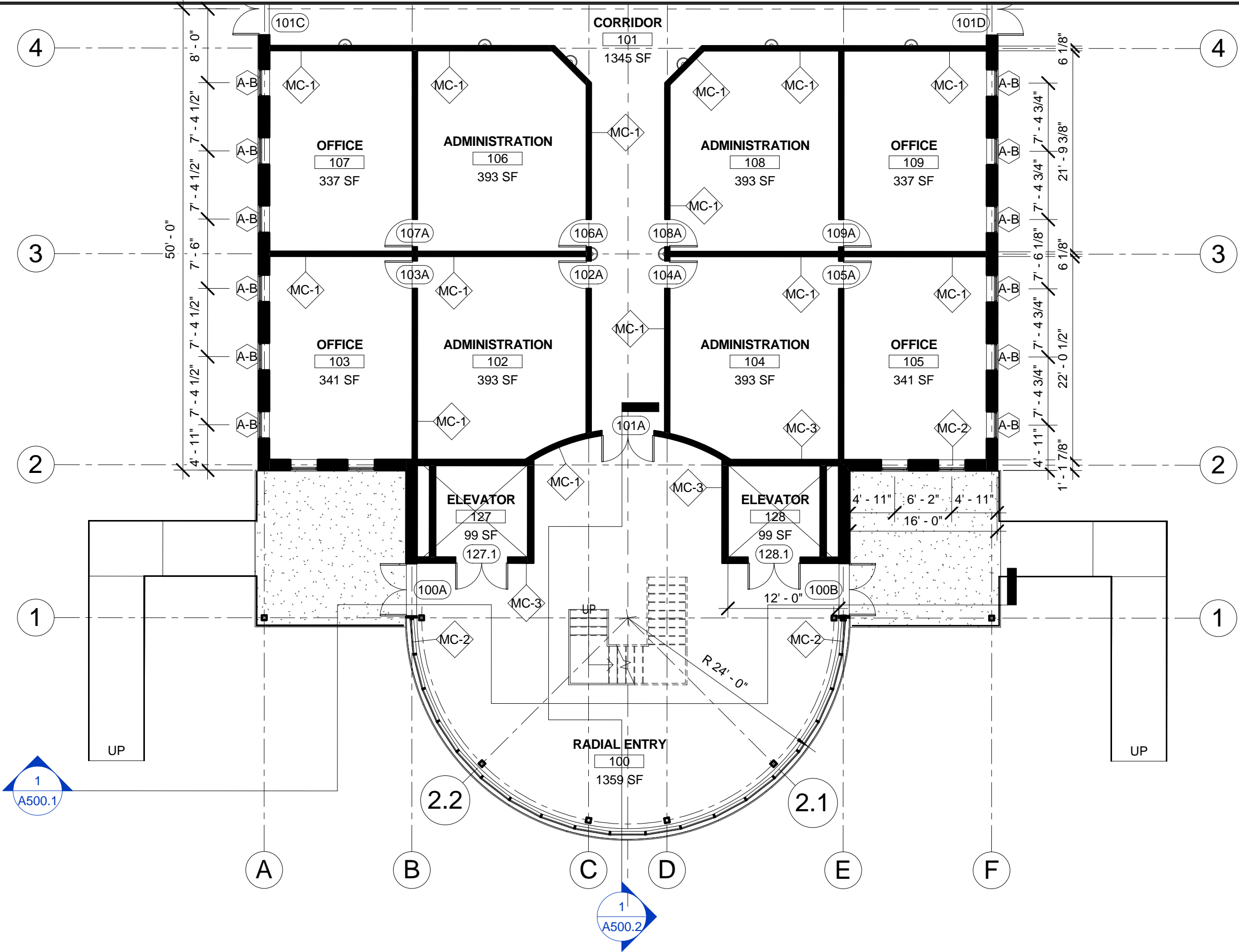
NO.	ISSUE	DATE

FIRST FLOOR
SOUTH WING
CONSTRUCTION
PLAN 1 OF 4

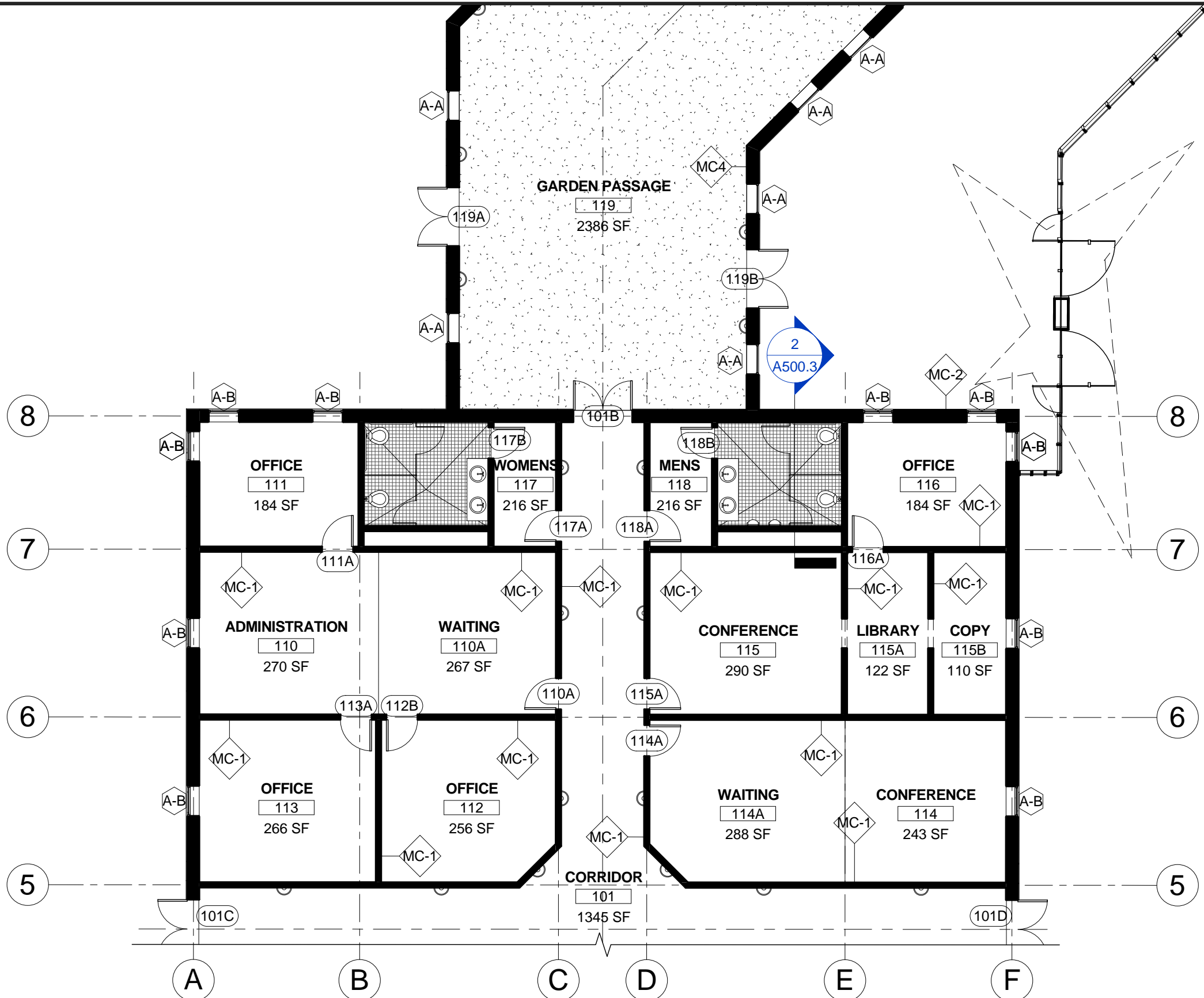
PROJECT:	10010
DATE:	12-10-2012
DRAWN:	Joseph Fontana
REVIEWED:	J. FONTANA
SCALE:	3/32" = 1'-0"

A101.1a

2/23/2013 10:01:42 AM



1 FIRST FLOOR CONSTRUCTION PLAN 1 OF 4
3/32" = 1'-0"



1 FIRST FLOOR CONSTRUCTION PLAN 2 OF 4
3/32" = 1'-0"

Joseph Fontana
Architectural Designer
CADD-Ops & Protocol Consultant

New York Studio
38 West 75th Street, Apt. 1R
New York, NY 10023
212 724 6570

Shore Studios
104 Hudson Avenue
Red Bank, NJ 07701

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NO.	ISSUE	DATE

**FIRST FLOOR
SOUTH WING
CONSTRUCTION
PLAN 2 OF 4**

PROJECT:	10010
DATE:	12-10-2012
DRAWN:	Joseph Fontana
REVIEWED:	J. FONTANA
SCALE:	3/32" = 1'-0"

A101.1b

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NO.	ISSUE	DATE

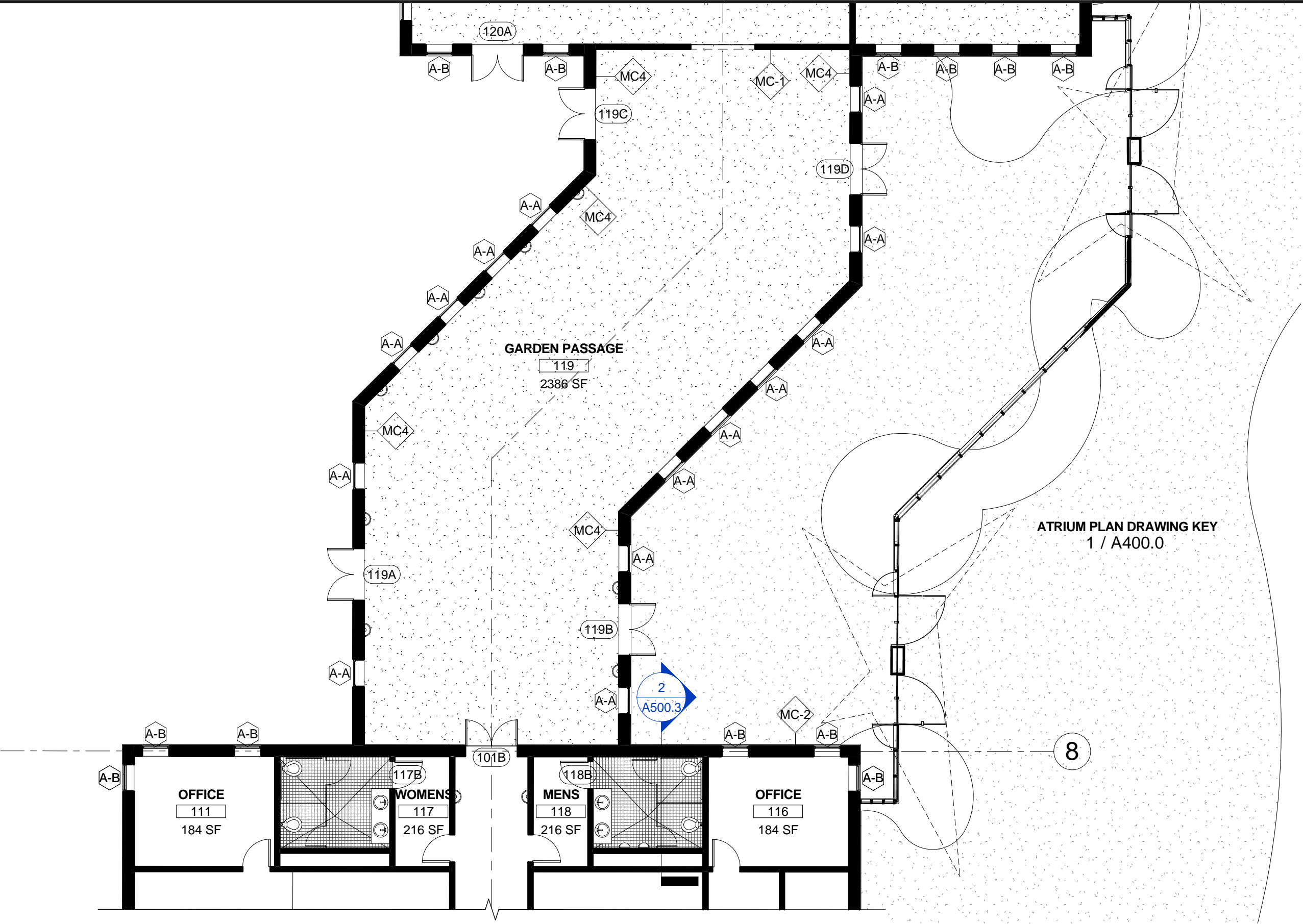
FIRST FLOOR
SOUTH WING
CONSTRUCTION
PLAN 3 OF 4

PROJECT:	10010
DATE:	12-10-2012
DRAWN:	Joseph Fontana
REVIEWED:	J. FONTANA
SCALE:	3/32" = 1'-0"

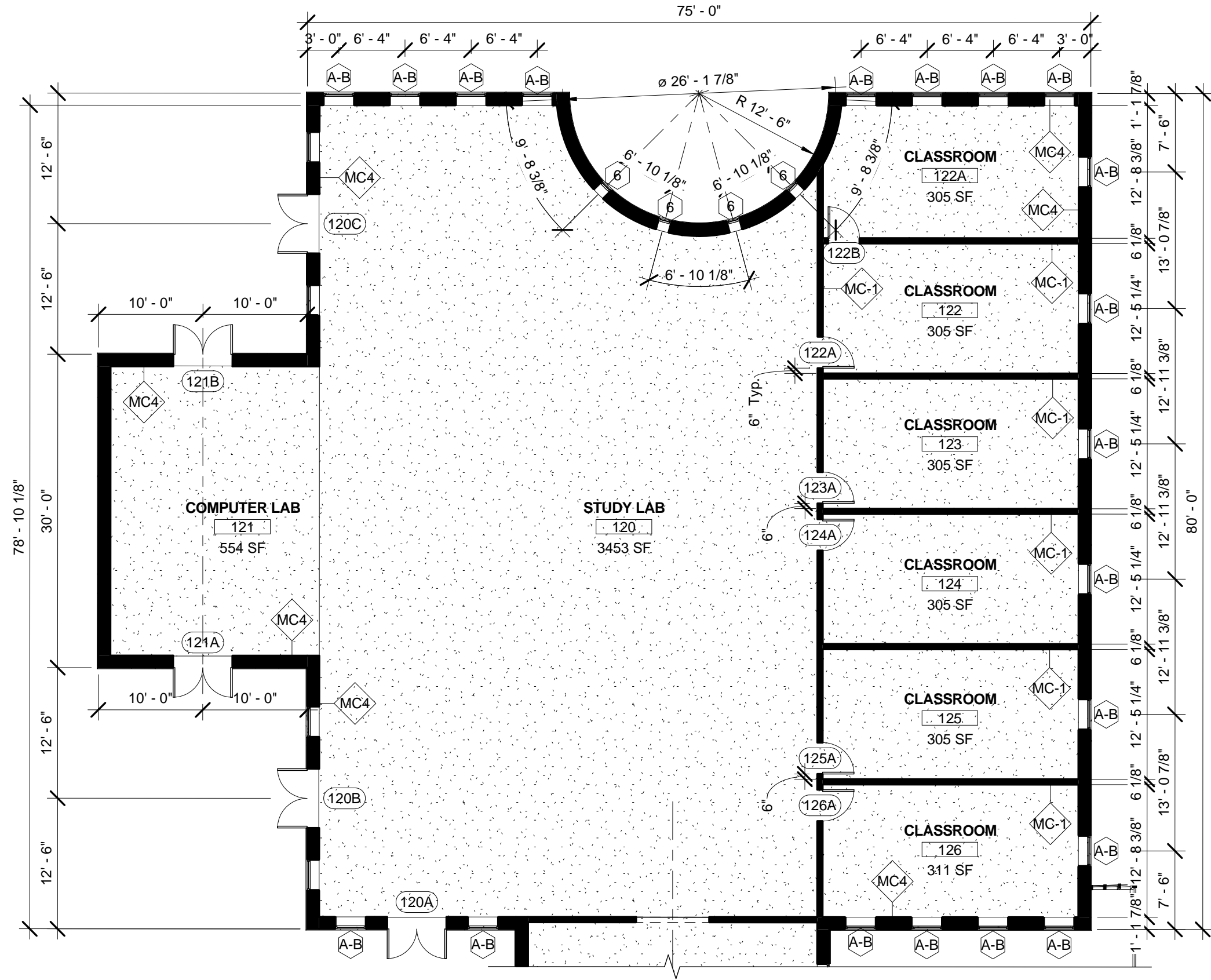
A101.1c

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ATRIUM PLAN DRAWING KEY
1 / A400.0



1 FIRST FLOOR CONSTRUCTION PLAN 3 OF 4
3/32" = 1'-0"



1 FIRST FLOOR CONSTRUCTION PLAN 4 OF 4
3/32" = 1'-0"

Joseph Fontana
Architectural Designer
CADD-Ops & Protocol Consultant

New York Studio
38 West 75th Street, Apt. 1R
New York, NY 10023
212 724 6570

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Red Bank, NJ 07701

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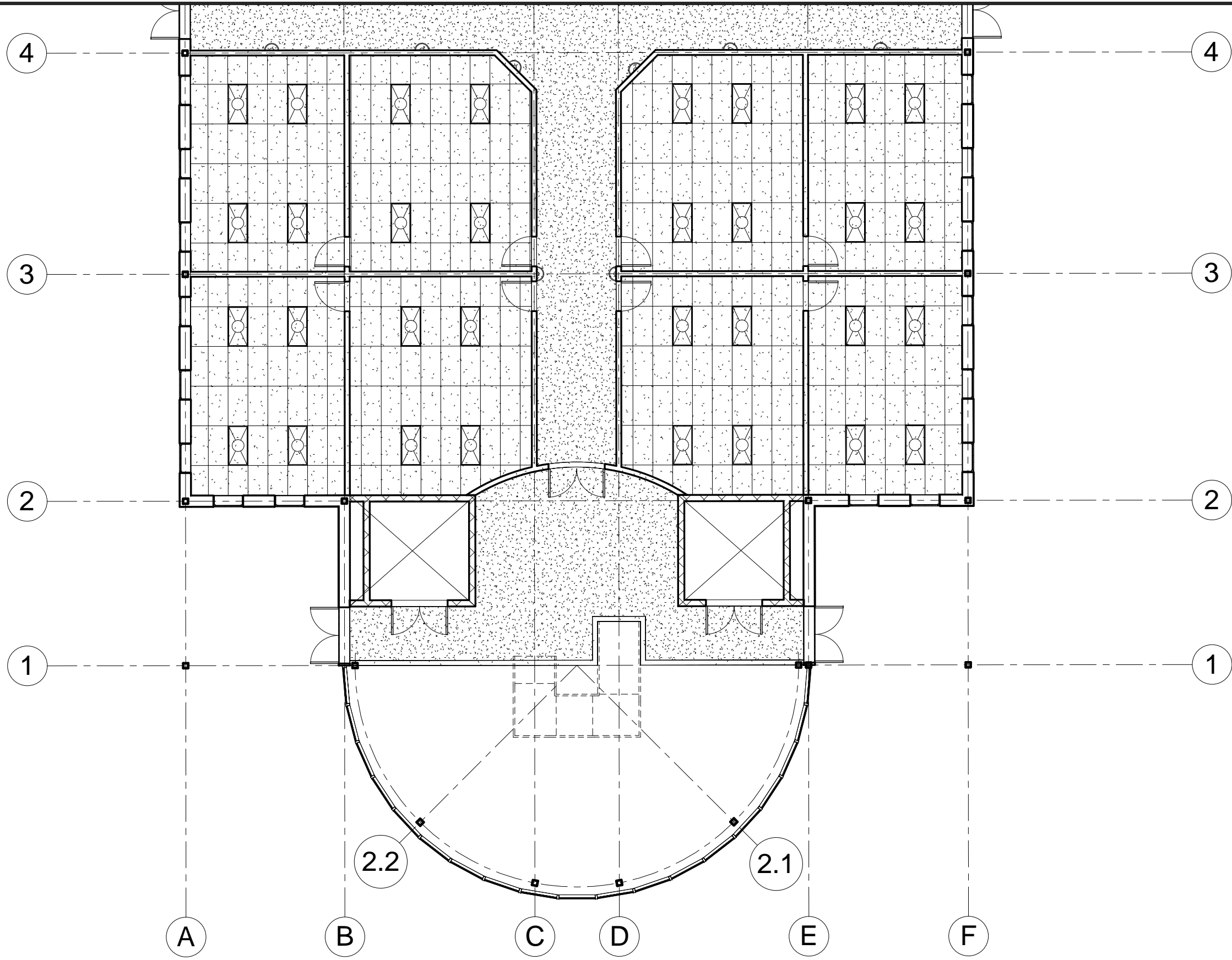
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**FIRST FLOOR
SOUTH WING
CONSTRUCTION
PLAN 4 OF 4**

PROJECT: 10010
DATE: 12-10-2012
DRAWN: Joseph Fontana
REVIEWED: J. FONTANA
SCALE: 3/32" = 1'-0"



1 FIRST FLOOR SOUTH WING REFLECTED 1 OF 2
3/32" = 1'-0"

Joseph Fontana
Architectural Designer
CADD-Ops & Protocol Consultant

New York Studio
38 West 75th Street, Apt. 1R
New York, NY 10023
212 724 6570

Shore Studios
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Red Bank, NJ 07701

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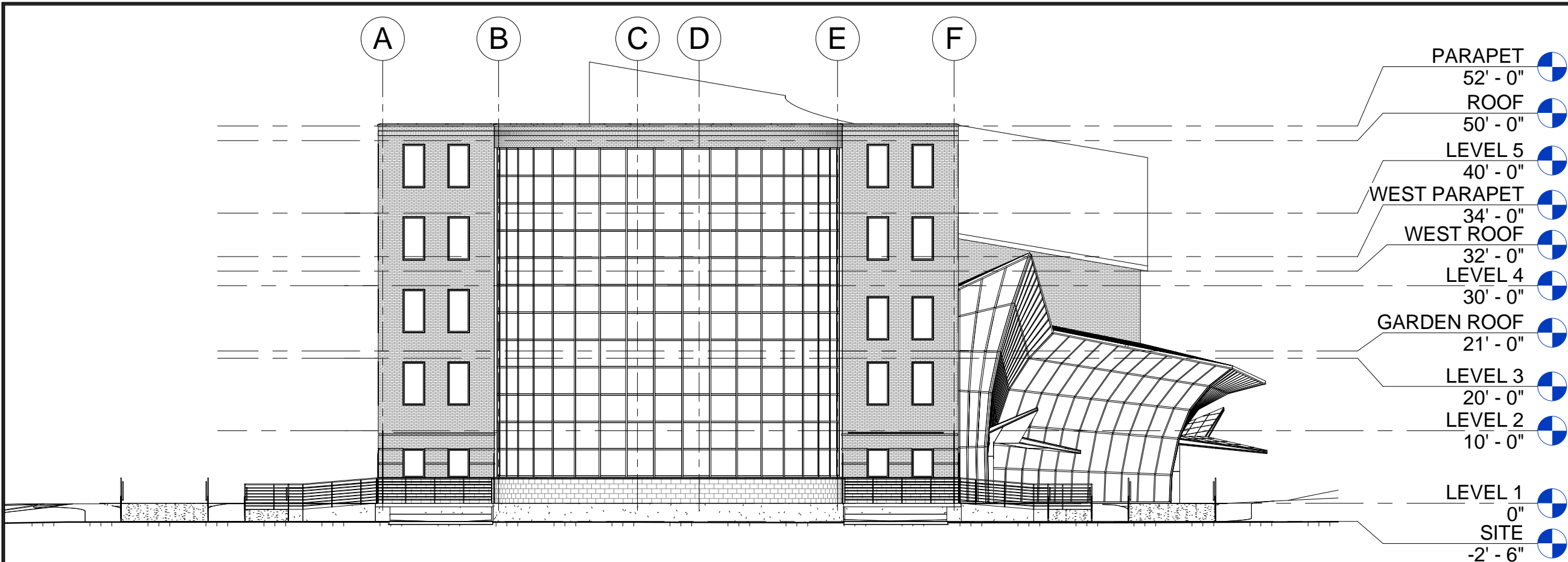
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NO.	ISSUE	DATE

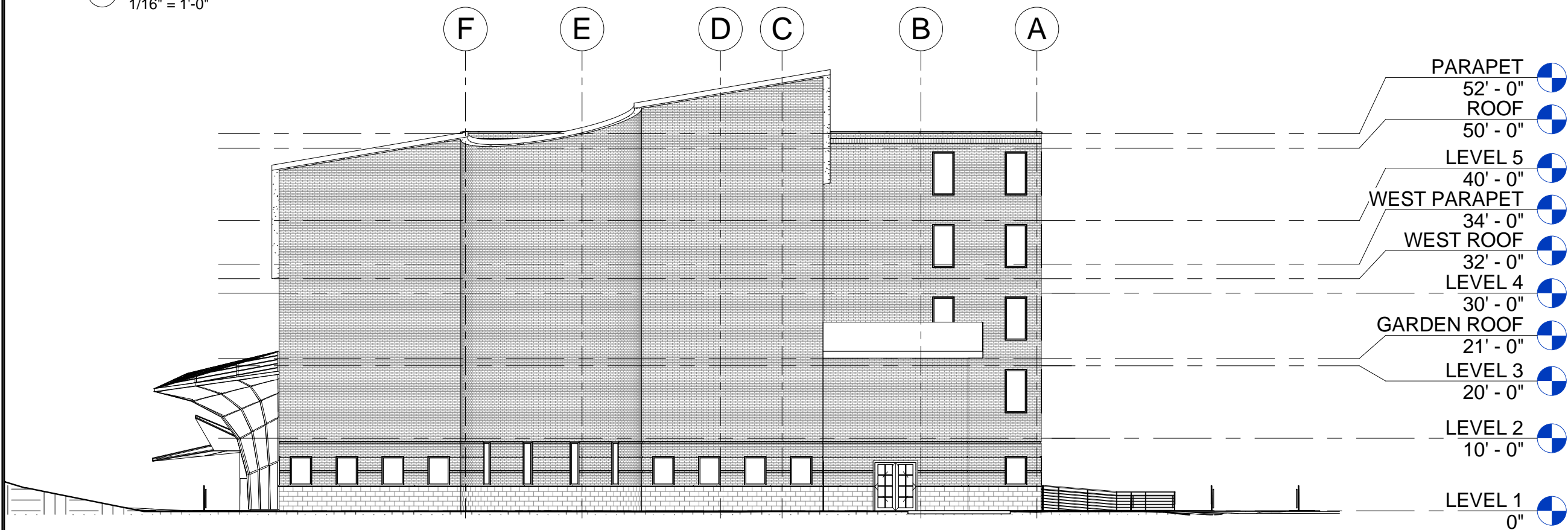
**FIRST FLOOR
SOUTH WING
REFLECTED 1 OF 2**

PROJECT:	10010
DATE:	12-10-2012
DRAWN:	Joseph Fontana
REVIEWED:	J. FONTANA
SCALE:	3/32" = 1'-0"

A101.2a



1 SOUTH BUILDING ELEVATION
1/16" = 1'-0"



2 NORTH BUILDING ELEVATION
1/16" = 1'-0"

Joseph Fontana
Architectural Designer
CADD-Ops & Protocol Consultant

New York Studio
38 West 75th Street, Apt. 1R
New York, NY 10023
212 724 6570

Shore Studios
104 Hudson Avenue
Red Bank, NJ 07701

FontanaArchitecturalDesign@gmail.com
FontanaArchitecturalDesign.com

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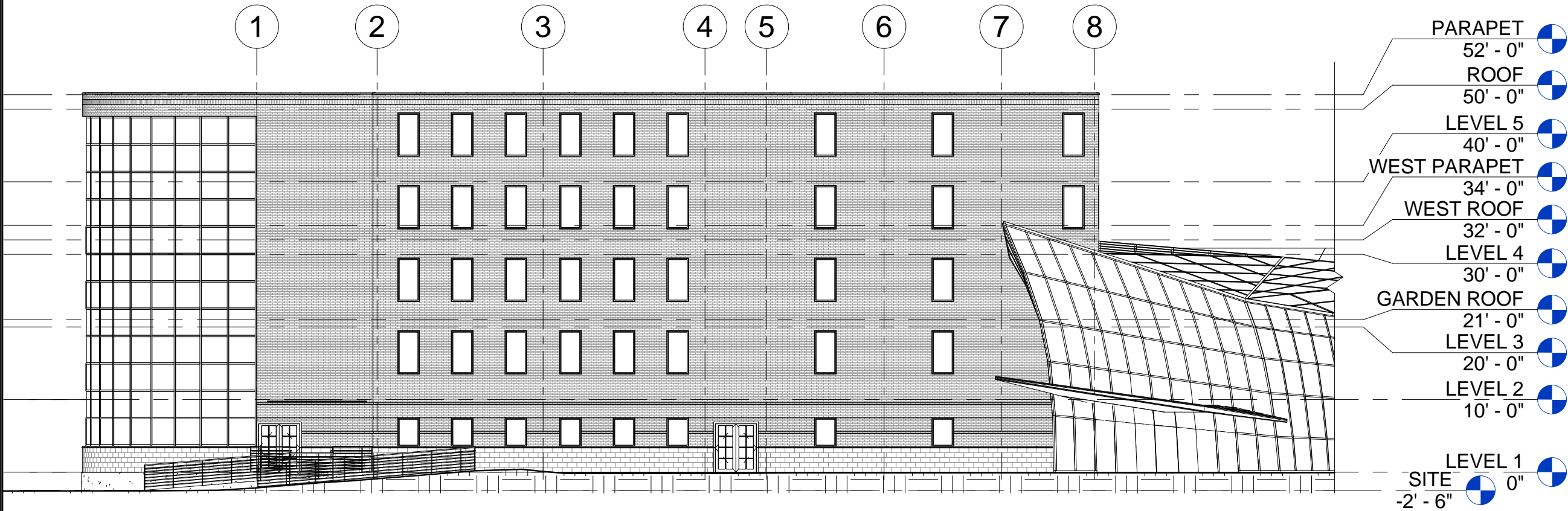
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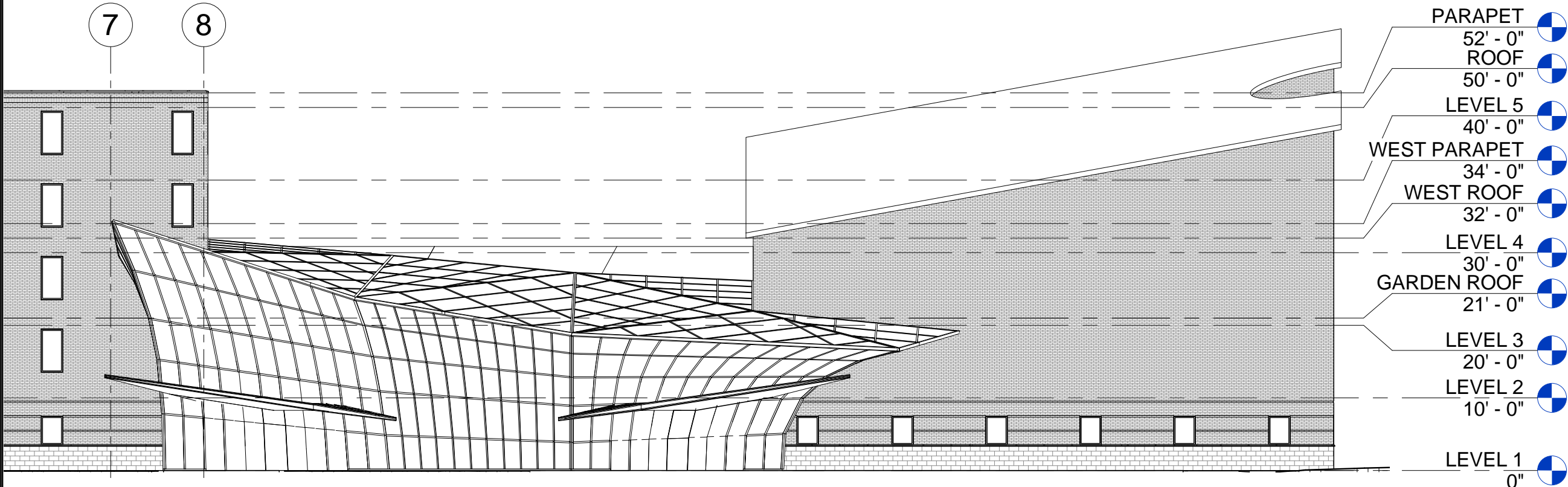
SOUTH & NORTH BUILDING ELEVATIONS

PROJECT:	10010
DATE:	12-10-2012
DRAWN:	Joseph Fontana
REVIEWED:	J. FONTANA
SCALE:	1/16" = 1'-0"

A300.1



1 EAST BUILDING ELEVATION A
1/16" = 1'-0"



2 EAST BUILDING ELEVATION B
1/16" = 1'-0"

Joseph Fontana
Architectural Designer
CADD-Ops & Protocol Consultant

New York Studio
38 West 75th Street, Apt. 1R
New York, NY 10023
212 724 6570

Shore Studios
104 Hudson Avenue
Red Bank, NJ 07701

Fontana.Architectural.Design@gmail.com
FontanaArchitecturalDesign.com

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NO.	ISSUE	DATE

**EAST BUILDING
ELEVATION**

PROJECT:	10010
DATE:	12-10-2012
DRAWN:	Joseph Fontana
REVIEWED:	J. FONTANA
SCALE:	1/16" = 1'-0"

A302.1

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NO.	ISSUE	DATE

ATRIUM PLAN
DRAWING KEY

PROJECT:	10010
DATE:	12-10-2012
DRAWN:	Joseph Fontana
REVIEWED:	J. FONTANA
SCALE:	As indicated

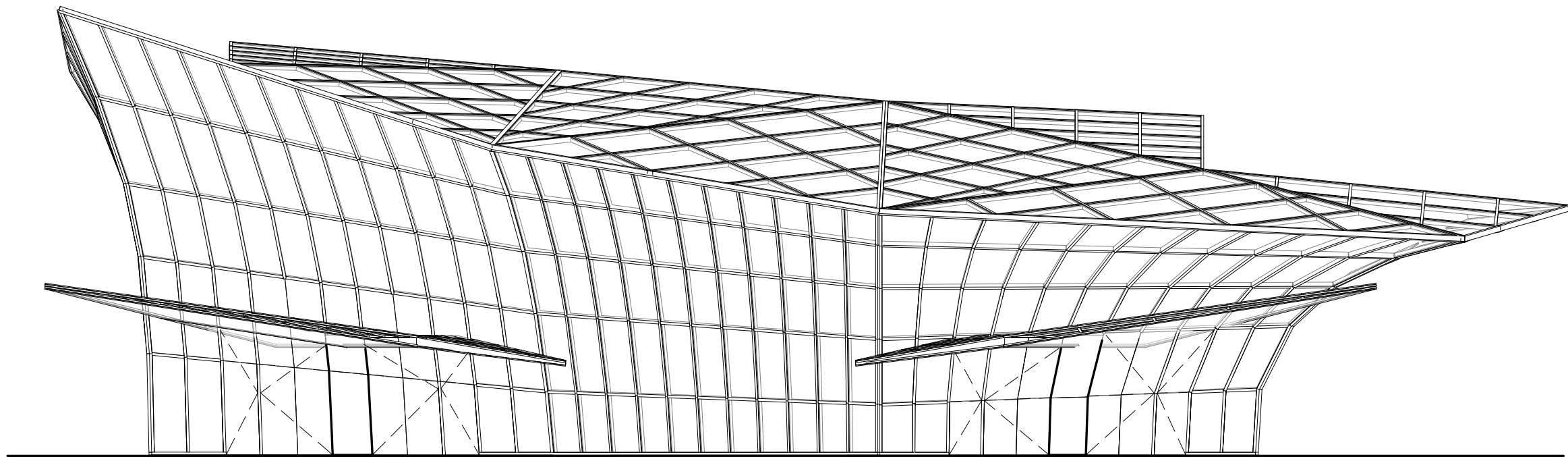
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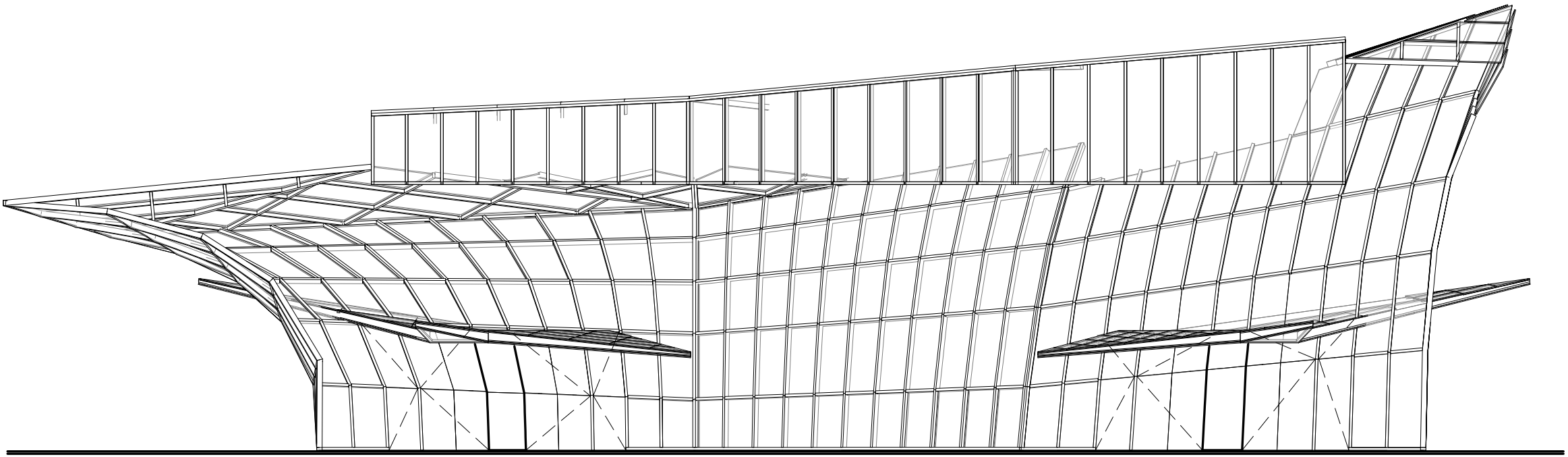


1 ATRIUM PLAN
1" = 10'-0"

2 ATRIUM CANOPY PLAN
1/8" = 1'-0"



1 ATRIUM EAST ELEVATION "HIDDEN LINE" GLASS @ 50%
1" = 10'-0"



2 ATRIUM WEST ELEVATION "HIDDEN LINE" GLASS @ 50%
1" = 10'-0"

Joseph Fontana
Architectural Designer
CADD-Ops & Protocol Consultant

New York Studio
38 West 75th Street, Apt. 1R
New York, NY 10023
212 724 6570

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Red Bank, NJ 07701

FontanaArchitecturalDesign@gmail.com
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NO.	ISSUE	DATE

ATRIUM EAST &
WEST ELEVATIONS
"HIDDEN LINE"
GLASS @ 50%

PROJECT:	10010
DATE:	12-10-2012
DRAWN:	Joseph Fontana
REVIEWED:	J. FONTANA
SCALE:	1" = 10'-0"

A401.1a

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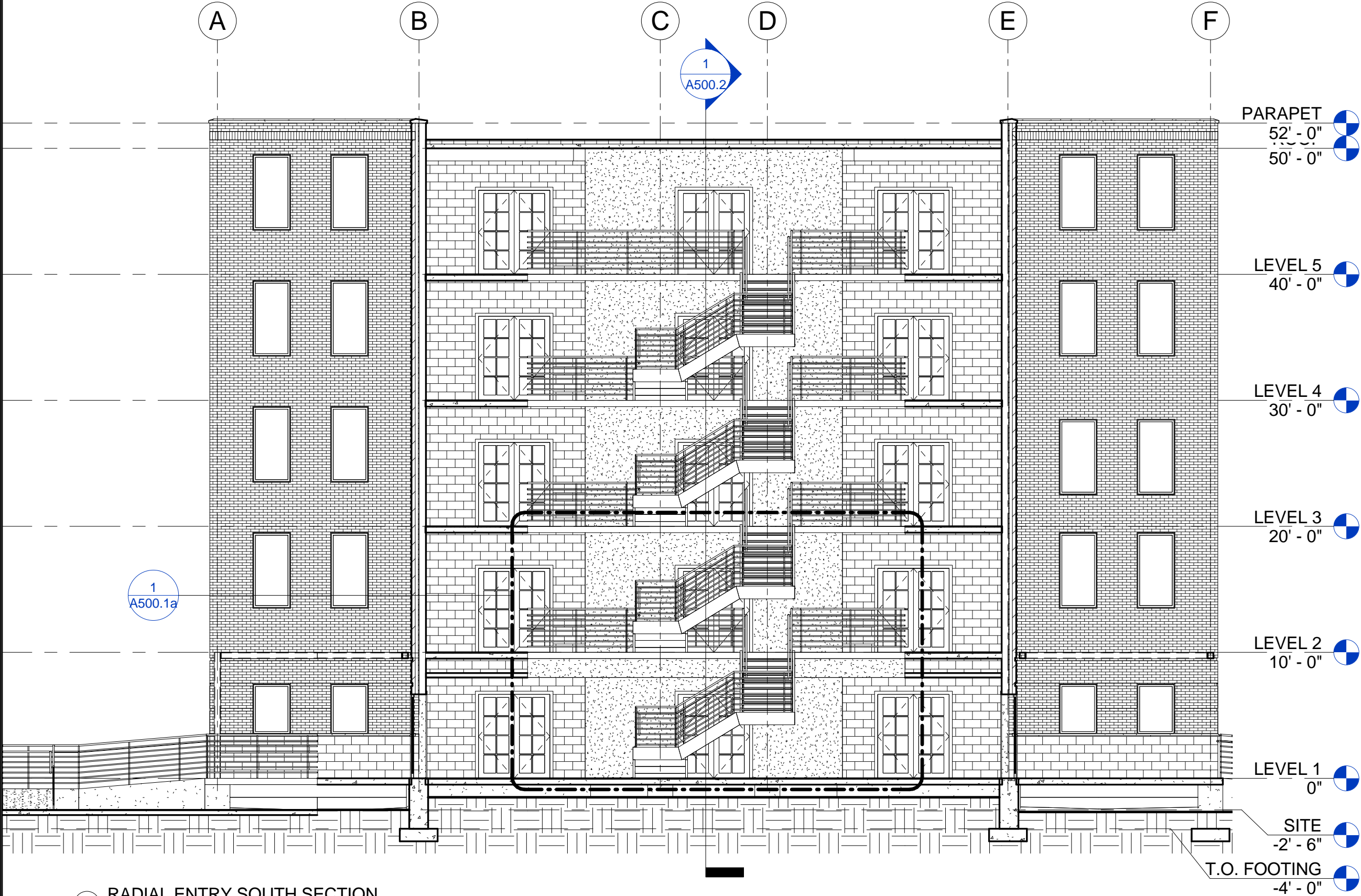
NO.	ISSUE	DATE

ENTRY STAIR
SOUTH SECTION

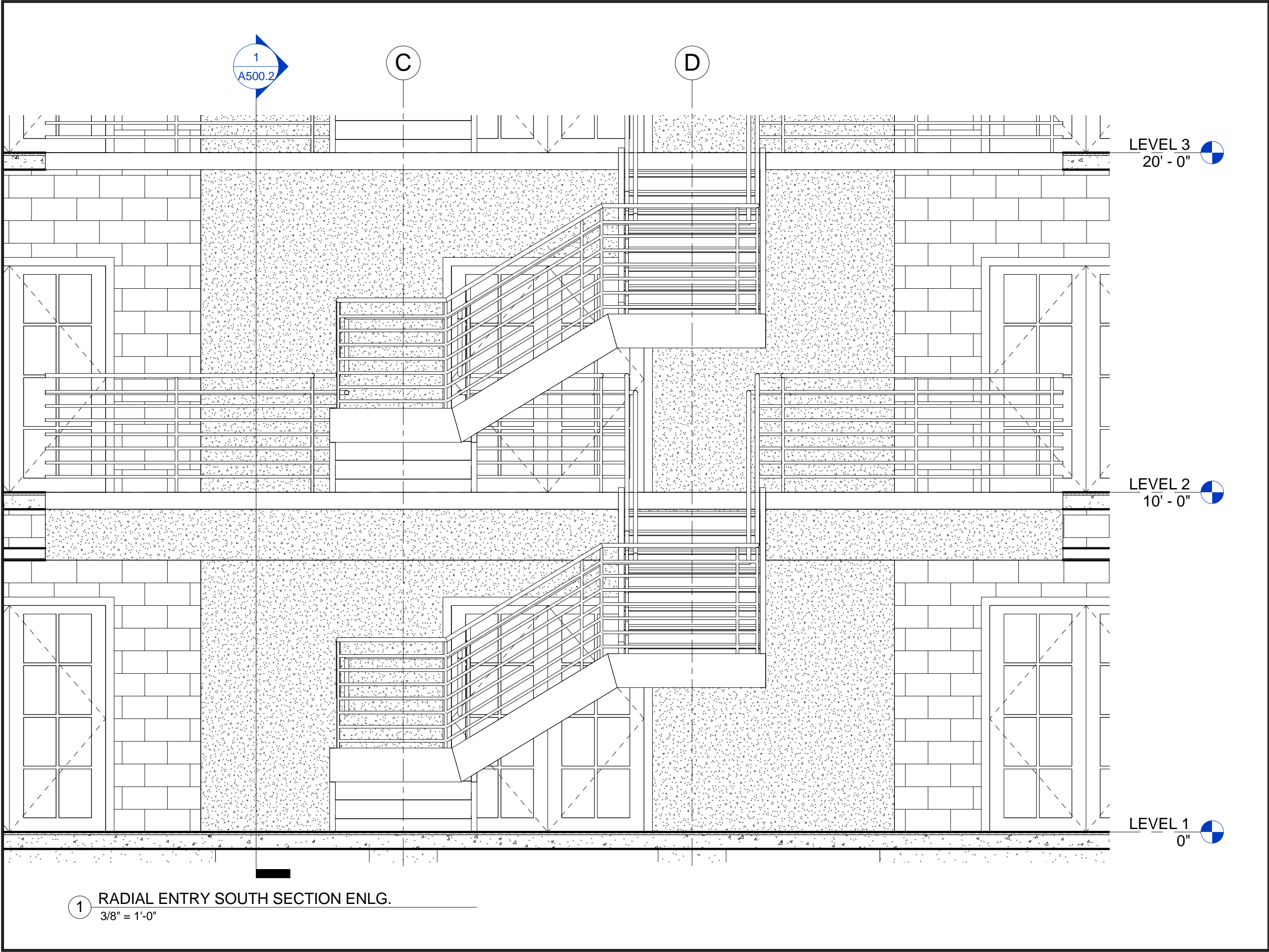
PROJECT:	10010
DATE:	12-10-2012
DRAWN:	Joseph Fontana
REVIEWED:	J. FONTANA
SCALE:	1/8" = 1'-0"

A500.1

2/23/2013 10:02:31 AM



1 RADIAL ENTRY SOUTH SECTION
1/8" = 1'-0"



Joseph Fontana
Architectural Designer
CADD-Ops & Protocol Consultant

New York Studio
38 West 75th Street, Apt. 1R
New York, NY 10023
212 724 6570

Shore Studios
104 Hudson Avenue
Red Bank, NJ 07701
Fontana.Architectural.Design@gmail.com
FontanaArchitecturalDesign.com

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NO.	ISSUE	DATE

**RADIAL ENTRY
SOUTH SECTION
ENLG.**

PROJECT:	10010
DATE:	12-10-2012
DRAWN:	Joseph Fontana
REVIEWED:	J. FONTANA
SCALE:	3/8" = 1'-0"

A500.1a

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NO.	ISSUE	DATE

RADIAL ENTRY
WEST SECTIONS

PROJECT: 10010

DATE: 12-10-2012

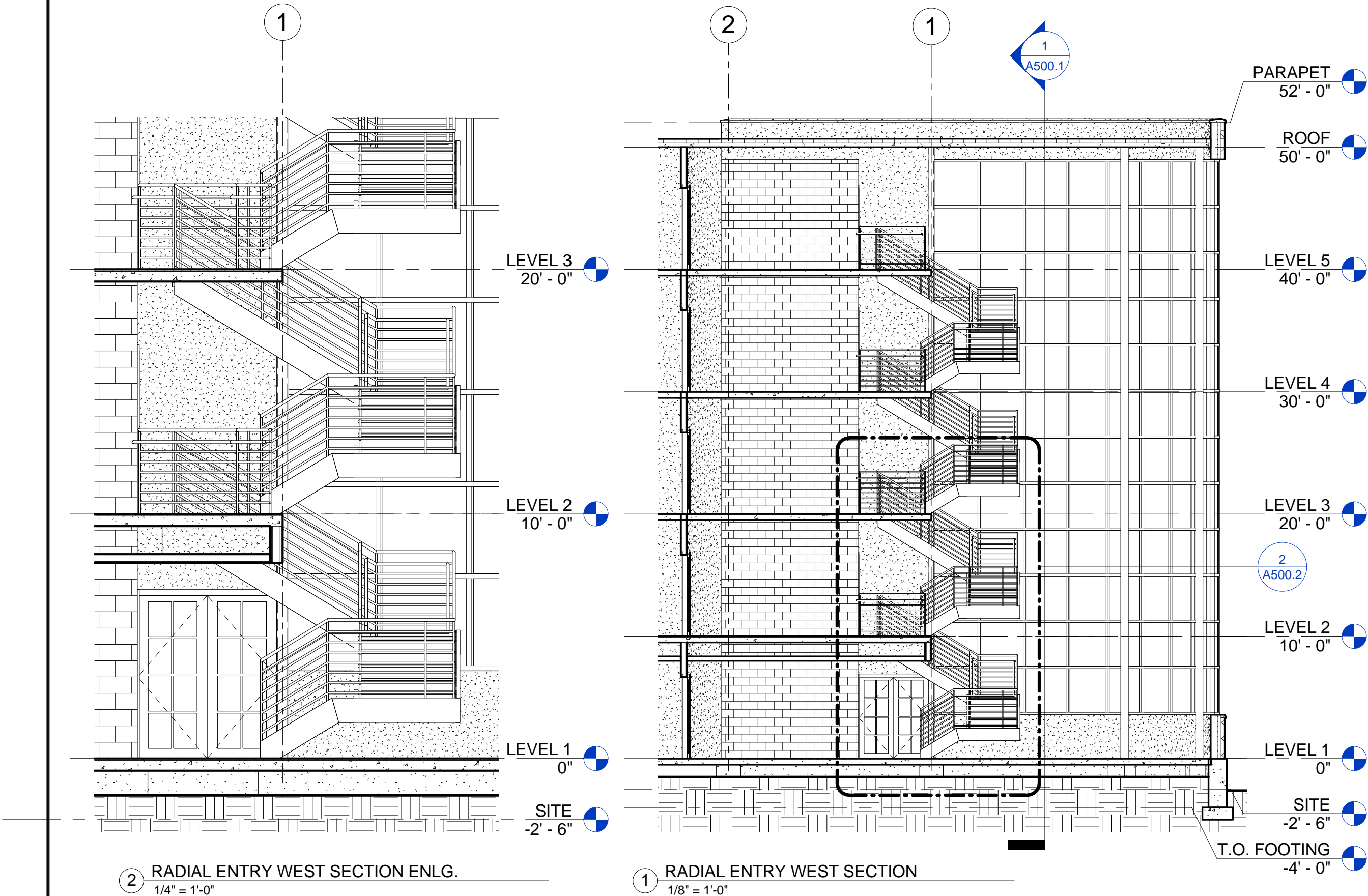
DRAWN: Joseph Fontana

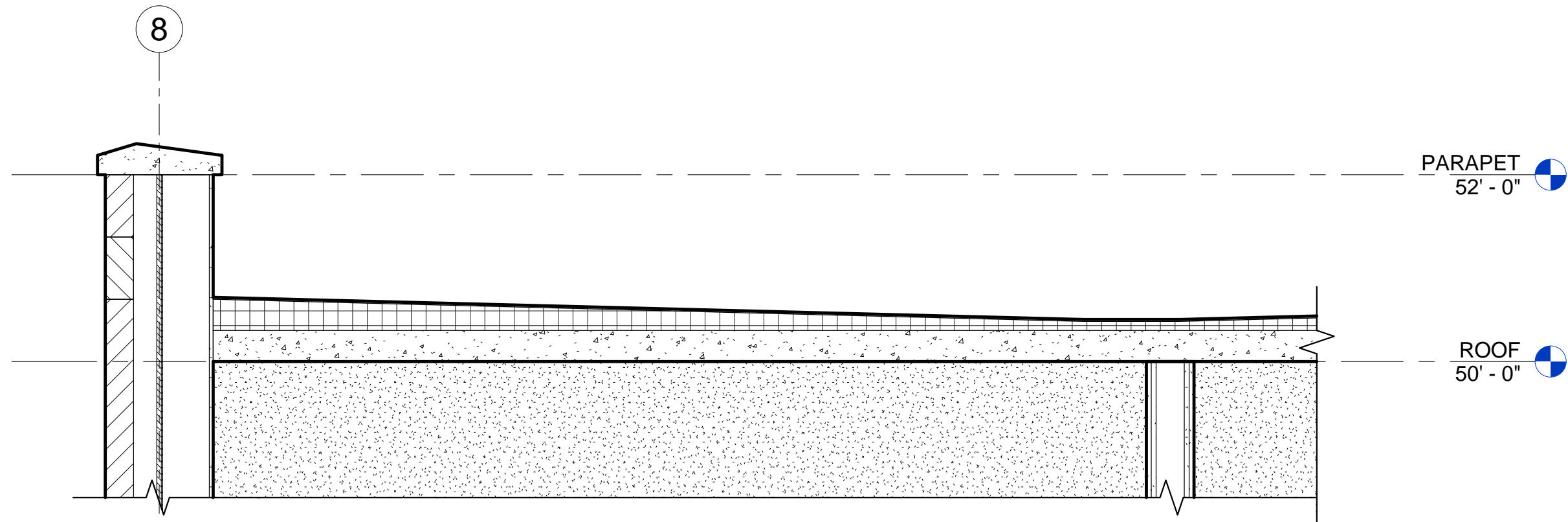
REVIEWED: J. FONTANA

SCALE: As indicated

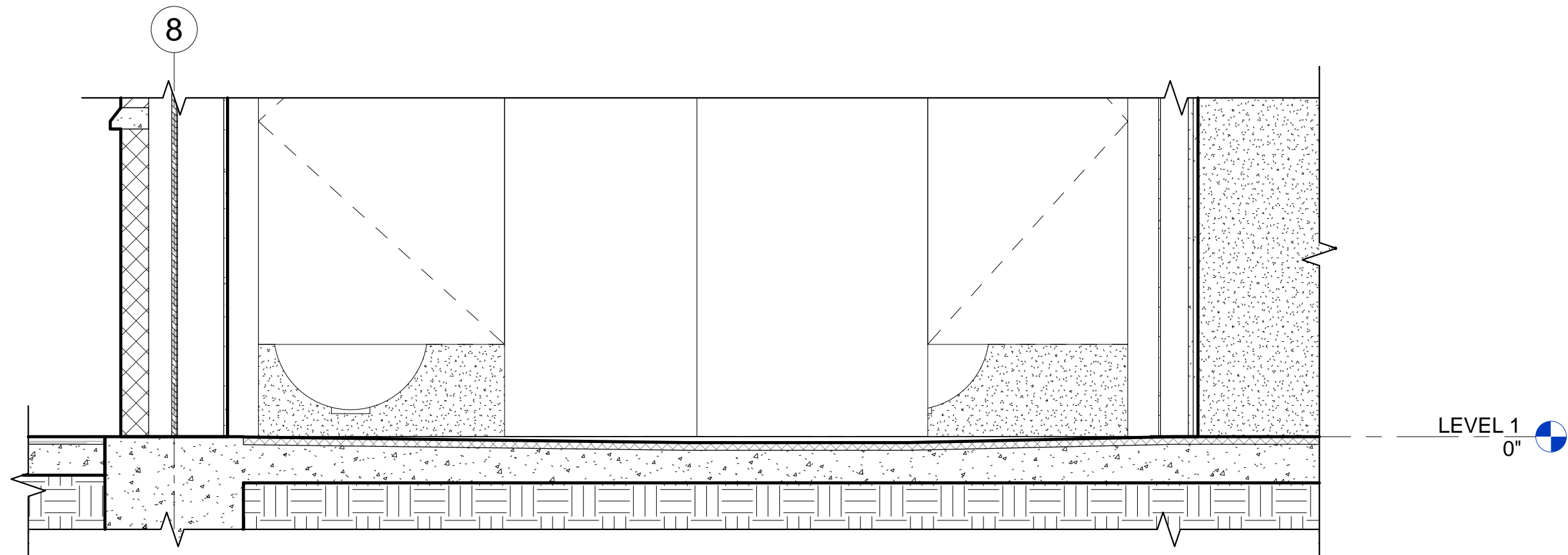
A500.2

2/23/2013 10:02:36 AM





1 TAPERED ROOF INSULATION
3/4" = 1'-0"



2 LAVATORY TAPER FLOOR DRAIN
3/4" = 1'-0"

Joseph Fontana
Architectural Designer
CADD-Ops & Protocol Consultant

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Red Bank, NJ 07701

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NO.	ISSUE	DATE

**SLAB & ROOF
DRAINS TYP.**

PROJECT:	10010
DATE:	12-10-2012
DRAWN:	Joseph Fontana
REVIEWED:	J. FONTANA
SCALE:	3/4" = 1'-0"

A500.3