

DOE RUN

AT SUNSET COVE ESTATES

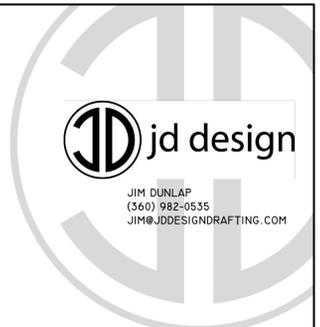
UNIT 6

BUCKLEY

2317 SUNDOWN COURT
ANACORTES, WASHINGTON

PARCEL #: P133756

PROJECT DESCRIPTION: NEW CONSTRUCTION OF TWO-STORY
SINGLE-FAMILY RESIDENCE. UNIT 6 IN 9-UNIT DEVELOPMENT.
ZONING DESIGNATION: R-2



JIM DUNLAP
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BUILDING CODES

CONSTRUCTION WILL COMPLY WITH:	
BUILDING & STRUCTURAL	2015 IRC
MECHANICAL	2015 IRC
PLUMBING	2015 UPC
ENERGY & VENTILATION	2015 WSEC

GENERAL NOTES

- HOUSE WILL BE HEATED BY FURNACE LOCATED IN ATTIC OR GARAGE.
- WATER WILL BE HEATED BY TANKLESS WATER HEATER LOCATED IN GARAGE.
- WATER SUPPLIED BY CITY OF ANACORTES.

DRAINAGE NOTES

- DOWNSPOUT AND FOOTING DRAINS TO BE TIGHT-LINED IN 4" PVC AND CONNECTED TO 12" PVC MAIN LINE. 12" PVC TO BE RUN TOWARD SOUTHEAST OF PROPERTY TO DETENTION POND AS NOTED ON SITE PLAN.
- KEEP DRIVEWAYS/PAVED AREAS SLOPING AWAY FROM BUILDINGS.
- NOTE FOR COMPLETE DRAINAGE PLANS SEE CIVIL ENGINEERING SET PAGE C3 'DRIVEWAY, DRAINAGE, SEWER AND WATER PLANS & DETAIL' AND C4 'BIORETENTION SWALE & POND MODIFICATIONS DETAILS'.

EROSION CONTROL NOTES

- CONTRACTOR TO INSTALL SILT FENCING ON DOWN SLOPE SIDE OF ENTIRE EXTENTS OF EACH SITE UNDER CONSTRUCTION. SILT FENCING TO REMAIN UNTIL ALL CONSTRUCTION IS COMPLETED AND LANDSCAPE IS IN PLACE.
- IN ADDITION TO SILT FENCING COVER ALL STOCKPILED SOIL WITH STRAW OR VISQUEEN.
- NOTE FOR COMPLETE EROSION CONTROL DETAILS AND SPECIFICATIONS SEE CIVIL ENGINEERING SET PAGE C2 'SITE PLAN & EROSION CONTROL & GRADING' AND PAGE C5 'EGS DETAILS'.

ENERGY CREDITS

THIS RESIDENCE IS A MEDIUM DWELLING UNIT (1500 - 5000 S.F.) WHICH WILL REQUIRE 3.5 CREDITS

OPTION	DESCRIPTION	CREDITS
1A	EFFICIENT BUILDING ENVELOPE: VERTICAL PENETRATION U = 0.28 FOR EVERY WINDOW SLAB ON GRADE R-10 PERIMETER UNDER UNCONDITIONED SPACE (GARAGE) & UNDER ENTIRE CONDITIONED SPACE	0.5
2A	AIR LEAKAGE CONTROL AND EFFICIENT VENTILATION: ALL HOUSE VENTILATION MET WITH HIGH EFFICIENCY FAN (MAX. 0.35 WATTS/CFM) NOT INTERLOCKED WITH FURNACE FAN. BLOWER TEST RESULTS TO BE 3.0 AIR CHANGES PER HOUR MAXIMUM. COMPLIANCE BASED ON R402.4.1.2.	0.5
3A	HIGH EFFICIENCY HVAC EQUIPMENT: GAS FURNACE WITH MINIMUM AFUE OF 94%	1.0
5C	EFFICIENT WATER HEATING: GAS WATER HEATER WITH MINIMUM EF OF 0.91	1.5
TOTAL CREDITS		3.5

PROPERTY INFO.

SITE ADDRESS:
2317 SUNDOWN COURT
ANACORTES, WASHINGTON 98021

PARCEL #: P133756
ASSESSOR'S TAX #: 4711-00-000-0000
QTR: S1/2, SEC. 21, T14N 35, R16W 01
PARCEL SIZE: 1.67 ACRES (13,962 S.F.)

PROPERTY OWNER:
DOE RUN AT SUNSET COVE ESTATES, LLC
1004 COMMERCIAL AVE. #541
ANACORTES, WASHINGTON 98021

SQ. FT. INFO.

MAIN FLOOR CONDITIONED:	1193 S.F.
UPPER FLOOR CONDITIONED:	1492 S.F.
TOTAL CONDITIONED:	2685 S.F.
GARAGE:	483 S.F.
MAIN FL. COVERED PATIO AT FRONT:	14 S.F.
MAIN FL. COVERED PATIO AT BACK:	176 S.F.
UPPER FL. COVERED BALCONY:	38 S.F.
TOTAL COVERED OUTDOOR SPACE:	288 S.F.

NOTE: SQUARE FOOTAGE IS MEASURED TO THE OUTSIDE FACE OF WALLS OF ALL FINISHED SPACE. STAIRWELLS ARE COUNTED ONCE, APPROX. HALF ON TOP FLOOR, HALF ON BOTTOM. OPEN TO BELOW SPACES ARE NOT INCLUDED IN CALCULATIONS. GARAGE AND UNCONDITIONED AREAS ARE CALCULATED SEPARATELY.

LOT COVERAGE

HOUSE FOOTPRINT INCLUDING COVERED PATIO AREAS:	1818 S.F.
NOTE: LOT COVERAGE CALCULATIONS FOR 9-UNIT DEVELOPMENT INCLUDED ON PAGE A2.	

FIRE AREA

MAIN FLOOR FIRE AREA:	1818 S.F.
UPPER FLOOR FIRE AREA:	1636 S.F.
TOTAL FIRE AREA:	3514 S.F.
NEAREST FIRE HYDRANT: 56' TO WEST OF PROPERTY LINE AS SHOWN ON PAGE A2.	

DRAWING INDEX

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UNIT 6 BUCKLEY

PROJECT: NEW CONSTRUCTION OF TWO-STORY SINGLE-FAMILY RESIDENCE (UNIT 6 OF 9)

DOE RUN AT SUNSET COVE ESTATES, LLC

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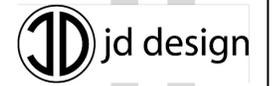
COVER PAGE

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DATE: 05/23/2018

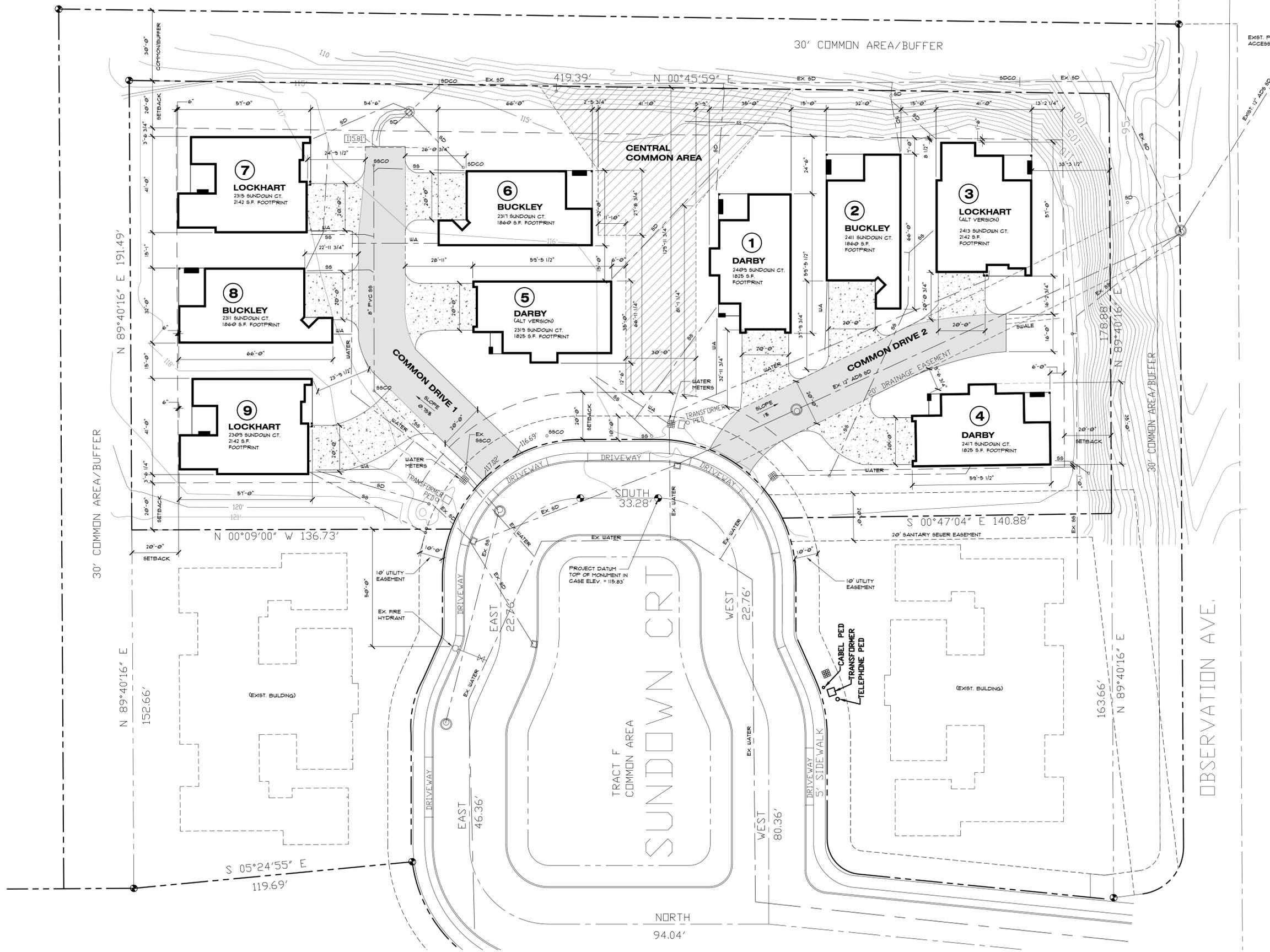
REVISIONS

A1

**DOE RUN AT SUNSET COVE ESTATES
OVERALL SITE PLAN**



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**UNIT 6
BUCKLEY**

UNIT 6 BUCKLEY

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DOE RUN AT SUNSET COVE ESTATES, LLC

PROJECT: NEW CONSTRUCTION OF TWO-STORY SINGLE-FAMILY RESIDENCE (UNIT 6 OF 9)

SITE ADDRESS: 2317 SUNDOWN COURT
ANACORTES, WASHINGTON
PARCEL #: PL3756

PROJECT DETAILS

DOE RUN AT SUNSET COVE ESTATES IS A 9-UNIT DEVELOPMENT, FEATURING 3 DIFFERENT HOUSE MODELS: DARBY, BUCKLEY, AND LOCKHART. THERE WILL BE 3 OF EACH MODEL, PLACED AS SPECIFIED IN THE OVERALL SITE PLAN.
LOT IS 1.61 ACRES (13,962 S.F.)

EROSION CONTROL & DRAINAGE NOTES

FOR COMPLETE EROSION CONTROL DETAILS AND SPECIFICATIONS SEE CIVIL ENGINEERING SET PAGE C2 'SITE PLAN & EROSION CONTROL & GRADING' AND PAGE C3 'EGS DETAILS'
FOR COMPLETE DRAINAGE PLANS SEE CIVIL ENGINEERING SET PAGE C3 'DRIVEWAY, DRAINAGE, SEWER AND WATER PLANS & DETAIL' AND C4 'BIORETENTION SWALE & POND MODIFICATIONS DETAILS'

LOT COVERAGE

BUILDING FOOTPRINTS	
UNIT #	BUILDING FOOTPRINT (INCL COVERED PORCHES)
UNIT 1	1825 S.F.
UNIT 2	1818 S.F.
UNIT 3	2124 S.F.
UNIT 4	1825 S.F.
UNIT 5	1825 S.F.
UNIT 6	1818 S.F.
UNIT 7	2124 S.F.
UNIT 8	1818 S.F.
UNIT 9	2124 S.F.
TOTAL BUILDINGS:	17,481 S.F.

PAVED SURFACES

COMMON DRIVES	5114 S.F.
DRIVEWAYS	5145 S.F.
TOTAL PAVED:	10,259 S.F.

COMMON AREA

CENTRAL COMMON AREA 6154 S.F.

LEGEND

- PAVED COMMON DRIVE
- PAVED DRIVEWAY
- CENTRAL COMMON AREA
- PROPERTY LINE
- BUILDING SETBACK
- LINE OF BUILDING FOOTPRINT

OVERALL SITE PLAN

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SCALE AS NOTED
JD JOB# 1122NC17-FREE
DATE 05/23/2018

REVISIONS

REVISIONS

A2

OVERALL SITE PLAN
SCALE: 1" = 20'-0"

**DOE RUN AT SUNSET COVE ESTATES
LANDSCAPE PLAN**



**UNIT 6
BUCKLEY**

DOE RUN AT SUNSET COVE ESTATES, LLC

PROJECT: NEW CONSTRUCTION OF TWO-STORY SINGLE-FAMILY RESIDENCE (UNIT 6 OF 9)

SITE ADDRESS: 2317 SUNDOWN COURT
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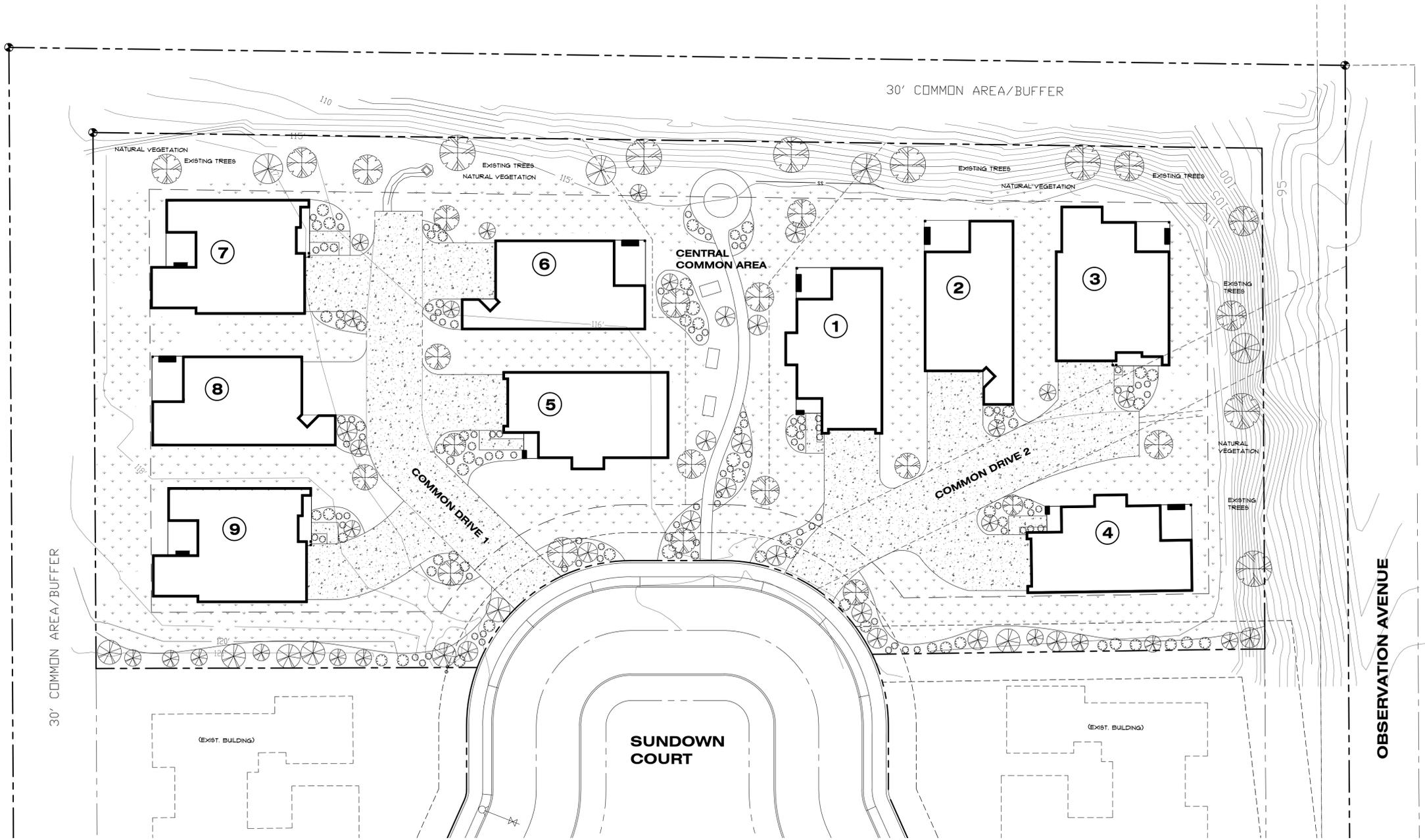
LANDSCAPE PLAN

PAGE DESCRIPTION:

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REVISIONS

A3



LANDSCAPE PLAN
SCALE: 1" = 20'-0"

LANDSCAPE NOTES

APPROXIMATELY 43,000 S.F. OF THE 13,962 S.F. LOT WILL BE LANDSCAPED WITH EITHER GRASS OR PLANTED AREAS (THIS IS APPROXIMATELY 58% OF THE LOT).

ALONG THE EDGES OF THE EAST AND SOUTH PROPERTY LINES THERE ALREADY EXISTS AN ABUNDANCE OF TREES IN THE NATURAL VEGETATED AREA. THESE TREES WILL ALL BE RETAINED, AS MUCH AS POSSIBLE GRASS WILL BE PLANTED UP TO THIS NATURAL VEGETATION AREA. THESE TREES THAT ARE RETAINED IN THE NATURAL VEGETATION AREA WILL BE INCLUDED IN THE TOTAL COUNT OF 1 TREE PER 1000 S.F. OF PROPERTY. 14 TREES TOTAL. ADDITIONAL TREES WILL BE PLANTED AS NEEDED THROUGHOUT PARCEL, IN ORDER TO EQUAL THE TOTAL NUMBER OF 14.

NO MORE THAN 30% OF NEW TREES PLANTED WILL BE OF THE SAME SPECIES.

EVERGREEN TREES SHALL BE MIN. 8' TALL, WHILE DECIDUOUS TREES SHALL HAVE MIN. 1 1/2" CALIPER AT CHEST HEIGHT.

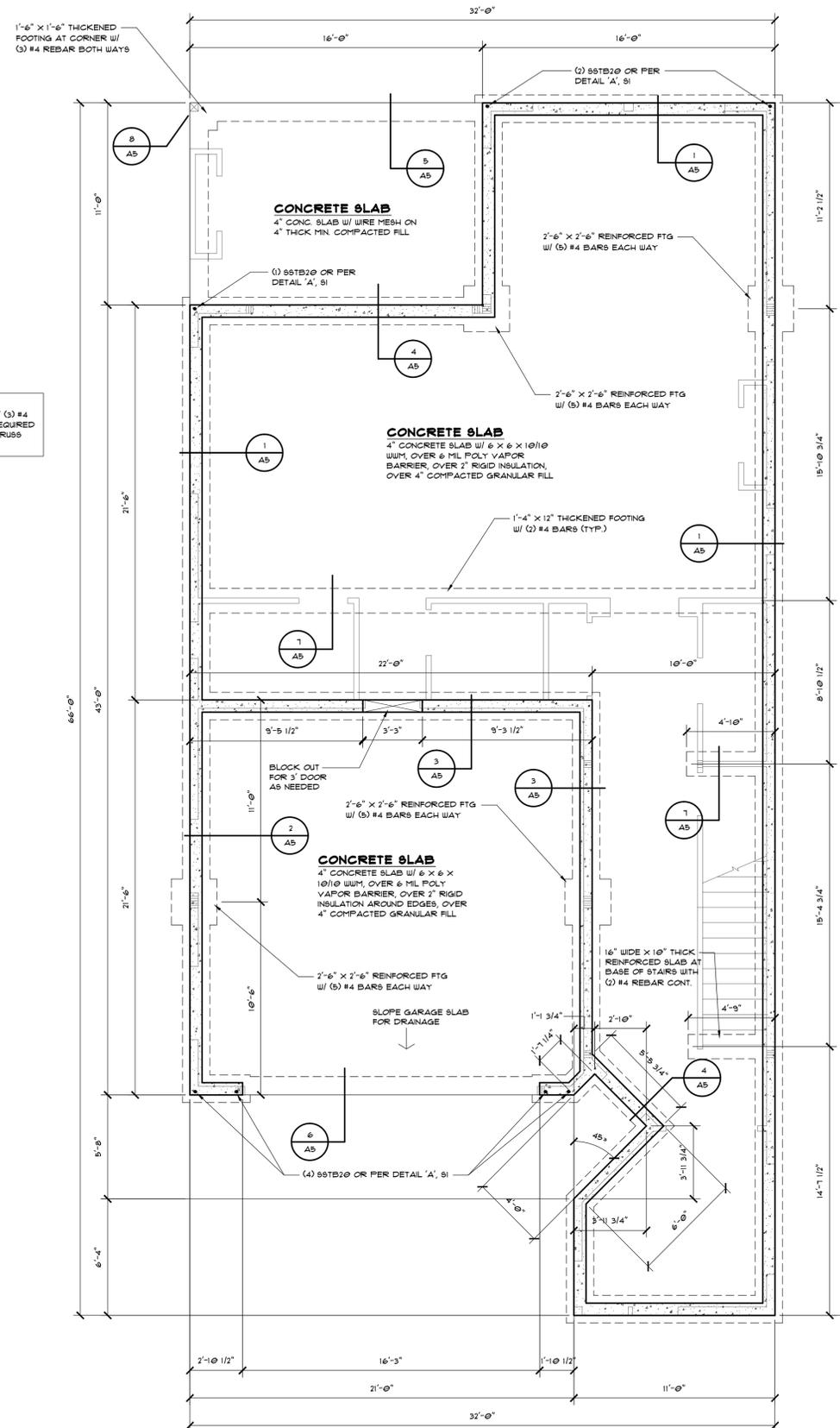
LEGEND

- EVERGREEN TREE
- DECIDUOUS TREE
- SHRUB/BUSH
- PAVED SURFACE
- GRASS
- PROPERTY LINE
- BUILDING SETBACK
- LINE OF BUILDING FOOTPRINT

FOUNDATION NOTES

- WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS. VERIFY ALL DIMENSIONS AND CONDITIONS IN THE FIELD.
- ENGINEERING SPECIFICATIONS, NOTES AND DRAWINGS ACCOMPANIED WITH PLANS TO SUPERSEDE ALL INFORMATION ON ARCHITECTURAL DRAWINGS. FOR ANY DISCREPANCIES BETWEEN ENGINEERING AND ARCHITECTURAL DRAWINGS REFER TO ENGINEERING.
- FOOTINGS ARE TO BEAR ON UNDISTURBED LEVEL SOIL DEVOID OF ANY ORGANIC MATERIAL AND STEEPED AS REQUIRED TO MAINTAIN 18" DEPTH BELOW GRADE.
- COVER CRAWL SPACE GRADE WITH HIGH DENSITY POLYETHYLENE HIGH QUALITY VAPOR RETARDER. LAP EDGES 12" MIN. AND EXTEND 12" MIN. UP FOUNDATION WALL.
- FILL UNDER SLABS ON GRADE TO BE MIN. 4" DEPTH GRANULAR MATERIAL COMPACTED TO 95%.
- CONCRETE SLABS TO HAVE CONTROL JOINTS AT 25' MAX. INTERVALS EACH WAY.
- CONCRETE SIDEWALKS TO HAVE 3/4" TOOLED JOINTS AT 8' O.C. EACH WAY.
- WIRE MESH TO BE USED IN CONCRETE SLABS, POSITIONED 1-1/2" FROM BOTTOM OF SLAB.
- USE HIGH DENSITY POLYETHYLENE HIGH QUALITY VAPOR RETARDER UNDER CONCRETE SLABS IN GARAGE AND BASEMENT.
- A WATERPROOF MEMBRANE IS TO BE USED ON FOUNDATION WALLS BELOW GRADE.
- A DRAIN TILE WITH HOLES, NOT SLOTS, IS TO BE USED. DRAIN TILE IS TO BE POSITIONED SO THAT HOLES ARE FACING DOWN.
- A LAYER OF ROUND, WASHED, DRAINAGE-GRADE GRAVEL IS TO BE USED OVER DRAIN TILE, NEXT TO FOOTINGS. 30-LB. FELT PAPER IS TO BE USED OVER THE GRAVEL.
- ALL BOTTOM PLATES AND ANY LUMBER IN CONTACT WITH CONCRETE TO BE PRESSURE TREATED.
- BEAM POCKETS IN CONCRETE TO HAVE 12" AIRSPACE AT SIDES & ENDS WITH MIN. BEARING OF 3".
- FOLLOW ALL JOIST FRAMING DETAILS PER MANUFACTURER.
- PROVIDE BLOCKING ABOVE ALL BEARING WALLS AND BEAMS.
- ALL CONNECTORS AND FASTENERS IN CONTACT WITH PRESSURE TREATED WOOD SHALL BE HOT DIP GALVANIZED OR EQUIVALENT PROTECTION.
- ACCESS SHALL BE PROVIDED TO ALL UNDER-FLOOR SPACES. ACCESS OPENING THROUGH PERIMETER WALL SHALL BE NOT LESS THAN 18" X 24". IF ANY PORTION OF THROUGH-WALL ACCESS IS BELOW GRADE AN AREA AT NOT LESS THAN 18" X 24" SHALL BE PROVIDED (IRC R408.4).
- CONTRACTOR TO COORDINATE FOUNDATION & SLAB BLOCK-OUTS W/ MECH. & ELECT. FOR SIZE & LOCATIONS.
- ALL CONCENTRATED LOADS FROM ROOF TRUSSES MUST BE TRANSFERRED TO THE FOUNDATION WITH A BUILT-UP POST AND FOOTINGS AS REQUIRED. VERIFY LOCATIONS WITH TRUSS ENGINEER AND/OR STRUCTURAL ENGINEER.

NOTE: THERE SHALL BE NO CRAWL SPACE THEREFORE NO CRAWL SPACE VENTILATION OR CRAWL SPACE ACCESS IS NEEDED.



2' X 2' X 18" THICK REINFORCED SLAB W/ (3) #4 REBAR EACH WAY REQUIRED BELOW ALL GIRDER TRUSS POINT LOADS



FOUNDATION PLAN

SCALE: 1/4" = 1'-0"

FOUNDATION LEGEND

	FOUNDATION STEM WALL
	FOUNDATION FOOTING
	OUTLINE OF WALLS OF SUPPORTED FLOOR

UNIT 6 BUCKLEY

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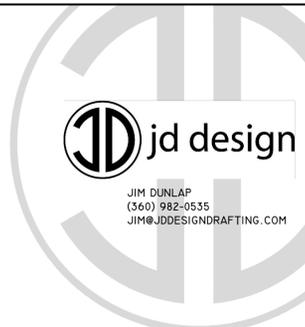
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FOUNDATION PLAN

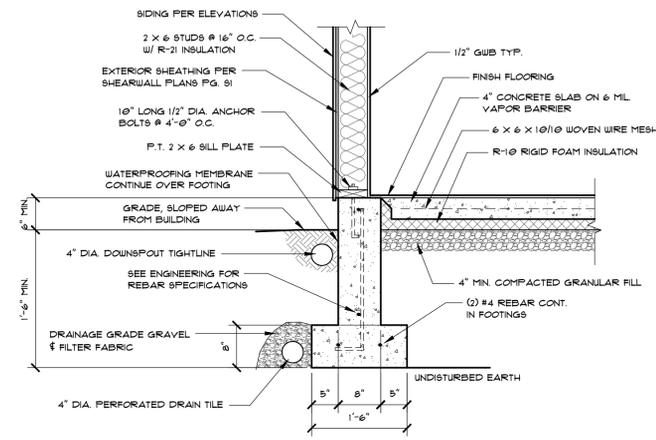
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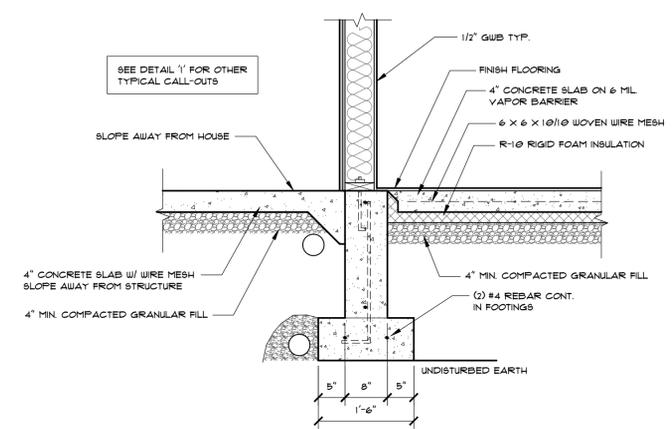
A4



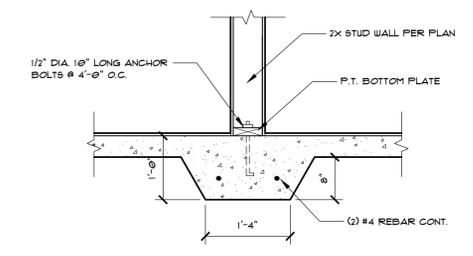
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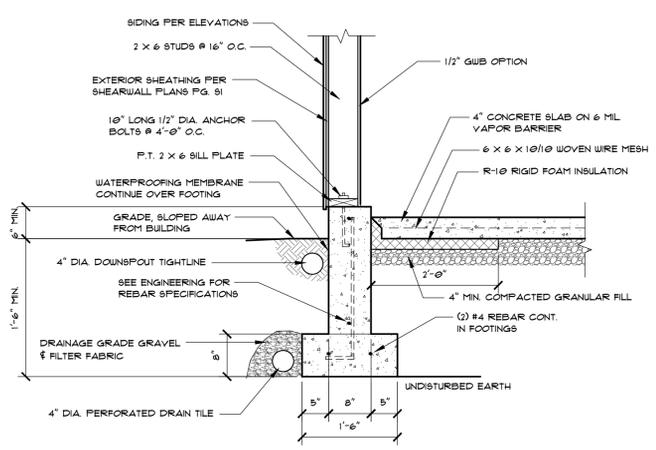
1 TYP. FND. WALL DETAIL
SCALE: 3/4" = 1'-0"



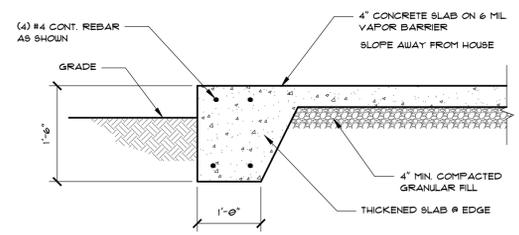
4 HOUSE @ PATIO DETAIL
SCALE: 3/4" = 1'-0"



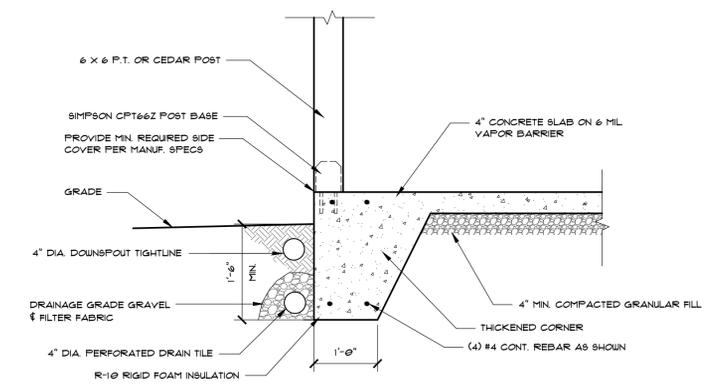
7 THICKENED FOOTING DETAIL
SCALE: 3/4" = 1'-0"



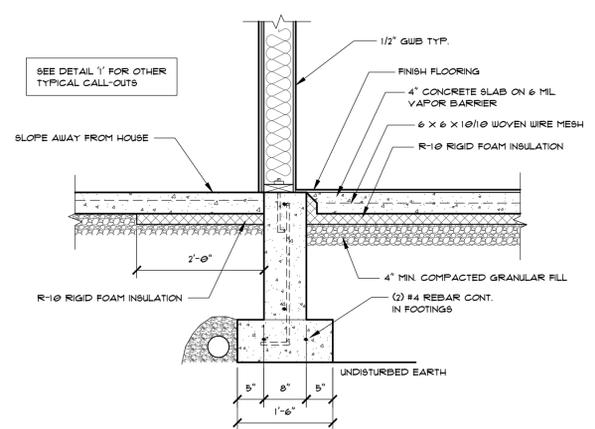
2 GARAGE WALL DETAIL
SCALE: 3/4" = 1'-0"



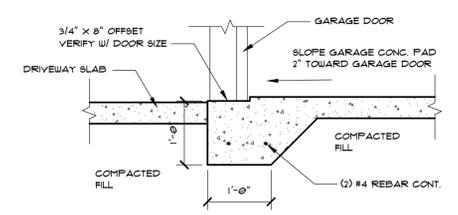
5 PATIO EDGE DETAIL
SCALE: 3/4" = 1'-0"



8 POST FOOTING DETAIL
SCALE: 3/4" = 1'-0"



3 HOUSE @ GARAGE DETAIL
SCALE: 3/4" = 1'-0"



6 GARAGE FOOTING DETAIL
SCALE: 3/4" = 1'-0"

**UNIT 6
BUCKLEY**

PROJECT: NEW CONSTRUCTION OF TWO-STORY SINGLE-FAMILY RESIDENCE (UNIT 6 OF 9)
DOE RUN AT SUNSET COVE ESTATES, LLC

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**FOUNDATION
DETAILS**

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REVISIONS

A5

FLOOR PLAN NOTES

- WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS. VERIFY ALL DIMENSIONS AND CONDITIONS IN THE FIELD.
- CONFIRM ALL DOOR, WINDOW, CLOSET, AND ANY OTHER ROUGH OPENING SIZES WITH OWNER/ CONTRACTOR PRIOR TO WALL CONSTRUCTION.
- ALL WOOD IN CONTACT WITH CONCRETE MUST BE PRESSURE TREATED MATERIAL. USE CORROSION RESISTANT FASTENERS WHEN IN CONTACT WITH PRESSURE TREATED LUMBER.
- ALL EXTERIOR WALLS (EXCEPT GARAGE) TO BE FRAMED WITH 2 X 6 STUDS AT 16" O.C. AND SHEATHED WITH 1/2" OSB PLYWOOD OR BETTER WITH 15# BUILDING PAPER.
- EXTERIOR GARAGE WALLS TO BE FRAMED WITH 2 X 4 STUDS AT 16" O.C. AND SHEATHED WITH 1/2" OSB PLYWOOD OR BETTER WITH 15# BUILDING PAPER.
- ALL INTERIOR WALLS TO BE FRAMED WITH 2 X 4 STUDS AT 16" O.C. AND SHEATHED WITH 1/2" GYPSUM WALLBOARD UNLESS NOTED OTHERWISE.
- ALL GLASS TO HAVE LOW E (40) GLAZING. GLAZING IN HAZARDOUS LOCATIONS TO BE TEMPERED PER IRC SECTION R308. SEE R308.4 FOR DEFINITION OF HAZARDOUS AREAS.
- PROVIDE SMOKE DETECTORS ON OR NEAR THE CEILING OF EACH FLOOR, IN ALL BEDROOMS, AND JUST OUTSIDE EACH BEDROOM. SMOKE DETECTORS TO BE WIRED TO THE ELECTRICAL SYSTEM WITH BATTERY BACKUP (IRC R311.1 & R311.2).
- BEDROOMS TO HAVE AT LEAST ONE WINDOW MEETING THE FOLLOWING CONDITIONS: WINDOW SILLS TO BE WITHIN 44" OF FINISHED FLOOR WITH A NET CLEAR OPENING OF 5.7 SQ. FT. MIN. THE OPENING TO HAVE MIN. CLEAR OPENING HEIGHT OF 24" AND WIDTH OF 20" (IRC SECTION R310).
- ALL SHOWER AREAS TO BE FINISHED WITH A SMOOTH, HARD & NON-ABSORBENT MATERIAL TO MIN. 12" ABOVE DRAIN INLET. THIS MATERIAL TO BE INSTALLED OVER WATER RESISTANT PLASTER BOARD.
- TOILETS TO BE LOCATED IN AREA WITH MIN. 30" WIDTH OF TOTAL FINISHED CLEARANCE, AND HAVE CLEARANCE OF MIN. 21" IN FRONT OF TOILET. TOILETS TO BE LIMITED TO 1.6 GALLONS PER FLUSH.
- PROVIDE ATTIC ACCESS WITH REMOVABLE PANEL WITH MIN. 22" X 30" OPENING AND 30" UNOBSTRUCTED HEAD ROOM. FRAME WITH 2 X 12 MEMBERS.
- PROVIDE EXHAUST FAN IN KITCHEN AT MIN. 100 CFM AND BATHROOMS AT MIN. 50 CFM. ALL FANS AND DRYER EXHAUST TO BE VENTED TO OUTSIDE OF RESIDENCE.
- PROVIDE MIN. 1/2" GUB OR EQUIVALENT TO GARAGE SIDE, BETWEEN GARAGE AND RESIDENCE AND/OR GARAGE AND ATTIC (IRC R302.6).
- PROVIDE 1-HR. FIRE-RESISTIVE CONST. 5/8" TYPE 'X' GUB ON GARAGE LID OR FIRE SEPARATION UNDER HABITABLE SPACE ABOVE GARAGE (IRC R302.6).
- DOOR BETWEEN HOUSE AND GARAGE TO BE 1-1/2" THICK SOLID CORE, 20-MIN. SELF-CLOSING FIRE-RATED DOOR (R302.5.1).
- PROVIDE FIRESTOPS AT ALL APPLICABLE LOCATIONS, INCLUDING HOLES AND ANY OPEN AREAS.
- ALL ELEMENTS AND SWITCHES FOR FURNACE AND WATER HEATER TO BE 18" MIN. ABOVE SLAB.

STAIR NOTES

- STAIRS TO BE FRAMED WITH MIN. (3) 2 X 12 STRINGERS, ONE AT EACH SIDE AND ONE AT CENTER. PROVIDE FIRE BLOCKING BETWEEN STRINGERS AT TOP, MIDDLE AND BOTTOM, AND BETWEEN STUDS ALONG THE RUN OF THE STAIRS.
- MINIMUM HEADROOM CLEARANCE TO BE 6'-8" VERTICALLY ABOVE TREAD NOSING TO NEAREST OBJECT ABOVE.
- STAIRS TO HAVE MAX. RISE OF 7-3/4" AND MIN. RUN OF 10" WITH NOSING OF 3/4" TO 1-1/4". NO RISERS TO BE LESS THAN 4". DIMENSIONS BETWEEN RISE AND RUN ARE NOT TO VARY MORE THAN 3/8".
- ENCLOSED USABLE SPACE UNDER STAIRS TO BE 1-HR. FIRE-RESISTIVE CONST. 5/8" TYPE 'X' GUB.
- STAIRWAYS WITH 4 OR MORE RISERS TO HAVE AT LEAST ONE CONTINUOUS HANDRAIL AT 34" - 38" ABOVE TREAD NOSING WITH ENDS RETURNED TO TERMINATE INTO WALL OR NEWEL POST.
- HANDRAILS TO HAVE GRIP PORTION NOT LESS THAN 1-1/4" OR MORE THAN 2" IN CROSS SECTIONAL DIMENSION WITH 1-1/2" BETWEEN WALL AND HANDRAIL.

GUARDRAIL NOTES

- ALL UNENCLOSED FLOORS, LANDINGS, BALCONIES OR PORCHES THAT ARE MORE THAN 30" ABOVE GRADE OR FLOOR BELOW SHALL BE PROTECTED BY A GUARDRAIL THAT IS MIN. HEIGHT OF 36".
- OPEN GUARDRAILS SHALL HAVE INTERMEDIATE RAILS SUCH THAT A 4" DIA. SPHERE CANNOT PASS THROUGH AT ANY POINT.
- GUARDRAILS SHALL BE ATTACHED TO THE STRUCTURE IN SUCH A MANNER TO WITHSTAND A SINGLE CONCENTRATED LOAD OF 200 LBS. APPLIED IN ANY DIRECTION AT ANY POINT ALONG THE TOP.

UNIT 6 BUCKLEY

DOE RUN AT SUNSET COVE ESTATES, LLC

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MAIN FLOOR PLAN

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REVISIONS

A6

SHEAR WALL PLANS
SEE SHEAR WALL TABLE, S1 FOR MORE INFORMATION

UNLESS NOTED OTHERWISE, SHEAR WALLS TO BE SWP, PRESCRIPTIVE SHEAR WALL, 1/16" OSB OR 15/32" PLY ON ONE SIDE OF WALL, UNBLOCKED, WITH 8D NAILS AT 6" O.C. ALONG EDGES, 12" O.C. IN THE FIELD. HOLD DOWNS ARE NOT REQUIRED.

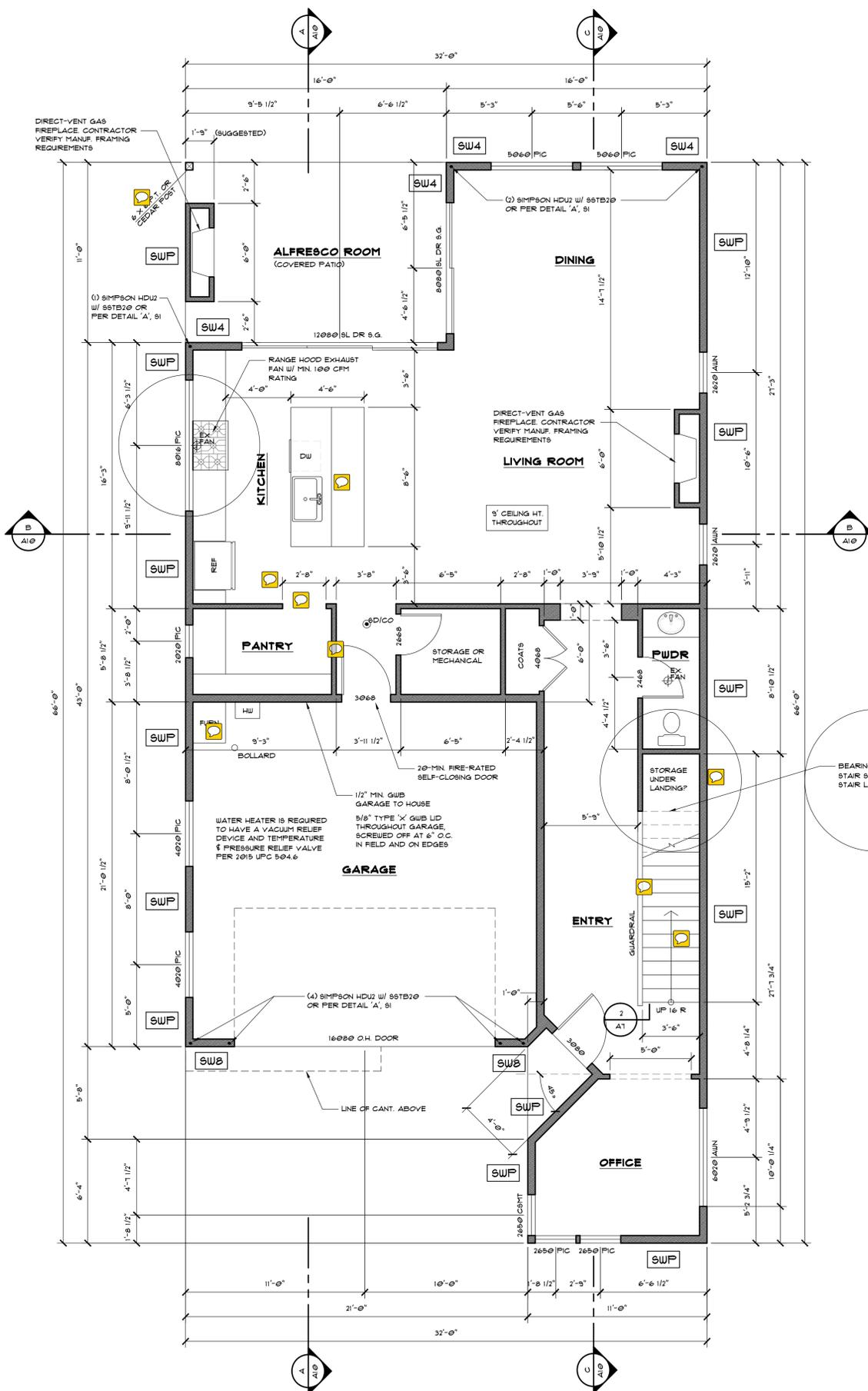
SWP

SHEAR WALL 4 PER SHEAR WALL TABLE, S1, 1/16" OSB OR 15/32" PLY ON ONE SIDE OF WALL, BLOCKED, WITH 8D NAILS AT 3" O.C. ALONG EDGES, 12" O.C. IN THE FIELD. HOLD DOWNS ARE REQUIRED.

SW4

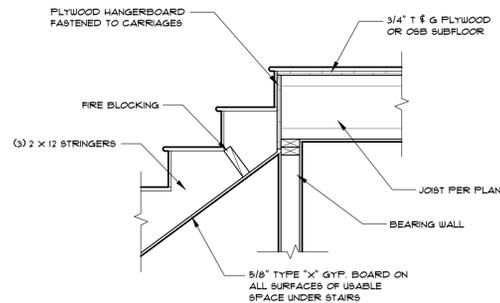
SHEAR WALL 8 PER SHEAR WALL TABLE, S1, 1/16" OSB OR 15/32" PLY ON BOTH SIDES OF WALL, BLOCKED, WITH 8D NAILS AT 4" O.C. ALONG EDGES, 12" O.C. IN THE FIELD. HOLD DOWNS ARE REQUIRED.

SW8



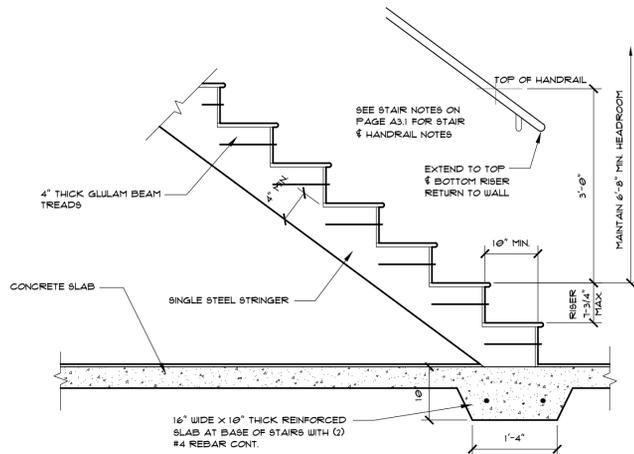
MAIN FLOOR PLAN

SCALE: 1/4" = 1'-0"
1193 S.F. LIVING SPACE
453 S.F. GARAGE



1 STAIRS AT LANDING

SCALE: 3/4" = 1'-0"



2 STAIRS AT FLOOR

SCALE: 3/4" = 1'-0"

SHEAR WALL PLANS

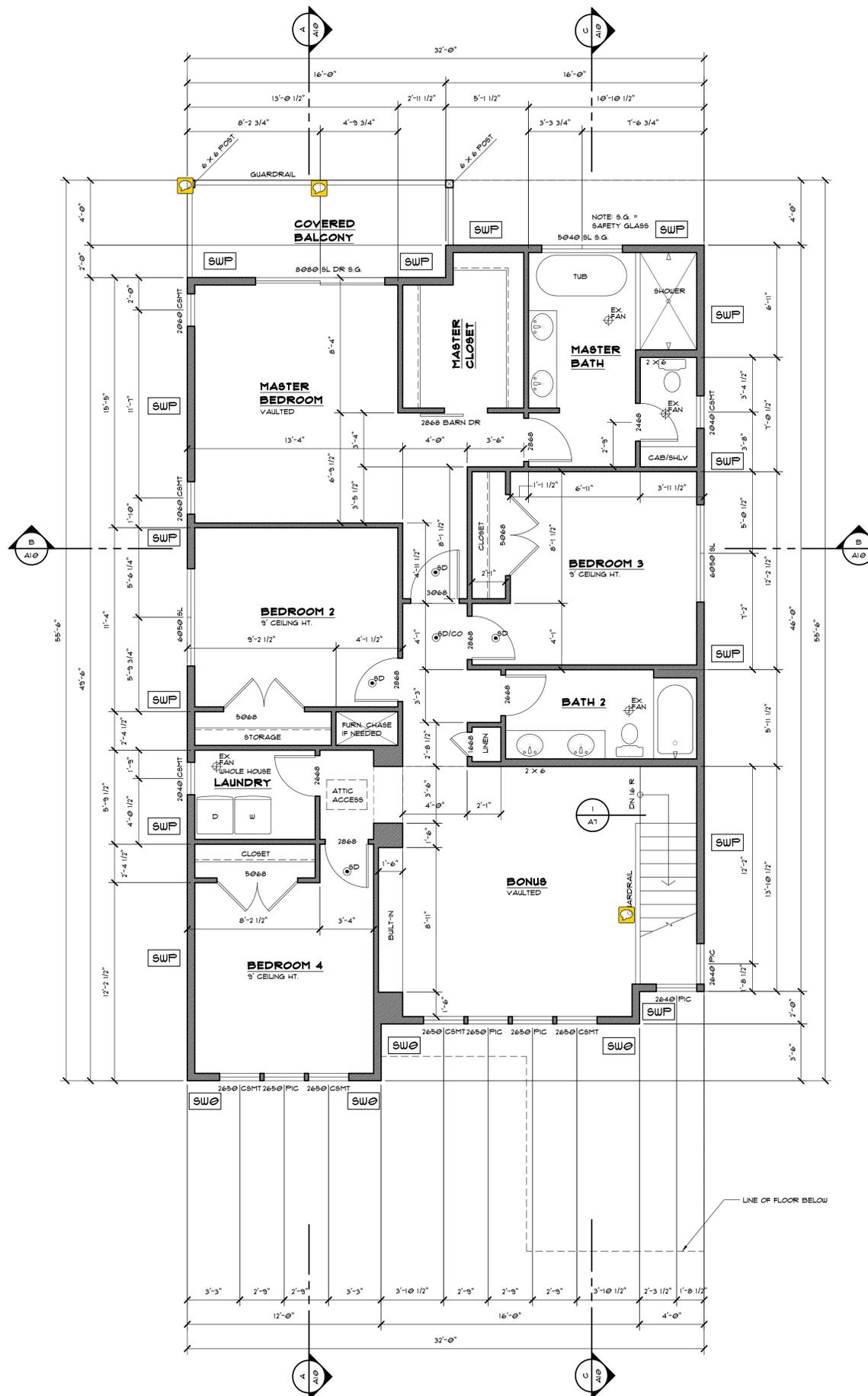
SEE SHEAR WALL TABLE, 91 FOR MORE INFORMATION

SWP

UNLESS NOTED OTHERWISE, SHEAR WALLS TO BE SWP. PRESCRIPTIVE SHEAR WALL, 11/6" OSB OR 15/32" PLY ON ONE SIDE OF WALL, UNBLOCKED, WITH 8D NAILS AT 6" O.C. ALONG EDGES, 12" O.C. IN THE FIELD. HOLD DOWNS ARE NOT REQUIRED.

SWØ

SHEAR WALL Ø PER SHEAR WALL TABLE, 91, 11/6" OSB OR 15/32" PLY ON ONE SIDE OF WALL, BLOCKED WITH 8D NAILS AT 3" O.C. ALONG EDGES, 12" O.C. IN THE FIELD. HOLD DOWNS ARE NOT REQUIRED.



ENERGY CODE NOTES

- CONTRACTOR TO ADD ADDITIONAL FRAMING OR BLOCKING AS REQUIRED TO MEET CURRENT ENERGY CODE REQUIREMENTS.
- AIR LEAKAGE: SOLE PLATE IS TO BE CAULKED OR GLUED TO FLOOR. RIM JOIST BETWEEN STORIES TO BE CAULKED/SEALED. ALL HOLES IN BUILDING ENVELOPE ARE TO BE CAULKED/SEALED INCLUDING BUT NOT LIMITED TO ELECTRICAL, PLUMBING & HVAC PENETRATIONS. OUTLETS, SWITCH BOXES AND RECESSED FIXTURES ON EXTERIOR WALLS OR CEILINGS ARE TO BE CAULKED/SEALED WITH APPROVED SEALANT, OR HAVE FOAM GASKETS INSTALLED. ALL RECESSED LIGHTS ARE TO BE IC RATED, AIR TIGHT & SEALED TO SURROUNDING SUB. ROUGH OPENING AROUND ALL UNDOORS & DOORS TO BE SEALED/CAULKED.
- ALL CEILING EXHAUST FAN DUCTING TO BE INSULATED AS PER CODE, TO HAVE AS FEW BENDS AS POSSIBLE, AND TO TERMINATE AT THE EXTERIOR OF THE BUILDING.
- INSULATION TO FILL ALL EXTERIOR WALL CAVITIES. DO NOT COMPRESS. CUT TO FIT AROUND WIRES, PIPES & OUTLET BOXES.
- ALL HVAC DUCTS INSTALLED OUTSIDE THE HEATED HABITABLE SPACE TO HAVE SEALED JOINTS, CORNERS & BOOTS, AND INSULATED IN ACCORDANCE WITH USBC 2015 EDITION SPECIFICATIONS ("USBC 2015").
- A ONE PERM OR LESS VAPOR RETARDER (E KRAFT PAPER, PVA PAINT, ETC.) IS TO BE INSTALLED ON THE WARM SIDE OF ALL INSULATION.
- ALL RECESSED LIGHT FIXTURES IN THE THERMAL ENVELOPE TO BE CERTIFIED UNDER ASTM E-283 AND SO LABELED, OR SEALED AROUND THE EXTERIOR IN AN APPROVED MANNER TO BE AIR TIGHT.
- ALL WATER PIPES IN UNHEATED SPACES TO BE INSULATED IN ACCORDANCE WITH USBC 2015.
- EXTERIOR DOORS TO BE ADJUSTED SO WEATHER-STRIPPING, THRESHOLD, & DOOR SWEEP ARE WORKING PROPERLY & SEAL WELL.
- BLOW-IN ATTIC INSULATION TO BE INSTALLED IN STRICT CONFORMANCE WITH MANUFACTURERS' RECOMMENDATIONS FOR DENSITY & COVERAGE. PROVIDE VENT Baffles AS REQUIRED & INSULATE & WEATHER-STRIP ATTIC ACCESS DOOR.
- PROVIDE MAKEUP AIR WITH FRESH AIR DUCTED DIRECTLY INTO THE RETURN AIR PLENUM OF THE FURNACE SYSTEM. INSULATE THE DUCT IN ACCORDANCE TO USBC 2015. PROVIDE DAMPER TO REGULATE INCOMING FRESH AIR.
- ALL GAS COMBUSTION APPLIANCES, EXCEPT STOVES & CLOTHES DRYERS, TO HAVE COMBUSTION AIR DUCTED DIRECTLY TO THEM.
- ALL COMBUSTION EXHAUSTS TO BE SEPARATED BY A MIN. 3" VERT. & 1' HORIZ.

WHOLE-HOUSE VENTILATION

ONE OF THE FOLLOWING METHODS WILL BE USED TO MEET THE REQUIREMENTS OF THE INTERNATIONAL MECHANICAL CODE (IMC) CHAPTER OF THE 2015 IRC:

(A) A SINGLE WHOLE-HOUSE EXHAUST FAN, WHICH CAN PERFORM DOUBLE DUTY AS A ROOM SPOT FAN, IS REQUIRED. FAN MUST BE CONTROLLED BY TIMER SET TO OPERATE MIN. OF 8 HOURS PER DAY. THE CFM CAPACITY OF FAN MUST BE Ø 25 W.G. AND HAVE MAX. SONE (NOISE) RATING OF 1.5. MIN. SIZE OF FAN MUST BE 105 CFM.

(B) FRESH AIR WILL BE CIRCULATED BY THE CENTRAL FORCED AIR FURNACE SYSTEM. FURNACE MUST BE FRESH AIR INTAKE DUCT AND BLOWER MUST BE ACTIVATED BY TIMER TO CIRCULATE DAILY.

INSULATION VALUES

WALLS	
ABOVE GRADE	BELOW GRADE
R-21	R-21
CEILING	
FLAT	VAULTED
R-49	R-38
FLOOR	
CRAWL SPACE*	SLAB ON GRADE
R-3Ø	R-1Ø

* R-3Ø INTENDED FOR USE WITH 9 1/2" I-JOISTS. IF 11 1/8" I-JOISTS USED THEN R-38 INSULATION TO BE INSTALLED.



UPPER FLOOR PLAN

SCALE: 1/4" = 1'-0"
1492 S.F. LIVING SPACE

UNIT 6 BUCKLEY

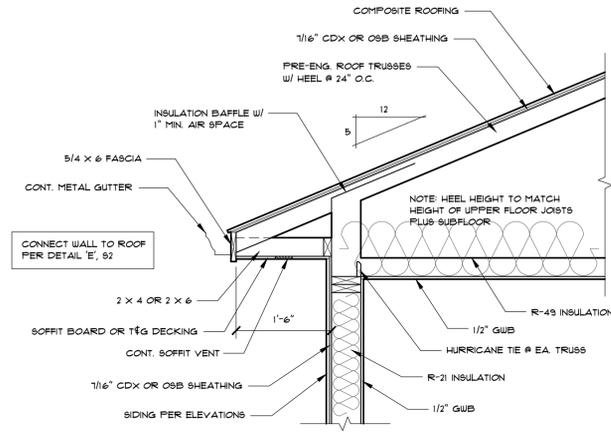
PROJECT: NEW CONSTRUCTION OF TWO-STORY SINGLE-FAMILY RESIDENCE (UNIT 6 OF 9)

UPPER FLOOR PLAN

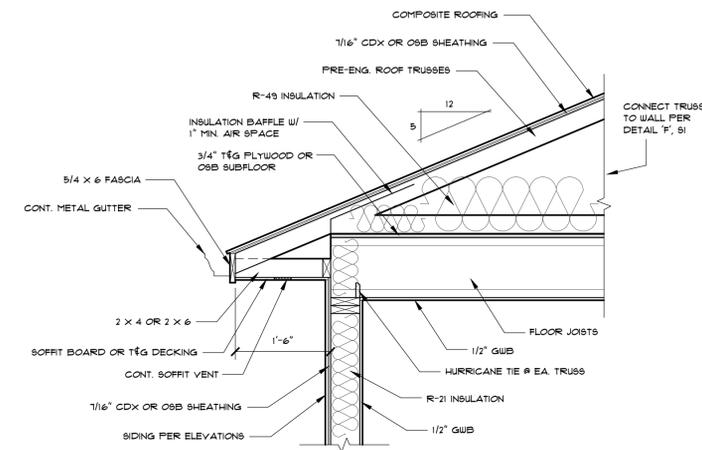
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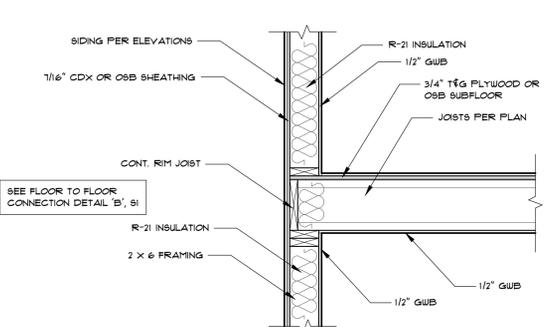
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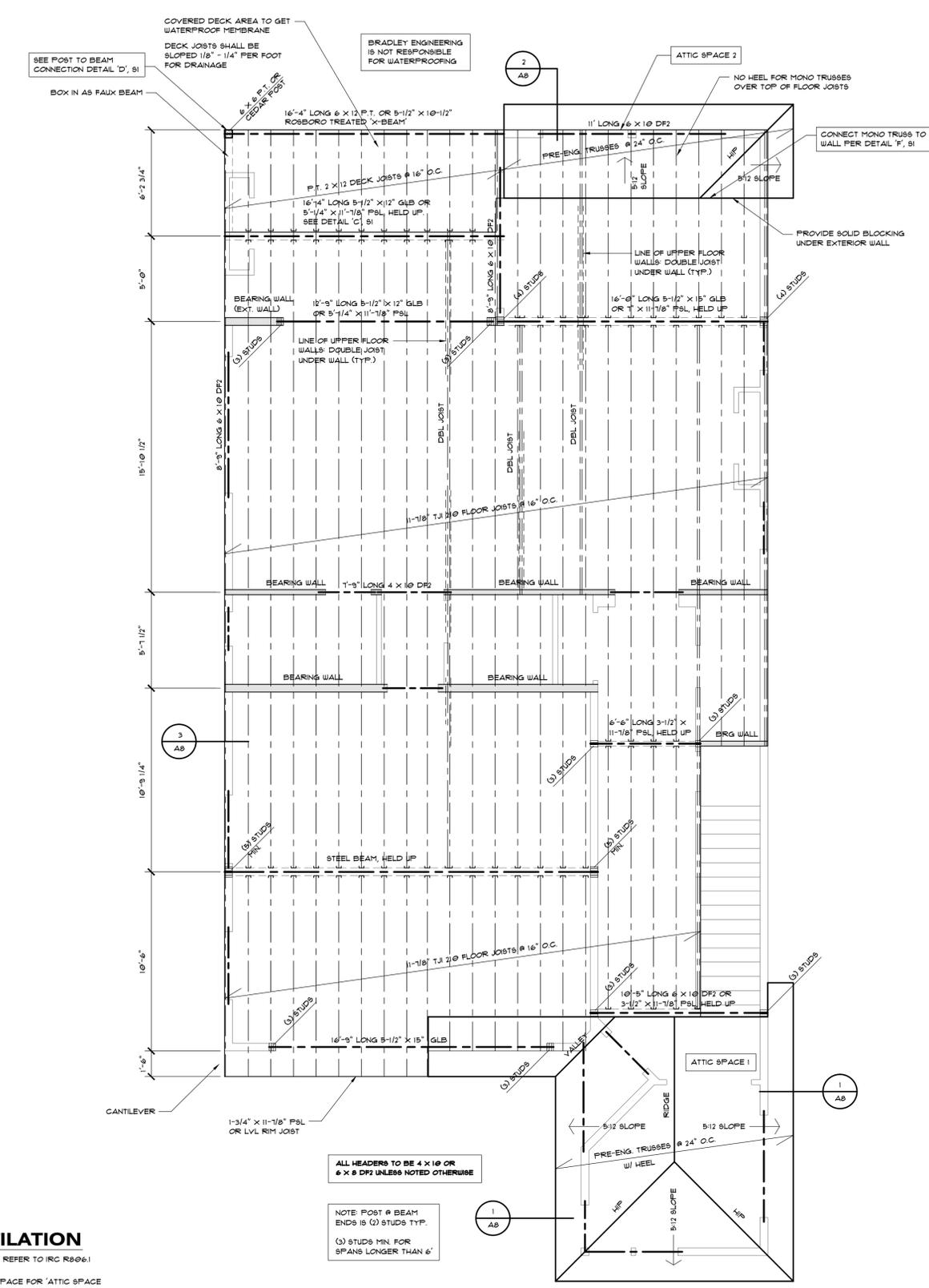
1 TRUSS/EAVE DETAIL
SCALE: 3/4" = 1'-0"



2 TRUSS/EAVE DETAIL
SCALE: 3/4" = 1'-0"



3 TYP. WALL DETAIL
SCALE: 3/4" = 1'-0"



LOWER ROOF FRAMING & UPPER FLOOR FRAMING PLAN
SCALE: 1/4" = 1'-0"



FLOOR FRAMING NOTES

- WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS. VERIFY ALL DIMENSIONS AND CONDITIONS IN THE FIELD.
- ENGINEERING SPECIFICATIONS, NOTES AND DRAWINGS ACCOMPANIED WITH PLANS TO SUPERCEDE ALL INFORMATION ON ARCHITECTURAL DRAWINGS. FOR ANY DISCREPANCIES BETWEEN ENGINEERING AND ARCHITECTURAL DRAWINGS REFER TO ENGINEERING.
- REFER TO FLOOR FRAMING PLAN FROM FLOOR JOIST MANUFACTURER/SUPPLIER. FLOOR JOIST MANUFACTURER/SUPPLIER SHALL PROVIDE AND SUBMIT ENGINEERED DESIGN TO THE BUILDING DEPARTMENT FOR APPROVAL PRIOR TO FABRICATION AND INSTALLATION.
- PROVIDE TEMPORARY BRACING AS REQUIRED UNTIL ALL PERMANENT CONNECTIONS AND STIFFENERS HAVE BEEN INSTALLED.
- FOR FLOOR SHEATHING USE 3/4" CDX OR OSB STURD-FLOOR T&G, GLUE AND NAIL W/ RING SHANK 8D'S @ 6" EDGES & 12" IN FIELD UNO. FACE GRAIN PERPENDICULAR TO SUPPORTS.
- PROVIDE BLOCKING BETWEEN F-JOISTS AT INTERIOR BEARING LOCATIONS WHERE THERE IS A LOAD BEARING WALL ABOVE.
- PROVIDE TIMBERSTRAND RIMS WHERE FLOOR JOISTS BEAR AT EXTERIOR WALLS.
- ALL EXTERIOR WALLS ASSUMED TO BE BEARING.
- ALL BEAMS & HEADERS TO BE 4 X 10 DF #2 OR 6 X 8 DF #2 UNO.
- JOIST HANGERS & CONNECTIONS TO BE 'SIMPSON' UNO.
- ALL CONNECTORS AND FASTENERS IN CONTACT WITH PRESSURE TREATED WOOD SHALL BE HOT DIPPED GALVANIZED OR EQUIVALENT PROTECTION.

ROOF NOTES

- TRUSSES TO BE SPACED AT 24" O.C. UNLESS NOTED OTHERWISE.
- ROOF PITCH IS TO BE 5/12 ON WEST SIDE OF HOUSE, 3.5/12 ON EAST SIDE.
- ROOFING MATERIAL IS COMPOSITE.
- OVERHANGS ARE 18" WITH CONTINUOUS METAL GUTTER THROUGHOUT.
- FASCIA SHALL BE 5/4 X 6 WITH CONTINUOUS METAL GUTTER.
- ALL BEAMS & HEADERS TO BE 4 X 10 DF #2 OR 6 X 8 DF #2 UNO.
- PROVIDE SOLID BLOCKING OVER SUPPORTS.
- TRUSSES/RAPERS TO BE SHEATHED WITH 7/16" CDX OR OSB SHEATHING WITH 15# FELT OR BETTER. USE FLYWOOD SHEATHING ON ALL SOFFIT AREAS.
- PROVIDE ROOF CROSS VENTILATION FOR EACH SEPARATE SPACE WHERE APPLICABLE.

TRUSS NOTES

- TRUSS MANUFACTURER SHALL PROVIDE DESIGN DETAILS AND ENGINEERING FOR ALL TRUSSES. COPY TO BE AVAILABLE ON SITE FOR FRAMING INSPECTIONS.
- ALL TRUSSES SHALL CARRY THE MANUFACTURER'S STAMP.
- ALL TRUSSES SHALL BE STORED, INSTALLED & BRACED PER MANUFACTURER'S SPECIFICATIONS.
- TRUSSES SHALL NOT BE ALTERED IN THE FIELD WITHOUT THE APPROVAL OF THE BUILDING OFFICIAL AND/OR APPROVED ENGINEERING CALCULATIONS PROVIDED BY THE TRUSS MANUFACTURER.
- ROOF TRUSSES TO BE SHEATHED WITH 7/16" CDX OR OSB SHEATHING WITH 15# FELT OR BETTER. USE FLYWOOD SHEATHING ON ALL SOFFIT AREAS.
- PROVIDE ROOF CROSS VENTILATION FOR EACH SEPARATE SPACE WHERE APPLICABLE.

NOTE: ROOF TRUSSES AND FLOOR JOISTS SHOWN IN DRAWING ARE FOR SCHEMATIC PURPOSES ONLY. FOR TRUSS PLACEMENT, DESIGN AND ENGINEERING REFER TO TRUSS DESIGN & SPECIFICATIONS FROM TRUSS SUPPLY COMPANY. FOR FLOOR JOIST LAYOUT REFER TO JOIST DESIGN & SPECIFICATIONS FROM FLOOR JOIST SUPPLIER.

FLOOR & ROOF FRAMING LEGEND

---	FLOOR JOIST
---	BEAM/HEADER
---	OUTLINE OF WALLS OF FLOOR BENEATH
---	OUTLINE OF SUPPORTED FLOOR/EXTENTS OF FLOOR JOISTS
---	BEARING WALL
---	LINE OF ROOF/EXTENTS OF UPPER FLOOR LIVING SPACE
---	OUTLINE OF UPPER FLOOR WALLS
---	JOIST HANGER
□	POST

ATTIC VENTILATION

ATTIC VENTILATION REQUIRED. REFER TO IRC R806.1 AND R806.2.
 SQUARE FOOTAGE OF ATTIC SPACE FOR 'ATTIC SPACE 1' = 172 S.F.
 172/300 = 0.57 S.F. NET VENT AREA REQUIRED.
 SQUARE FOOTAGE OF ATTIC SPACE FOR 'ATTIC SPACE 2' = 62 S.F.
 62/300 = 0.2 S.F. NET VENT AREA REQUIRED.
 PROVIDE MIN. 1/50 OF ATTIC AREA, OR 1/300 IF HALF IS AT EAVE AND REMAINDER AT MIN. 3' ABOVE PLATE LINE. OPENINGS TO BE COVERED WITH 1/8" CORROSION RESISTANT METAL MESH OR EQUAL. EAVE OR CORNER VENT SHALL NOT BE BLOCKED. MAINTAIN MIN. 1" AIR SPACE BETWEEN INSULATION AND ROOF SHEATHING AT THE LOCATION OF THE VENT.
 FOR OPEN EAVE SOFFIT USE BIRD BLOCK TRUSS BLOCKING WITH (3) 1/2" DIA. HOLES AND MESH SCREEN COVERING THE HOLES, BETWEEN EACH TRUSS.
 FOR CLOSED EAVE SOFFIT USE CONTINUOUS SOFFIT VENTING.

UNIT 6 BUCKLEY

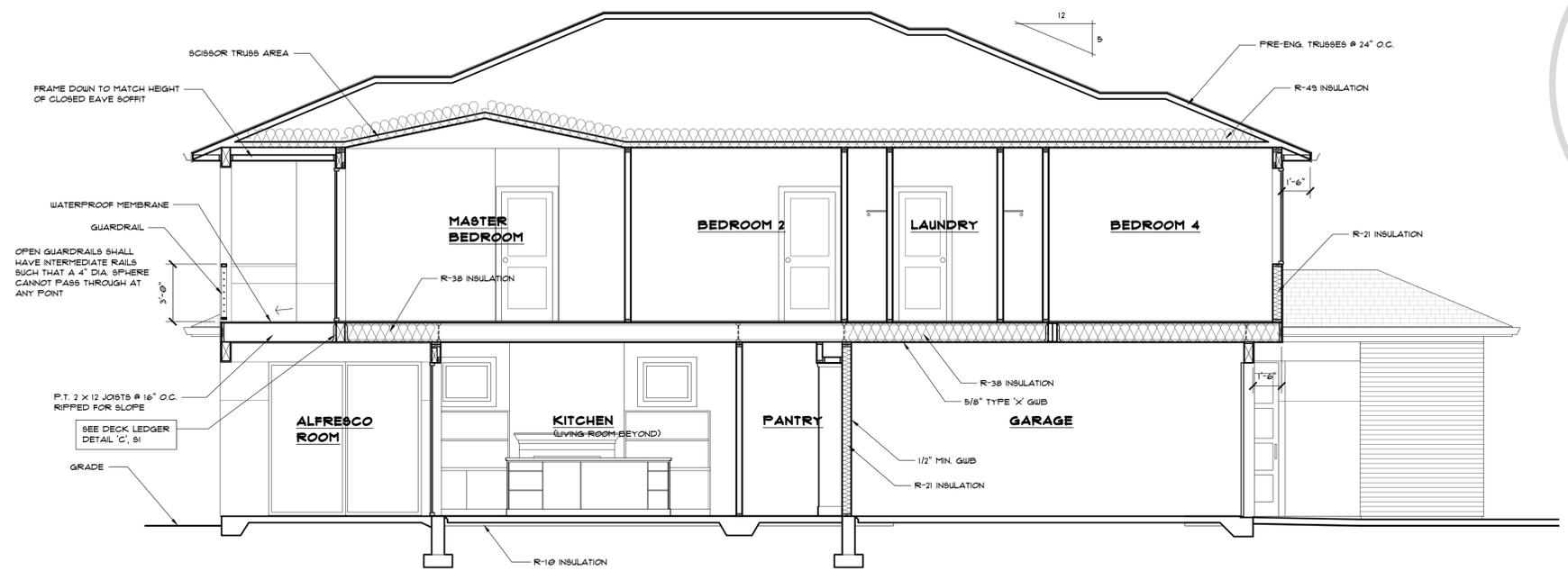
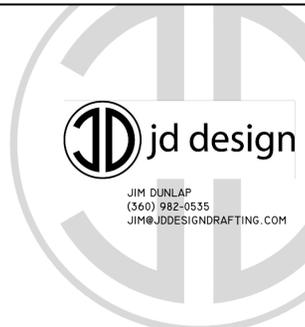
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LOWER ROOF FRAMING & UPPER FLOOR FRAMING PLAN & DETAILS

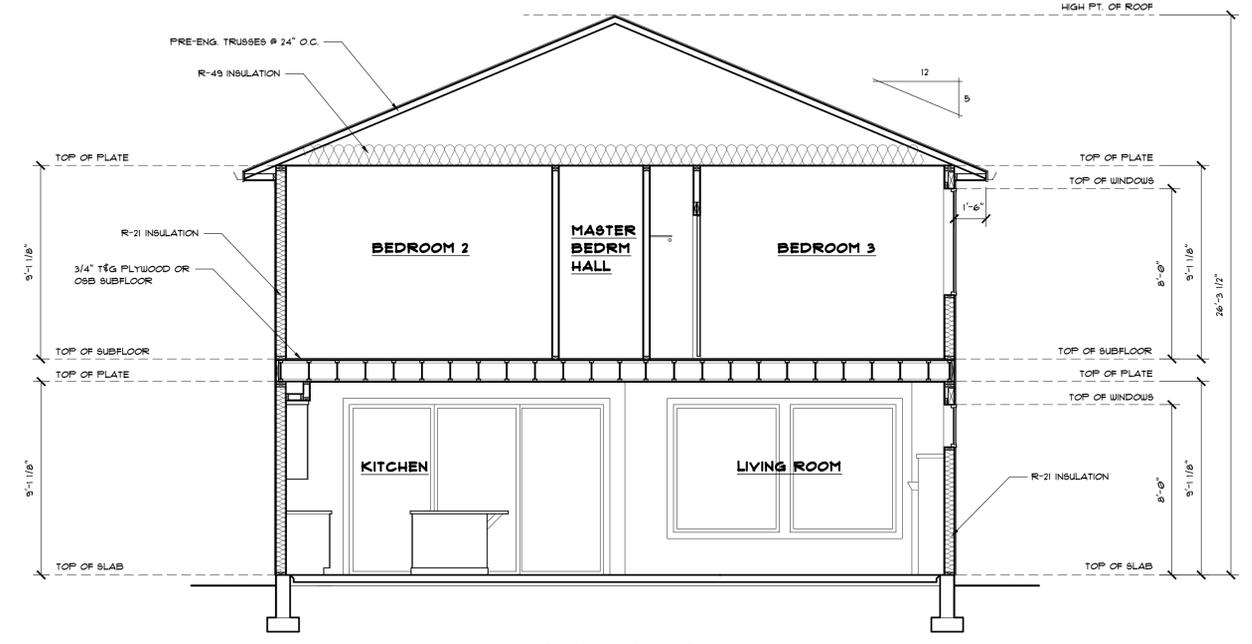
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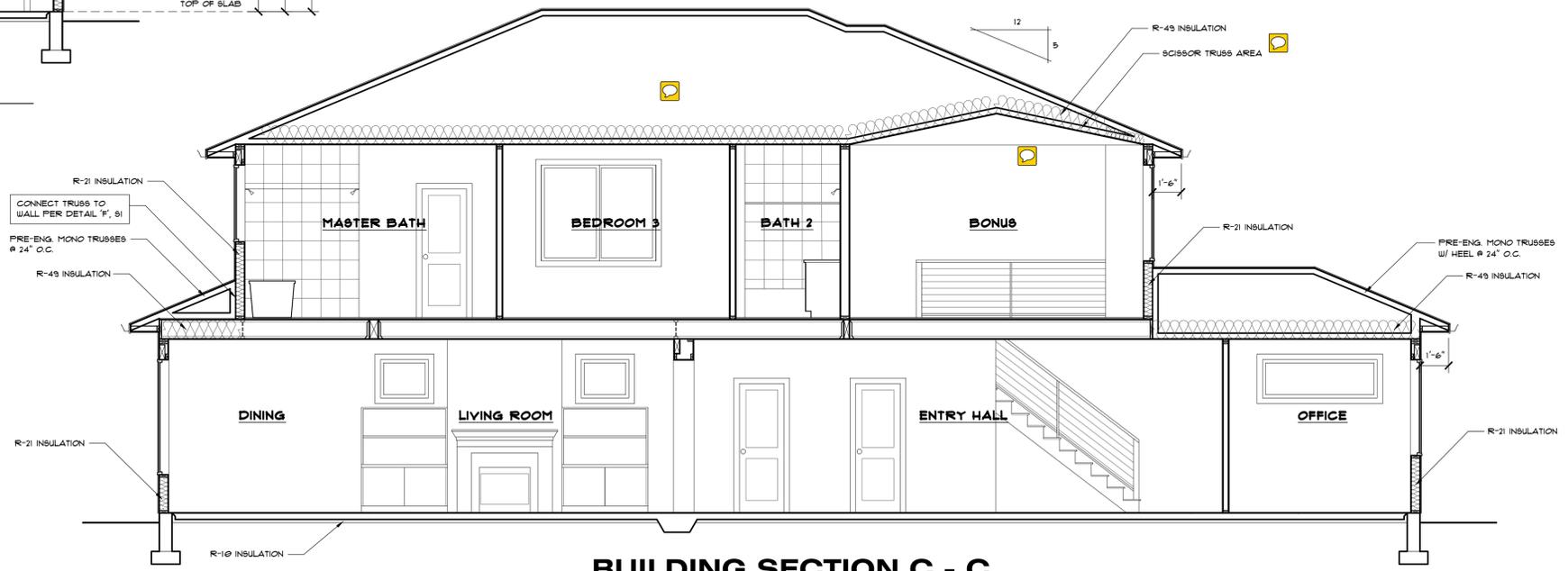
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BUILDING SECTION A - A
SCALE: 1/4" = 1'-0"



BUILDING SECTION B - B
SCALE: 1/4" = 1'-0"



BUILDING SECTION C - C
SCALE: 1/4" = 1'-0"

**UNIT 6
BUCKLEY**

DOE RUN AT SUNSET COVE ESTATES, LLC

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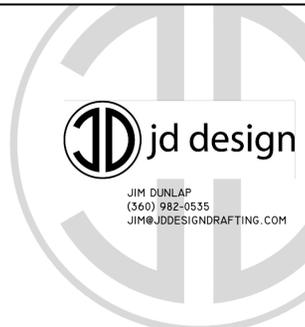
BUILDING SECTIONS

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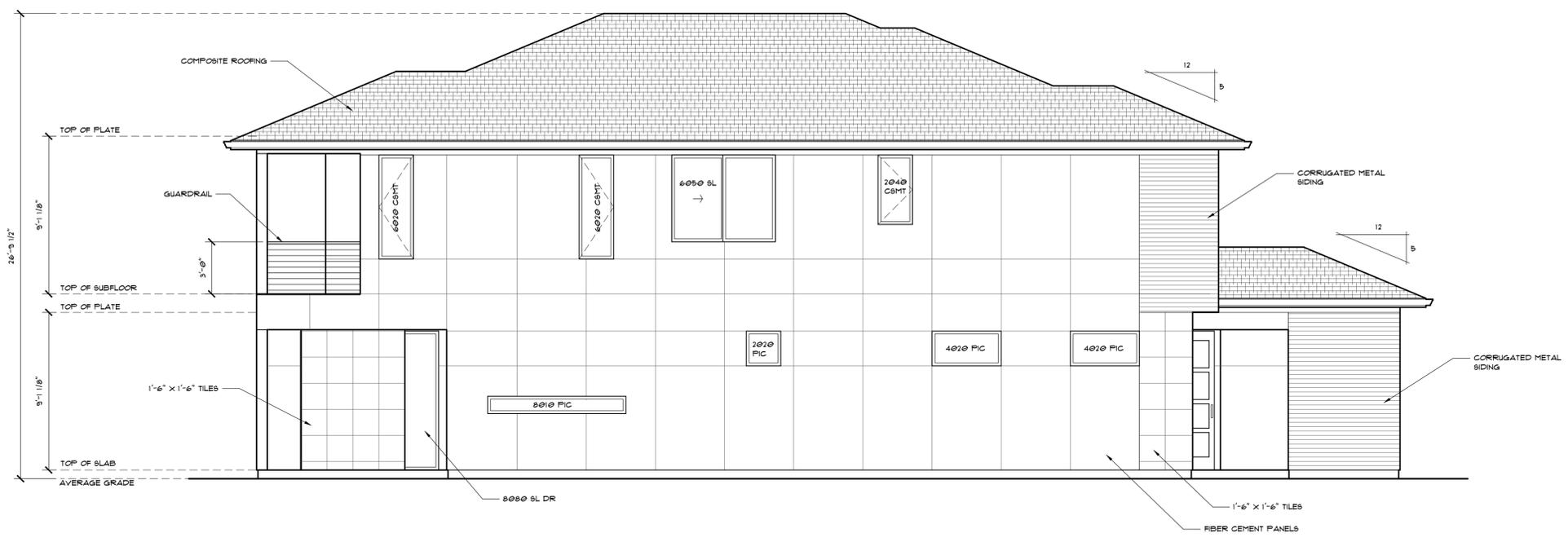


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NORTH ELEVATION

SCALE: 1/4" = 1'-0"



EAST ELEVATION

SCALE: 1/4" = 1'-0"

**UNIT 6
BUCKLEY**

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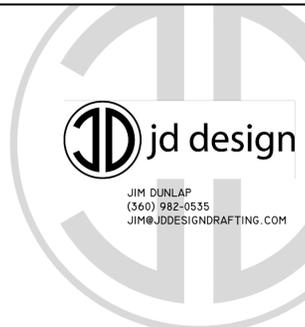
**ELEVATIONS NORTH
& EAST**

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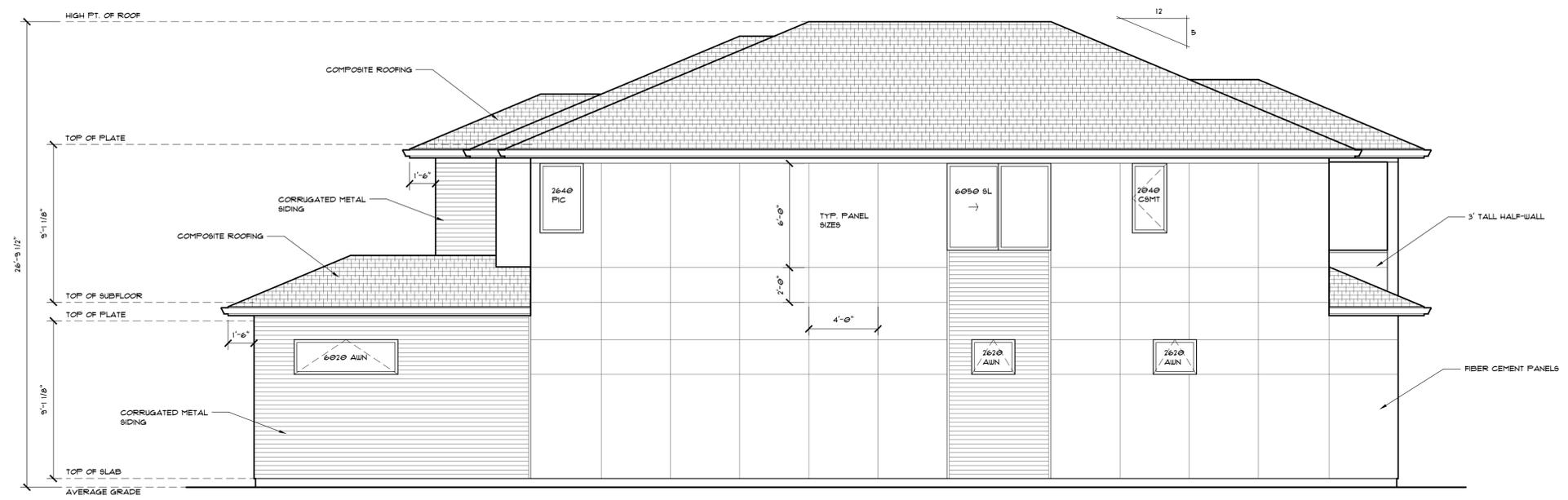
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SOUTH ELEVATION
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WEST ELEVATION
 SCALE: 1/4" = 1'-0"

**UNIT 6
 BUCKLEY**

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**ELEVATIONS SOUTH
 & WEST**

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