

# DOE RUN

## AT SUNSET COVE ESTATES

# UNIT 3

## LOCKHART

2413 SUNDOWN COURT  
ANACORTES, WASHINGTON

PARCEL #: P117874

PROJECT DESCRIPTION: NEW CONSTRUCTION OF TWO-STORY  
SINGLE-FAMILY RESIDENCE. UNIT 3 IN 9-UNIT DEVELOPMENT.  
ZONING DESIGNATION: R-2



JIM DUNLAP  
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### PROPERTY INFO.

SITE ADDRESS:  
2413 SUNDOWN COURT  
ANACORTES, WASHINGTON 98021

PARCEL #: P117874  
ASSESSOR'S TAX #: 411-000-016-0100  
QTR: S1/2, SEC. 2, T14N 35, R16W 01  
PARCEL SIZE: 1.61 ACRES (13,962 S.F.)

PROPERTY OWNER:  
DOE RUN AT SUNSET COVE ESTATES, LLC  
1004 COMMERCIAL AVE. #541  
ANACORTES, WASHINGTON 98021

### SQ. FT. INFO.

MAIN FLOOR CONDITIONED:	1449 S.F.
UPPER FLOOR CONDITIONED:	1121 S.F.
<b>TOTAL CONDITIONED:</b>	<b>2570 S.F.</b>
<b>GARAGE:</b>	<b>460 S.F.</b>
MAIN FL. COVERED PATIO AT FRONT:	XX S.F.
MAIN FL. COVERED PATIO AT BACK:	XX S.F.
UPPER FL. COVERED BALCONY:	XX S.F.
<b>TOTAL COVERED OUTDOOR SPACE:</b>	<b>XX S.F.</b>

NOTE: SQUARE FOOTAGE IS MEASURED TO THE OUTSIDE FACE OF WALLS OF ALL FINISHED SPACE. STAIRWELLS ARE COUNTED ONCE, APPROX. HALF ON TOP FLOOR, HALF ON BOTTOM. OPEN TO BELOW SPACES ARE NOT INCLUDED IN CALCULATIONS. GARAGE AND UNCONDITIONED AREAS ARE CALCULATED SEPARATELY.

### LOT COVERAGE

HOUSE FOOTPRINT INCLUDING COVERED PATIO AREAS: 2142 S.F.

NOTE: LOT COVERAGE CALCULATIONS FOR 9-UNIT DEVELOPMENT INCLUDED ON PAGE A2.

### FIRE AREA

MAIN FLOOR FIRE AREA:	XX S.F.
UPPER FLOOR FIRE AREA:	XX S.F.
<b>TOTAL FIRE AREA:</b>	<b>XX S.F.</b>

NEAREST FIRE HYDRANT: 56' TO WEST OF PROPERTY LINE AS SHOWN ON PAGE A2.

### UNIT 3 LOCKHART

PROJECT: NEW CONSTRUCTION OF TWO-STORY SINGLE-FAMILY RESIDENCE (UNIT 3 OF 9)

**DOE RUN AT SUNSET COVE ESTATES, LLC**

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ANACORTES, WASHINGTON  
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PAGE DESCRIPTION:  
**COVER PAGE**

DRAWN BY: JAD  
SCALE: 1/4" = 1'-0" UNO  
JD JOB#: H22NC17-FREE  
DATE: 09/19/2017

REVISIONS

**A1**

SHEET 1 OF 15

### BUILDING CODES

CONSTRUCTION WILL COMPLY WITH:	
BUILDING & STRUCTURAL:	2015 IRC
MECHANICAL:	2015 IRC
PLUMBING:	2015 UPC
ENERGY & VENTILATION:	2015 WSEC

### GENERAL NOTES

- HOUSE WILL BE HEATED BY FURNACE LOCATED IN ATTIC OR GARAGE.
- WATER WILL BE HEATED BY TANKLESS WATER HEATER LOCATED IN GARAGE.
- WATER SUPPLIED BY CITY OF ANACORTES.

### DRAINAGE NOTES

- DOWNSPOUT AND FOOTING DRAINS TO BE TIGHT-LINED IN 4" PVC AND CONNECTED TO 12" PVC MAIN LINE. 12" PVC TO BE RUN TOWARD SOUTHEAST OF PROPERTY TO DETENTION POND AS NOTED ON SITE PLAN.
- KEEP DRIVEWAYS/PAVED AREAS SLOPING AWAY FROM BUILDINGS.
- NOTE FOR COMPLETE DRAINAGE PLANS SEE CIVIL ENGINEERING SET PAGE C3 'DRIVEWAY, DRAINAGE, SEWER AND WATER PLANS & DETAIL' AND C4 'BIORETENTION SWALE & POND MODIFICATIONS DETAILS'.

### EROSION CONTROL NOTES

- CONTRACTOR TO INSTALL SILT FENCING ON DOWN SLOPE SIDE OF ENTIRE EXTENTS OF EACH SITE UNDER CONSTRUCTION. SILT FENCING TO REMAIN UNTIL ALL CONSTRUCTION IS COMPLETED AND LANDSCAPE IS IN PLACE.
- IN ADDITION TO SILT FENCING COVER ALL STOCKPILED SOIL WITH STRAW OR VISQUEEN.
- NOTE FOR COMPLETE EROSION CONTROL DETAILS AND SPECIFICATIONS SEE CIVIL ENGINEERING SET PAGE C2 'SITE PLAN & EROSION CONTROL & GRADING' AND PAGE C5 'EGS DETAILS'.

### ENERGY CREDITS

THIS RESIDENCE IS A MEDIUM DWELLING UNIT (1500 - 5000 S.F.) WHICH WILL REQUIRE 3.5 CREDITS

OPTION	DESCRIPTION	CREDITS
1A	EFFICIENT BUILDING ENVELOPE: VERTICAL PENETRATION U = 0.28 FOR EVERY WINDOW SLAB ON GRADE R-10 PERIMETER UNDER UNCONDITIONED SPACE (GARAGE) & UNDER ENTIRE CONDITIONED SPACE	0.5
2A	AIR LEAKAGE CONTROL AND EFFICIENT VENTILATION: ALL HOUSE VENTILATION MET WITH HIGH EFFICIENCY FAN (MAX. 0.35 WATTS/CFM) NOT INTERLOCKED WITH FURNACE FAN. BLOWER TEST RESULTS TO BE 3.0 AIR CHANGES PER HOUR MAXIMUM. COMPLIANCE BASED ON R402.4.1.2.	0.5
3A	HIGH EFFICIENCY HVAC EQUIPMENT: GAS FURNACE WITH MINIMUM AFUE OF 94%	1.0
5C	EFFICIENT WATER HEATING: GAS WATER HEATER WITH MINIMUM EF OF 0.91	1.5
<b>TOTAL CREDITS</b>		<b>3.5</b>

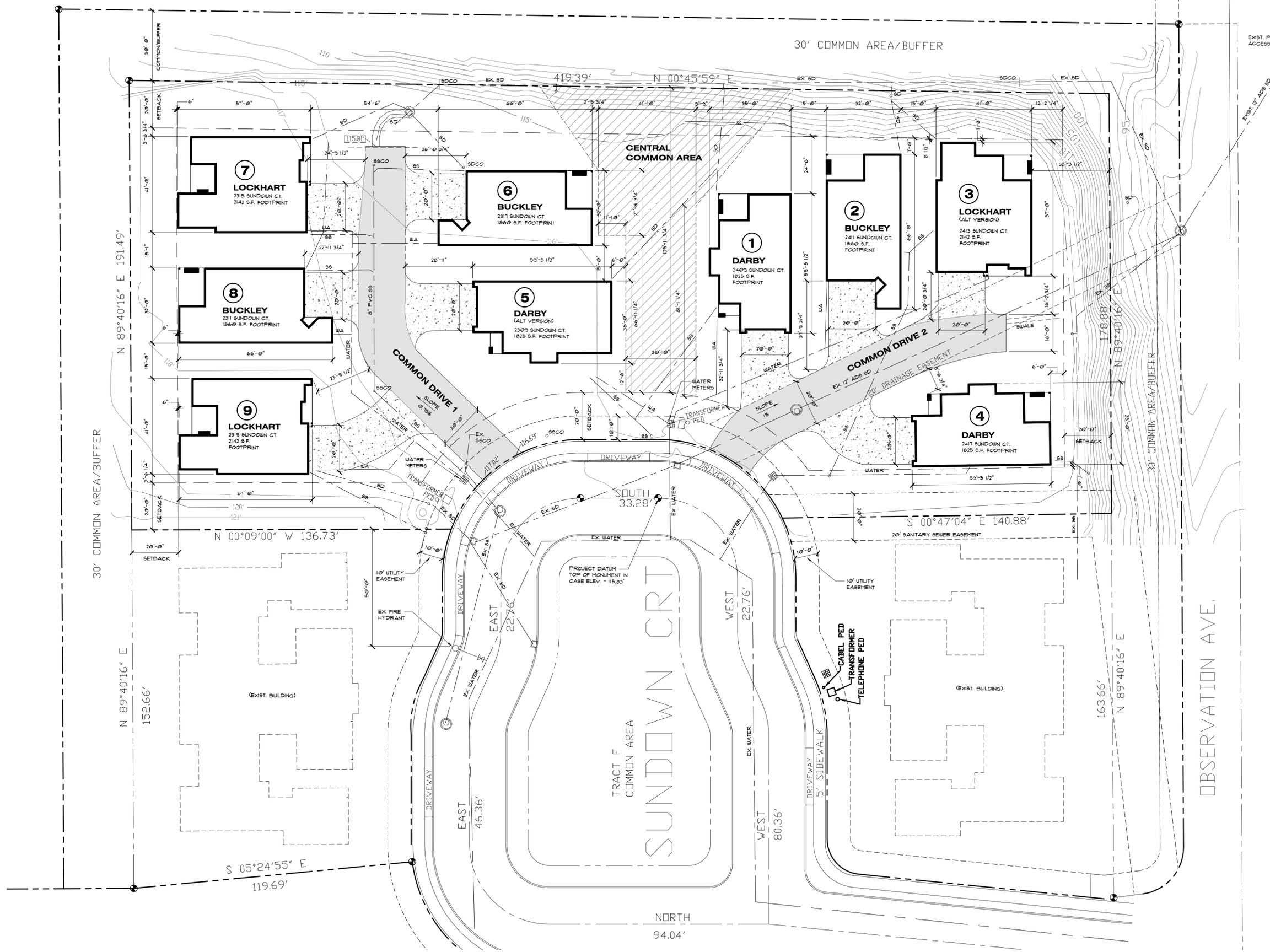
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**DOE RUN AT SUNSET COVE ESTATES  
OVERALL SITE PLAN**



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**UNIT 3  
LOCKHART**

**DOE RUN AT SUNSET COVE ESTATES, LLC**

PROJECT: NEW CONSTRUCTION OF TWO-STORY SINGLE-FAMILY RESIDENCE (UNIT 3 OF 9)

SITE ADDRESS: 2413 SUNDOWN COURT  
ANACORTES, WASHINGTON  
PARCEL #: P117874

**PROJECT DETAILS**

DOE RUN AT SUNSET COVE ESTATES IS A 9-UNIT DEVELOPMENT, FEATURING 3 DIFFERENT HOUSE MODELS: DARBY, BUCKLEY, AND LOCKHART. THERE WILL BE 3 OF EACH MODEL, PLACED AS SPECIFIED IN THE OVERALL SITE PLAN.  
LOT IS 1.61 ACRES (13,962 S.F.)

**EROSION CONTROL & DRAINAGE NOTES**

FOR COMPLETE EROSION CONTROL DETAILS AND SPECIFICATIONS SEE CIVIL ENGINEERING SET PAGE C2 'SITE PLAN & EROSION CONTROL & GRADING' AND PAGE C3 'EGS DETAILS'.  
FOR COMPLETE DRAINAGE PLANS SEE CIVIL ENGINEERING SET PAGE C3 'DRAINAGE, SEWER AND WATER PLANS & DETAIL' AND C4 'BIORETENTION SWALE & POND MODIFICATIONS DETAILS'.

**LOT COVERAGE**

BUILDING FOOTPRINTS	
UNIT #	BUILDING FOOTPRINT (INCL COVERED PORCHES)
UNIT 1	1825 S.F.
UNIT 2	1860 S.F.
UNIT 3	2124 S.F.
UNIT 4	1825 S.F.
UNIT 5	1825 S.F.
UNIT 6	1860 S.F.
UNIT 7	2142 S.F.
UNIT 8	1860 S.F.
UNIT 9	2124 S.F.
TOTAL BUILDINGS:	17,421 S.F.

**PAVED SURFACES**

COMMON DRIVES	5114 S.F.
DRIVEWAYS	5745 S.F.
TOTAL PAVED:	10,859 S.F.

**COMMON AREA**

CENTRAL COMMON AREA: 6154 S.F.

**LEGEND**

- PAVED COMMON DRIVE
- PAVED DRIVEWAY
- CENTRAL COMMON AREA
- PROPERTY LINE
- BUILDING SETBACK
- LINE OF BUILDING FOOTPRINT

**OVERALL SITE PLAN**

DRAWN BY: JAD  
SCALE: AS NOTED  
JD JOB#: 1122NC17-FREE  
DATE: 09/19/2017

REVISIONS

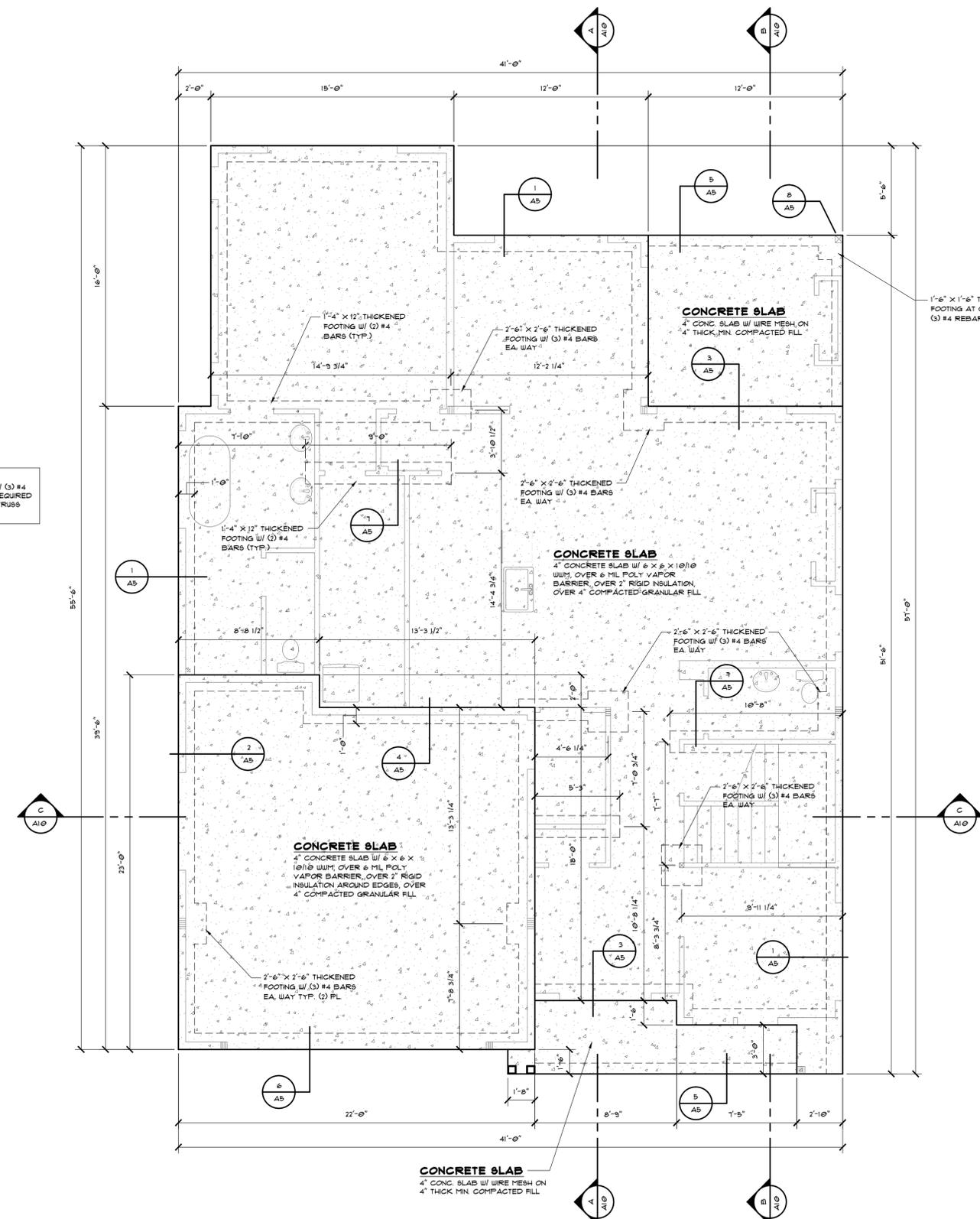
**A2**

**OVERALL SITE PLAN**  
SCALE: 1" = 20'-0"

### FOUNDATION NOTES

- WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS. VERIFY ALL DIMENSIONS AND CONDITIONS IN THE FIELD.
- ENGINEERING SPECIFICATIONS, NOTES AND DRAWINGS ACCOMPANIED WITH PLANS TO SUPERCEDE ALL INFORMATION ON ARCHITECTURAL DRAWINGS. FOR ANY DISCREPANCIES BETWEEN ENGINEERING AND ARCHITECTURAL DRAWINGS REFER TO ENGINEERING.
- FOOTINGS ARE TO BEAR ON UNDISTURBED LEVEL SOIL DEVOID OF ANY ORGANIC MATERIAL AND STEEPED AS REQUIRED TO MAINTAIN 18" DEPTH BELOW GRADE.
- SOIL BEARING ASSUMED TO BE 2000 PSF.
- COVER CRAWL SPACE GRADE WITH HIGH DENSITY POLYETHYLENE HIGH QUALITY VAPOR RETARDER. LAP EDGES 12" MIN. AND EXTEND 12" MIN. UP FOUNDATION WALL.
- FILL UNDER SLABS ON GRADE TO BE MIN. 4" DEPTH GRANULAR MATERIAL COMPACTED TO 95%.
- CONCRETE SLABS TO HAVE CONTROL JOINTS AT 25' MAX. INTERVALS EACH WAY.
- CONCRETE SIDEWALKS TO HAVE 3/4" TOOLED JOINTS AT 5' O.C. EACH WAY.
- WIRE MESH TO BE USED IN CONCRETE SLABS, POSITIONED 1-1/2" FROM BOTTOM OF SLAB.
- USE HIGH DENSITY POLYETHYLENE HIGH QUALITY VAPOR RETARDER UNDER CONCRETE SLABS IN GARAGE AND BASEMENT.
- A WATERPROOF MEMBRANE IS TO BE USED ON FOUNDATION WALLS BELOW GRADE.
- A DRAIN TILE WITH HOLES, NOT SUTS, IS TO BE USED. DRAIN TILE IS TO BE POSITIONED SO THAT HOLES ARE FACING DOWN.
- A LAYER OF ROUND, WASHED, DRAINAGE-GRADE GRAVEL IS TO BE USED OVER DRAIN TILE, NEXT TO FOOTINGS. 30-LB. FELT PAPER IS TO BE USED OVER THE GRAVEL.
- ALL BOTTOM PLATES AND ANY LUMBER IN CONTACT WITH CONCRETE TO BE PRESSURE TREATED.
- BEAM POCKETS IN CONCRETE TO HAVE 12" AIRSPACE AT SIDES & ENDS WITH MIN. BEARING OF 3".
- FOLLOW ALL JOIST FRAMING DETAILS PER MANUFACTURER.
- PROVIDE BLOCKING ABOVE ALL BEARING WALLS AND BEAMS.
- ALL CONNECTORS AND FASTENERS IN CONTACT WITH PRESSURE TREATED WOOD SHALL BE HOT DIP GALVANIZED OR EQUIVALENT PROTECTION.
- ACCESS SHALL BE PROVIDED TO ALL UNDER-FLOOR SPACES. ACCESS OPENING THROUGH PERIMETER WALL SHALL BE NOT LESS THAN 18" X 24". IF ANY PORTION OF THROUGH-WALL ACCESS IS BELOW GRADE AN AREAWAY NOT LESS THAN 18" X 24" SHALL BE PROVIDED (IRC R408.4).
- CONTRACTOR TO COORDINATE FOUNDATION & SLAB BLOCK-OUTS W/ MECH. & ELECT. FOR SIZE & LOCATIONS.
- ALL CONCENTRATED LOADS FROM ROOF TRUSSES MUST BE TRANSFERRED TO THE FOUNDATION WITH A BUILT-UP POST AND FOOTINGS AS REQUIRED. VERIFY LOCATIONS WITH TRUSS ENGINEER AND/OR STRUCTURAL ENGINEER.

NOTE: THERE SHALL BE NO CRAWL SPACE THEREFORE NO CRAWL SPACE VENTILATION OR CRAWL SPACE ACCESS IS NEEDED.



2" X 2" X 18" THICK REINFORCED SLAB W/ (3) #4 REBAR EACH WAY REQUIRED BELOW ALL GIRDER TRUSS POINT LOADS

## FOUNDATION PLAN

SCALE: 1/4" = 1'-0"

FOUNDATION LEGEND	
	CONCRETE
	EDGE OF FOUNDATION
	THICKENED FOOTING
	OUTLINE OF WALLS OF SUPPORTED FLOOR

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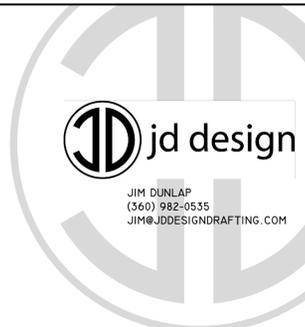
### FOUNDATION PLAN

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JD JOB#: I122NC17-FREE  
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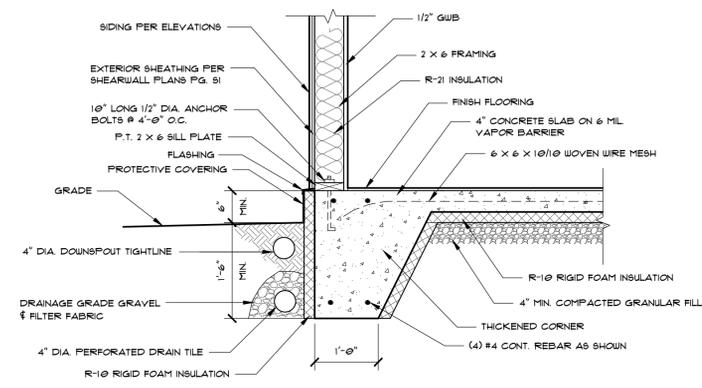
#### REVISIONS

NO.	DESCRIPTION

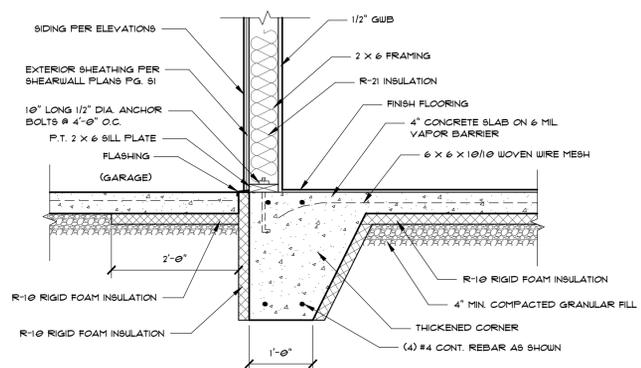
## A4



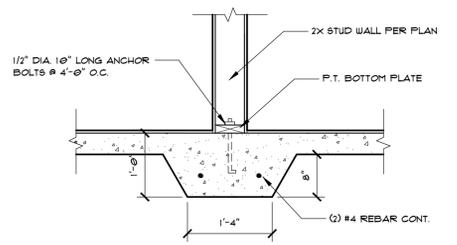
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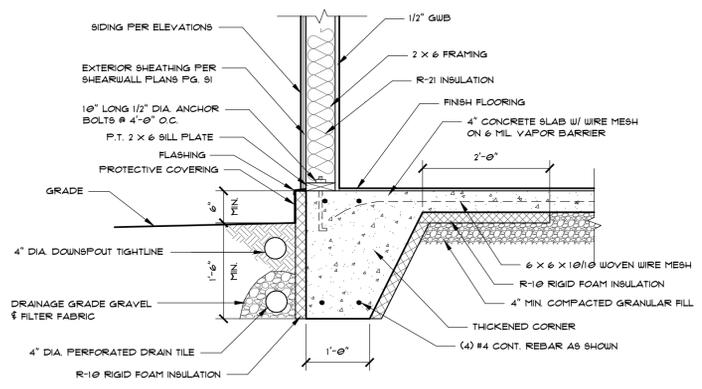
**1 TYP. FND. WALL DETAIL**  
SCALE: 3/4" = 1'-0"



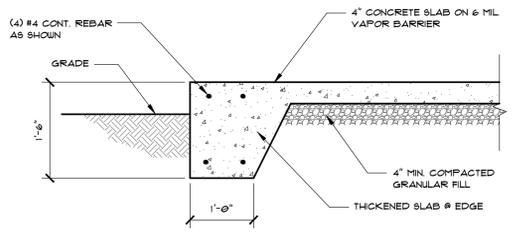
**4 HOUSE @ GARAGE DETAIL**  
SCALE: 3/4" = 1'-0"



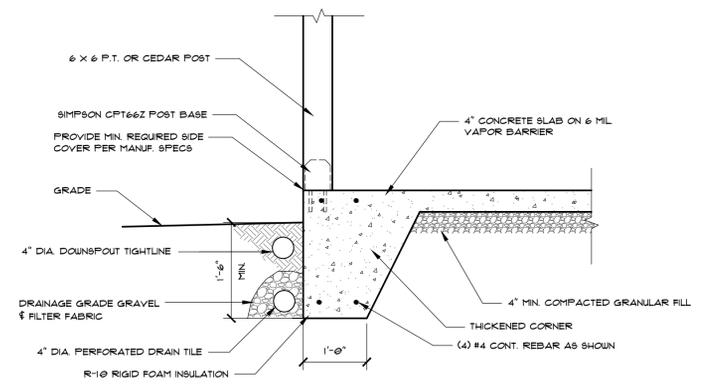
**7 THICKENED FOOTING DETAIL**  
SCALE: 3/4" = 1'-0"



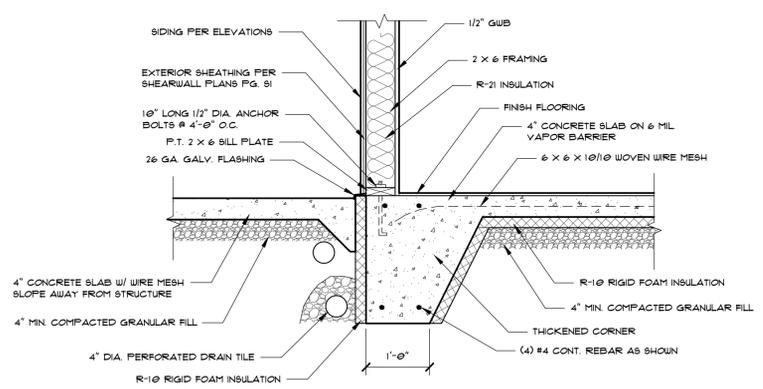
**2 GARAGE WALL DETAIL**  
SCALE: 3/4" = 1'-0"



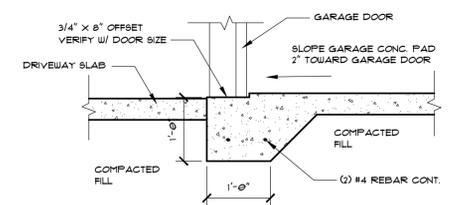
**5 PATIO EDGE DETAIL**  
SCALE: 3/4" = 1'-0"



**8 POST FOOTING DETAIL**  
SCALE: 3/4" = 1'-0"



**3 HOUSE @ PATIO DETAIL**  
SCALE: 3/4" = 1'-0"



**6 GARAGE FOOTING DETAIL**  
SCALE: 3/4" = 1'-0"

**UNIT 3  
LOCKHART**

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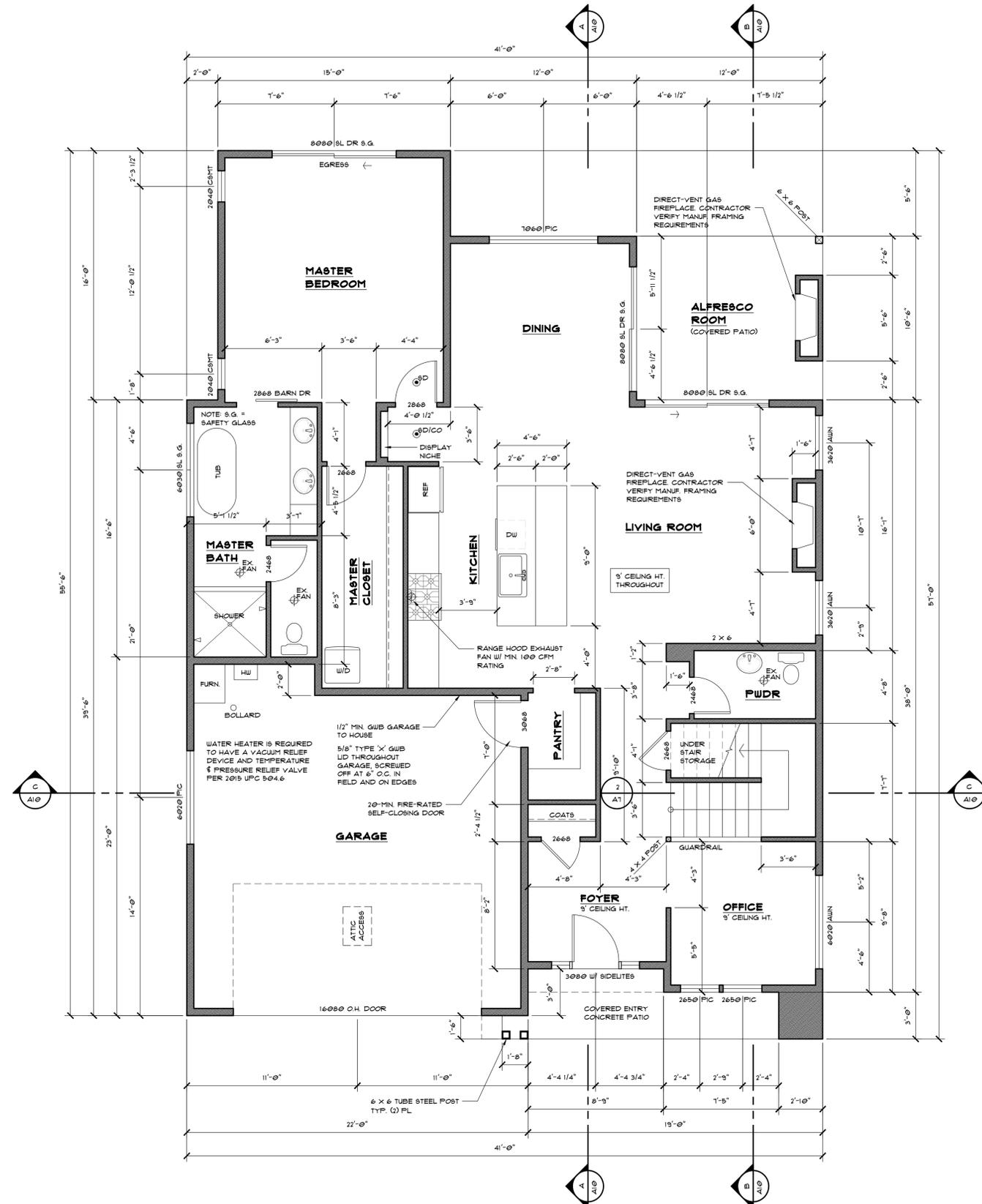
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**FOUNDATION  
DETAILS**

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REVISIONS

**A5**



### MAIN FLOOR PLAN

SCALE: 1/4" = 1'-0"  
1449 S.F. LIVING SPACE  
460 S.F. GARAGE

### FLOOR PLAN NOTES

- WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS. VERIFY ALL DIMENSIONS AND CONDITIONS IN THE FIELD.
- CONFIRM ALL DOOR, WINDOW, CLOSET, AND ANY OTHER ROUGH OPENING SIZES WITH OWNER/ CONTRACTOR PRIOR TO WALL CONSTRUCTION.
- ALL WOOD IN CONTACT WITH CONCRETE MUST BE PRESSURE TREATED MATERIAL. USE CORROSION RESISTANT FASTENERS WHEN IN CONTACT WITH PRESSURE TREATED LUMBER.
- ALL EXTERIOR WALLS (EXCEPT GARAGE) TO BE FRAMED WITH 2 X 6 STUDS AT 16" O.C. AND SHEATHED WITH 1/2" OSB PLYWOOD OR BETTER WITH 15# BUILDING PAPER.
- EXTERIOR GARAGE WALLS TO BE FRAMED WITH 2 X 4 STUDS AT 16" O.C. AND SHEATHED WITH 1/2" OSB PLYWOOD OR BETTER WITH 15# BUILDING PAPER.
- ALL INTERIOR WALLS TO BE FRAMED WITH 2 X 4 STUDS AT 16" O.C. AND SHEATHED WITH 1/2" GYP/UM WALLBOARD UNLESS NOTED OTHERWISE.
- ALL GLASS TO HAVE LOW E (40) GLAZING. GLAZING IN HAZARDOUS LOCATIONS TO BE TEMPERED PER IRC SECTION R308. SEE R308.4 FOR DEFINITION OF HAZARDOUS AREAS.
- PROVIDE SMOKE DETECTORS ON OR NEAR THE CEILING OF EACH FLOOR, IN ALL BEDROOMS, AND JUST OUTSIDE EACH BEDROOM. SMOKE DETECTORS TO BE WIRED TO THE ELECTRICAL SYSTEM WITH BATTERY BACKUP (IRC R311.1 & R312).
- BEDROOMS TO HAVE AT LEAST ONE WINDOW MEETING THE FOLLOWING CONDITIONS: WINDOW SILLS TO BE WITHIN 44" OF FINISHED FLOOR WITH A NET CLEAR OPENING OF 5.7 SQ. FT. MIN. THE OPENING TO HAVE MIN. CLEAR OPENING HEIGHT OF 24" AND WIDTH OF 20" (IRC SECTION R310).
- ALL SHOWER AREAS TO BE FINISHED WITH A SMOOTH, HARD & NON-ABSORBENT MATERIAL TO MIN. 12" ABOVE DRAIN INLET. THIS MATERIAL TO BE INSTALLED OVER WATER RESISTANT PLASTER BOARD.
- TOILETS TO BE LOCATED IN AREA WITH MIN. 30" WIDTH OF TOTAL FINISHED CLEARANCE, AND HAVE CLEARANCE OF MIN. 21" IN FRONT OF TOILET. TOILETS TO BE LIMITED TO 6 GALLONS PER FLUSH.
- PROVIDE ATTIC ACCESS WITH REMOVABLE PANEL WITH MIN. 22" X 30" OPENING AND 30" UNOBSTRUCTED HEAD ROOM. FRAME WITH 2 X 12 MEMBERS.
- PROVIDE EXHAUST FAN IN KITCHEN AT MIN. 100 CFM AND BATHROOMS AT MIN. 50 CFM. ALL FANS AND DRYER EXHAUST TO BE VENTED TO OUTSIDE OF RESIDENCE.
- PROVIDE MIN. 1/2" GUB OR EQUIVALENT TO GARAGE SIDE, BETWEEN GARAGE AND RESIDENCE AND/OR GARAGE AND ATTIC (IRC R302.6).
- PROVIDE 1-HR. FIRE-RESISTIVE CONST. 5/8" TYPE 'X' GUB OR GARAGE LID FOR FIRE SEPARATION UNDER HABITABLE SPACE ABOVE GARAGE (IRC R302.6).
- DOOR BETWEEN HOUSE AND GARAGE TO BE 1-1/2" THICK SOLID CORE, 20-MIN. SELF-CLOSING FIRE-RATED DOOR (R302.5.1).
- PROVIDE FIRESTOPS AT ALL APPLICABLE LOCATIONS, INCLUDING HOLES AND ANY OPEN AREAS.
- ALL ELEMENTS AND SWITCHES FOR FURNACE AND WATER HEATER TO BE 18" MIN. ABOVE SLAB.

### STAIR NOTES

- STAIRS TO BE FRAMED WITH MIN. (3) 2 X 12 STRINGERS, ONE AT EACH SIDE AND ONE AT CENTER. PROVIDE FIRE BLOCKING BETWEEN STRINGERS AT TOP, MIDDLE AND BOTTOM, AND BETWEEN STUDS ALONG THE RUN OF THE STAIRS.
- MINIMUM HEADROOM CLEARANCE TO BE 6'-8" VERTICALLY ABOVE TREAD NOSING TO NEAREST OBJECT ABOVE.
- STAIRS TO HAVE MAX. RISE OF 7-3/4" AND MIN. RUN OF 10" WITH NOSING OF 3/4" TO 1-1/4". NO RISERS TO BE LESS THAN 4". DIMENSIONS BETWEEN RISE AND RUN ARE NOT TO VARY MORE THAN 3/8".
- ENCLOSED USABLE SPACE UNDER STAIRS TO BE 1-HR. FIRE-RESISTIVE CONST. 5/8" TYPE 'X' GUB.
- STAIRWAYS WITH 4 OR MORE RISERS TO HAVE AT LEAST ONE CONTINUOUS HANDRAIL AT 34" - 38" ABOVE TREAD NOSING WITH ENDS RETURNED TO TERMINATE INTO WALL OR NEWEL POST.
- HANDRAILS TO HAVE GRIP PORTION NOT LESS THAN 1-1/4" OR MORE THAN 2" IN CROSS SECTIONAL DIMENSION WITH 1-1/2" BETWEEN WALL AND HANDRAIL.

### GUARDRAIL NOTES

- ALL UNENCLOSED FLOORS, LANDINGS, BALCONIES OR PORCHES THAT ARE MORE THAN 30" ABOVE GRADE OR FLOOR BELOW SHALL BE PROTECTED BY A GUARDRAIL THAT IS MIN. HEIGHT OF 36".
- OPEN GUARDRAILS SHALL HAVE INTERMEDIATE RAILS SUCH THAT A 4" DIA. SPHERE CANNOT PASS THROUGH AT ANY POINT.
- GUARDRAILS SHALL BE ATTACHED TO THE STRUCTURE IN SUCH A MANNER TO WITHSTAND A SINGLE CONCENTRATED LOAD OF 200 LBS. APPLIED IN ANY DIRECTION AT ANY POINT ALONG THE TOP.

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### MAIN FLOOR PLAN

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REVISIONS

### A6

**ENERGY CODE NOTES**

- CONTRACTOR TO ADD ADDITIONAL FRAMING OR BLOCKING AS REQUIRED TO MEET CURRENT ENERGY CODE REQUIREMENTS.
- AIR LEAKAGE: SOLE PLATE IS TO BE CAULKED OR GLUED TO FLOOR. RIM JOIST BETWEEN STORIES TO BE CAULKED/SEALED. ALL HOLES IN BUILDING ENVELOPE ARE TO BE CAULKED/SEALED INCLUDING BUT NOT LIMITED TO ELECTRICAL, PLUMBING & HVAC PENETRATIONS, OUTLETS, SWITCH BOXES AND RECESSED FIXTURES ON EXTERIOR WALLS OR CEILINGS ARE TO BE CAULKED/SEALED WITH APPROVED SEALANT, OR HAVE FOAM GASKETS INSTALLED. ALL RECESSED LIGHTS ARE TO BE IC RATED, AIR TIGHT & SEALED TO SURROUNDING GAS. ROUGH OPENING AROUND ALL WINDOWS & DOORS TO BE SEALED/CAULKED.
- ALL CEILING EXHAUST FAN DUCTING TO BE INSULATED AS PER CODE, TO HAVE AS FEW BENDS AS POSSIBLE, AND TO TERMINATE AT THE EXTERIOR OF THE BUILDING.
- INSULATION TO FILL ALL EXTERIOR WALL CAVITIES. DO NOT COMPRESS. CUT TO FIT AROUND WIRES, PIPES & OUTLET BOXES.
- ALL HVAC DUCTS INSTALLED OUTSIDE THE HEATED HABITABLE SPACE TO HAVE SEALED JOINTS, CORNERS & BOOTHS, AND INSULATED IN ACCORDANCE WITH USEC 2015 EDITION SPECIFICATIONS ("USEC 2015").
- A ONE PERM OR LESS VAPOR RETARDER (E KRAFT PAPER, PVA PAINT, ETC.) IS TO BE INSTALLED ON THE WARM SIDE OF ALL INSULATION.
- ALL RECESSED LIGHT FIXTURES IN THE THERMAL ENVELOPE TO BE CERTIFIED UNDER ASTM E-283 AND SO LABELED, OR SEALED AROUND THE EXTERIOR IN AN APPROVED MANNER TO BE AIR TIGHT.
- ALL WATER PIPES IN UNHEATED SPACES TO BE INSULATED IN ACCORDANCE WITH USEC 2015.
- EXTERIOR DOORS TO BE ADJUSTED SO WEATHER-STRIPPING, THRESHOLD, & DOOR SWEEP ARE WORKING PROPERLY & SEAL WELL.
- BLOW-IN ATTIC INSULATION TO BE INSTALLED IN STRICT CONFORMANCE WITH MANUFACTURERS RECOMMENDATIONS FOR DENSITY & COVERAGE. PROVIDE VENT BAFFLES AS REQUIRED & INSULATE & WEATHER-STRIP ATTIC ACCESS DOOR.
- PROVIDE MAKEUP AIR WITH FRESH AIR DUCTED DIRECTLY INTO THE RETURN AIR PLENUM OF THE FURNACE SYSTEM. INSULATE THE DUCT IN ACCORDANCE TO USEC 2015. PROVIDE DAMPER TO REGULATE INCOMING FRESH AIR.
- ALL GAS COMBUSTION APPLIANCES, EXCEPT STOVES & CLOTHES DRYERS, TO HAVE COMBUSTION AIR DUCTED DIRECTLY TO THEM.
- ALL COMBUSTION EXHAUSTS TO BE SEPARATED BY A MIN. 3" VERT. & 10" HORIZ.

**WHOLE-HOUSE VENTILATION**

- ONE OF THE FOLLOWING METHODS WILL BE USED TO MEET THE REQUIREMENTS OF THE INTERNATIONAL MECHANICAL CODE (IMC) CHAPTER OF THE 2015 IRC:
- (A) A SINGLE WHOLE-HOUSE EXHAUST FAN, WHICH CAN PERFORM DOUBLE DUTY AS A ROOM SPOT FAN, IS REQUIRED. FAN MUST BE CONTROLLED BY TIMER SET TO OPERATE MIN. OF 8 HOURS PER DAY. THE CFM CAPACITY OF FAN MUST BE 0.25 W.G. AND HAVE MAX. SONE (NOISE) RATING OF 1.5. MIN. SIZE OF FAN MUST BE 105 CFM.
- (B) FRESH AIR WILL BE CIRCULATED BY THE CENTRAL FORCED AIR FURNACE SYSTEM. FURNACE MUST HAVE FRESH AIR INTAKE DUCT AND BLOWER MUST BE ACTIVATED BY TIMER TO CIRCULATE DAILY.

**INSULATION VALUES**

WALLS	
ABOVE GRADE	BELOW GRADE
R-21	R-21
CEILING	
FLAT	VAULTED
R-49	R-38
FLOOR	
CRAWL SPACE*	SLAB ON GRADE
R-30	R-10

\* R-30 INTENDED FOR USE WITH 9 1/2" I-JOISTS. IF 11 1/8" I-JOISTS USED THEN R-38 INSULATION TO BE INSTALLED.

**UNIT 3 LOCKHART**

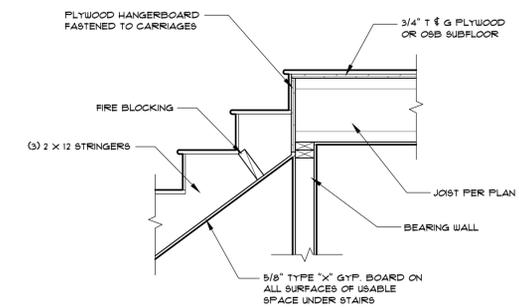
PROJECT: NEW CONSTRUCTION OF TWO-STORY SINGLE-FAMILY RESIDENCE (UNIT 3 OF 9)  
**DOE RUN AT SUNSET COVE ESTATES, LLC**  
SITE ADDRESS: 2413 SUNDOWN COURT  
ANACORTES, WASHINGTON  
PARCEL #: P117874

**UPPER FLOOR PLAN**

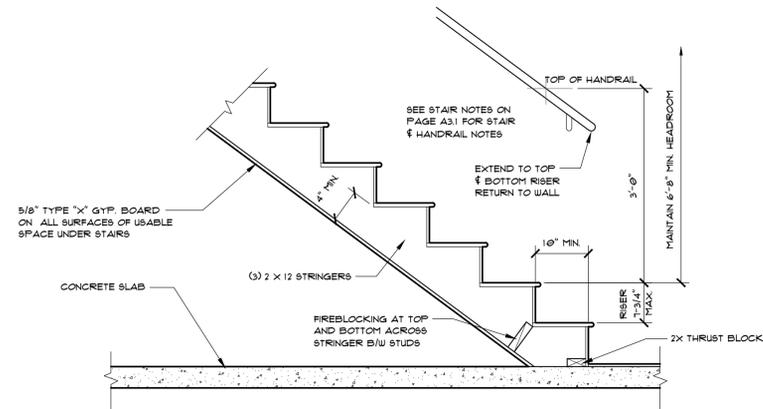
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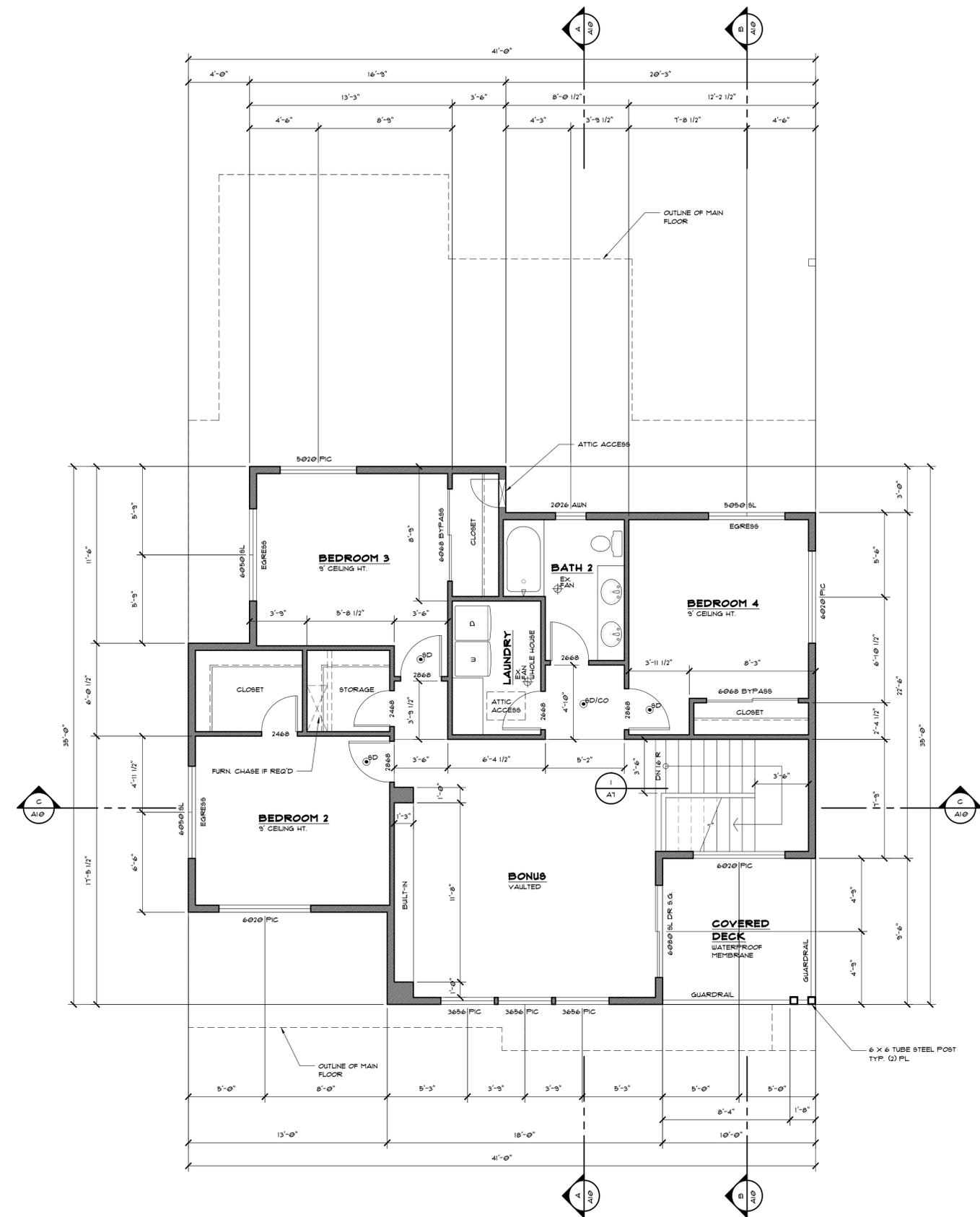
**A7**



**1 STAIRS AT LANDING**  
SCALE: 3/4" = 1'-0"



**2 STAIRS AT FLOOR**  
SCALE: 3/4" = 1'-0"



**UPPER FLOOR PLAN**  
SCALE: 1/4" = 1'-0"  
1121 S.F. LIVING SPACE

### FLOOR FRAMING NOTES

- WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS. VERIFY ALL DIMENSIONS AND CONDITIONS IN THE FIELD.
- ENGINEERING SPECIFICATIONS, NOTES AND DRAWINGS ACCOMPANIED WITH PLANS TO SUPERCEDE ALL INFORMATION ON ARCHITECTURAL DRAWINGS. FOR ANY DISCREPANCIES BETWEEN ENGINEERING AND ARCHITECTURAL DRAWINGS REFER TO ENGINEERING.
- REFER TO FLOOR FRAMING PLAN FROM FLOOR JOIST MANUFACTURER/SUPPLIER. FLOOR JOIST MANUFACTURER/SUPPLIER SHALL PROVIDE AND SUBMIT ENGINEERED DESIGN TO THE BUILDING DEPARTMENT FOR APPROVAL PRIOR TO FABRICATION AND INSTALLATION.
- PROVIDE TEMPORARY BRACING AS REQUIRED UNTIL ALL PERMANENT CONNECTIONS AND STIFFENERS HAVE BEEN INSTALLED.
- FOR FLOOR SHEATHING USE 3/4" CDX OR OSB STURD-FLOOR 15g. GLUE AND NAIL W/ RING SHANK 8D'S @ 6" EDGES & 12" IN FIELD UNO. FACE GRAIN PERPENDICULAR TO SUPPORTS.
- PROVIDE BLOCKING BETWEEN I-JOISTS AT INTERIOR BEARING LOCATIONS WHERE THERE IS A LOAD BEARING WALL ABOVE.
- PROVIDE TIMBERSTRAND RIMS WHERE FLOOR JOISTS BEAR AT EXTERIOR WALLS.
- ALL EXTERIOR WALLS ASSUMED TO BE BEARING.
- ALL BEAMS & HEADERS TO BE 4 X 10 DF #2 OR 6 X 8 DF #2 UNO.
- JOIST HANGERS & CONNECTIONS TO BE "916PSON" UNO.
- ALL CONNECTORS AND FASTENERS IN CONTACT WITH PRESSURE TREATED WOOD SHALL BE HOT DIPPED GALVANIZED OR EQUIVALENT PROTECTION.

NOTE: ROOF TRUSSES AND FLOOR JOISTS SHOWN IN DRAWINGS ARE FOR SCHEMATIC PURPOSES ONLY. FOR TRUSS PLACEMENT, DESIGN AND ENGINEERING REFER TO TRUSS DESIGN & SPECIFICATIONS FROM TRUSS SUPPLY COMPANY. FOR FLOOR JOIST LAYOUT REFER TO JOIST DESIGN & SPECIFICATIONS FROM FLOOR JOIST SUPPLIER.

### ATTIC VENTILATION

ATTIC VENTILATION REQUIRED. REFER TO IRC R806.1 AND R806.2.  
 SQUARE FOOTAGE OF ATTIC SPACE FOR 'ATTIC SPACE 1' = 122 S.F.  
 122/300 = 2.4 S.F. NET VENT AREA REQUIRED.  
 SQUARE FOOTAGE OF ATTIC SPACE FOR 'ATTIC SPACE 2' = 106 S.F.  
 106/300 = 0.35 S.F. NET VENT AREA REQUIRED.

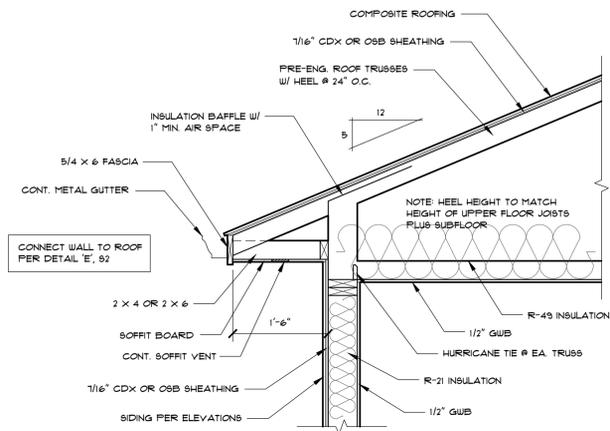
PROVIDE MIN 1/80 OF ATTIC AREA, OR 1/300 IF HALF IS AT EAVE AND REMAINDER AT MIN 3' ABOVE PLATE LINE. OPENINGS TO BE COVERED WITH 1/8" CORROSION RESISTANT METAL MESH OR EQUAL. EAVE OR CORNER VENT SHALL NOT BE BLOCKED. MAINTAIN MIN. 1" AIR SPACE BETWEEN INSULATION AND ROOF SHEATHING AT THE LOCATION OF THE VENT.  
 FOR OPEN EAVE SOFFIT USE BIRD BLOCK TRUSS BLOCKING, WITH (3) 1/2" DIA. HOLES AND MESH SCREEN COVERING THE HOLES, BETWEEN EACH TRUSS.  
 FOR CLOSED EAVE SOFFIT USE CONTINUOUS SOFFIT VENTING.

NOTE: POST & BEAM ENDS IS (2) STUDS UNO.

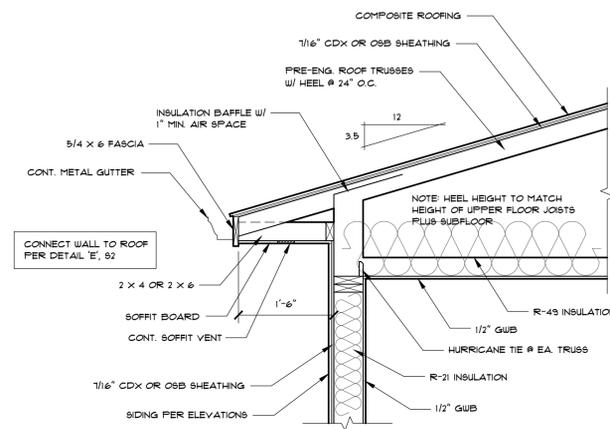
BRADLEY ENGINEERING IS NOT RESPONSIBLE FOR WATERPROOFING

COVERED DECK AREA TO GET WATERPROOF MEMBRANE. DECK JOISTS SHALL BE SLOPED 1/8" - 1/4" PER FOOT FOR DRAINAGE.

ALL HEADERS TO BE 4 X 10 OR 6 X 8 DF2 UNLESS NOTED OTHERWISE



**1 TRUSS/EAVE DETAIL**  
SCALE: 3/4" = 1'-0"



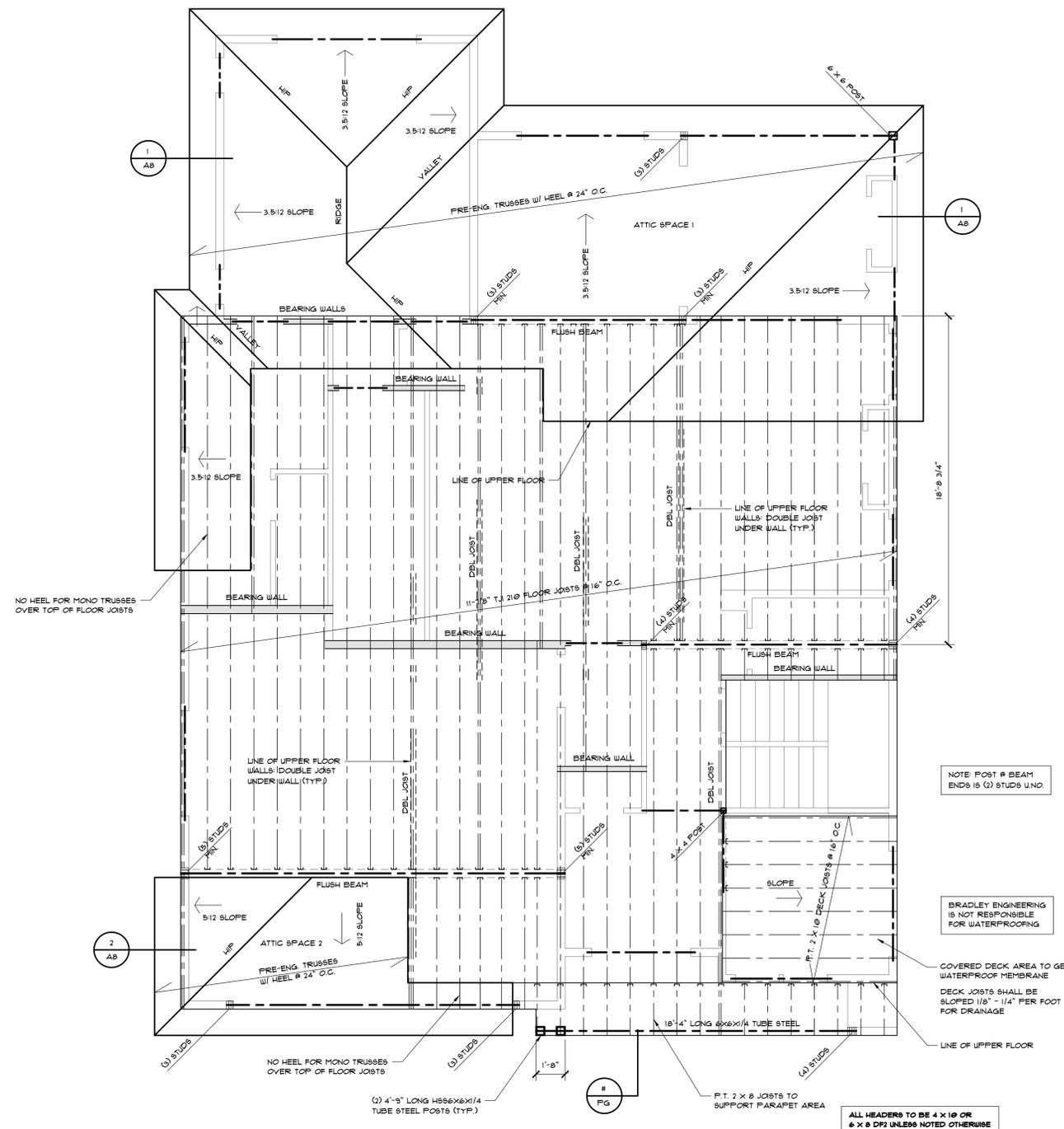
**2 TRUSS/EAVE DETAIL**  
SCALE: 3/4" = 1'-0"

### ROOF NOTES

- TRUSSES TO BE SPACED AT 24" O.C. UNLESS NOTED OTHERWISE.
- ROOF FITCH IS TO BE 5/12 ON WEST SIDE OF HOUSE, 3/5/12 ON EAST SIDE.
- ROOFING MATERIAL IS COMPOSITE.
- OVERHANGS ARE 18" WITH CONTINUOUS METAL GUTTER THROUGHOUT.
- FASCIA SHALL BE 5/4 X 6 WITH CONTINUOUS METAL GUTTER.
- ALL BEAMS & HEADERS TO BE 4 X 10 DF #2 OR 6 X 8 DF #2 UNO.
- PROVIDE SOLID BLOCKING OVER SUPPORTS.
- TRUSSES/RAFTERS TO BE SHEATHED WITH 7/16" CDX OR OSB SHEATHING WITH 15# FELT OR BETTER. USE PLYWOOD SHEATHING ON ALL SOFFIT AREAS.
- PROVIDE ROOF CROSS VENTILATION FOR EACH SEPARATE SPACE WHERE APPLICABLE.

### TRUSS NOTES

- TRUSS MANUFACTURER SHALL PROVIDE DESIGN DETAILS AND ENGINEERING FOR ALL TRUSSES. COPY TO BE AVAILABLE ON SITE FOR FRAMING INSPECTIONS.
- ALL TRUSSES SHALL CARRY THE MANUFACTURER'S STAMP.
- ALL TRUSSES SHALL BE STORED, INSTALLED & BRACED PER MANUFACTURER'S SPECIFICATIONS.
- TRUSSES SHALL NOT BE ALTERED IN THE FIELD WITHOUT THE APPROVAL OF THE BUILDING OFFICIAL AND/OR APPROVED ENGINEERING CALCULATIONS PROVIDED BY THE TRUSS MANUFACTURER.
- ROOF TRUSSES TO BE SHEATHED WITH 7/16" CDX OR OSB SHEATHING WITH 15# FELT OR BETTER. USE PLYWOOD SHEATHING ON ALL SOFFIT AREAS.
- PROVIDE ROOF CROSS VENTILATION FOR EACH SEPARATE SPACE WHERE APPLICABLE.



## LOWER ROOF FRAMING & UPPER FLOOR FRAMING PLAN



SCALE: 1/4" = 1'-0"

### FLOOR & ROOF FRAMING LEGEND

---	FLOOR JOIST
---	BEAM/HEADER
---	OUTLINE OF WALLS OF FLOOR BENEATH
---	OUTLINE OF SUPPORTED FLOOR/EXTENTS OF FLOOR JOISTS
---	BEARING WALL
---	LINE OF ROOF/EXTENTS OF UPPER FLOOR LIVING SPACE
---	OUTLINE OF UPPER FLOOR WALLS
□	JOIST HANGER
□	POST

### UNIT 3 LOCKHART

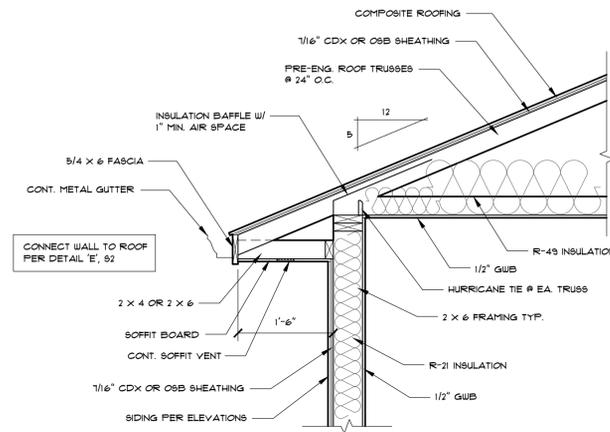
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**LOWER ROOF FRAMING & UPPER FLOOR FRAMING PLAN**

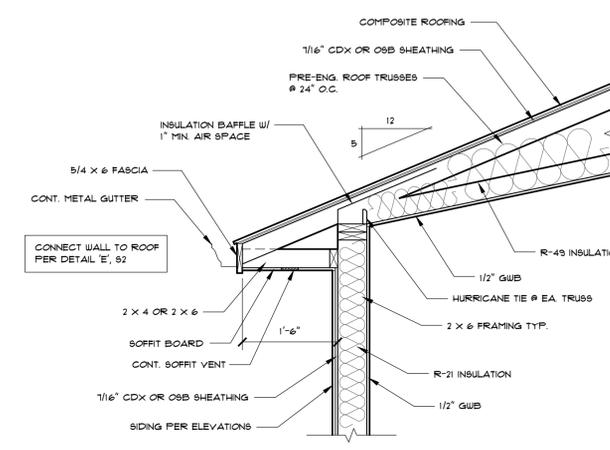
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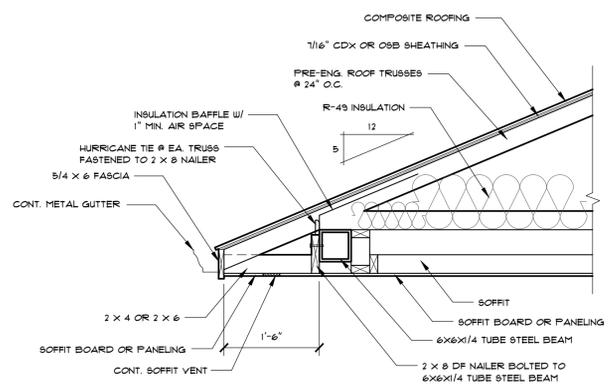
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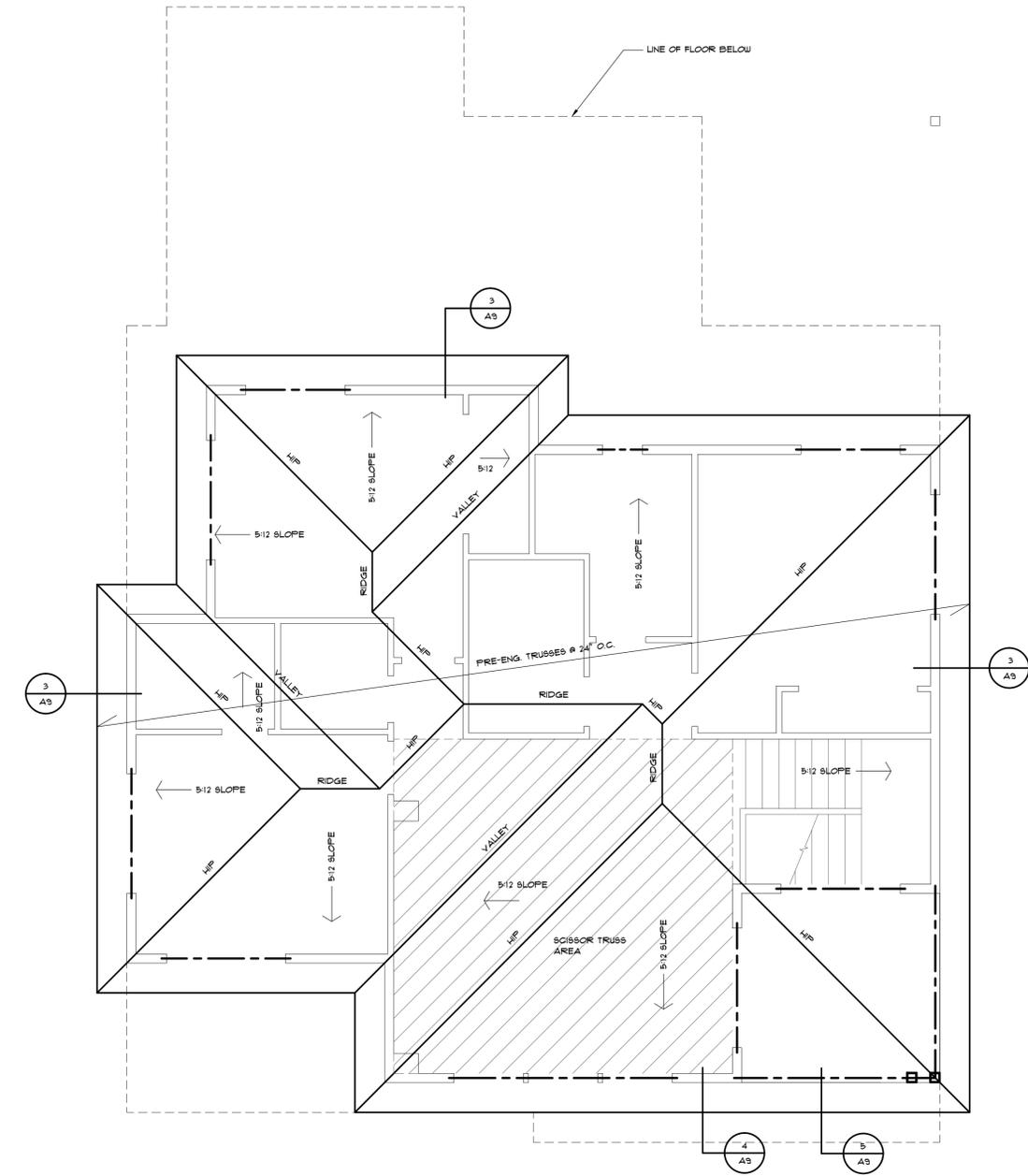
**3 TRUSS/EAVE DETAIL**  
SCALE: 3/4" = 1'-0"



**4 SCISSOR TRUSS/EAVE DETAIL**  
SCALE: 3/4" = 1'-0"



**5 TRUSS/EAVE DETAIL**  
SCALE: 3/4" = 1'-0"



**UPPER ROOF FRAMING PLAN**  
SCALE: 1/4" = 1'-0"

ROOF FRAMING LEGEND	
	OUTLINE OF ROOF
	HIDDEN LINE OF ROOF
	BEAM/HEADER
	OUTLINE OF WALLS BENEATH
	VAULTED OR HIGHER CEILING AREA
	TUBE STEEL POST

**ROOF NOTES**

- TRUSSES TO BE SPACED AT 24" O.C. UNLESS NOTED OTHERWISE
- ROOF PITCH IS TO BE 5/12
- ROOFING MATERIAL IS COMPOSITE
- OVERHANGS ARE 18" WITH CONTINUOUS METAL GUTTER THROUGHOUT
- FASCIA SHALL BE 5/4 X 6 WITH CONTINUOUS METAL GUTTER
- ALL BEAMS & HEADERS TO BE 4 X 10 OF #2 OR 6 X 8 OF #2 UNO
- PROVIDE SOLID BLOCKING OVER SUPPORTS
- TRUSSES/RAPTERS TO BE SHEATHED WITH 1/16" CDX OR OSB SHEATHING WITH 15# FELT OR BETTER. USE PLYWOOD SHEATHING ON ALL SOFFITTED AREAS
- PROVIDE ROOF CROSS VENTILATION FOR EACH SEPARATE SPACE WHERE APPLICABLE

**TRUSS NOTES**

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- ROOF TRUSSES TO BE SHEATHED WITH 1/16" CDX OR OSB SHEATHING WITH 15# FELT OR BETTER. USE PLYWOOD SHEATHING ON ALL SOFFITTED AREAS
- PROVIDE ROOF CROSS VENTILATION FOR EACH SEPARATE SPACE WHERE APPLICABLE

**ATTIC VENTILATION**

ATTIC VENTILATION REQUIRED. REFER TO IRC R806.1 AND R806.2.  
 SQUARE FOOTAGE OF ATTIC SPACE FOR UPPER ROOF = 1250 S.F.  
 1250/300 = 4.17 S.F. NET VENT AREA REQUIRED.  
 PROVIDE MIN. 1/50 OF ATTIC AREA, OR 1/300 IF HALF IS AT EAVE AND REMAINDER AT MIN. 3" ABOVE PLATE LINE. OPENINGS TO BE COVERED WITH 1/8" CORROSION RESISTANT METAL MESH OR EQUAL. EAVE OR CORNICE VENT SHALL NOT BE BLOCKED. MAINTAIN MIN. 1" AIR SPACE BETWEEN INSULATION AND ROOF SHEATHING AT THE LOCATION OF THE VENT.  
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**UNIT 3 LOCKHART**

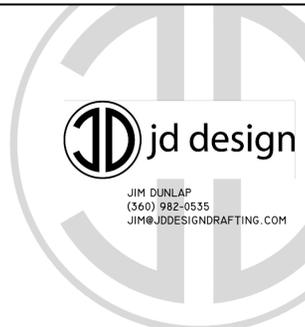
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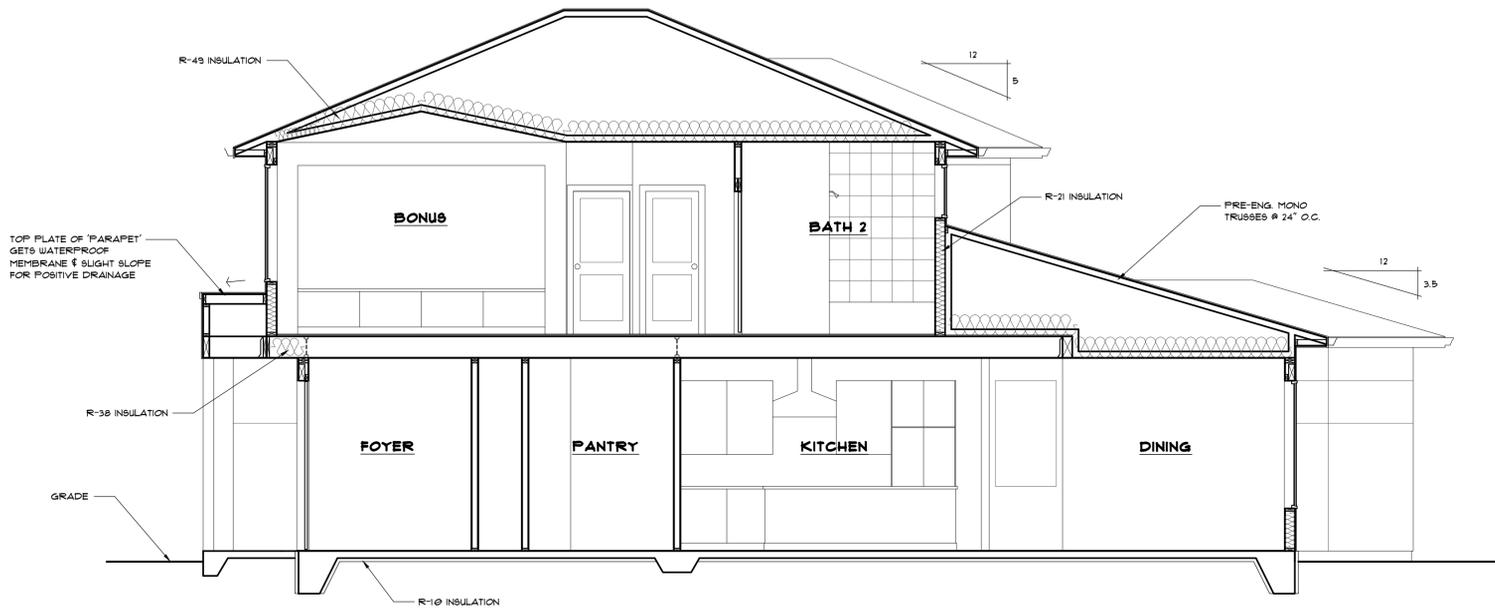
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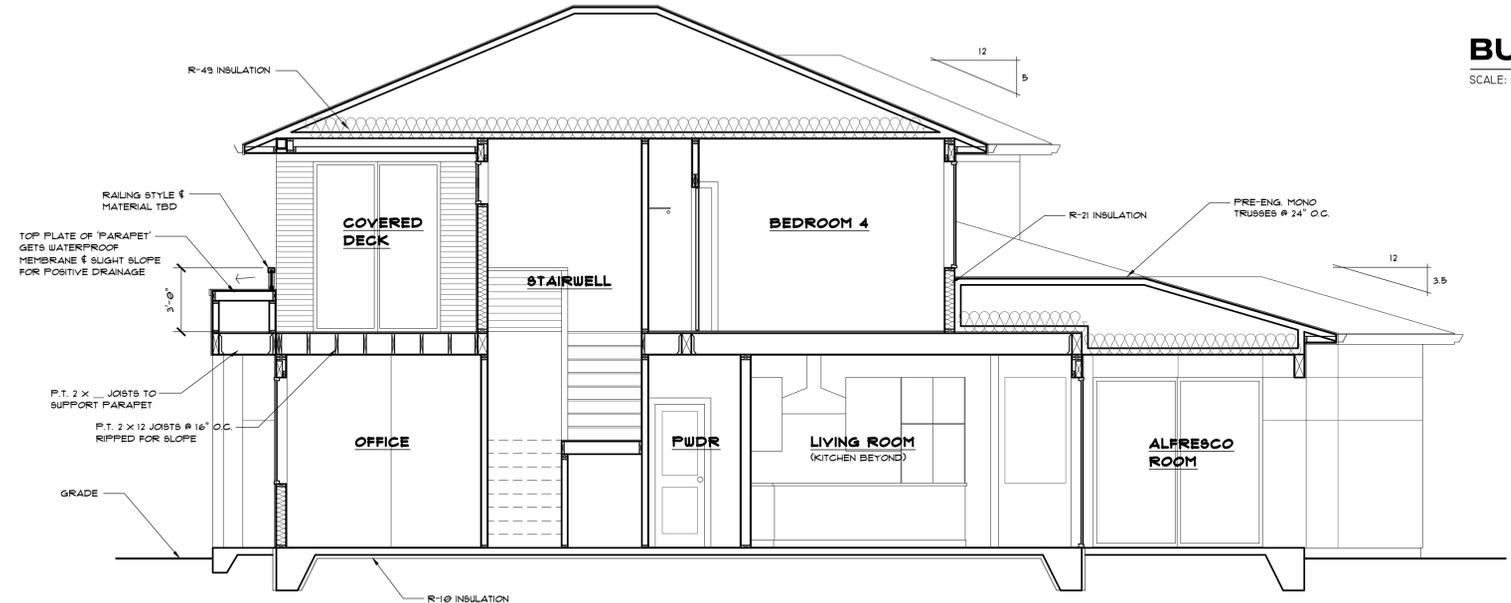


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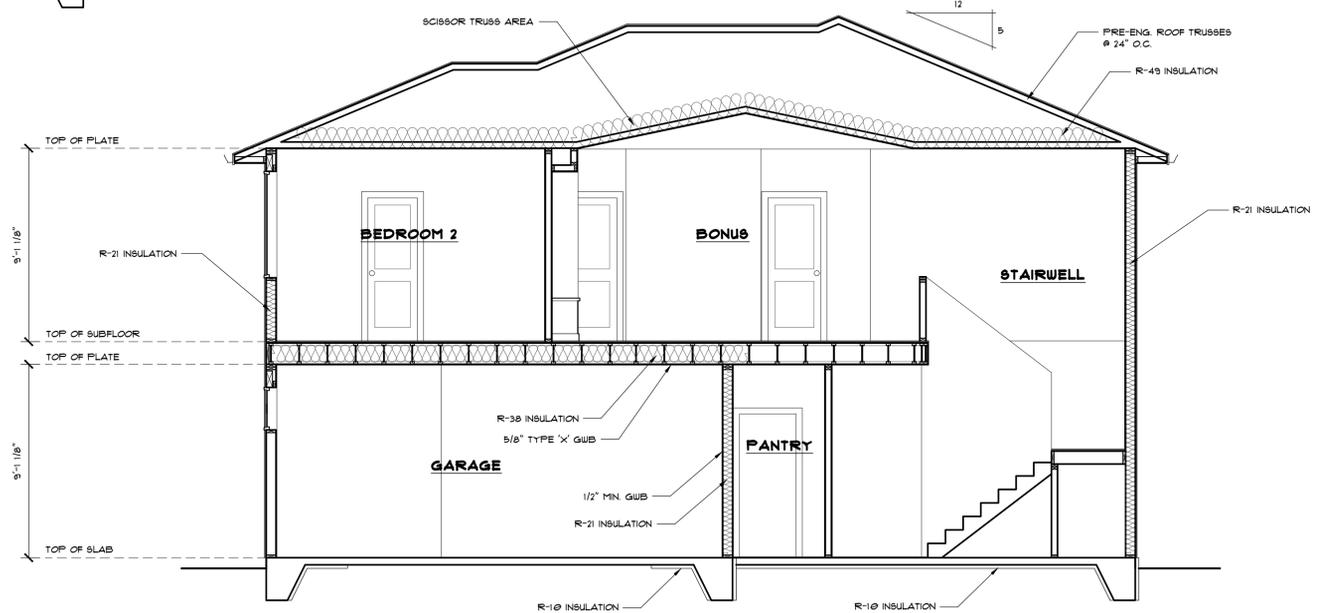
**BUILDING SECTION A - A**

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**BUILDING SECTION B - B**

SCALE: 1/4" = 1'-0"



**BUILDING SECTION C - C**

SCALE: 1/4" = 1'-0"

**UNIT 3  
LOCKHART**

**DOE RUN AT SUNSET COVE ESTATES, LLC**

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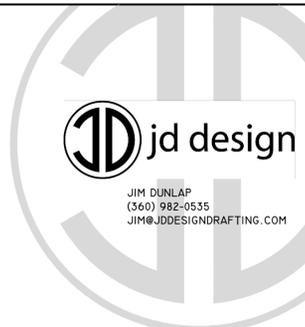
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**A10**

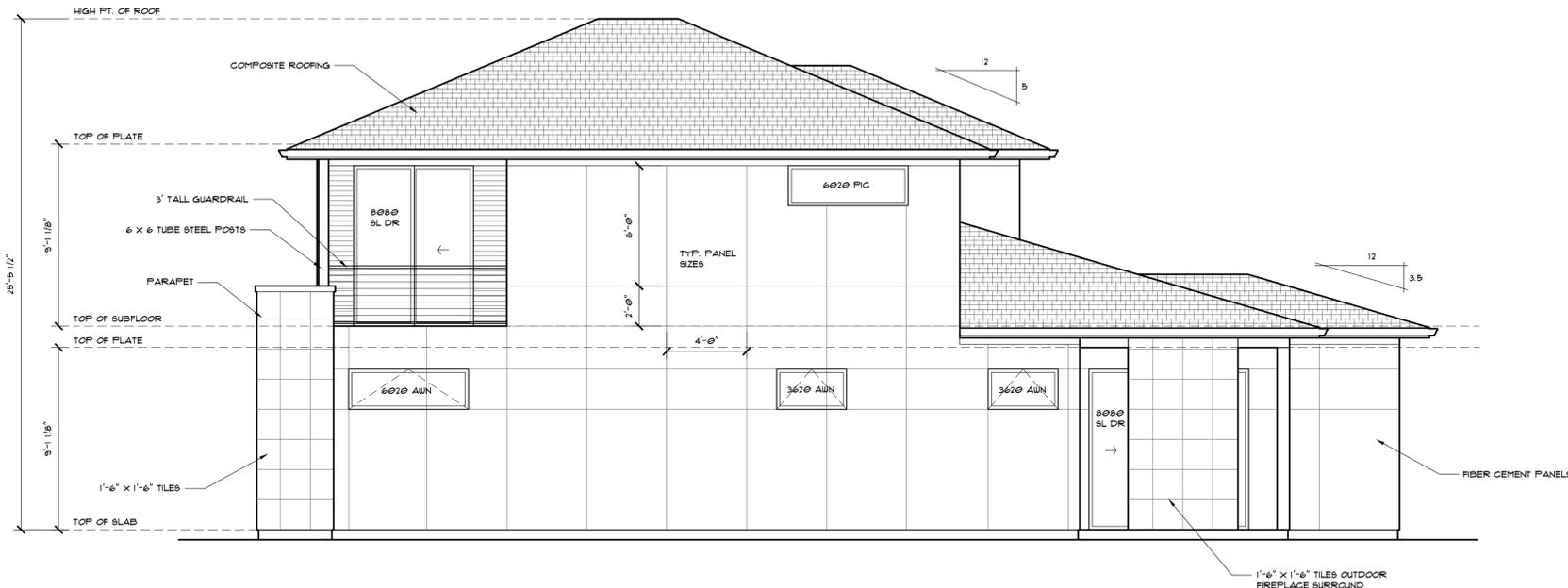


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**WEST ELEVATION**

SCALE: 1/4" = 1'-0"



**SOUTH ELEVATION**

SCALE: 1/4" = 1'-0"

**UNIT 3  
 LOCKHART**

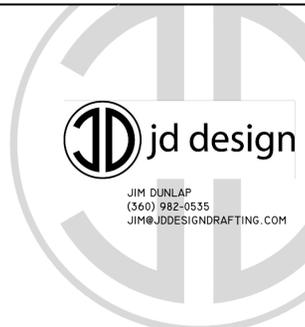
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PAGE DESCRIPTION:  
**ELEVATIONS WEST  
 & SOUTH**

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**A11**

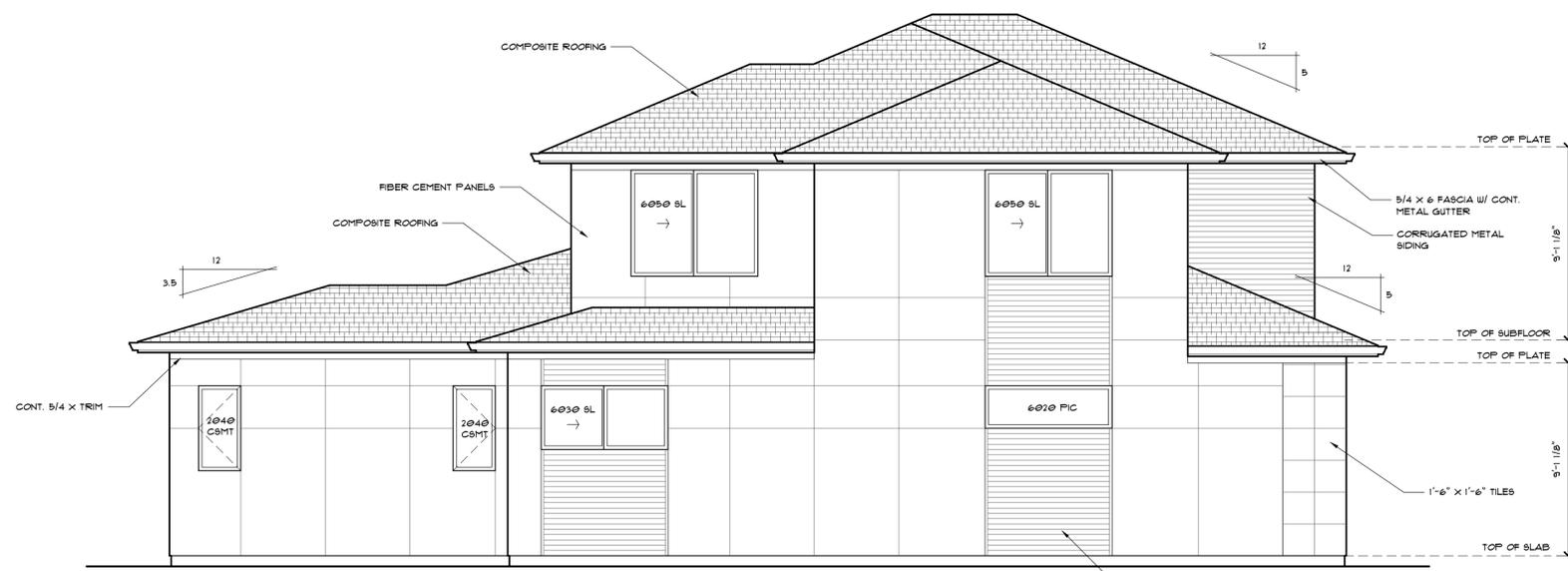


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**EAST ELEVATION**

SCALE: 1/4" = 1'-0"



**NORTH ELEVATION**

SCALE: 1/4" = 1'-0"

**UNIT 3  
LOCKHART**

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PAGE DESCRIPTION:  
**ELEVATIONS EAST  
& NORTH**

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