



MANDELBAUM25

PROJECT: RESIDENTIAL NEW BUILD

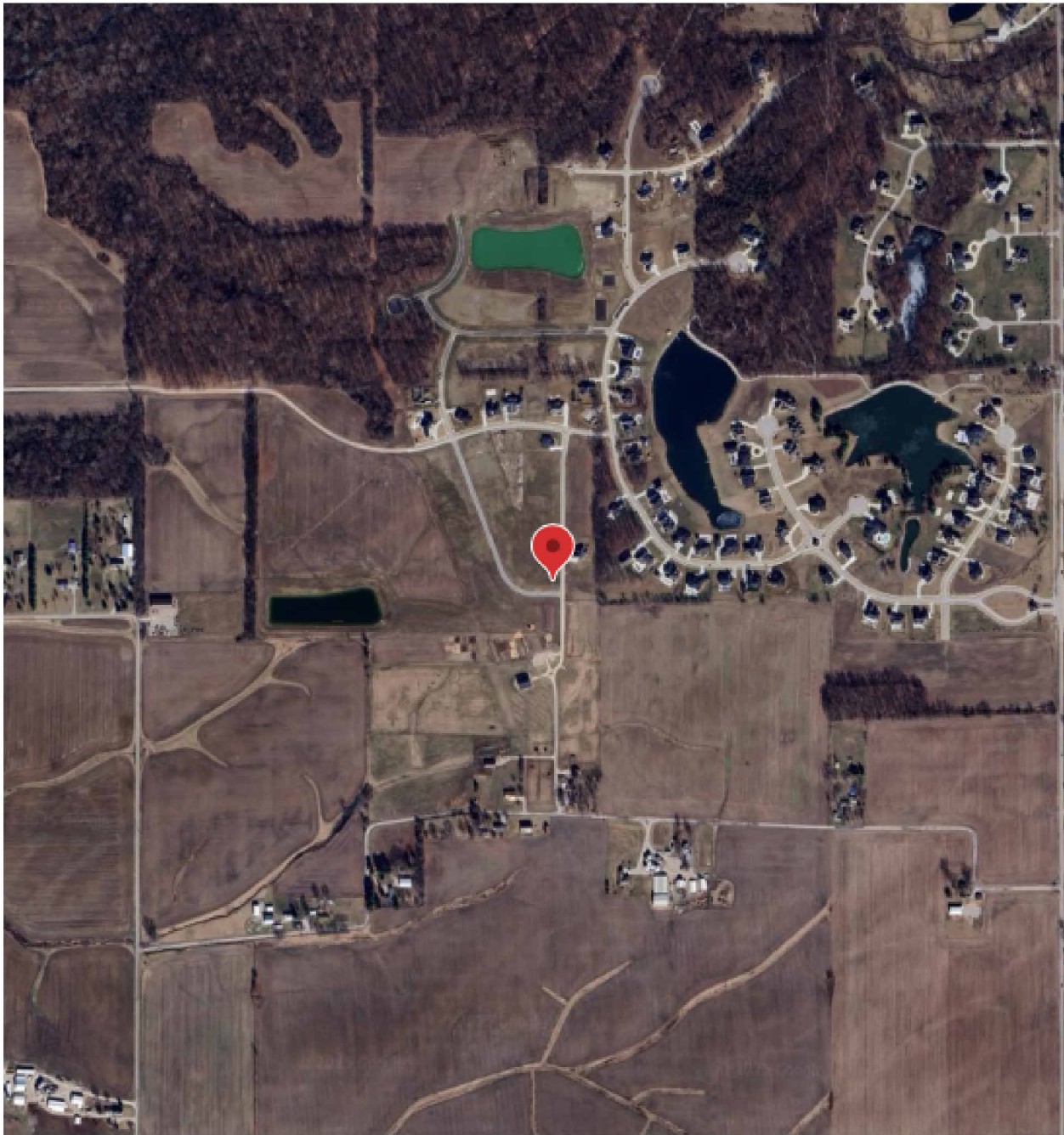
ADDRESS: ABERDEEN LOT 117

OWNER: MANDELBAUM

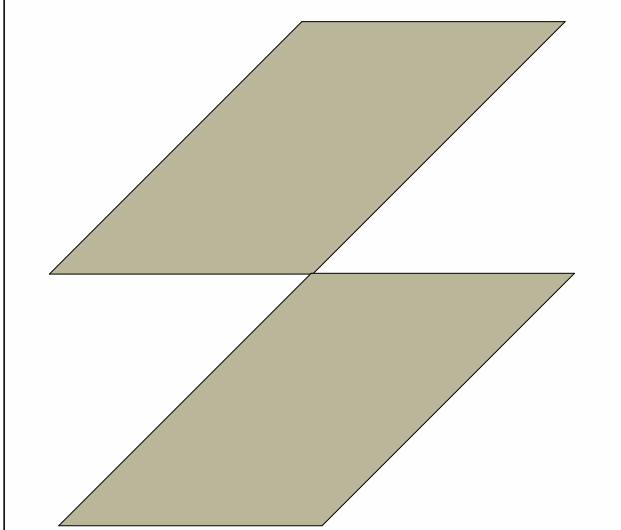
CONTRACTING: J. GREG ALLEN HOMES

ARCHITECTURE:SCHOCK DESIGN

FIRST FLOOR FINISHED	2114 SF
THREE CAR GARAGE	960 SF
LOGGIA	342 SF
REAR COVERED PORCH	146 SF
FRONT COVERED PORCH	83 SF
SECOND FLOOR FINISHED	1131 SF
UNFINISHED ATTIC	839 SF
MECH / STORAGE	1171 SF
BASEMENT FINISHED	986 SF
TOTAL SQFT	7770 SF



ABERDEEN, LOT 117



SCHOCK DESIGN

SCHOCKINTERIORS.COM
INFO@SCHOCKINTERIORS.COM
317-696-2502

MANDELBAUM25
ABERDEEN, LOT 117



Project number Project Number

Date

CLIENT APPROVAL

SIGNATURE:

DATE: 11/3/2025 4:53:38 PM

A000

Scale

Details



ARCHITECTURAL NOTES:

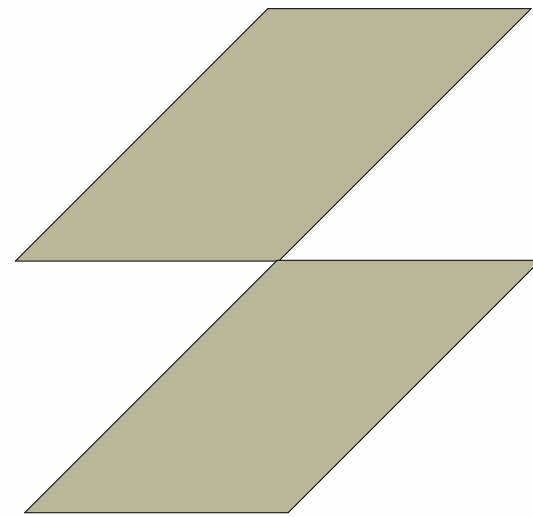
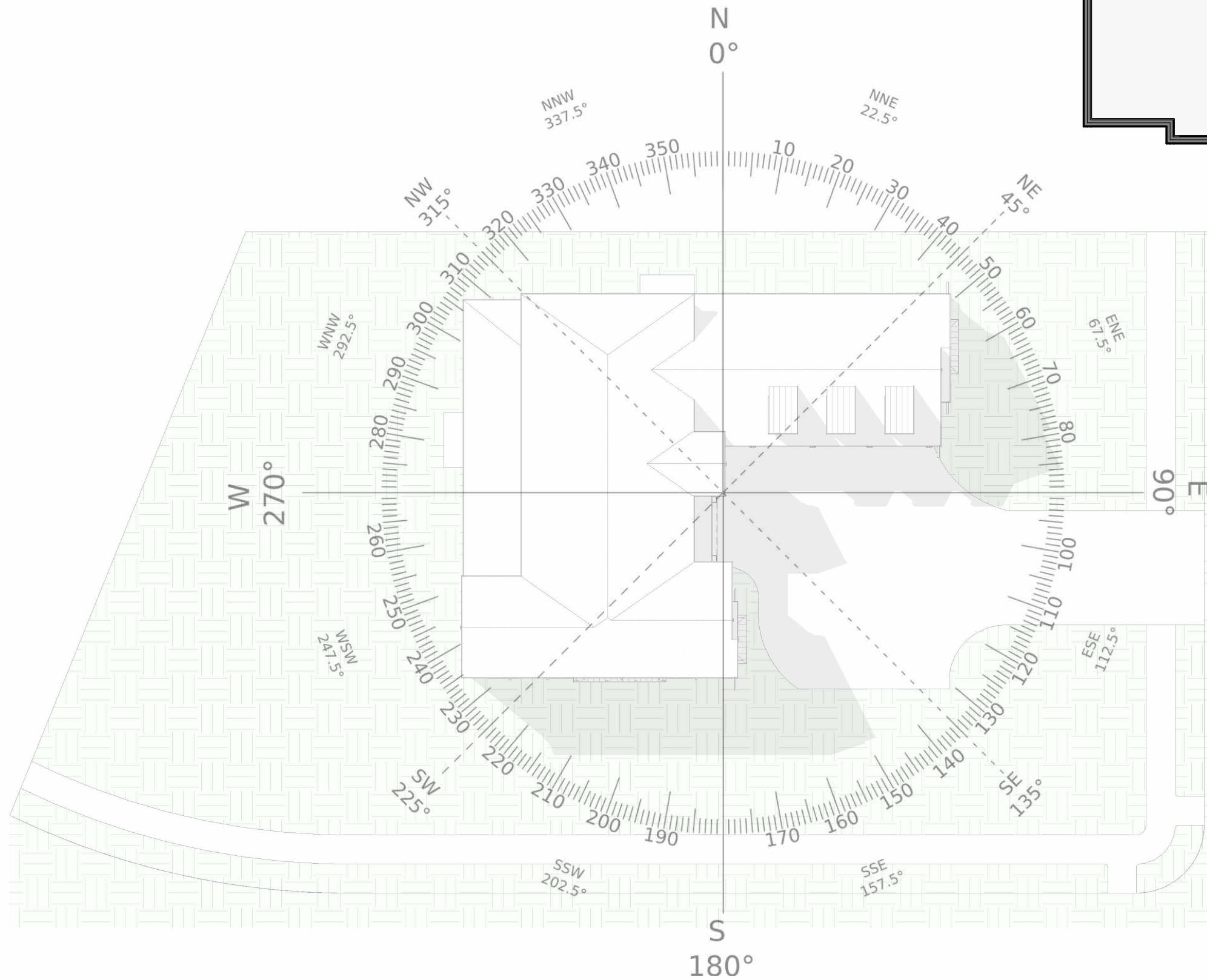
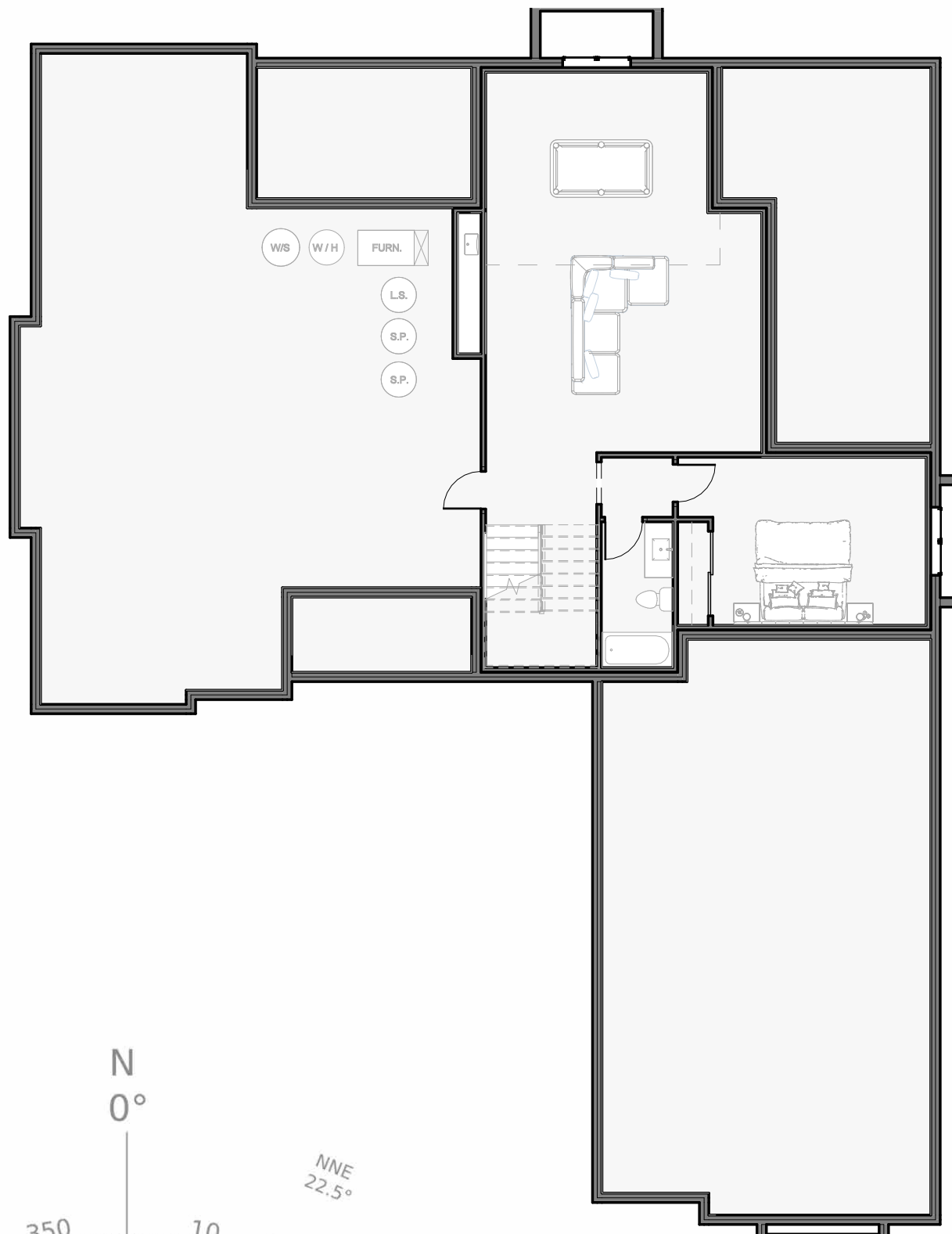
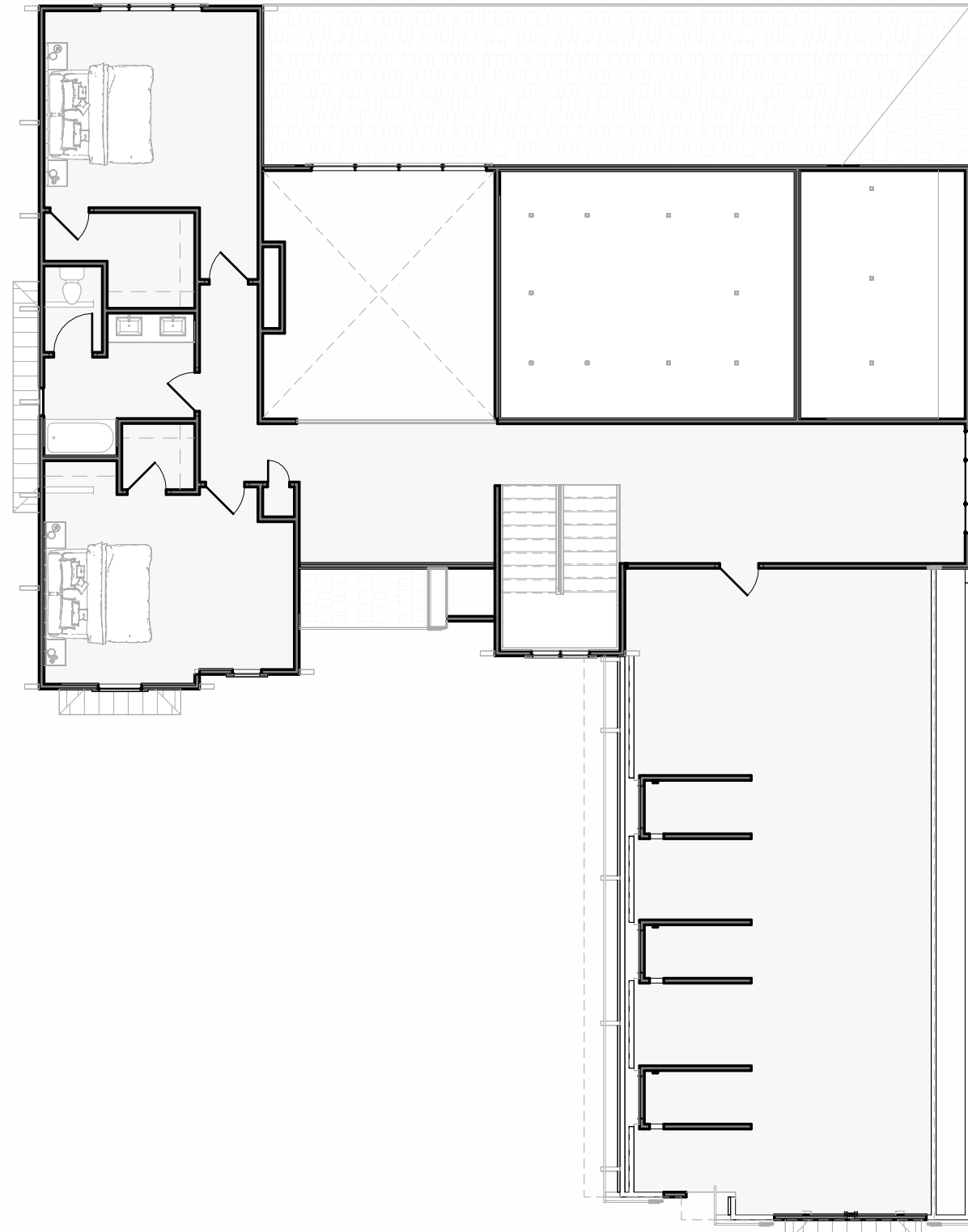
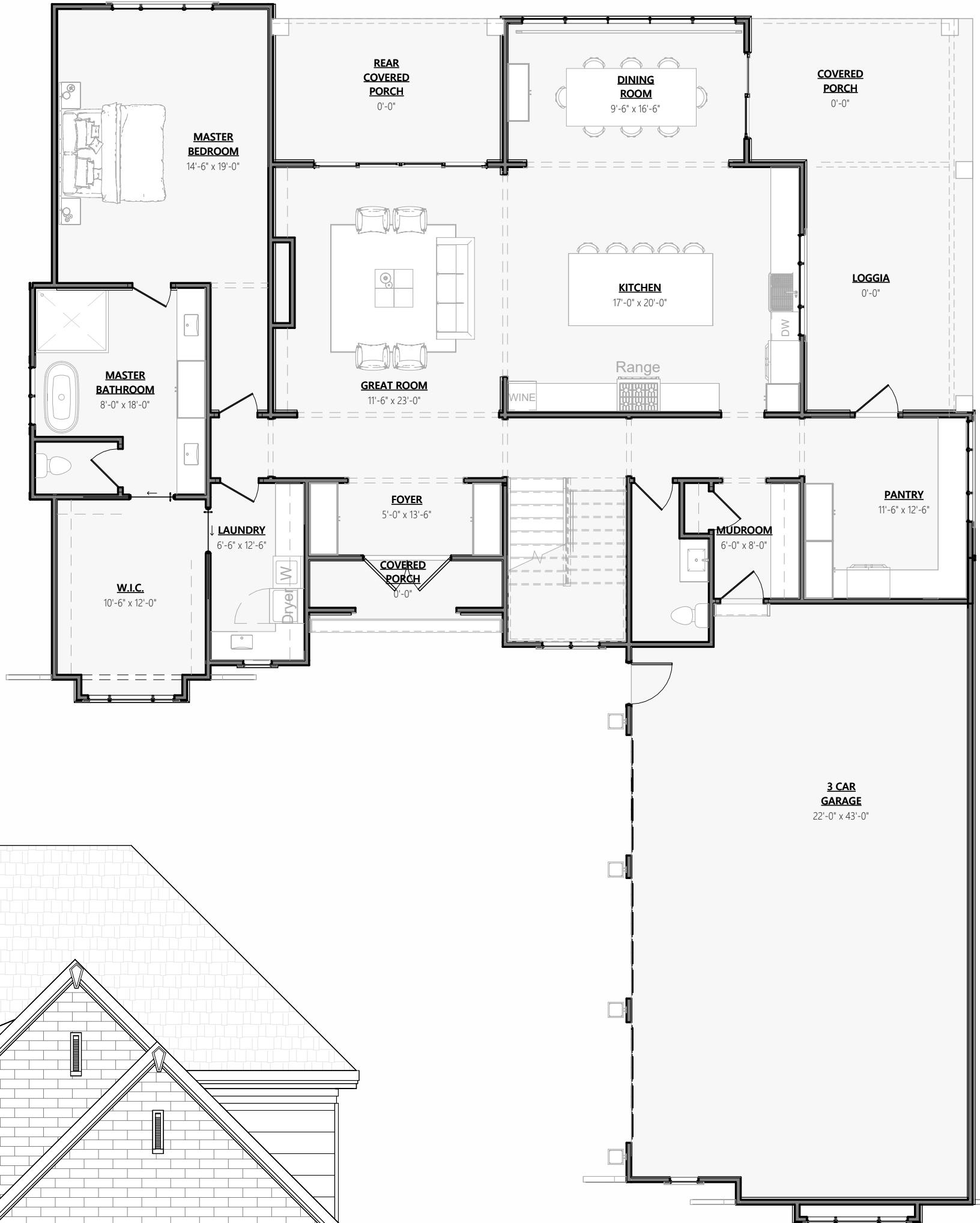
- 1.VERIFY ALL EXISTING CONDITIONS PRIOR TO THE START OF CONSTRUCTION. NOTIFY THE ARCHITECT IMMEDIATELY OF ANY CONFLICTS PRIOR TO PROCEEDING WITH WORK.
- 2.THE CONTRACTOR SHALL FILE ALL DRAWINGS FOR PERMIT APPLICATION OR OTHER MATERIALS REQUIRED TO SECURE ANY AND ALL NECESSARY BUILDING PERMITS AS MIGHT BE REQUIRED BY ANY LOCAL ORDINANCES TO PERFORM THIS WORK.
- 3.THE DRAWINGS ARE NOT TO BE SCALED. FOR INFORMATION CONCERNING EXISTING PARTITIONS, ETC., VERIFICATION MUST BE DONE IN THE FIELD.
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- 8.THE GENERAL CONTRACTOR SHALL MAINTAIN A CURRENT AND COMPLETE SET OF CONSTRUCTION DRAWINGS ON THE SITE DURING ALL PHASES OF CONSTRUCTION FOR USE OF THE TRADES.
- 9.ALL DIMENSIONS ARE TO EXISTING FINISHED WALL SURFACE OR NEW FINISHED WALL SURFACE, UNLESS NOTED.
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- 11.THE GENERAL CONTRACTOR SHALL PROVIDE A THOROUGH CLEAN-UP AT CLOSE OUT, INCLUDING VACUUMING AND CLEANING ALL CARPETING.
- 12.PROVIDE WOOD BLOCKING IN WALLS AS REQUIRED FOR ALL WALL-SUPPORTED ITEMS. SEE DRAWINGS FOR CASEWORK ITEMS.

GENERAL NOTES:

- 1.DO NOT SCALE THE DRAWINGS.
- 2.REPORT ALL DIMENSIONAL DISCREPANCIES TO ARCHITECT FOR RESOLUTION.
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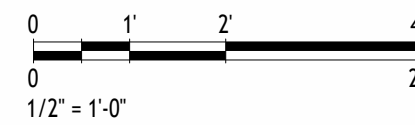
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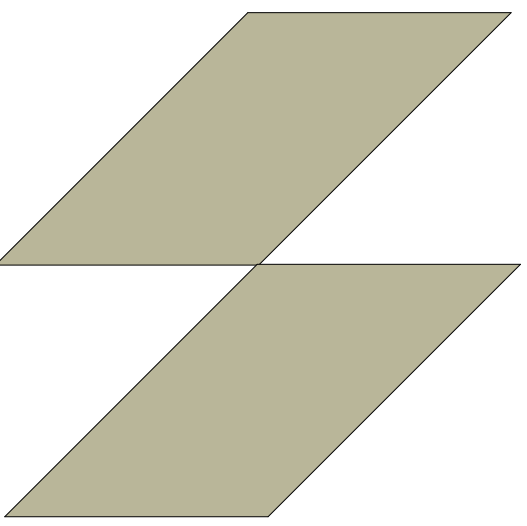
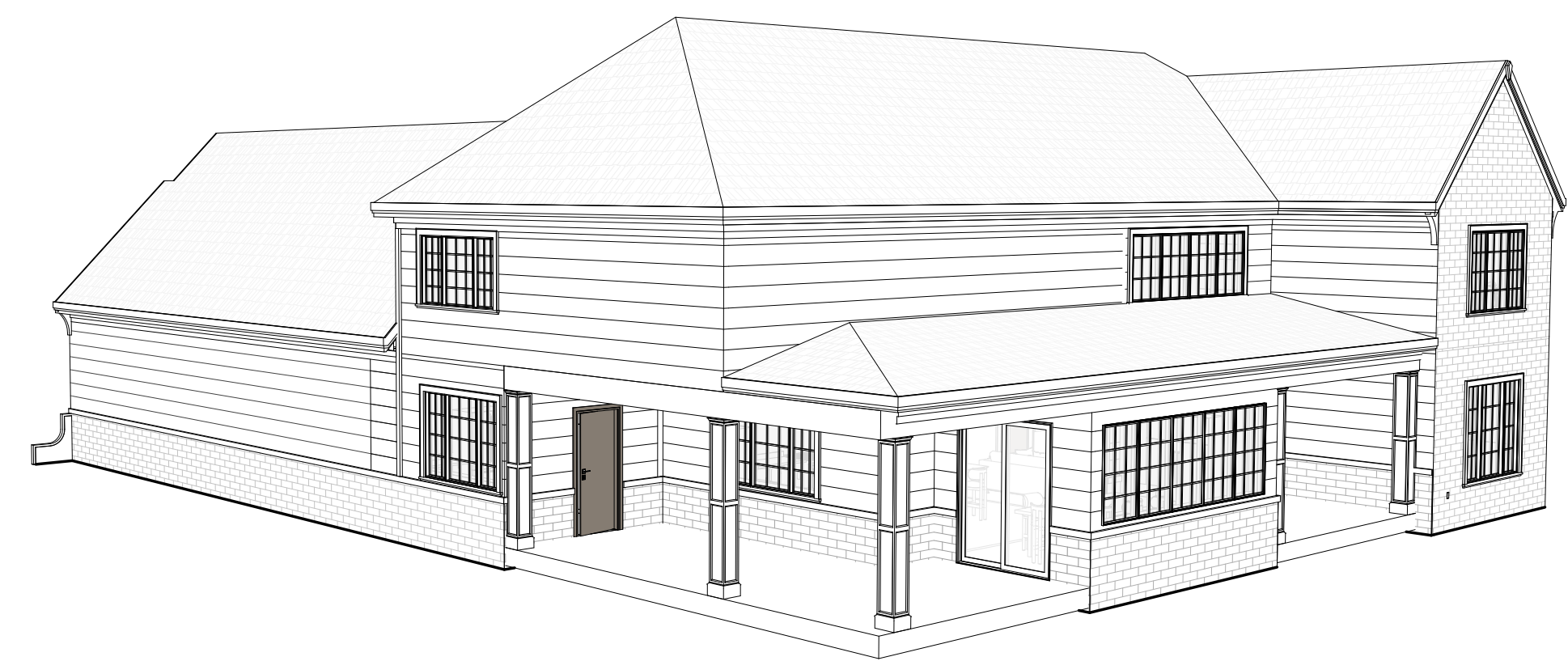
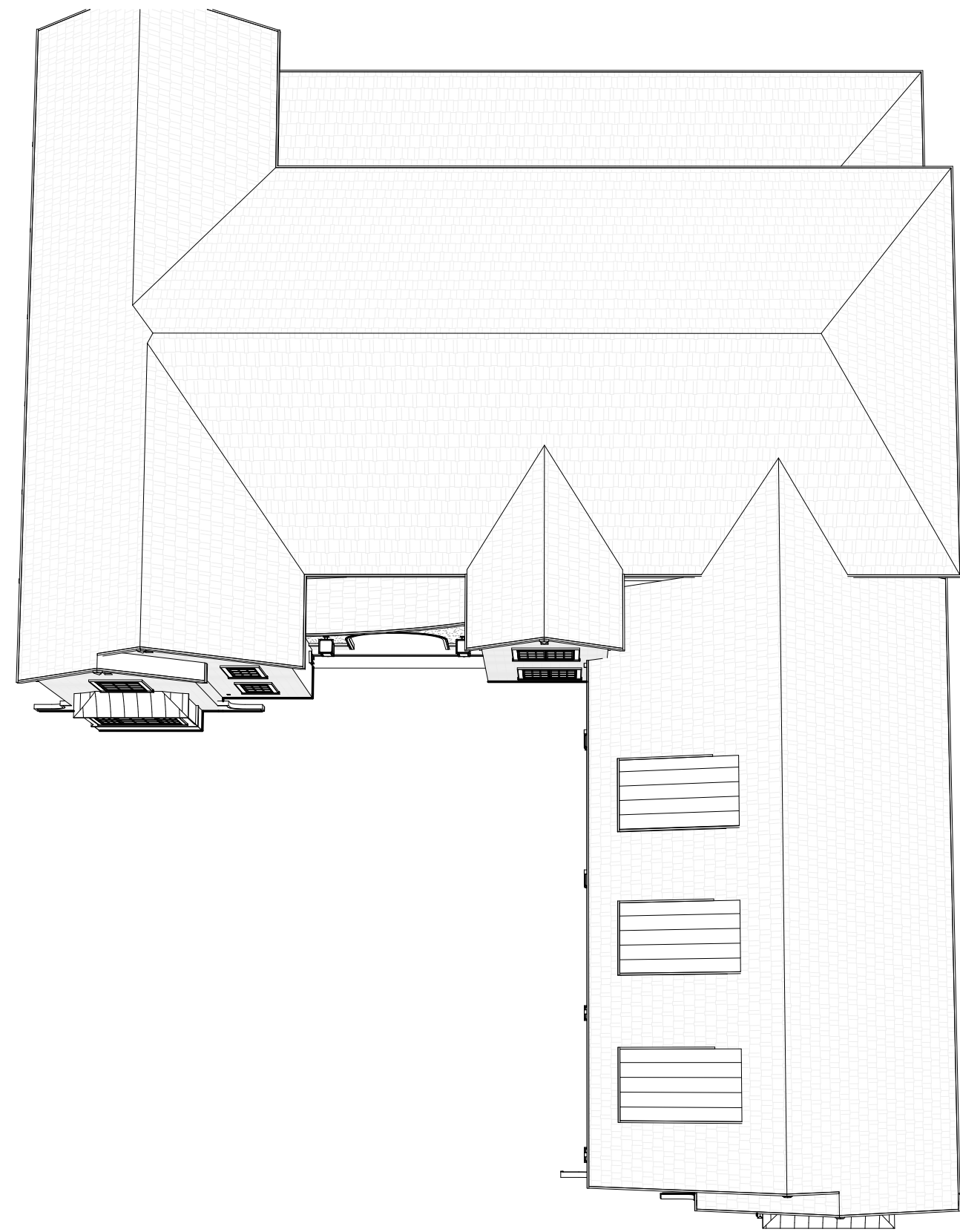
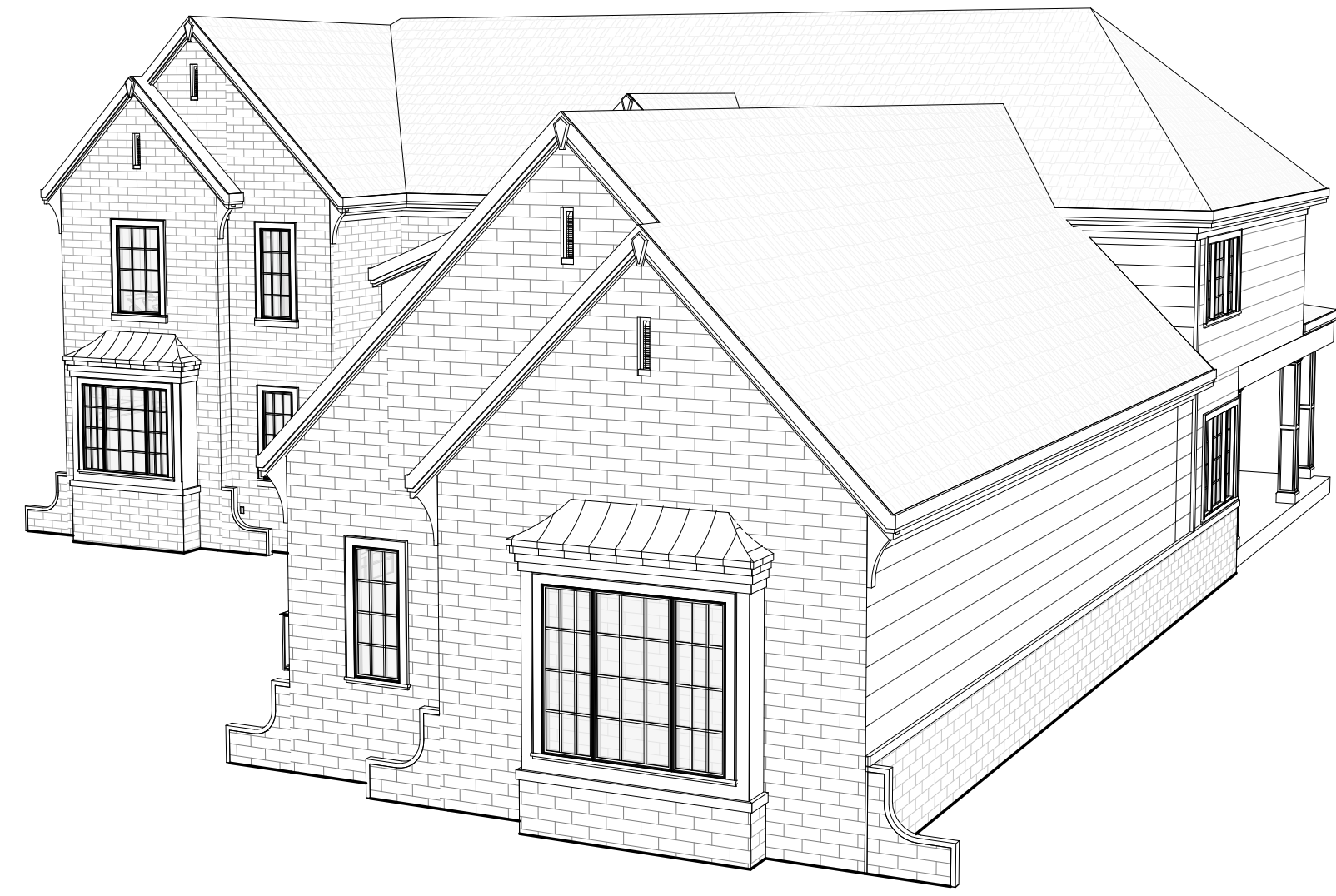
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A001

Scale As indicated

Details





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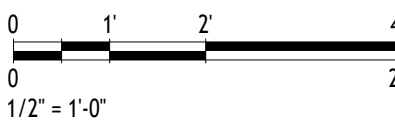
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Scale

Details



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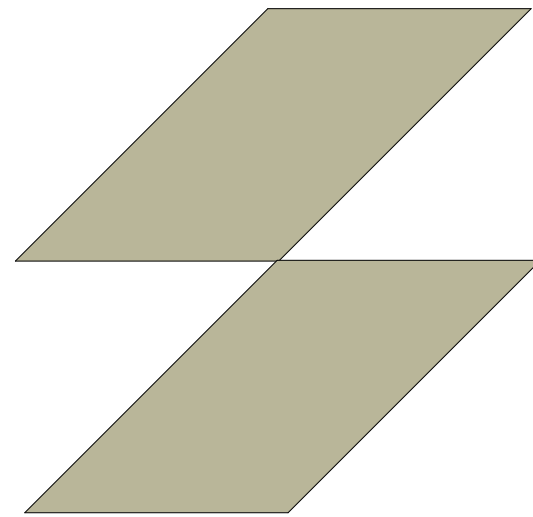
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1 South
A200
1/4" = 1'-0"



2 North
A200
1/4" = 1'-0"



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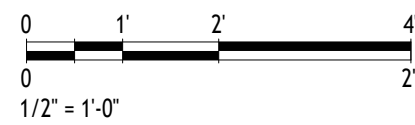
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A200

Scale 1/4" = 1'-0"

Elevations



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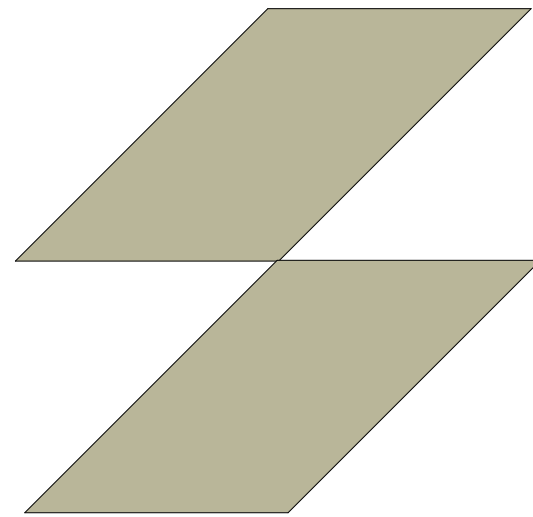
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1 East
A201 1/4" = 1'-0"



2 West
A201 1/4" = 1'-0"



SCHOCK DESIGN

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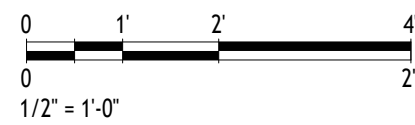
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A201

Scale 1/4" = 1'-0"

Elevations

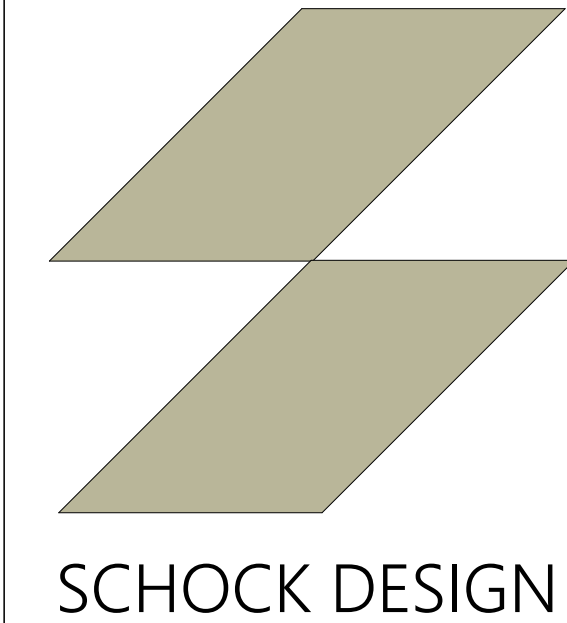
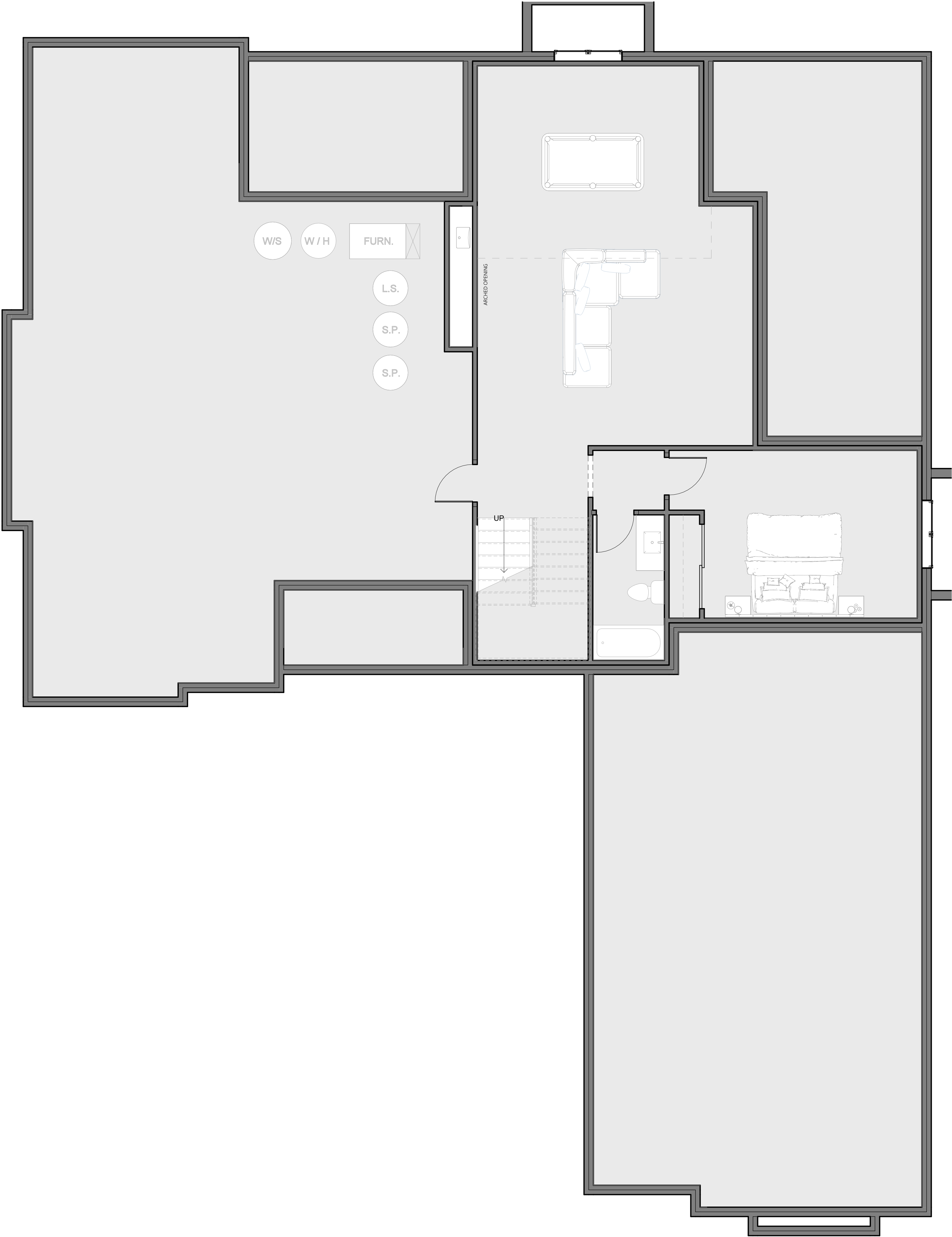


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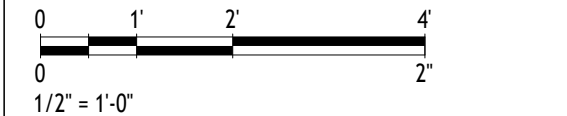
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ID100
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BASEMENT FFE

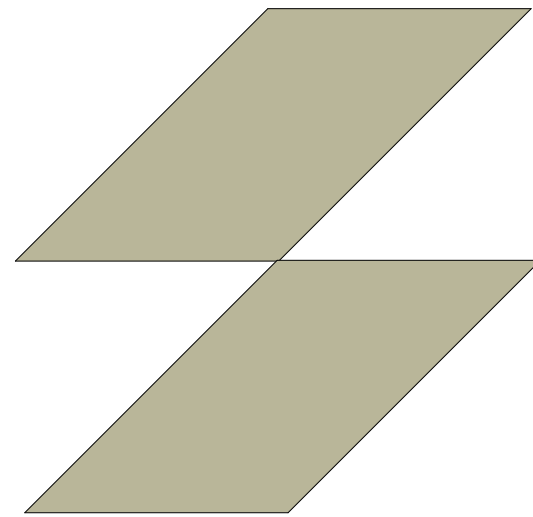
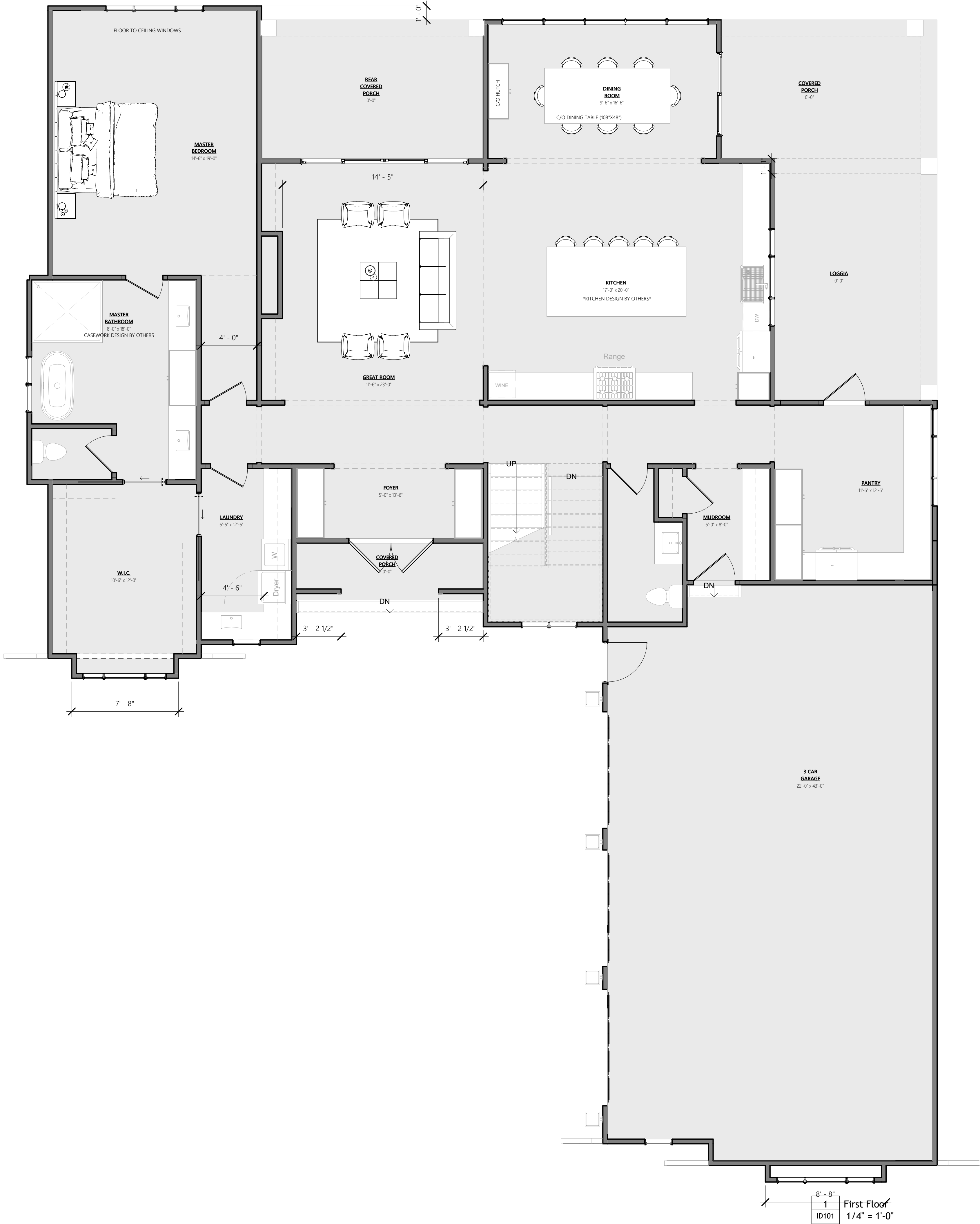


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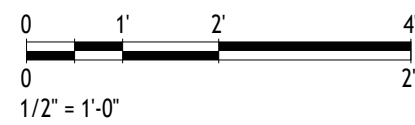
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Scale 1/4" = 1'-0"

FIRST FLOOR
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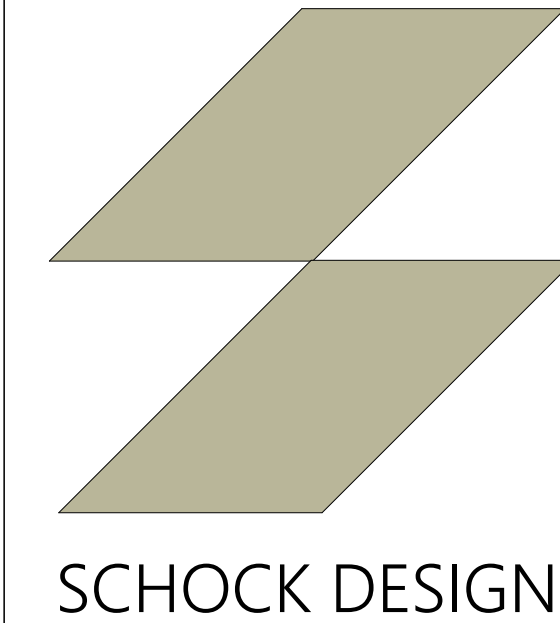
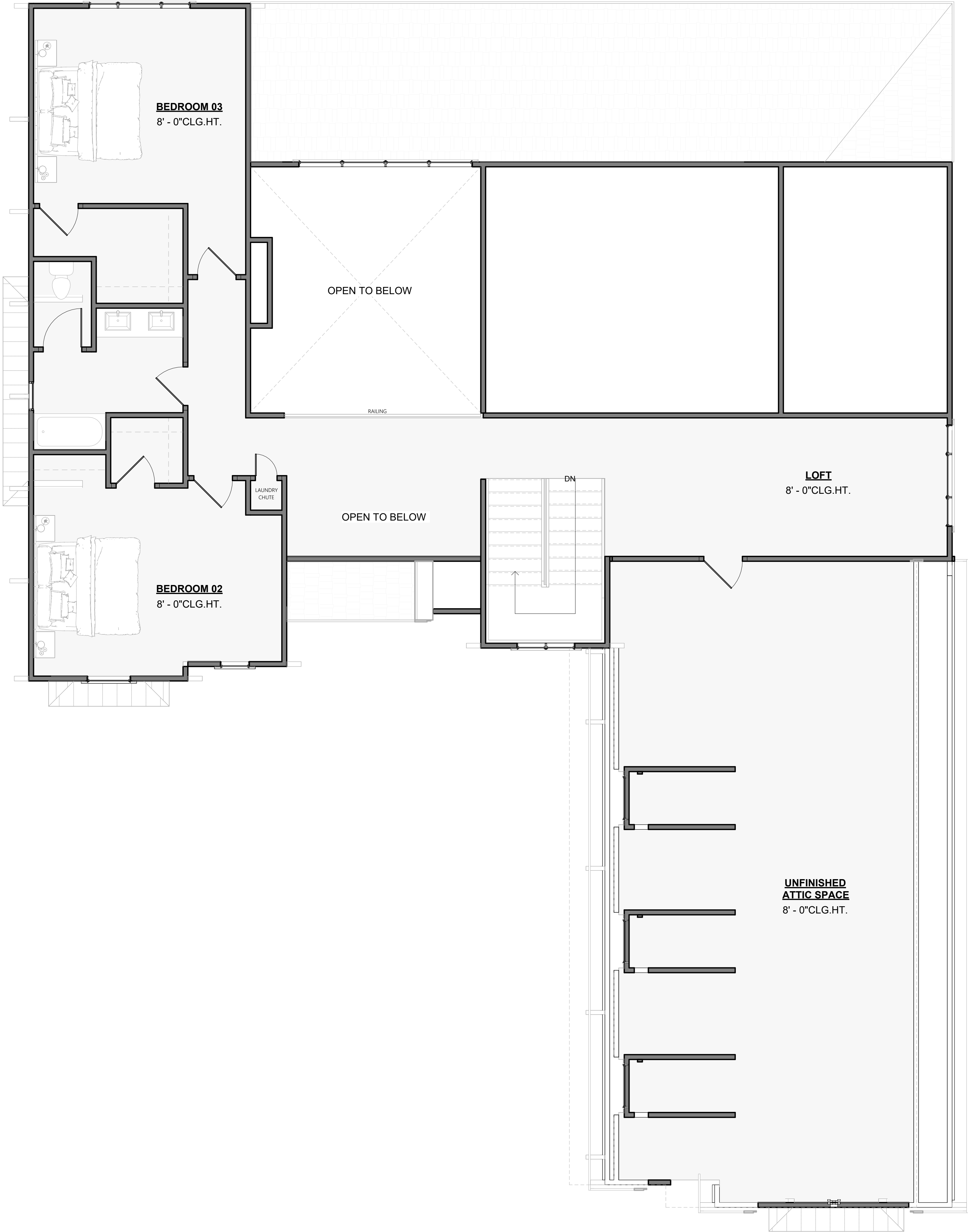


ARCHITECTURAL NOTES:

- 1.VERIFY ALL EXISTING CONDITIONS PRIOR TO THE START OF CONSTRUCTION. NOTIFY THE ARCHITECT IMMEDIATELY OF ANY CONFLICTS PRIOR TO PROCEEDING WITH WORK.
- 2.THE CONTRACTOR SHALL FILE ALL DRAWINGS FOR PERMIT APPLICATION OR OTHER MATERIALS REQUIRED TO SECURE ANY AND ALL NECESSARY BUILDING PERMITS AS MIGHT BE REQUIRED BY ANY LOCAL ORDINANCES TO PERFORM THIS WORK.
- 3.THE DRAWINGS ARE NOT TO BE SCALED. FOR INFORMATION CONCERNING EXISTING PARTITIONS, ETC., VERIFICATION MUST BE DONE IN THE FIELD.
- 4.THE USE OF THE WORDS "PROVIDE" OR "PROVIDED" IN CONNECTION WITH ANY ITEM SPECIFIED, IS INTENDED TO MEAN, UNLESS OTHERWISE NOTED, THAT SUCH SHALL BE FURNISHED AND INSTALLED FOLLOWING MANUFACTURER'S INSTRUCTIONS AND RECOMMENDATIONS, AND SUPPLYING AND INSTALLING ALL ASSOCIATED ITEMS AND ACCESSORIES AS REQUIRED, AND CONNECTED WHERE SO REQUIRED FOR A COMPLETE INSTALLATION.
- 5.UPON COMPLETION OF PROJECT, OBTAIN ALL FINAL INSPECTIONS AS REQUIRED BY LOCAL JURISDICTIONS AND FURNISH OWNER WITH EVIDENCE OF ALL SUCH INSPECTIONS AND CERTIFICATES OF OCCUPANCY.
- 6.UPON COMPLETION OF PROJECT, PROVIDE OWNER WITH ALL INSTRUCTION MANUALS, WARRANTIES OR OTHER DOCUMENTS REQUIRED FOR OPERATION OR MAINTENANCE OF ANY ITEM IN THE CONTRACTOR'S WORK.
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- 8.THE GENERAL CONTRACTOR SHALL MAINTAIN A CURRENT AND COMPLETE SET OF CONSTRUCTION DRAWINGS ON THE SITE DURING ALL PHASES OF CONSTRUCTION FOR USE OF THE TRADES.
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GENERAL NOTES:

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- 6.HINGE SIDE OF ALL DOORS SHALL BE 5" OFF THE FACE OF ADJACENT WALL, UNLESS NOTED OTHERWISE.
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MANDELBAUM25
ABERDEEN, LOT 117



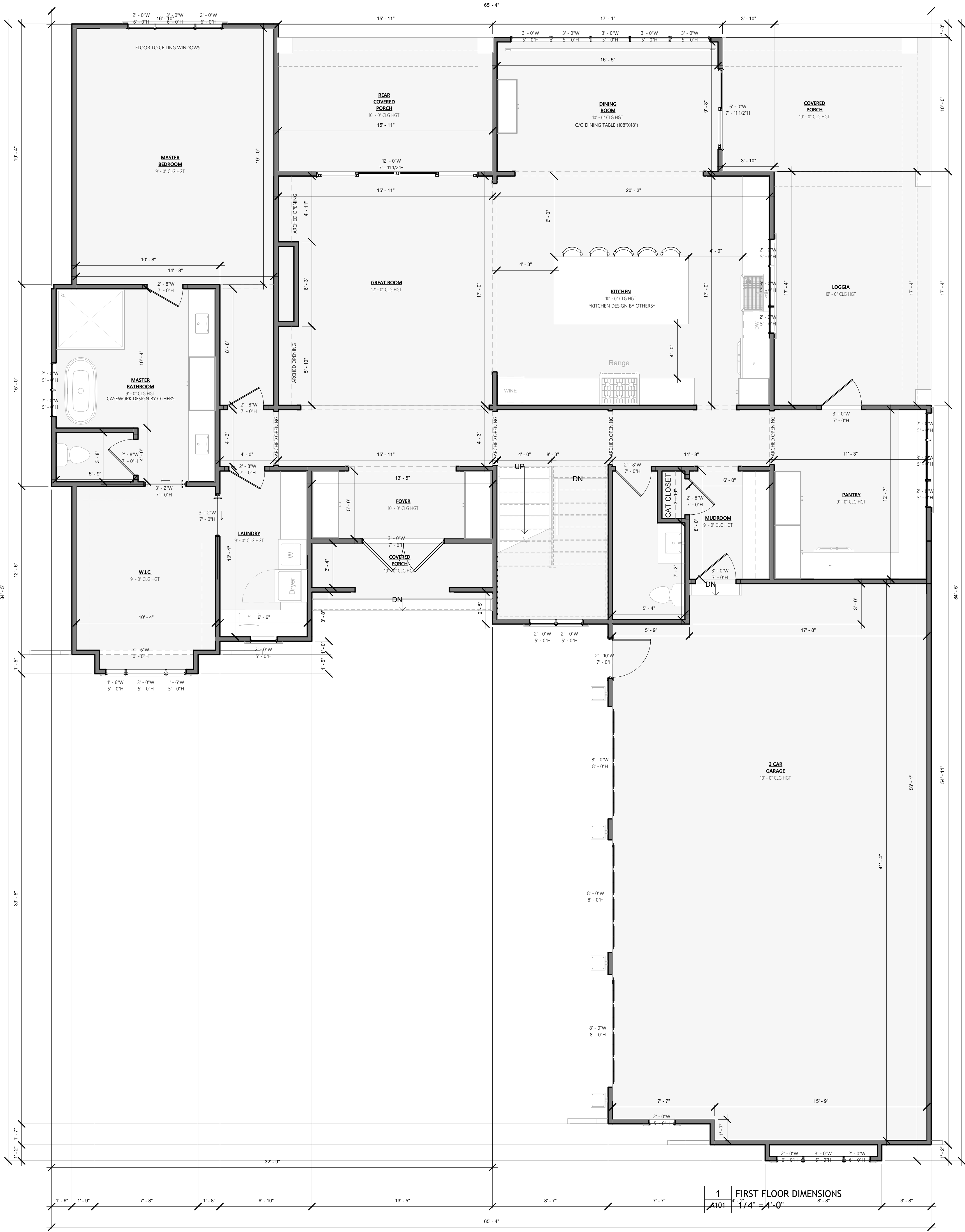
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SECOND FLOOR FFE	

ARCHITECTURAL NOTES:

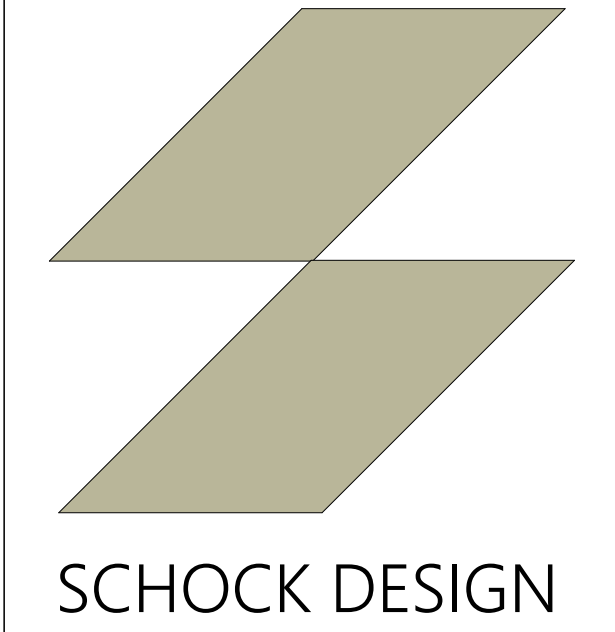
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FIRST FLOOR FINISHED	2114 SF
THREE CAR GARAGE	960 SF
LOGGIA	342 SF
REAR COVERED PORCH	146 SF
FRONT COVERED PORCH	83 SF
SECOND FLOOR FINISHED	1131 SF
UNFINISHED ATTIC	839 SF
MECH / STORAGE	1171 SF
BASEMENT FINISHED	986 SF
TOTAL SQFT	7770 SF



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ABERDEEN, LOT 117



Project number Project Number

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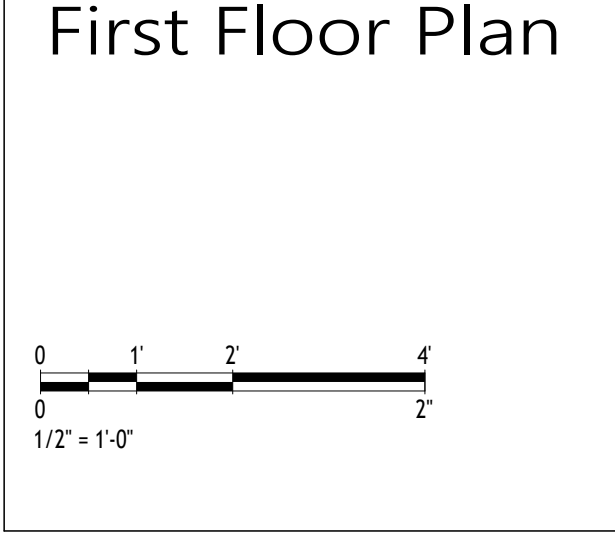
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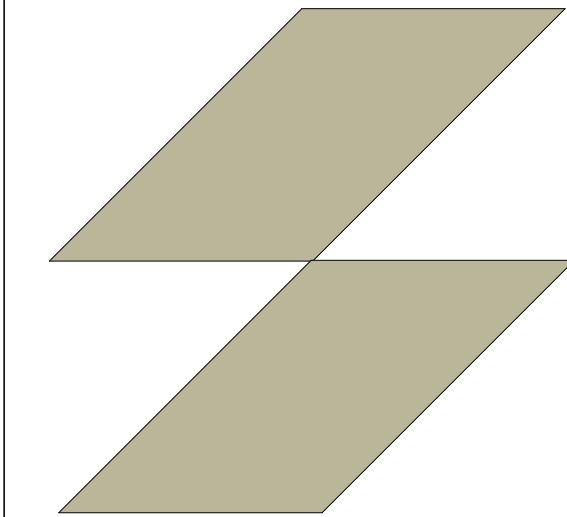
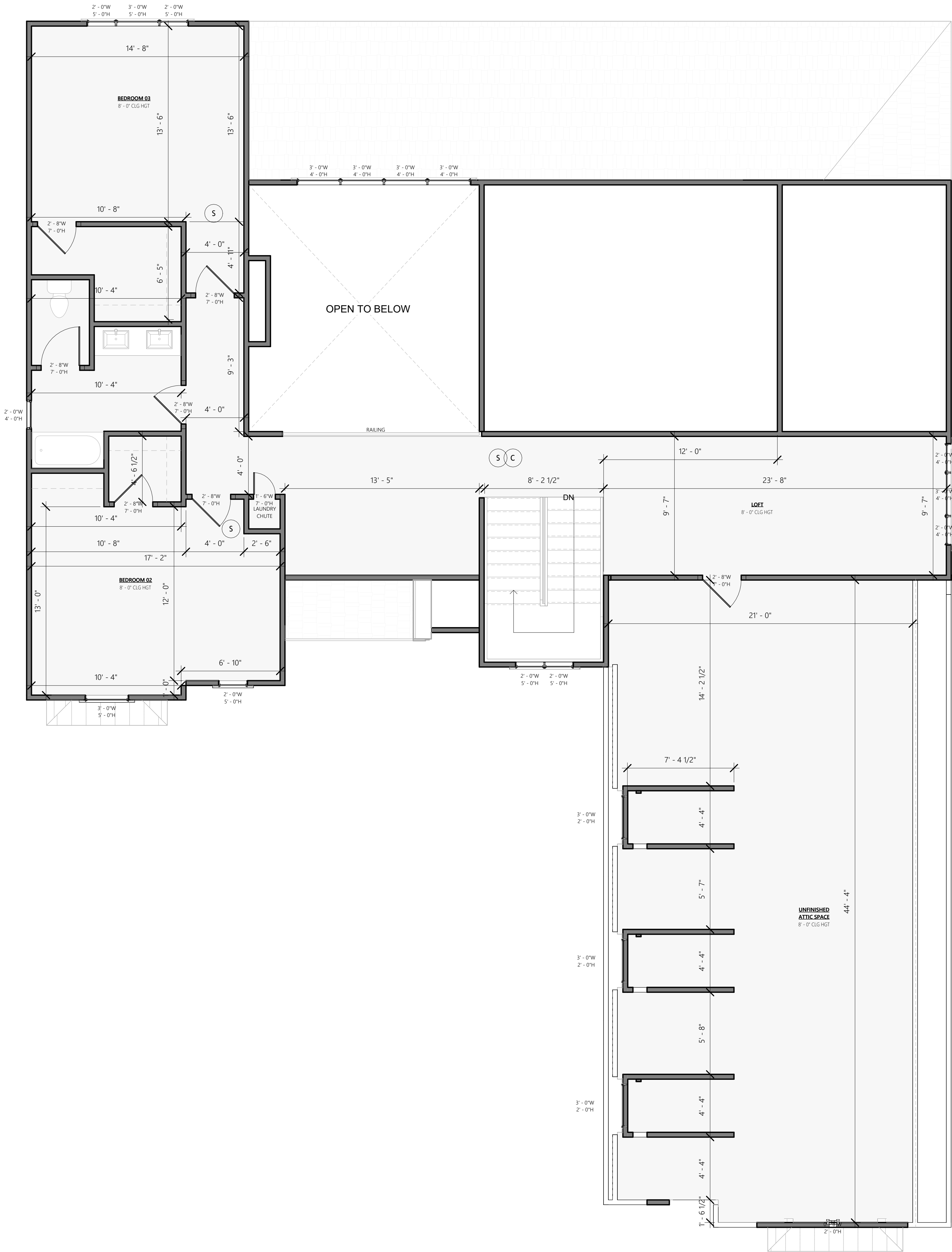
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ABERDEEN, LOT 117



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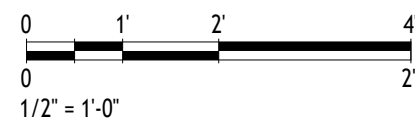
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Second Floor
Plan

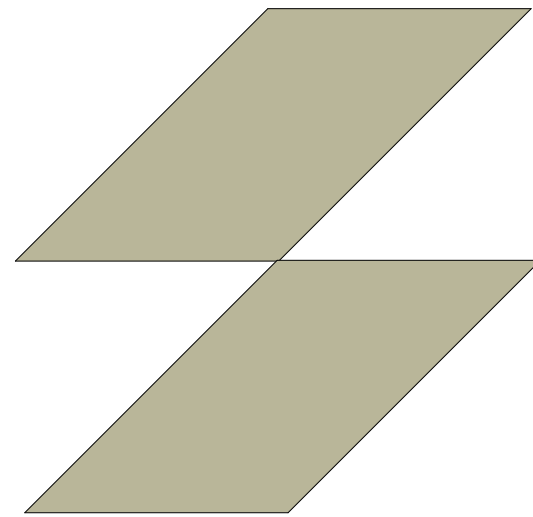
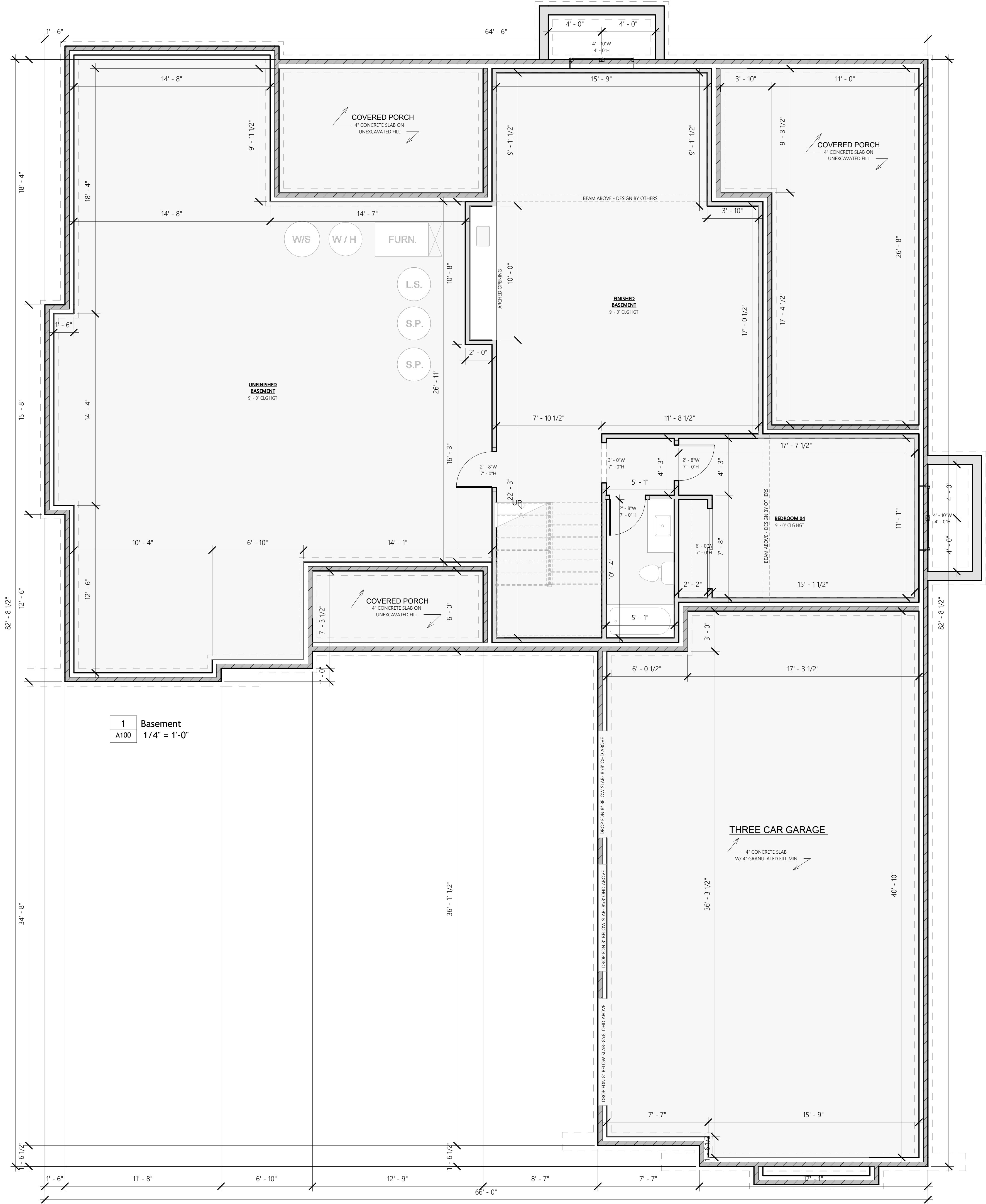


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ABERDEEN, LOT 117



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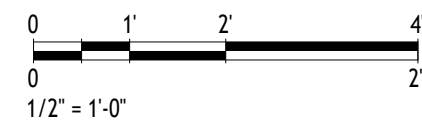
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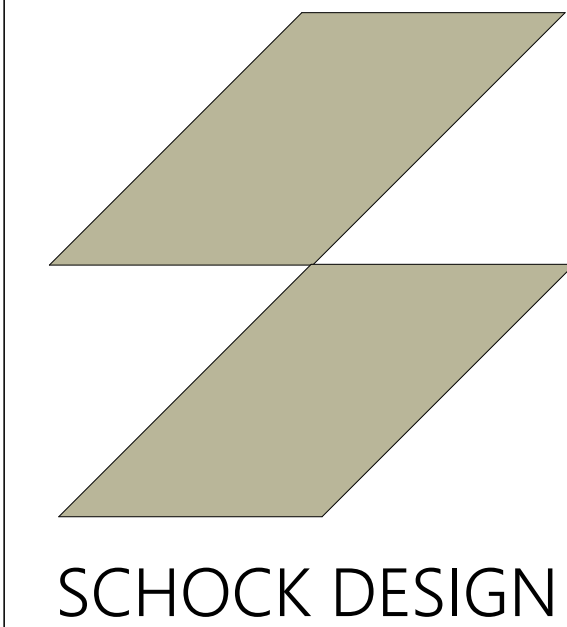
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Basement Plan



1. THE ARCHITECT IMposes THESE CONDITIONS FOR ANY CONTRACTOR TO PROCEEDING WITH WORK.
2. THE CONTRACTOR SHALL FILE ALL DRAWINGS FOR PERMIT APPLICATION OR OTHER MATERIALS WITH THE CITY OF LOS ANGELES AND ALL NECESSARY BUILDING PERMITS MUST BE OBTAINED BY THE CONTRACTOR PRIOR TO COMMENCING WORK. THE CONTRACTOR SHALL BE RESPONSIBLE TO OBTAIN ALL NECESSARY CITY ORDINANCES TO PERFORM THIS WORK.
3. THE DRAWINGS ARE NOT TO BE SCALED. (NO INFORMATION CONCERNING EXISTING PARTITIONS, ETC., VERIFICATION MUST BE DONE BY THE CONTRACTOR.)
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5. UPON COMPLETION OF PROJECT, OBTAIN ALL FINAL INSPECTIONS AS REQUIRED BY LOCAL AGENCIES AND PROVIDE ALL NECESSARY EVIDENCE OF ALL SUCH INSPECTIONS AND CERTIFICATES OF OCCUPANCY.
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MANDELBAUM25



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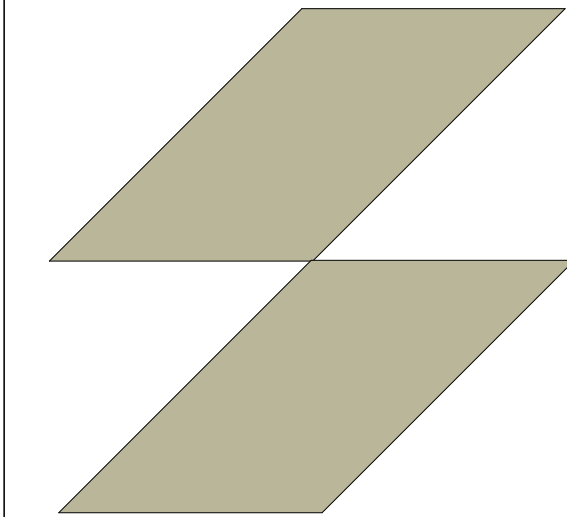
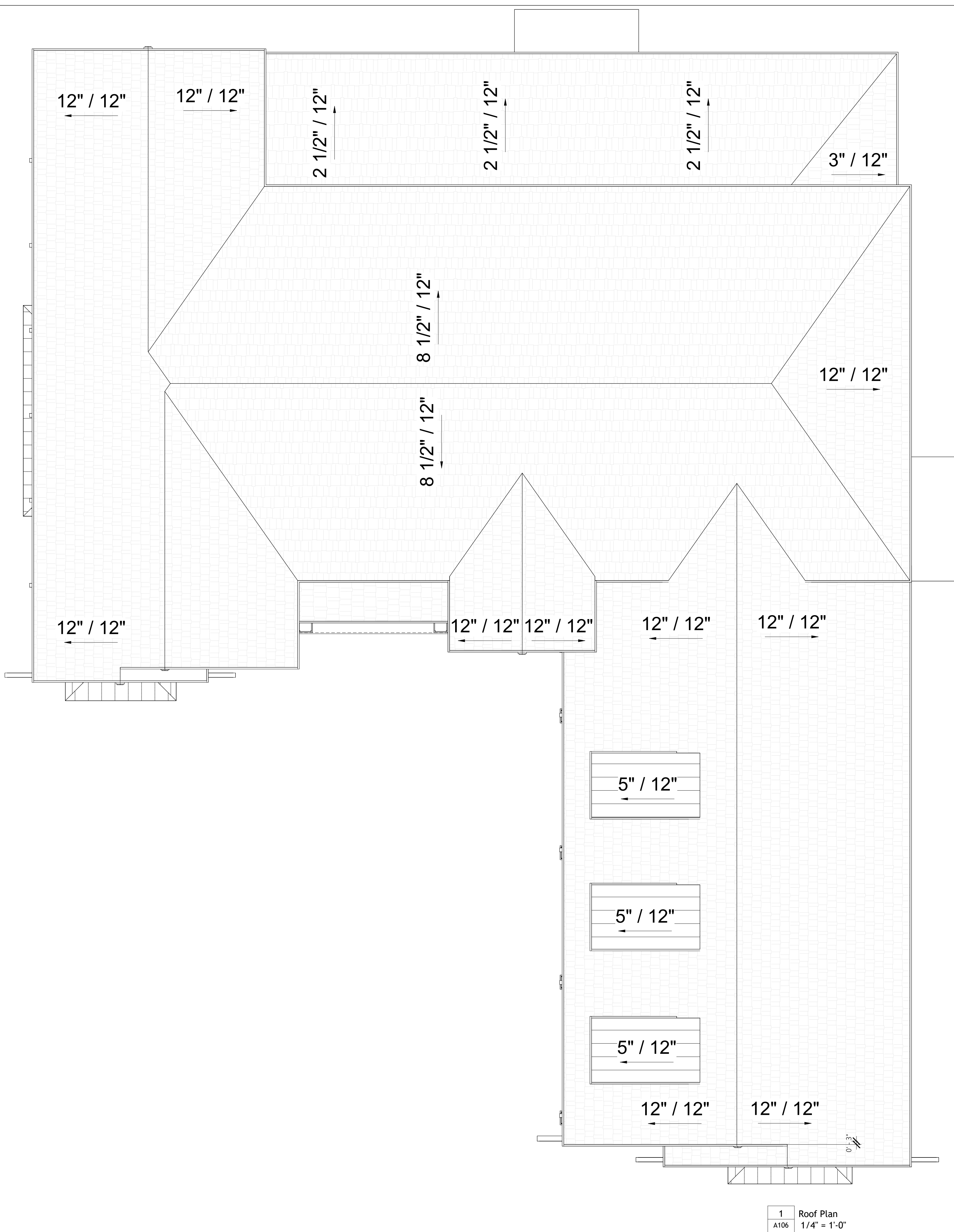
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317-696-2502

MANDELBAUM25
ABERDEEN, LOT 117



Project number Project Number

Date

CLIENT APPROVAL

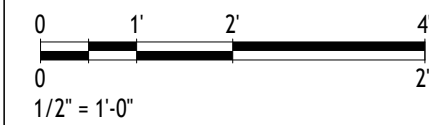
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A106

Scale 1/4" = 1'-0"

Roof Plan

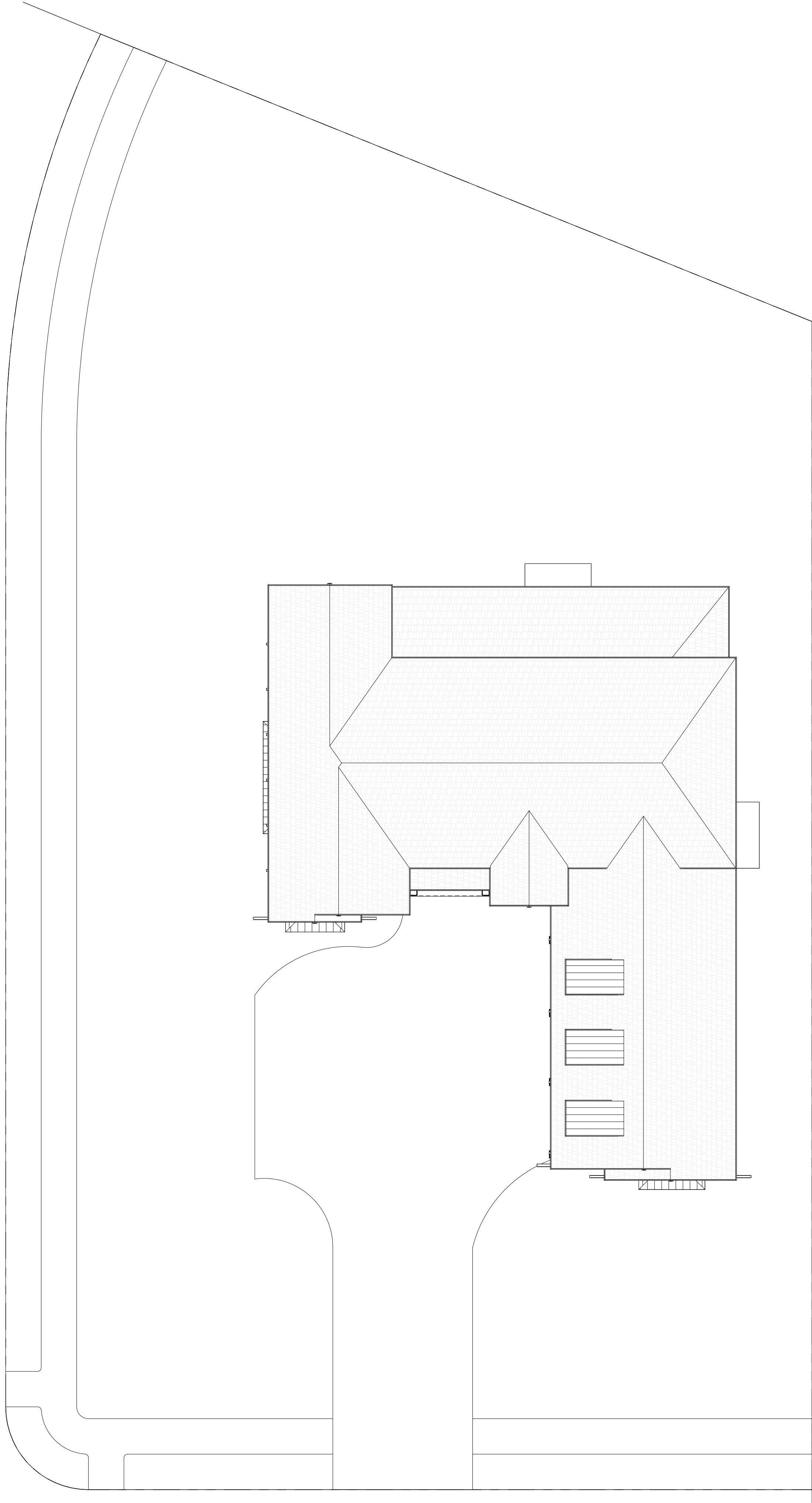


ARCHITECTURAL NOTES:

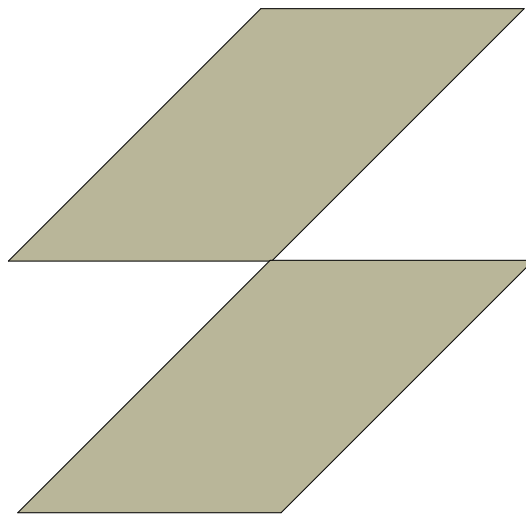
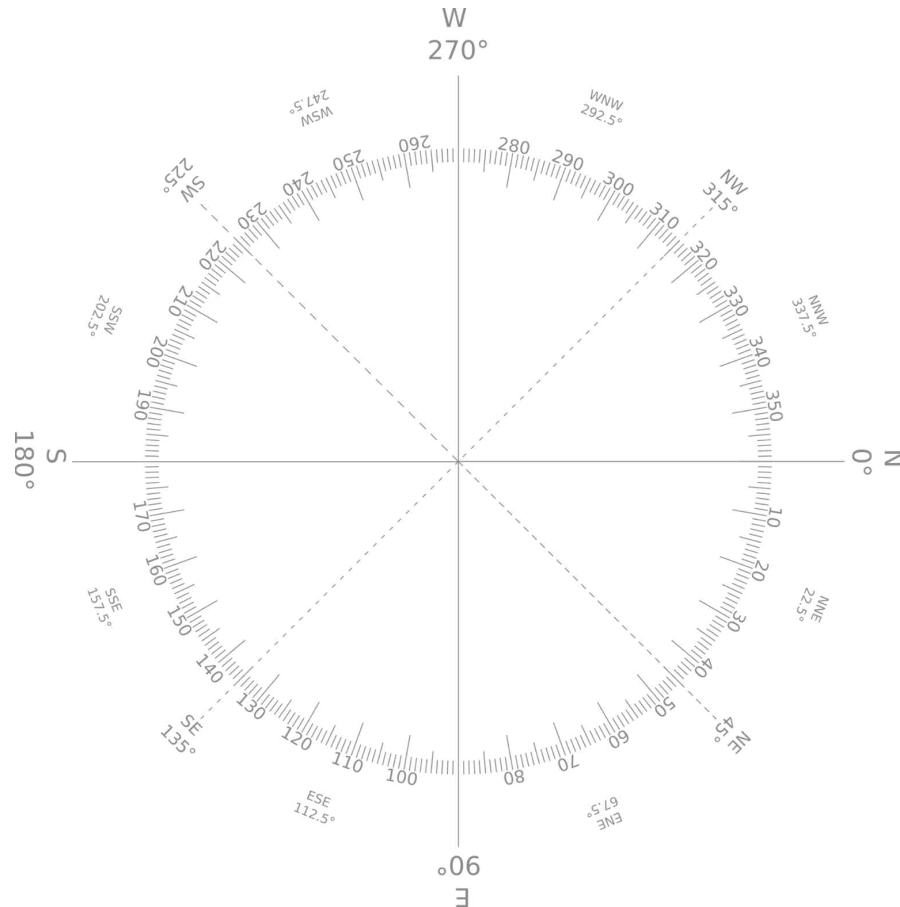
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1 Site Plan
C1 1" = 10'-0"



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MANDELBAUM25

ABERDEEN, LOT 117



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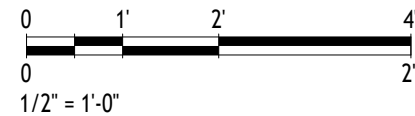
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C1

Scale 1" = 10'-0"

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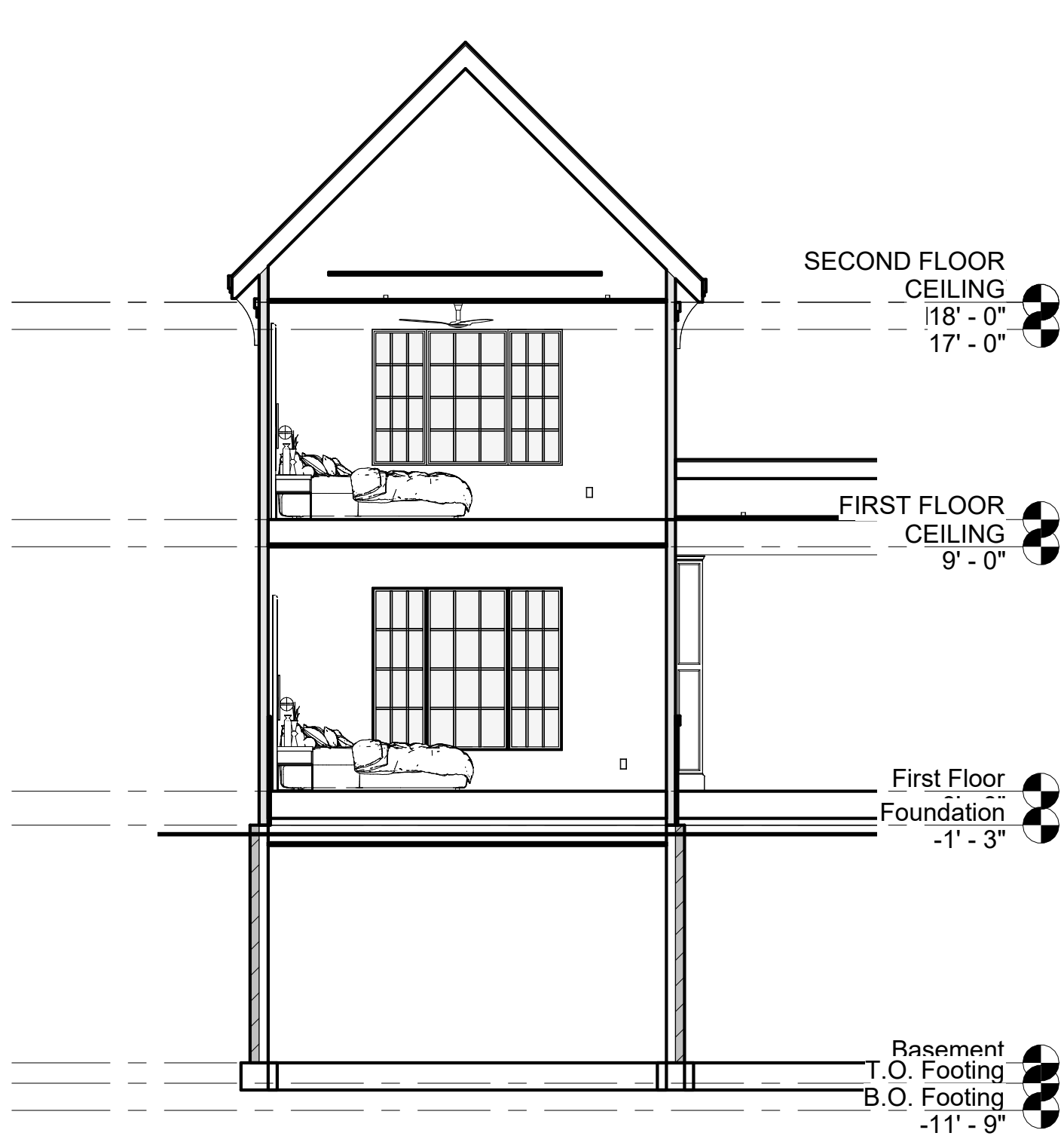


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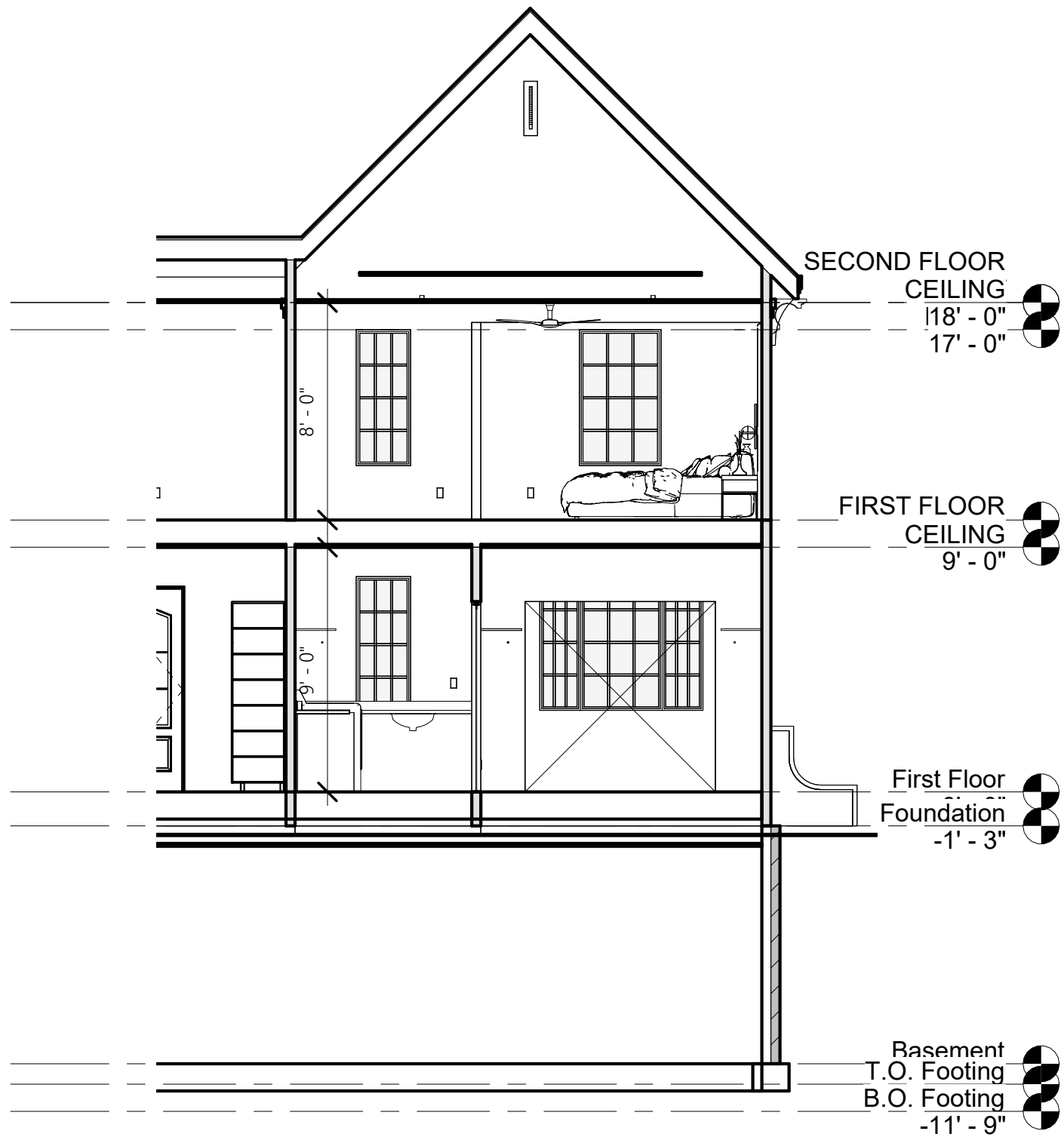
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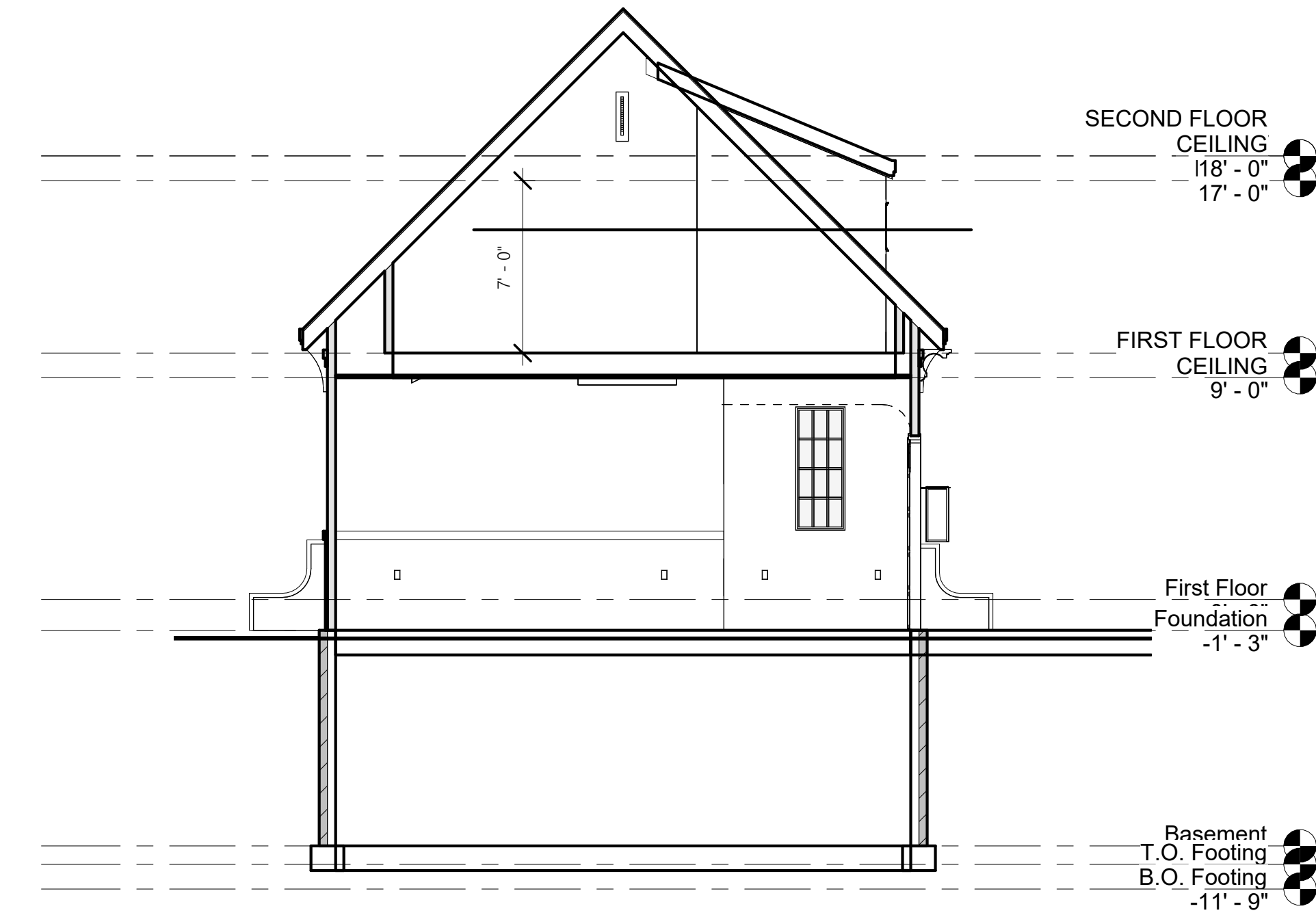
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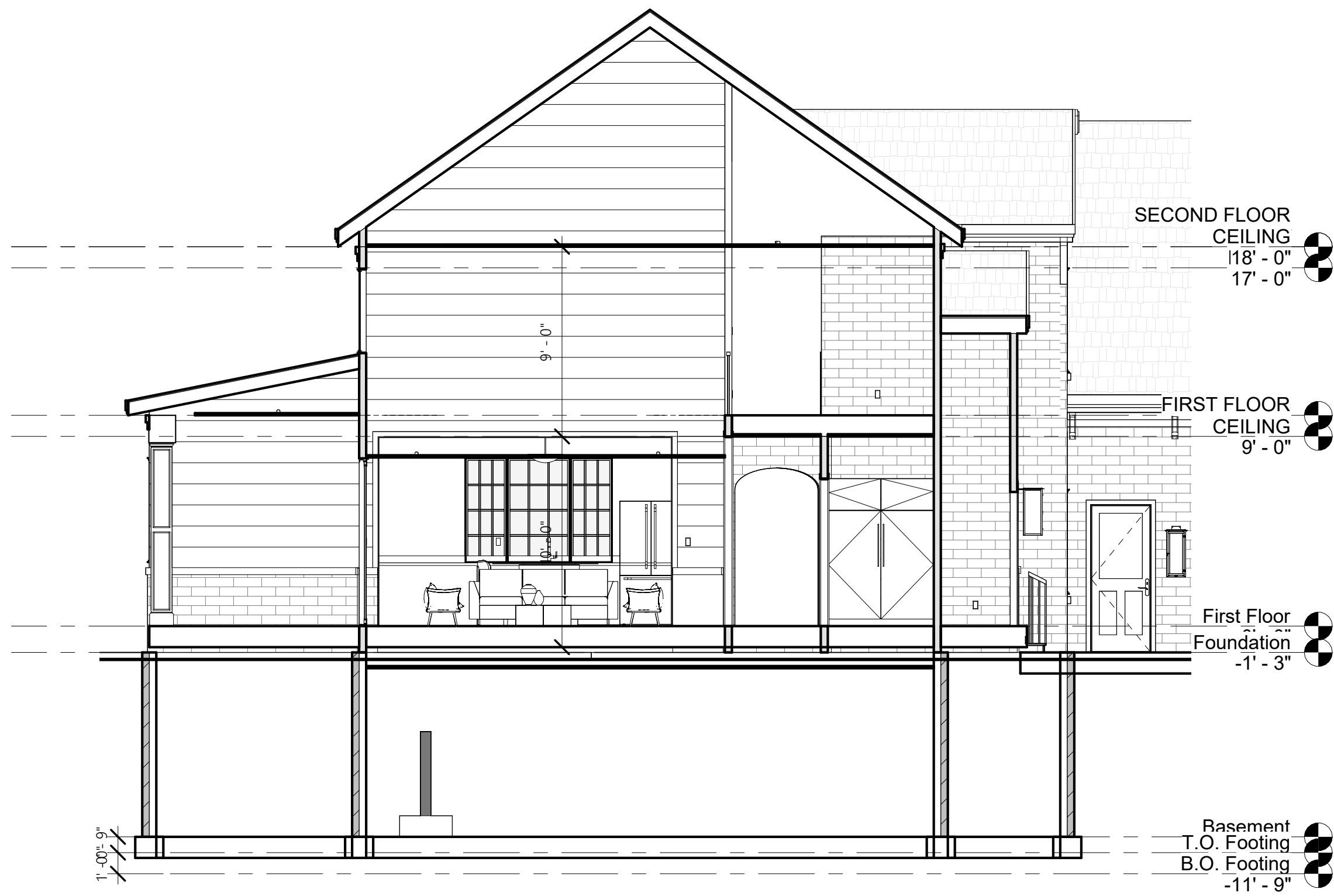
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A300 3/16" = 1'-0"



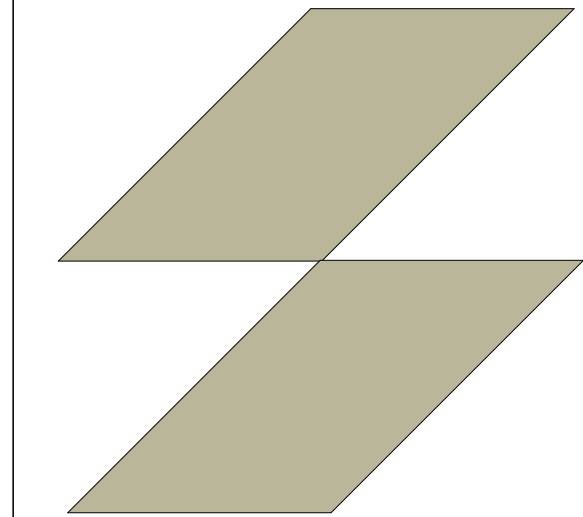
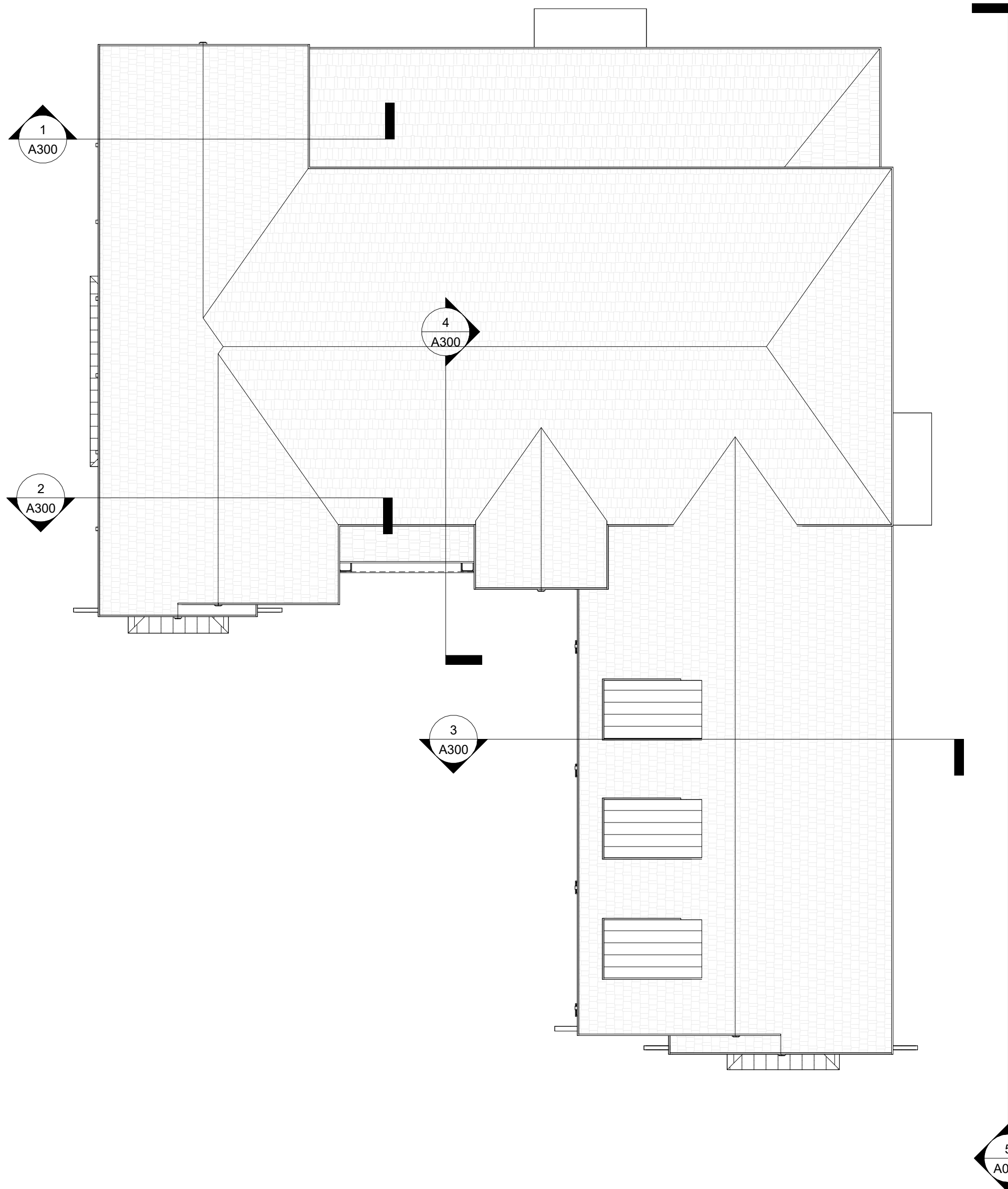
2 Section 4
A300 3/16" = 1'-0"



3 Section 5
A300 3/16" = 1'-0"



4 Section 6
A300 3/16" = 1'-0"



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MANDELBAUM25
ABERDEEN, LOT 117



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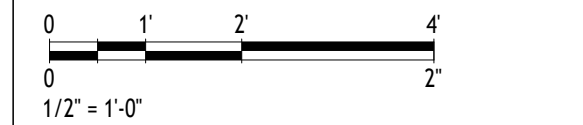
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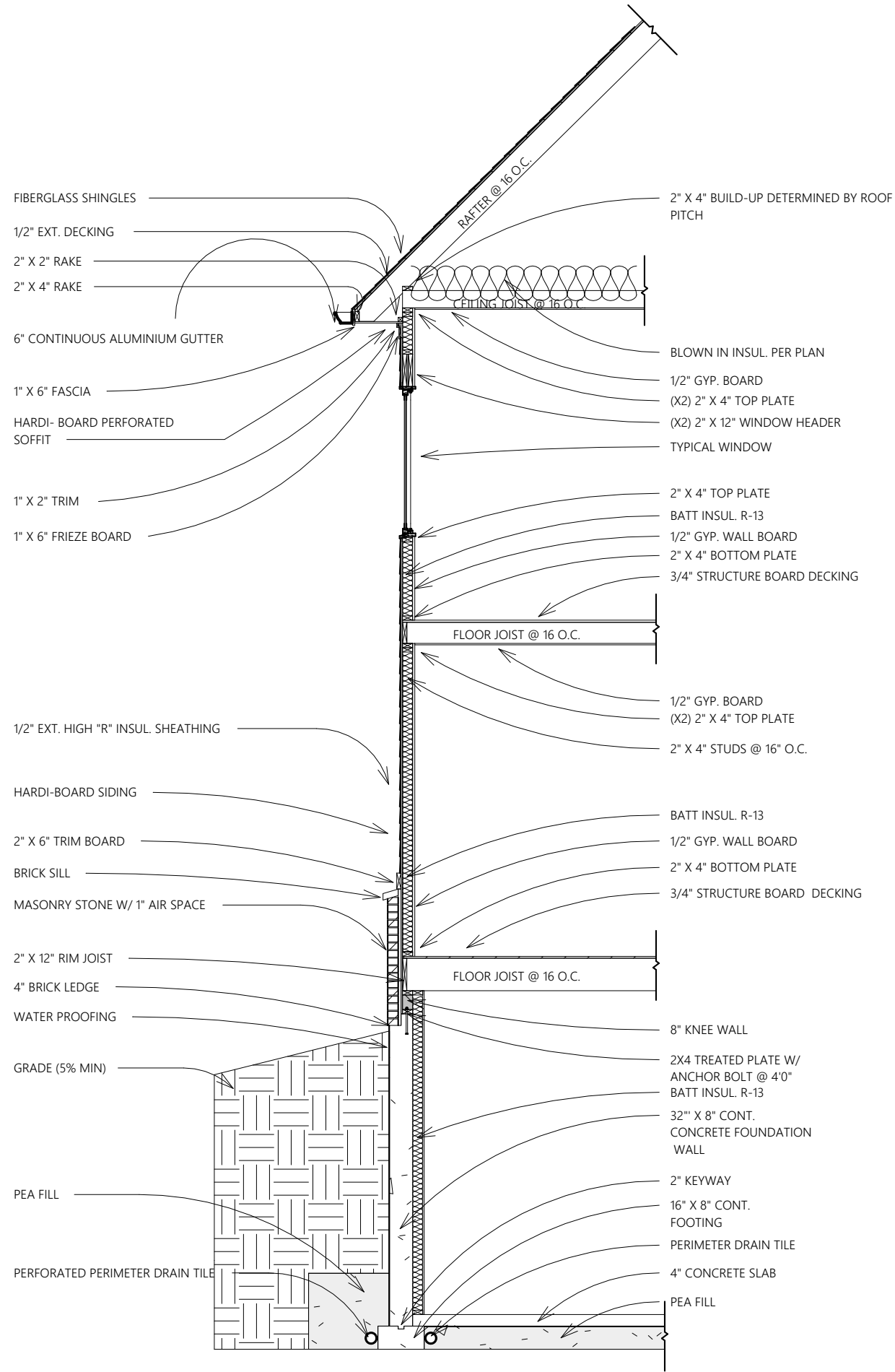
A300

Scale As indicated

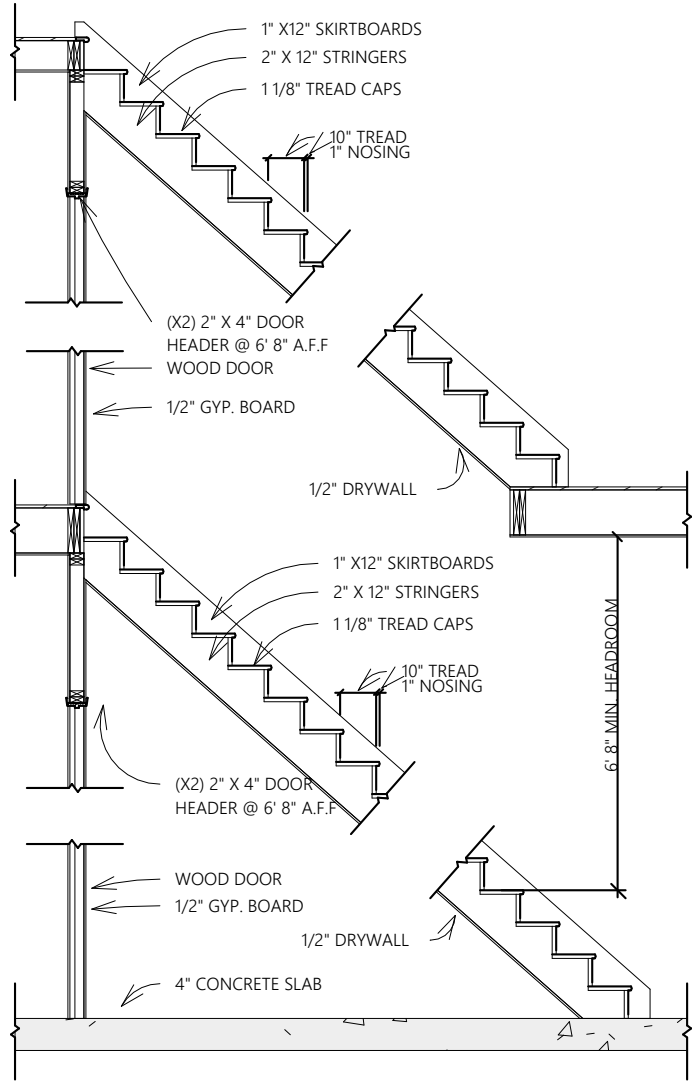
Building
Sections



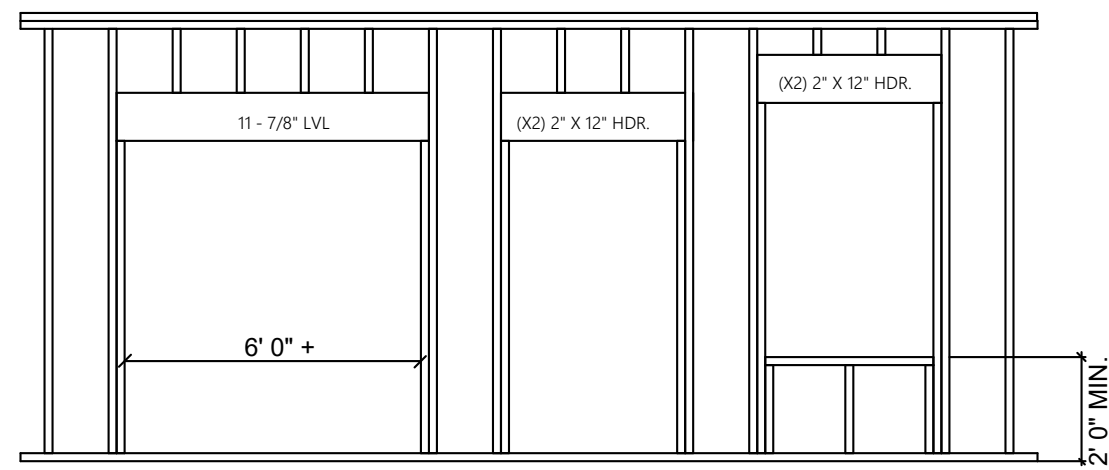
1/2" = 1'-0"



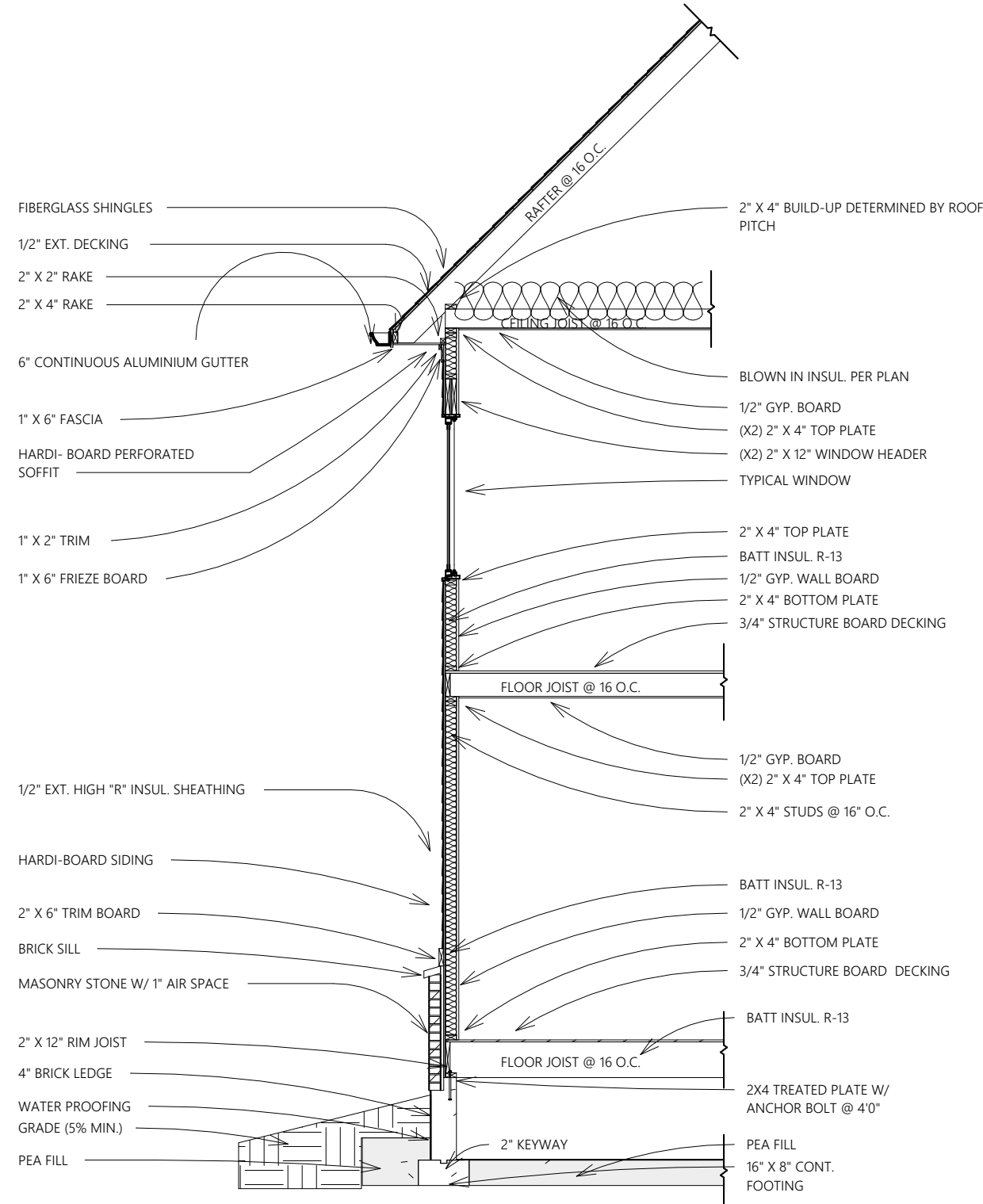
1 TYPICAL WALL SECTION
A304 1/4" = 1'-0"



2 GARAGE DOOR FRAMING DETAIL
A304 1/4" = 1'-0"

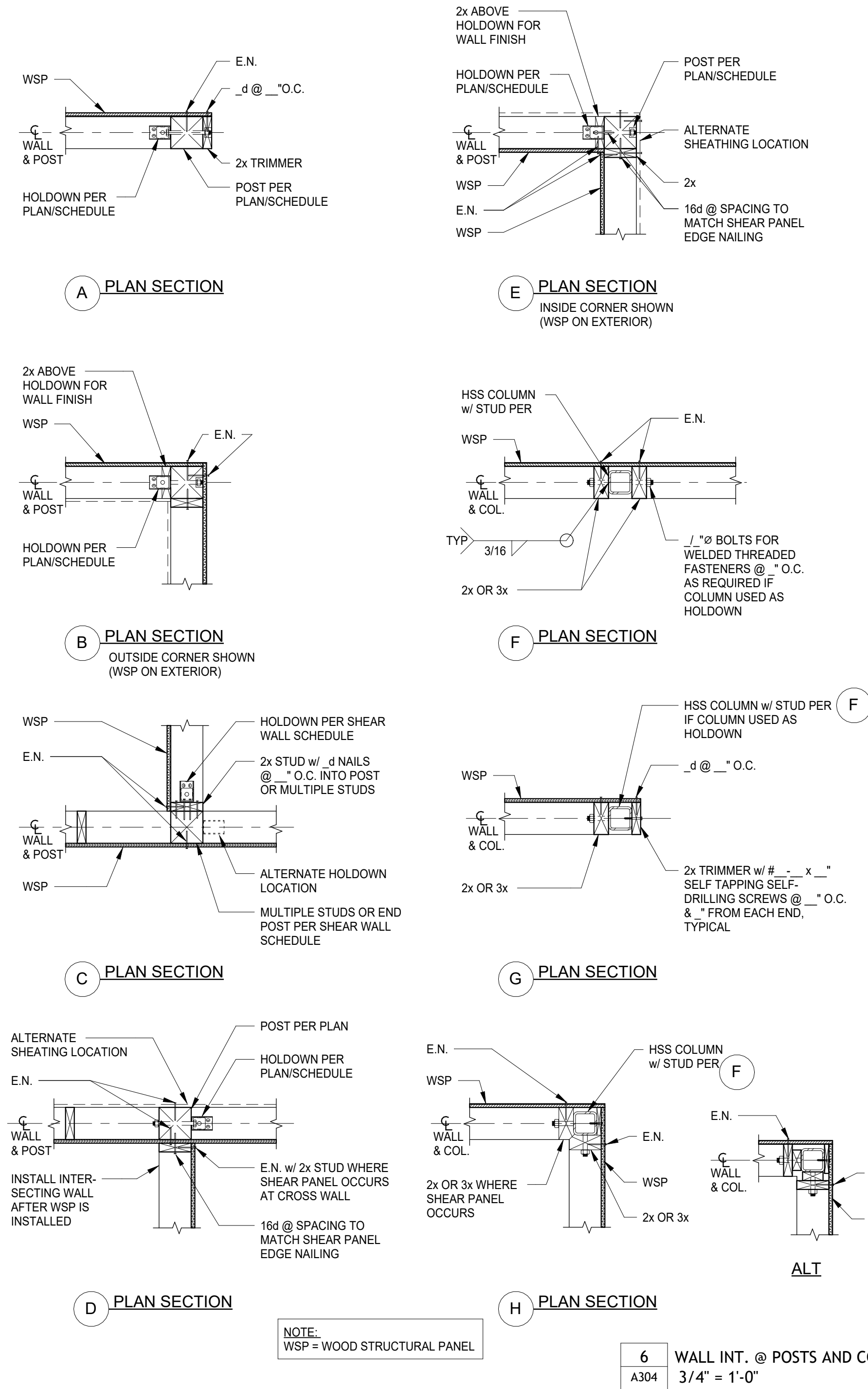


4 WINDOW AND DOOR FRAMING DETAIL
A304 1/4" = 1'-0"

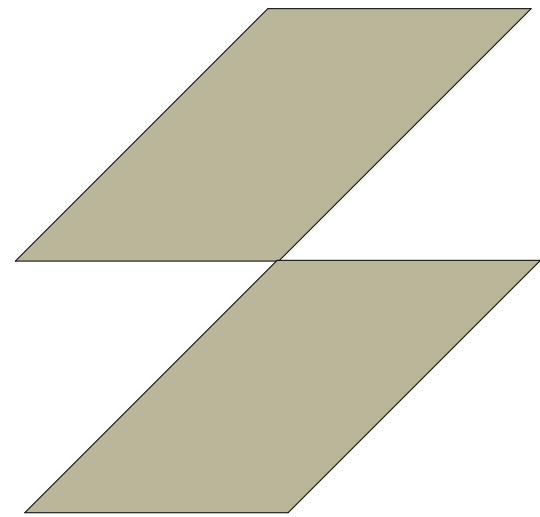
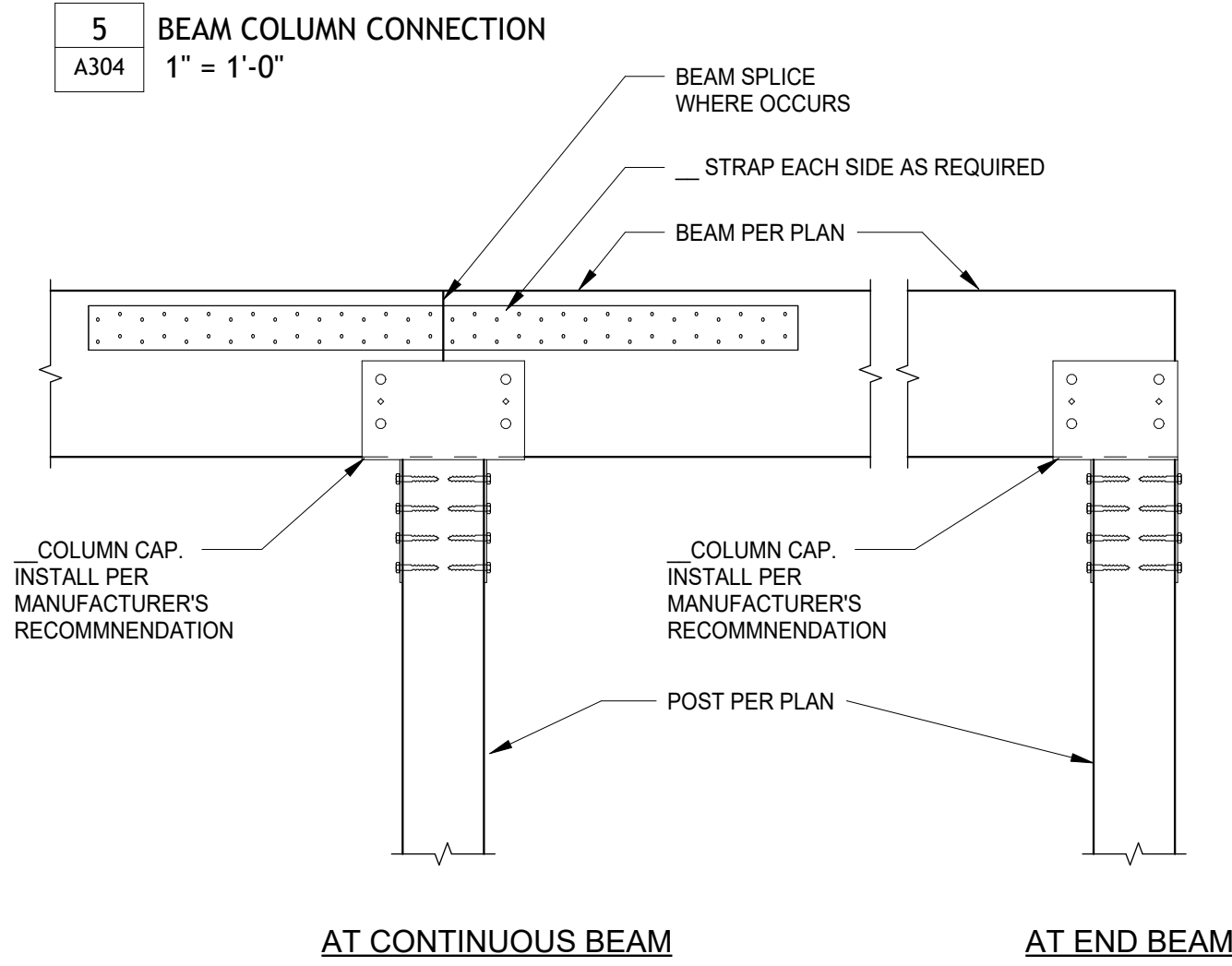


3 WALL SECTION ON CRAWL
A304 1/4" = 1'-0"

WALL INTERSECTIONS AT POSTS AND COLUMNS



BEAM COLUMN CONNECTION



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A304

Scale As indicated

Wall Sections

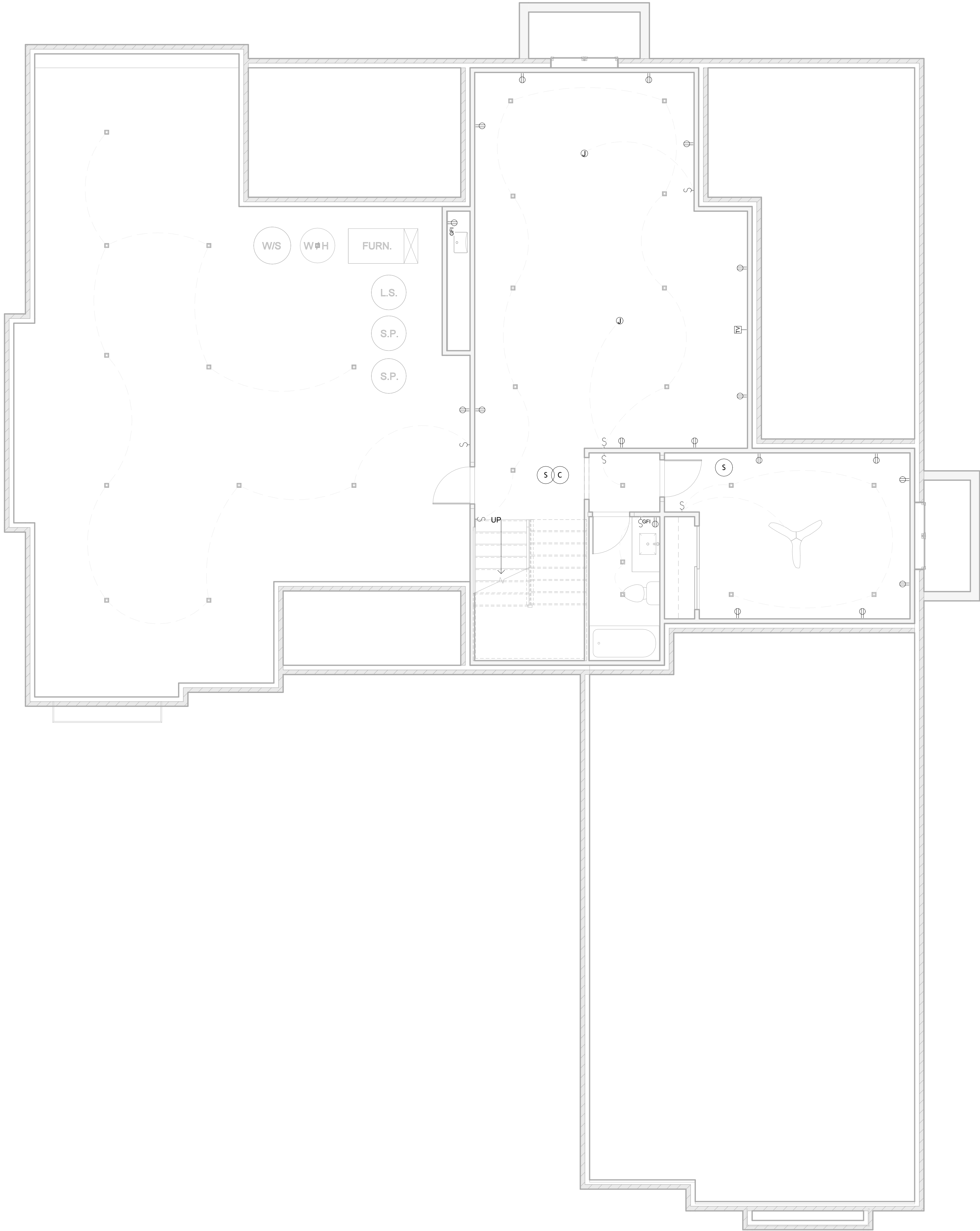
0 1' 2' 4'
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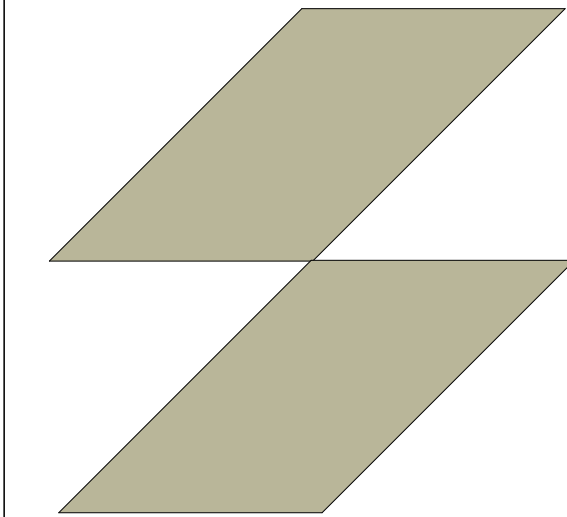
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ELECTRICAL LEGEND	
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	EXT. FLOOD LAMP
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	DECORATIVE PENDANT
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	DOWNLIGHT - RECESSED CAN (STANDARD)
	SWITCH-SINGLE (SINGLE)
	SWITCH- DOUBLE (DOUBLE)
	SWITCH- THREE WAY (THREE WAY)
	SWITCH- DIMMER (DIMMER)
	RECEPTACLE - 220V (STANDARD)
	OUTLET - TRIPLEX (SINGLE)
	OUTLET - RANGE (SINGLE)
	OUTLET - GFI (SINGLE)
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	JUNCTION BOX
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	FAN (STANDARD)
	TRANSFORMER SWITCHBOARD
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ABERDEEN, LOT 117



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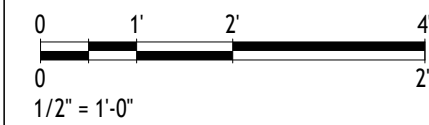
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E100

Scale As indicated

Basement
Electrical Plan

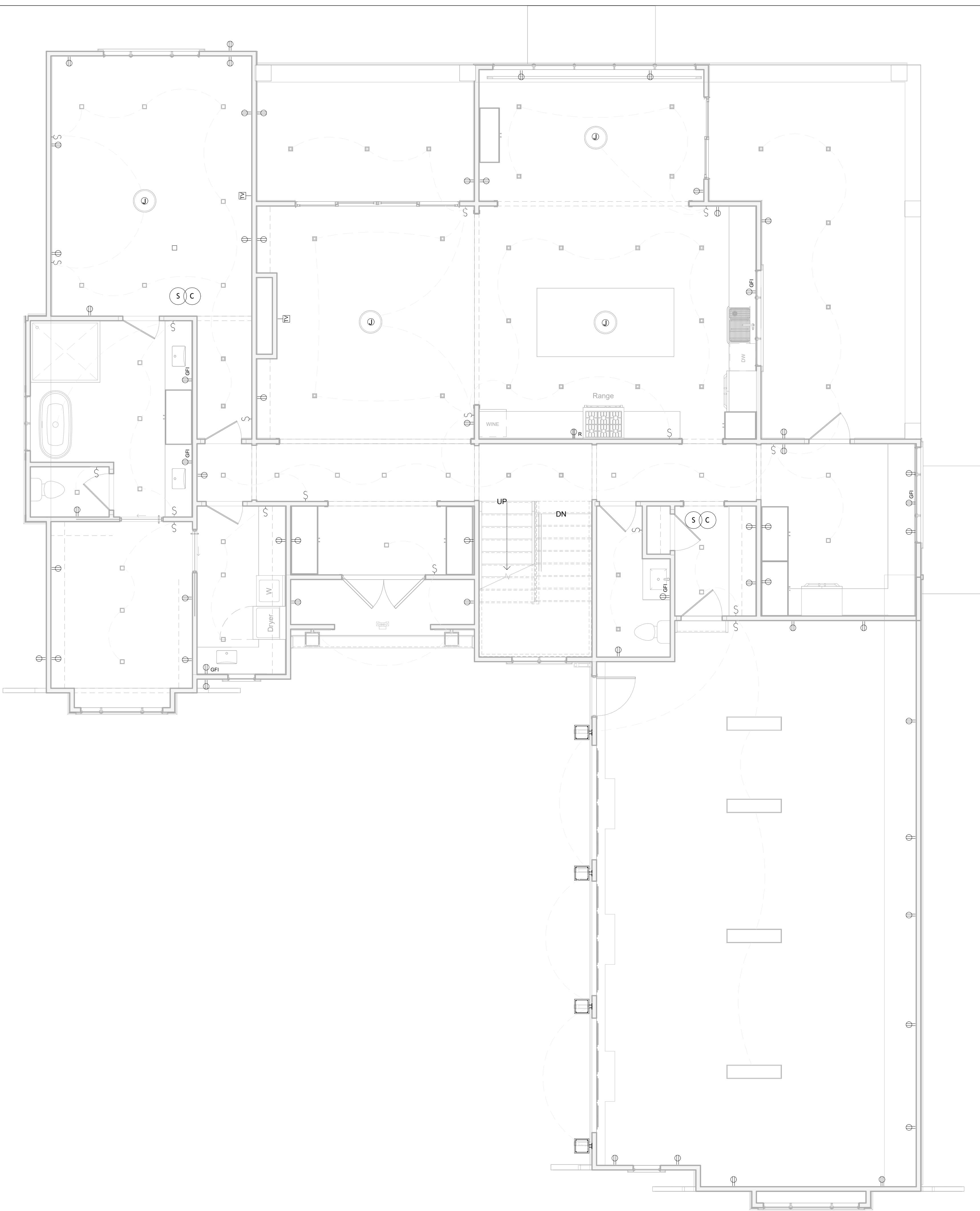


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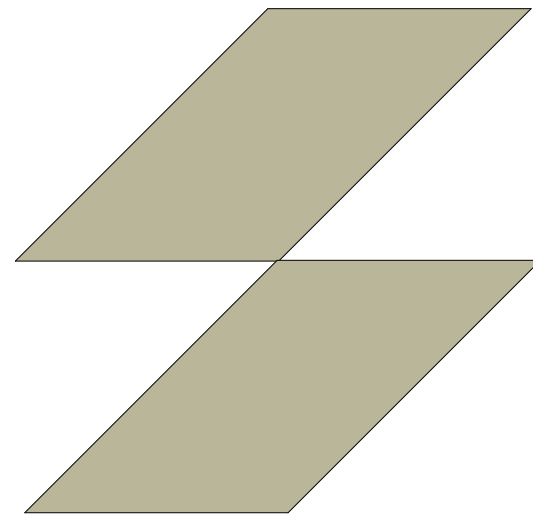
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	OUTLET FLOOR - SINGLE (SINGLE)
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	CEILING FAN (DECORATIVE)
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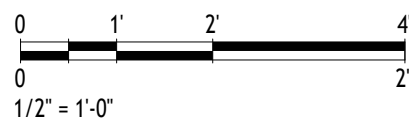
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E101

Scale As indicated

First Floor
Electrical

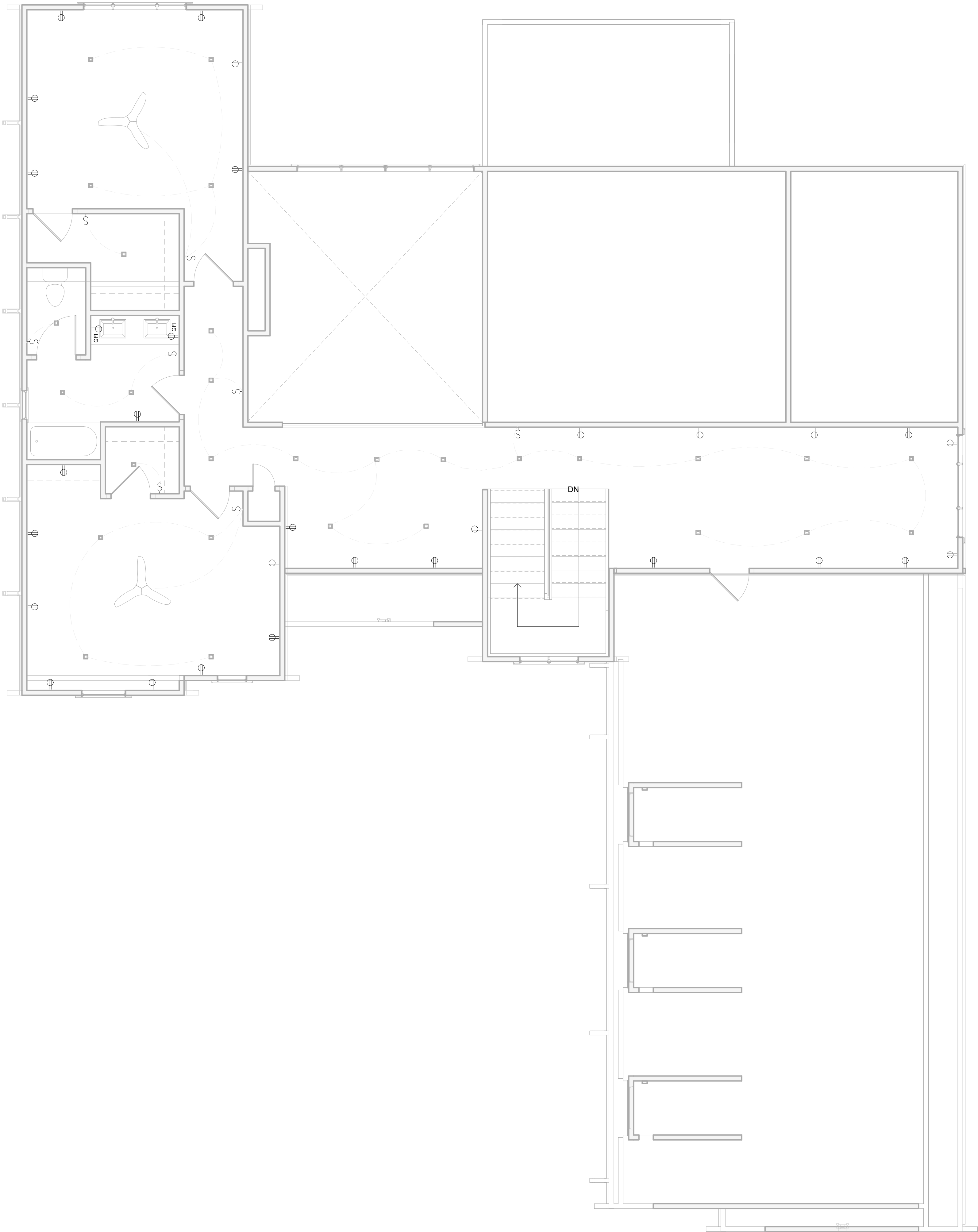


ARCHITECTURAL NOTES:

- 1.VERIFY ALL EXISTING CONDITIONS PRIOR TO THE START OF CONSTRUCTION. NOTIFY THE ARCHITECT IMMEDIATELY OF ANY CONFLICTS PRIOR TO PROCEEDING WITH WORK.
- 2.THE CONTRACTOR SHALL FILE ALL DRAWINGS FOR PERMIT APPLICATION OR OTHER MATERIALS REQUIRED TO SECURE ANY AND ALL NECESSARY BUILDING PERMITS AS MIGHT BE REQUIRED BY ANY LOCAL ORDINANCES TO PERFORM THIS WORK.
- 3.THE DRAWINGS ARE NOT TO BE SCALED. FOR INFORMATION CONCERNING EXISTING PARTITIONS, ETC., VERIFICATION MUST BE DONE IN THE FIELD.
- 4.THE USE OF THE WORDS "PROVIDE" OR "PROVIDED" IN CONNECTION WITH ANY ITEM SPECIFIED, IS INTENDED TO MEAN, UNLESS OTHERWISE NOTED, THAT SUCH SHALL BE FURNISHED AND INSTALLED FOLLOWING MANUFACTURER'S INSTRUCTIONS AND RECOMMENDATIONS, AND SUPPLYING AND INSTALLING ALL ASSOCIATED ITEMS AND ACCESSORIES AS REQUIRED, AND CONNECTED WHERE SO REQUIRED FOR A COMPLETE INSTALLATION.
- 5.UPON COMPLETION OF PROJECT, OBTAIN ALL FINAL INSPECTIONS AS REQUIRED BY LOCAL JURISDICTIONS AND FURNISH OWNER WITH EVIDENCE OF ALL SUCH INSPECTIONS AND CERTIFICATES OF OCCUPANCY.
- 6.UPON COMPLETION OF PROJECT, PROVIDE OWNER WITH ALL INSTRUCTION MANUALS, WARRANTIES OR OTHER DOCUMENTS REQUIRED FOR OPERATION OR MAINTENANCE OF ANY ITEM IN THE CONTRACTOR'S WORK.
- 7.THESE CONSTRUCTION NOTES AND/OR DRAWINGS ARE SUPPLIED TO ILLUSTRATE THE DESIGN AND GENERAL TYPE OF CONSTRUCTION DESIRED AND ARE INTENDED TO IMPLY THE FINAL QUALITY OF CONSTRUCTION, MATERIAL AND WORKMANSHIP THROUGHOUT.
- 8.THE GENERAL CONTRACTOR SHALL MAINTAIN A CURRENT AND COMPLETE SET OF CONSTRUCTION DRAWINGS ON THE SITE DURING ALL PHASES OF CONSTRUCTION FOR USE OF THE TRADES.
- 9.ALL DIMENSIONS ARE TO EXISTING FINISHED WALL SURFACE OR NEW FINISHED WALL SURFACE, UNLESS NOTED.
- 10.THE CONTRACTOR SHALL PROTECT ALL EXISTING AND NEW MATERIALS AND FINISHES FROM DAMAGE WHICH MAY OCCUR FROM CONSTRUCTION, DEMOLITION, PAINT, DUST, WATER, ETC. ALL SUCH DAMAGE SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF THE ARCHITECT AND OWNER AT THE CONTRACTOR'S EXPENSE.
- 11.THE GENERAL CONTRACTOR SHALL PROVIDE A THOROUGH CLEAN UP AT CLOSE OUT, INCLUDING VACUUMING AND CLEANING ALL CARPETING.
- 12.PROVIDE WOOD BLOCKING IN WALLS AS REQUIRED FOR ALL WALL-SUPPORTED ITEMS. SEE DRAWINGS FOR CASEWORK ITEMS.

GENERAL NOTES:

- 1.DO NOT SCALE THE DRAWINGS.
- 2.REPORT ALL DIMENSIONAL DISCREPANCIES TO ARCHITECT FOR RESOLUTION.
- 3.ALL NON-PERPENDICULAR WALLS SHALL BE AT 45 DEGREES UNLESS OTHERWISE NOTED.
- 4.ALIGN FINISHED FACE OF NEW CONSTRUCTION WITH FINISHED FACE OF EXISTING WALLS.
- 5.ALL DIMENSIONS ARE TO FACE OF NEW GYPSUM BOARD FINISH OR EXISTING FINISHES UNLESS OTHERWISE NOTED.
- 6.HINGE SIDE OF ALL DOORS SHALL BE 5" OFF THE FACE OF ADJACENT WALL, UNLESS NOTED OTHERWISE.
- 7.PATCH FINISHES OF EXISTING WALLS AND CEILING TO REMAIN AS REQUIRED FOR UNIFORM, CLEAN APPEARANCE.
- 8.INSTALL WOOD BLOCKING IN WALLS BEHIND WALL-HUNG ITEMS AND TOILET ACCESSORIES.
- 9.INSTALL R-11 SOUND BATT INSULATION IN ALL WALLS, UNLESS NOTED OTHERWISE.



NOTE:
ALL ELECTRICAL DEVICES AND FIXTURES AND IN ALL LIVING QUARTERS TO BE PROTECTED WITH A.F.I. BREAKER

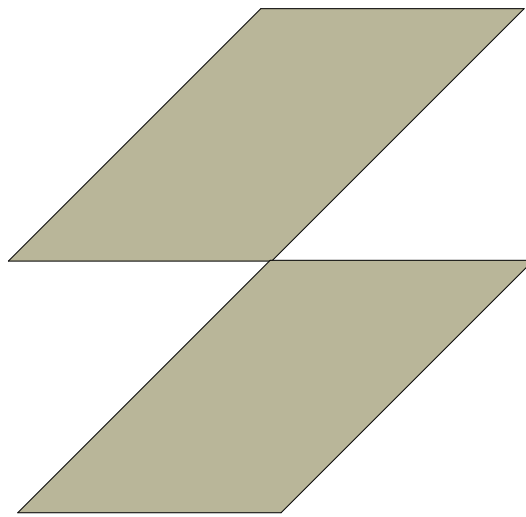
1. PREWIRE FOR SECURITY AND LOW VOLTAGE SYSTEMS
2. INSTALL RG-6 COAXIAL CABLE AND CAT-6 TWISTED PAIR WIRE (SEE BUILDER FOR DETAILS)
- 3.ALL ELECTRICAL SHALL BE IN ACCORDANCE WITH LOCAL CODES

SMOKE DETECTORS POWERED BY HOUSE ELECTRIC W/ BATTERY BACKUP AND INTERCONNECTED. INSTALLED IN EACH SLEEPING ROOM AND IN HALL OR AREA IMMEDIATELY OUTSIDE EACH ROOM AND AT HIGHEST POINT OF EACH STORY OF RESIDENCE

NOTE:
CARBON MONOXIDE PROTECTION SHALL BE PROVIDED WITHIN TEN FEET OF EACH ROOM USED FOR SLEEPING

ELECTRICAL LEGEND

	CEILING LIGHT - LINEAR BOX
	EXT. FLOOD LAMP
	DECORATIVE WALL SCONCE
	DECORATIVE PENDANT
	DOWNLIGHT - RECESSED CAN (TYPE 2)
	DOWNLIGHT - RECESSED CAN (STANDARD)
	SWITCH-SINGLE (SINGLE)
	SWITCH- DOUBLE (DOUBLE)
	SWITCH- THREE WAY (THREE WAY)
	SWITCH- DIMMER (DIMMER)
	RECEPTACLE - 220V (STANDARD)
	OUTLET - TRIPLEX (SINGLE)
	OUTLET - RANGE (SINGLE)
	OUTLET - GFI (SINGLE)
	OUTLET - DUPLEX (SINGLE)
	OUTLET FLOOR - SINGLE (SINGLE)
	JUNCTION BOX
	CEILING FAN (DECORATIVE)
	FAN (STANDARD)
	TRANSFORMER SWITCHBOARD
	POWER PANEL
	LIGHTING PANEL



SCHOCK DESIGN

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317-696-2502

MANDELBAUM25

ABERDEEN, LOT 117



Project number Project Number

Date

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E102

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Second Floor
Electrical

