

NOT FOR CONSTRUCTION



SPEC 002

Area Schedule (FINISHED)

BASEMENT FINISHED	1754 SF
FIRST FLOOR FINISHED	2263 SF
SECOND FLOOR FINISHED	1053 SF
TOTAL FINISHED AREA	5070 SF

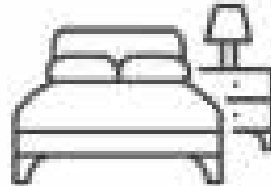
Area Schedule (UNFINISHED)

BASEMENT STORAGE	362 SF
BASEMENT COVERED PATIO	531 SF
BASEMENT MECH.	300 SF
2 CAR GARAGE	516 SF
COVERED MUDROOM ENTRY	52 SF
COVERED REAR PORCH	282 SF
COVERED FRONT PORCH	57 SF
TOTAL UNFINISHED AREA	2100 SF

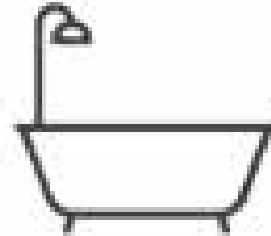
TOTAL AREA : 7170



2 Car Garage



6 bedrooms



4.5 bathrooms



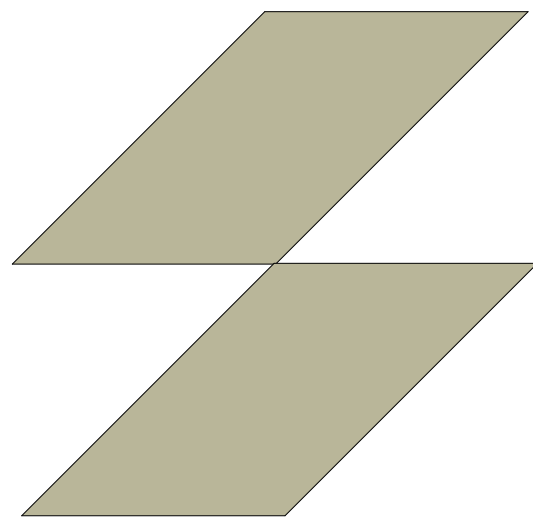
5,070 SQFT



63' 7" W



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317-696-2502

SPEC 002

ADDRESS TBD



Project number

Project Number

Date

CLIENT APPROVAL

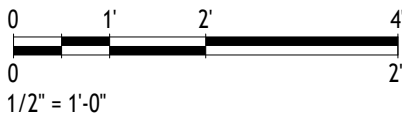
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Scale

TITLE



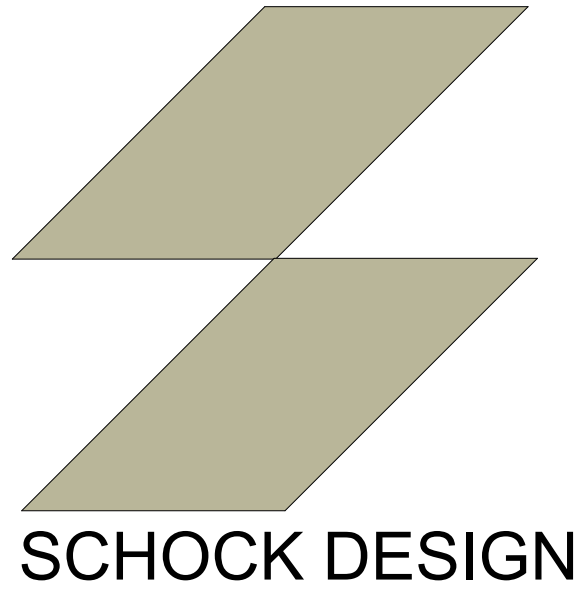
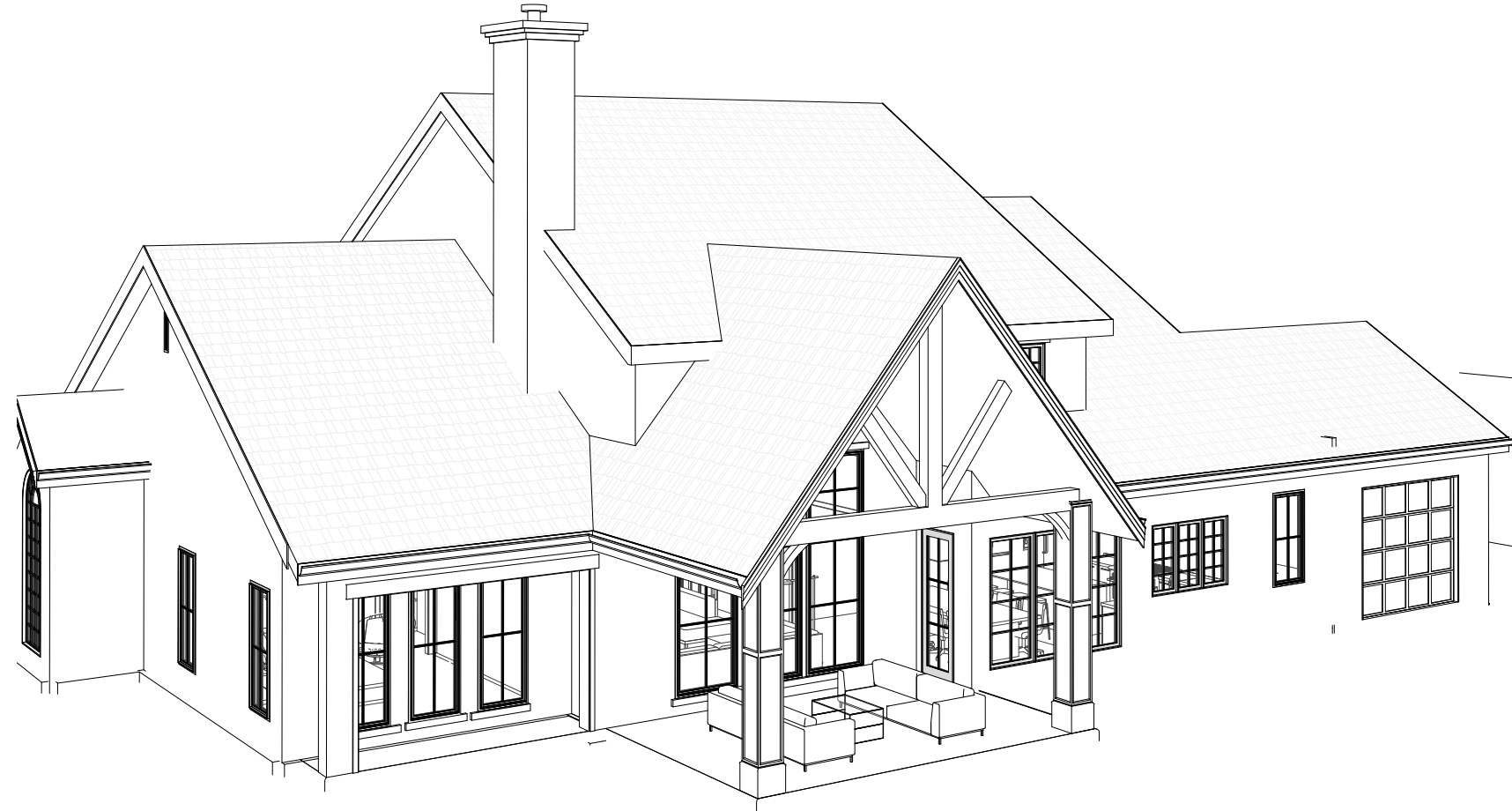
ARCHITECTURAL NOTES:

- 1.VERIFY ALL EXISTING CONDITIONS PRIOR TO THE START OF CONSTRUCTION. NOTIFY THE ARCHITECT IMMEDIATELY OF ANY CONFLICTS PRIOR TO PROCEEDING WITH WORK.
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- 3.THE DRAWINGS ARE NOT TO BE SCALED. FOR INFORMATION CONCERNING EXISTING PARTITIONS, ETC., VERIFICATION MUST BE DONE IN THE FIELD.
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GENERAL NOTES:

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- 2.REPORT ALL DIMENSIONAL DISCREPANCIES TO ARCHITECT FOR RESOLUTION.
- 3.ALL NON-PERPENDICULAR WALLS SHALL BE AT 45 DEGREES UNLESS OTHERWISE NOTED.
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- 5.ALL DIMENSIONS ARE TO FACE OF NEW GYPSUM BOARD FINISH OR EXISTING FINISHES UNLESS OTHERWISE NOTED.
- 6.HINGE SIDE OF ALL DOORS SHALL BE 5" OFF THE FACE OF ADJACENT WALL, UNLESS NOTED OTHERWISE.
- 7.PATCH FINISHES OF EXISTING WALLS AND CEILING TO REMAIN AS REQUIRED FOR UNIFORM, CLEAN APPEARANCE.
- 8.INSTALL WOOD BLOCKING IN WALLS BEHIND WALL-HUNG ITEMS AND TOILET ACCESSORIES.
- 9.INSTALL R-11 SOUND BATT INSULATION IN ALL WALLS, UNLESS NOTED OTHERWISE.

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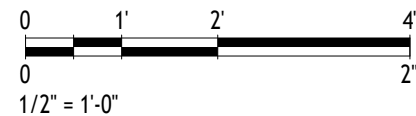


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J. GREG ALLEN
SIGNATURE: _____
DATE: _____

A002

Scale

DETAILS



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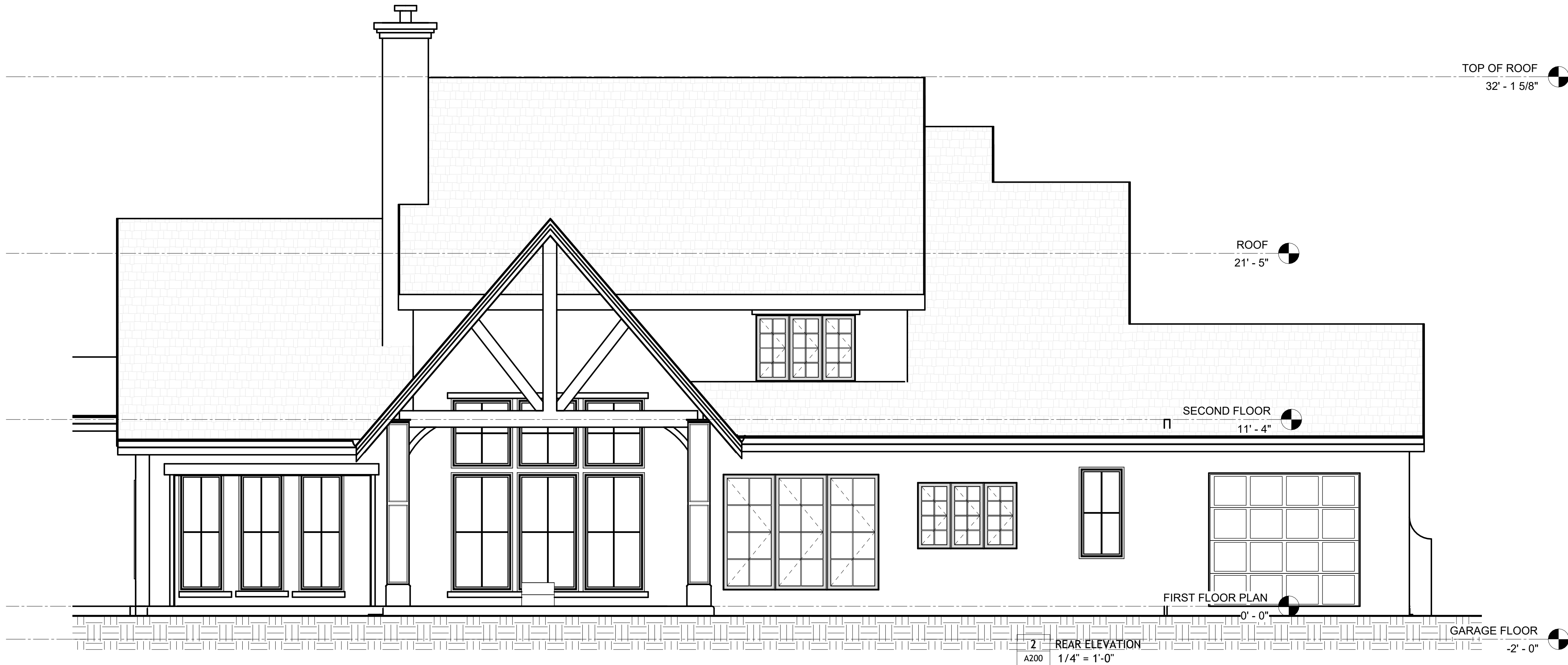
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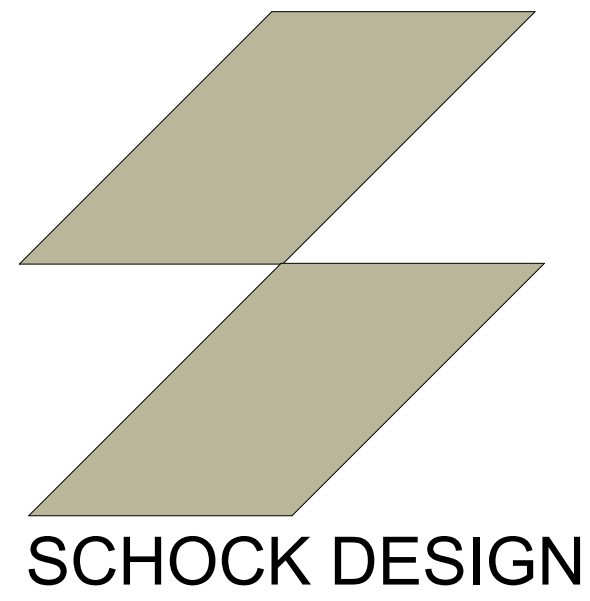
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SPEC 002
ADDRESS TBD



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APPROVED BY

J. GREG ALLEN

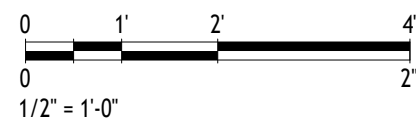
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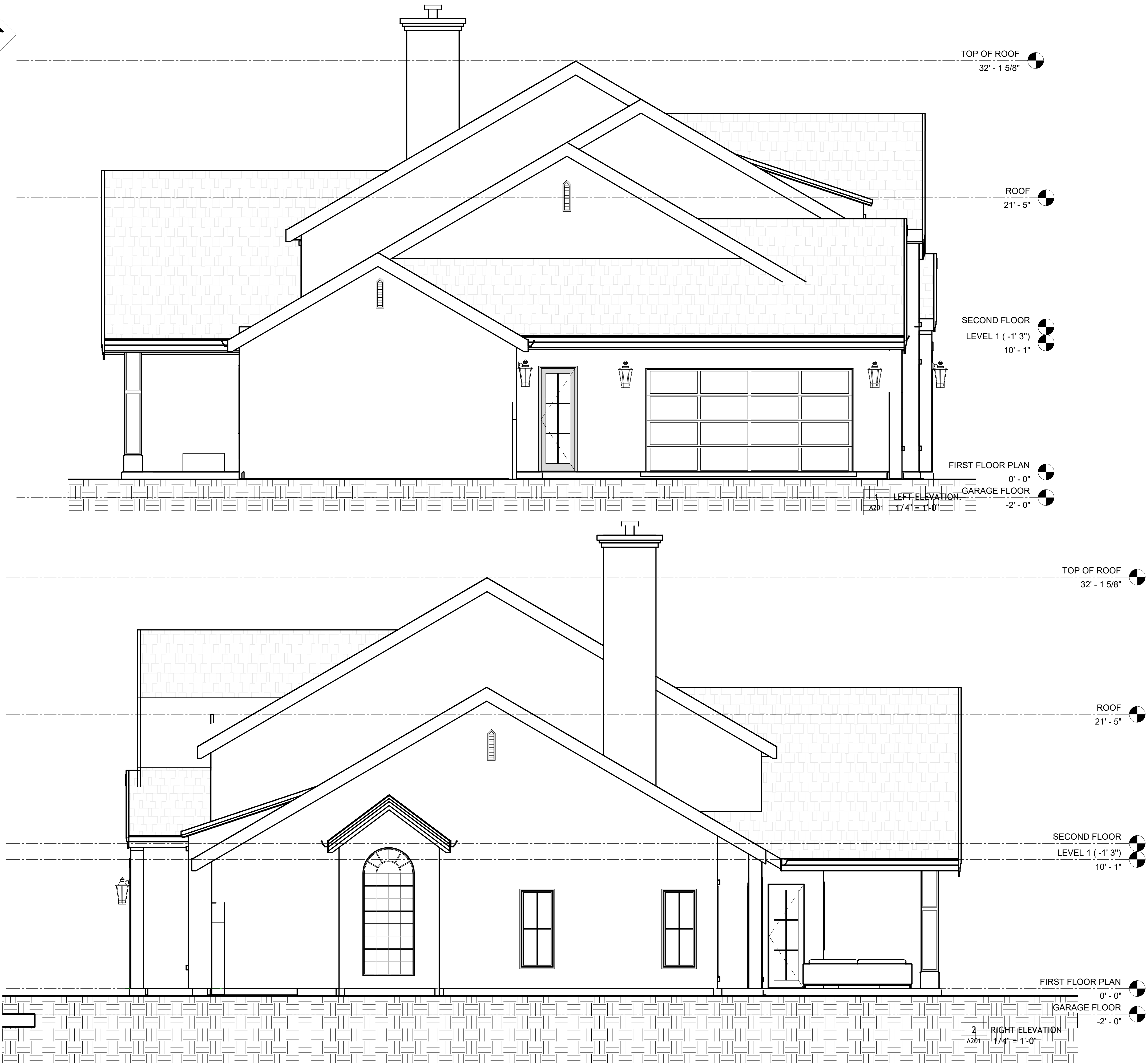
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Scale 1/4" = 1'-0"

ELEVATIONS



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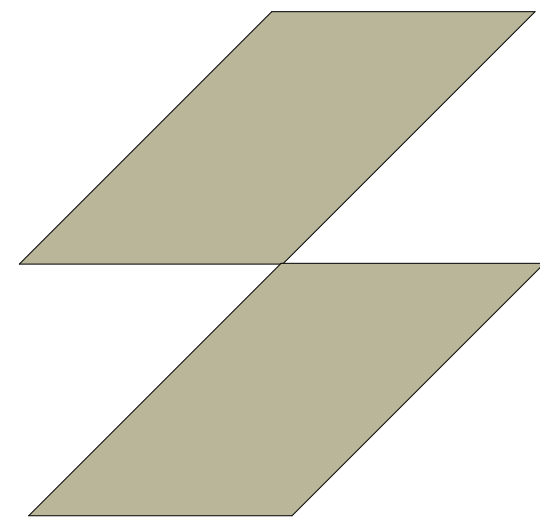
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APPROVED BY

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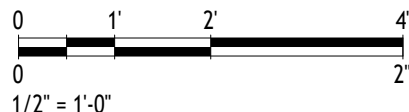
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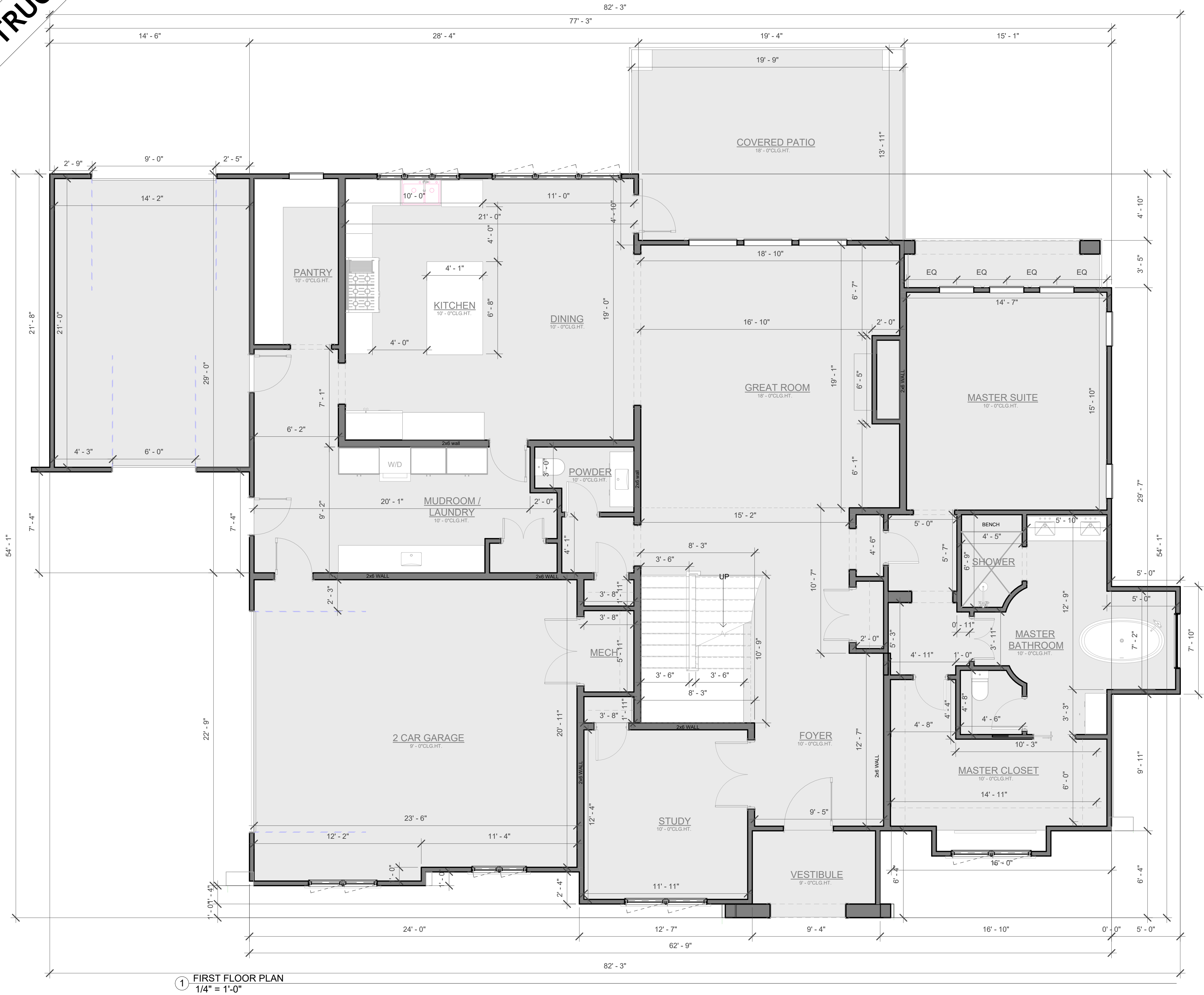
A201

Scale 1/4" = 1'-0"

ELEVATIONS



NOT FOR CONSTRUCTION



① FIRST FLOOR PLAN
1/4" = 1'-0"

Area Schedule (FINISHED)	
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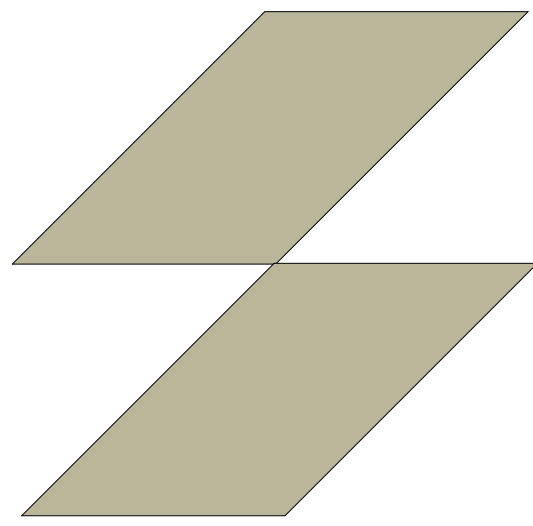
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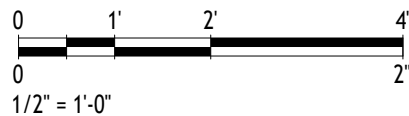
SIGNATURE:

DATE:

A101

Scale 1/4" = 1'-0"

FIRST FLOOR



NOT FOR CONSTRUCTION



1 SECOND FLOOR PLAN
A102 1/4" = 1'-0"

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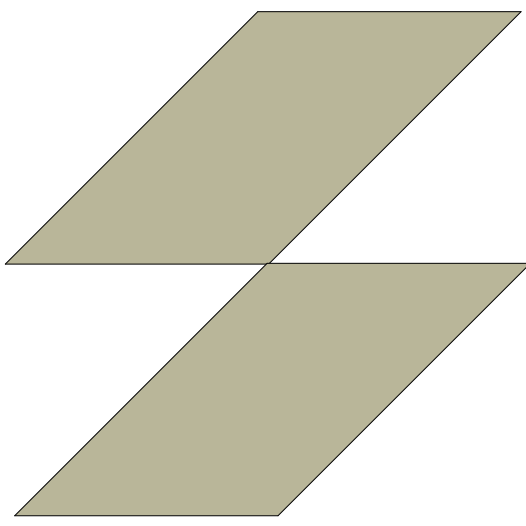
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SPEC 002

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J. GREG ALLEN

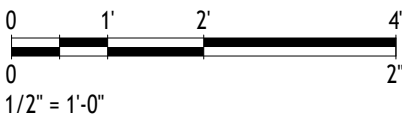
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A102

Scale 1/4" = 1'-0"

SECOND FLOOR



NOT FOR CONSTRUCTION



1 BASEMENT FLOOR PLAN
A100 1/4" = 1'-0"

Area Schedule (FINISHED)	
BASEMENT FINISHED	1754 SF
FIRST FLOOR FINISHED	2263 SF
SECOND FLOOR FINISHED	1053 SF
TOTAL FINISHED AREA	5070 SF
Area Schedule (UNFINISHED)	
BASEMENT STORAGE	362 SF
BASEMENT COVERED PATIO	531 SF
BASEMENT MECH.	300 SF
2 CAR GARAGE	516 SF
COVERED MUDROOM ENTRY	52 SF
COVERED REAR PORCH	282 SF
COVERED FRONT PORCH	57 SF
TOTAL UNFINISHED AREA	2100 SF
TOTAL AREA : 7170	

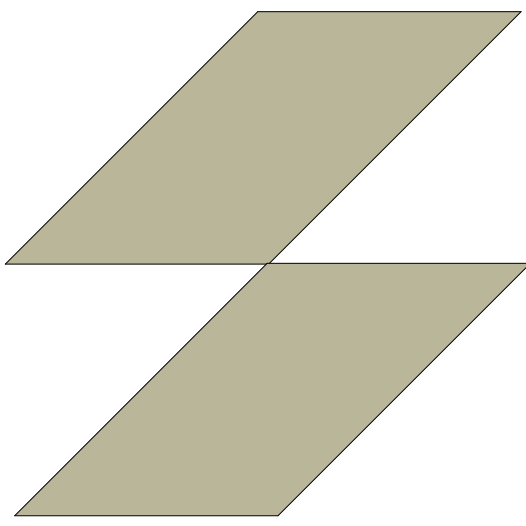
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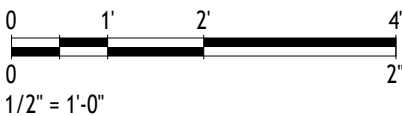
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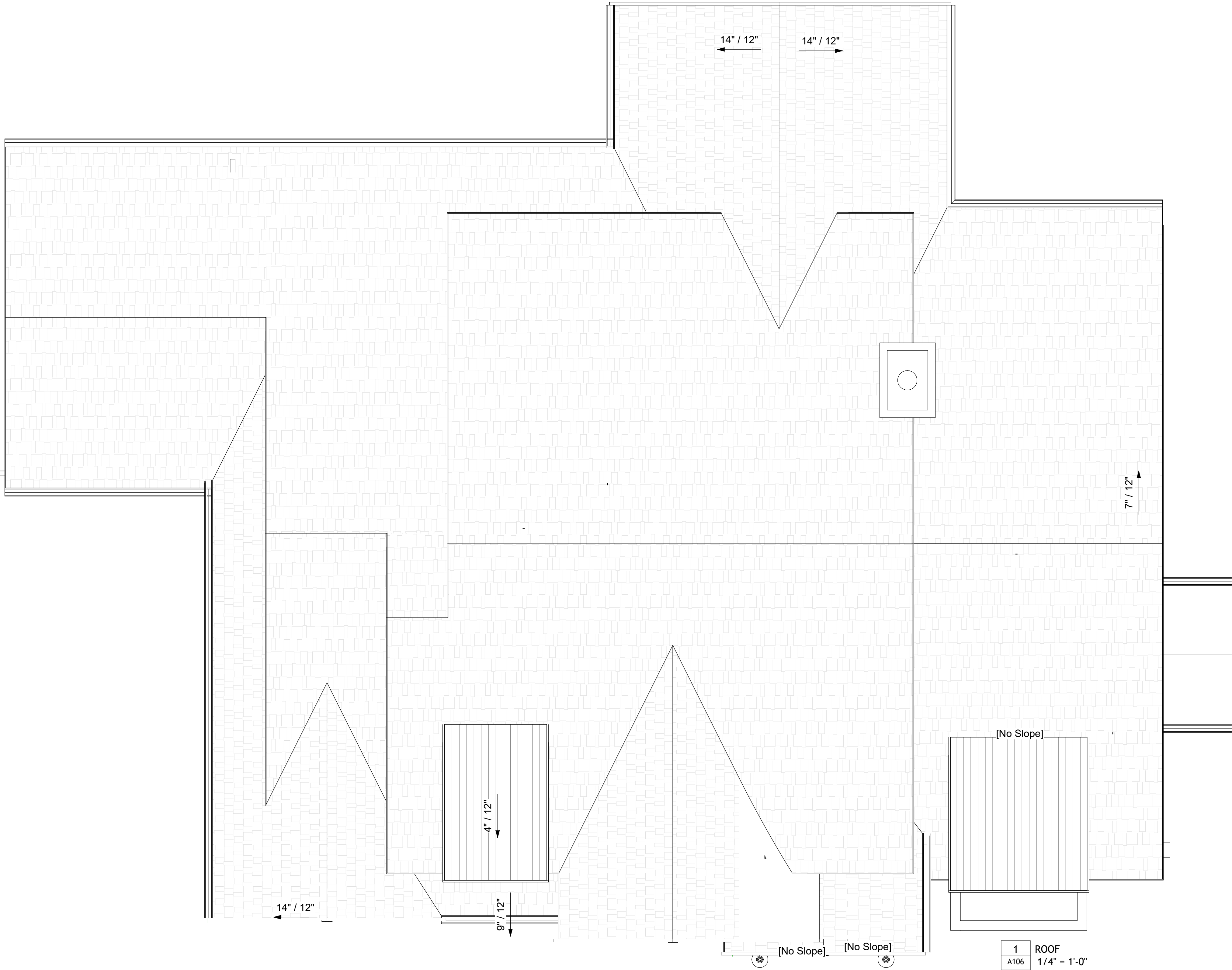
A100

Scale 1/4" = 1'-0"

BASEMENT



NOT FOR CONSTRUCTION



1 ROOF
A106 1/4" = 1'-0"

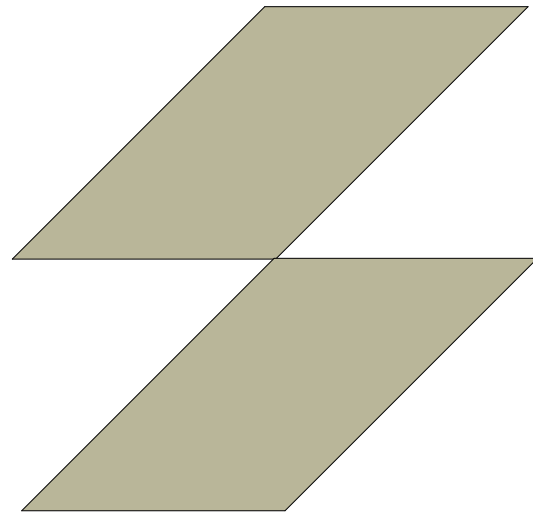
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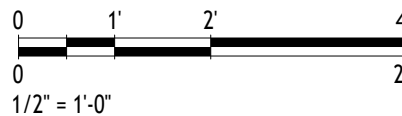
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A106

Scale 1/4" = 1'-0"

ROOF PLAN



NOT FOR CONSTRUCTION



1 FOUNDATION PLAN
S100 1/4" = 1'-0"

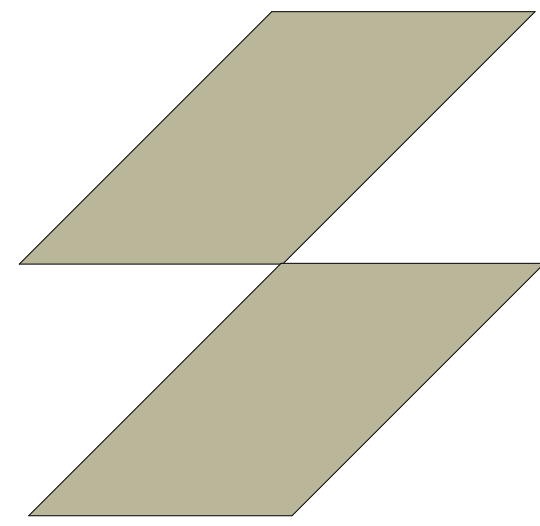
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S100

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FOUNDATION
PLAN

