

CURRY RESIDENCE

PROJECT: RESIDENTIAL NEW BUILD

ADDRESS: 465 N. JACKSON ST.

FRANKLIN, IN 46131

OWNER: J.B. & JENNIFER CURRY

CONTRACTING: J. GREG ALLEN HOMES

ARCHITECTURE: SCHOCK DESIGN

FIRST FLOOR FINISHED	2792 SF
SECOND FLOOR FINISHED	1530 SF
BASEMENT LIVING	748 SF
TOTAL FINISHED AREA	5070 SF
FRONT COVERED PORCH	330 SF
GARAGE	770 SF
REAR ENTRY PORCH	150 SF
REAR COVERED PORCH	235 SF
MECH. / STORAGE	941 SF
UNFINISHED BASEMENT	909 SF
UNFINISHED ATTIC	420 SF
TOTAL UNFINISHED AREA	3755 SF

TOTAL AREA: 8,663 SQFT

ARCHITECTURAL NOTES:

1.VERIFY ALL EXISTING CONDITIONS PRIOR TO THE START OF CONSTRUCTION. NOTIFY THE ARCHITECT IMMEDIATELY OF ANY CONFLICTS PRIOR TO PROCEEDING WITH WORK.

2.THE CONTRACTOR SHALL FILE ALL DRAWINGS FOR PERMIT APPLICATION OR OTHER MATERIALS REQUIRED TO SECURE ANY AND ALL NECESSARY BUILDING PERMITS AS MIGHT BE REQUIRED BY ANY LOCAL ORDINANCES TO PERFORM THIS WORK.

3.THE DRAWINGS ARE NOT TO BE SCALED. FOR INFORMATION CONCERNING EXISTING PARTITIONS, ETC., VERIFICATION MUST BE DONE IN THE FIELD.

4.THE USE OF THE WORDS "PROVIDE" OR "PROVIDED" IN CONNECTION WITH ANY ITEM SPECIFIED, IS INTENDED TO MEAN, UNLESS OTHERWISE NOTED, THAT SUCH SHALL BE FURNISHED AND INSTALLED FOR THE WORDS "PROVIDED" OR "PROVIDED" IN CONNECTION WITH ANY ITEM SPECIFIED, IS INTENDED TO MEAN, UNLESS OTHERWISE NOTED, THAT SUCH SHALL BE FURNISHED AND INSTALLED FOR THE WORDS "PROVIDED" OR "PROVIDED" IN CONNECTION WITH ANY ITEM SPECIFIED, IS INTENDED TO MEAN, UNLESS OTHERWISE NOTED, THAT SUCH SHALL BE FURNISHED AND INSTALLED FOR THE WORDS "PROVIDED" OR "PROVIDED" IN CONNECTION WITH ANY ITEM SPECIFIED, IS INTENDED TO MEAN, UNLESS OTHERWISE NOTED, THAT SUCH SHALL BE FURNISHED AND INSTALLED FOR THE WORDS "PROVIDED" OR "PROVIDED" IN CONNECTION WITH ANY ITEM SPECIFIED, IS INTENDED TO MEAN, UNLESS OTHERWISE NOTED, THAT SUCH SHALL BE FURNISHED AND INSTALLED FOR THE WORDS "PROVIDED" OR "PROVIDED" IN CONNECTION WITH ANY ITEM SPECIFIED, IS INTENDED TO MEAN, UNLESS OTHERWISE NOTED, THAT SUCH SHALL BE FURNISHED AND INSTALLED FOR THE WORDS "PROVIDED" OR "PROVIDED TO MEAN, UNLESS OTHERWISE NOTED." OR "PROVIDED TO MEAN,

UPON COMPLETION OF PROJECT, OBTAIN ALL FINAL INSPECTIONS AS REQUIRED BY LOCAL JURISDICTIONS AND FURNISH OWNER WITH EVIDENCE OF ALL SUCH INSPECTIONS AND CERTIFICATES OF OCCUPANCY.

UPON COMPLETION OF PROJECT, PROVIDE OWNER WITH ALL INSTRUCTION MANUALS, WARRANTIES OR OTHER DOCUMENTS REQUIRED FOR OPERATION OR MAINTENANCE OF ANY ITEM IN THE CONTRACTOR'S WOR

7.THESE CONSTRUCTION NOTES AND/OR DRAWINGS ARE SUPPLIED TO ILLUSTRATE THE DESIGN AND GENERAL TYPE OF CONSTRUCTION DESIRED AND ARE INTENDED TO IMPLY THE FINAL QUALITY OF CONSTRUCTION, MATERIAL AND WORKMANSHIP THROUGHOUT.

8.THE GENERAL CONTRACTOR SHALL MAINTAIN A CURRENT AND COMPLETE SET OF CONSTRUCTION DRAWINGS ON THE SITE DURING ALL PHASES OF CONSTRUCTION FOR LISE OF THE TRADES.

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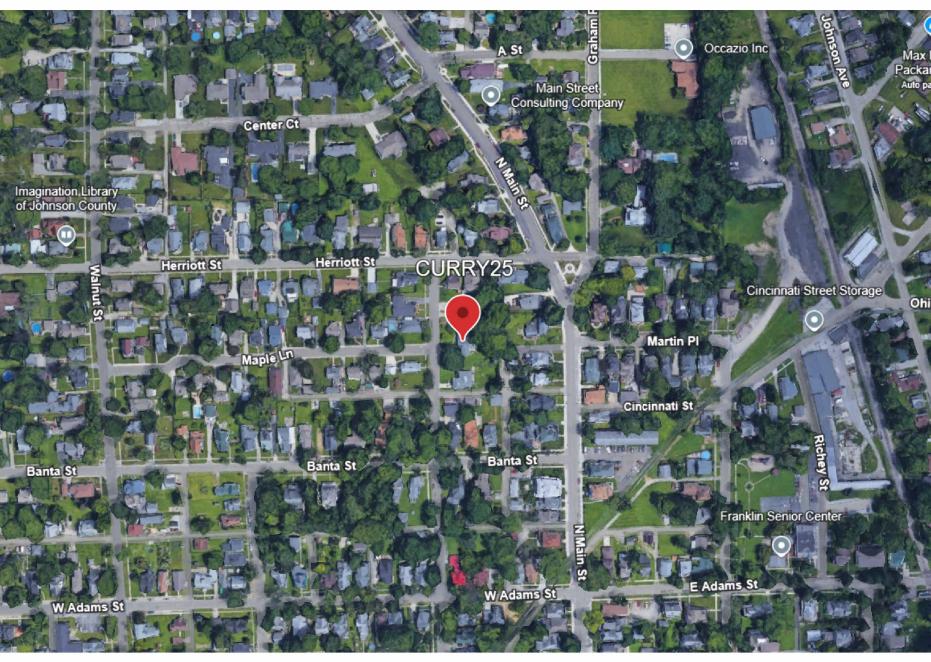
9.ALL DIMENSIONS ARE TO EXISTING FINISHED WALL SURFACE OR NEW FINISHED WALL SURFACE, UNLESS NOTED.

10.THE CONTRACTOR SHALL PROTECT ALL EXISTING AND NEW MATERIALS AND FINISHES FROM DAMAGE WHICH MAY OCCUR FROM CONSTRUCTION, DEMOLITION, PAINT

DUST, WATER, ETC. ALL SUCH DAMAGE SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF THE ARCHITECT AND OWNER AT THE CONTRACTOR'S EXPENSE.

11.THE GENERAL CONTRACTOR SHALL PROVIDE A THOROUGH CLEAN-UP AT CLOSE-OUT, INCLUDING VACUUMING AND CLEANING ALL CARPETING.

12.PROVIDE WOOD BLOCKING IN WALLS AS REQUIRED FOR ALL WALL-SUPPORTED ITEMS. SEE DRAWINGS FOR CASEWORK ITEMS.



465 N. JACKSON ST. FRANKLIN, IN 46131



GENERAL NOTES:

1.DO NOT SCALE THE DRAWINGS.

2.REPORT ALL DIMENSIONAL DISCREPANCIES TO ARCHITECT FOR RESOLUTION.

3.ALL NON-PERPENDICULAR WALLS SHALL BE AT 45 DEGREES UNLESS OTHERWISE NOTED.

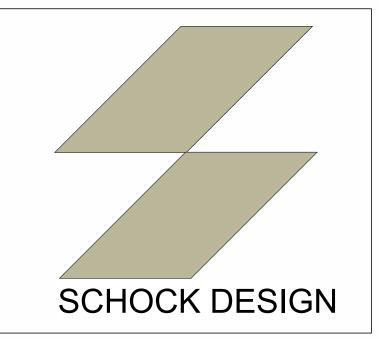
9.INSTALL R-11 SOUND BATT INSULATION IN ALL WALLS, UNLESS NOTED OTHERWISE.

.IGN FINISHED FACE OF NEW CONSTRUCTION WITH FINISHED FACE OF EXISTING WALLS. .L DIMENSIONS ARE TO FACE OF NEW GYPSUM BOARD FINISH OR EXISTING FINISHES UNLESS OTHERWISE NOTED.

6.HINGE SIDE OF ALL DOORS SHALL BE 5" OFF THE FACE OF ADJACENT WALL, UNLESS NOTED OTHERWISE.

7.PATCH FINISHES OF EXISTING WALLS AND CEILING TO REMAIN AS REQUIRED FOR UNIFORM, CLEAN APPEARANCE

8.INSTALL WOOD BLOCKING IN WALLS BEHIND WALL-HUNG ITEMS AND TOILET ACCESSORIES.



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317-696-2502

/ RESIDENCE



Project number CURRY25
Date

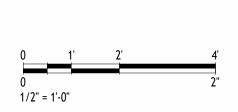
CLIENT APPROVAL

SIGNATURE:

DATE: 5/24/2025 9:35:40 PM

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Details



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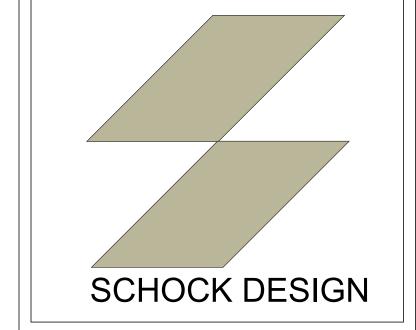
8.INSTALL WOOD BLOCKING IN WALLS BEHIND WALL-HUNG ITEMS AND TOILET ACCESSORIES.

24' - 5" 24' - 11" 12' - 10" 12' - 6" 10' - 5" 4" CONCRETE SLAB ON CRAWLSPACE UNEXCAVATED FILL ON UNEXCAVATED FILL 23' - 7" COVERED PORCH 4" CONCRETE SLAB ON UNEXCAVATED FILL FLOOR DROPPED 1' 10' - 0" 15' - 5" 23' - 0" 23' - 5" ENTERTAINMENT 9' - 0"CLG.HT. UNFINISHED
9' - 0"CLG.HT. 8' - 4" 14' - 8" 14' - 4" BATHROOM 9' - 0"CLG.HT. 23' - 3" COVERED PORCH 4" CONCRETE SLAB ON UNEXCAVATED FILL 1 Basement 1/4" = 1'-0" 8' - 4" 38' - 7" 8' - 10"

FIRST FLOOR FINISHED	2792 SF
SECOND FLOOR FINISHED	1530 SF
BASEMENT LIVING	748 SF
TOTAL FINISHED AREA	5070 SF

0070 01
330 SF
770 SF
150 SF
235 SF
941 SF
909 SF
420 SF
3755 SF

TOTAL AREA: 8,822 SQFT



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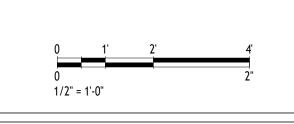


CURRY25 REVISION NUMBER: 5/24/2025 9:35:40 PM DATE PUBLISHED: APPROVED BY J. GREG ALLEN

SIGNATURE:

A100 Scale 1/4" = 1'-0"

Basement Plan



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GENERAL NOTES:

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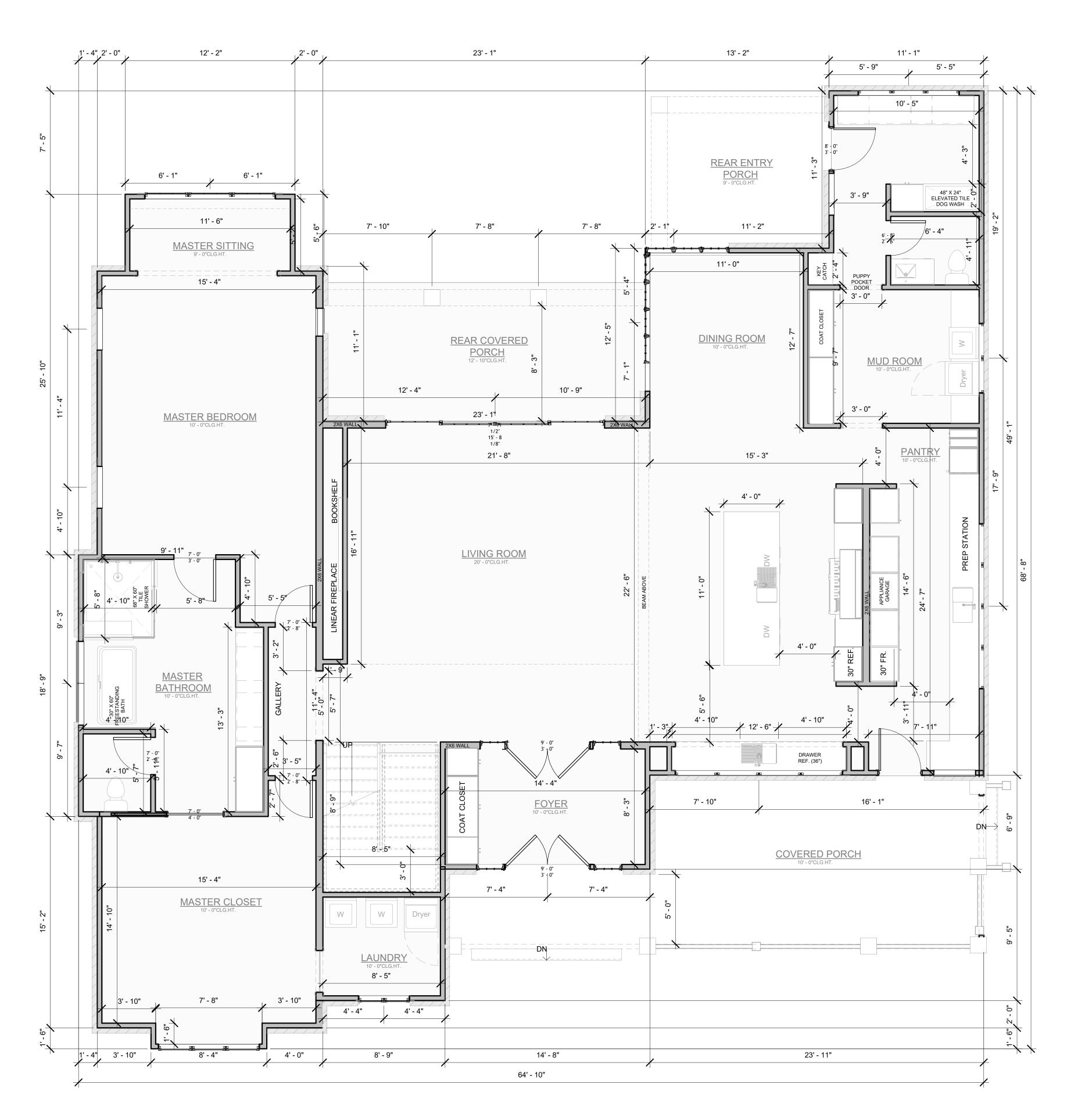
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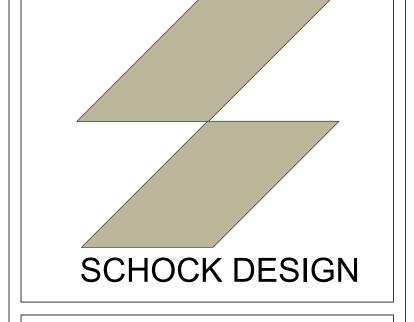
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9.INSTALL R-11 SOUND BATT INSULATION IN ALL WALLS, UNLESS NOTED OTHERWISE.





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ST.

465 N. JACKSON ST.



J. GREG ALLEN

SIGNATURE:

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A101
Scale 1/4" = 1'-0"

First Floor Plan

0 1' 2' 4' 0 2" 1/2" = 1'-0"

FIRST FLOOR FINISHED 2792 SF
SECOND FLOOR FINISHED 1530 SF
BASEMENT LIVING 748 SF
TOTAL FINISHED AREA 5070 SF

FRONT COVERED PORCH 330 SF
GARAGE 770 SF
REAR ENTRY PORCH 150 SF
REAR COVERED PORCH 235 SF
MECH. / STORAGE 941 SF
UNFINISHED BASEMENT 909 SF
UNFINISHED ATTIC 420 SF
TOTAL UNFINISHED AREA 3755 SF

TOTAL AREA: 8,822 SQFT

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GENERAL NOTES:

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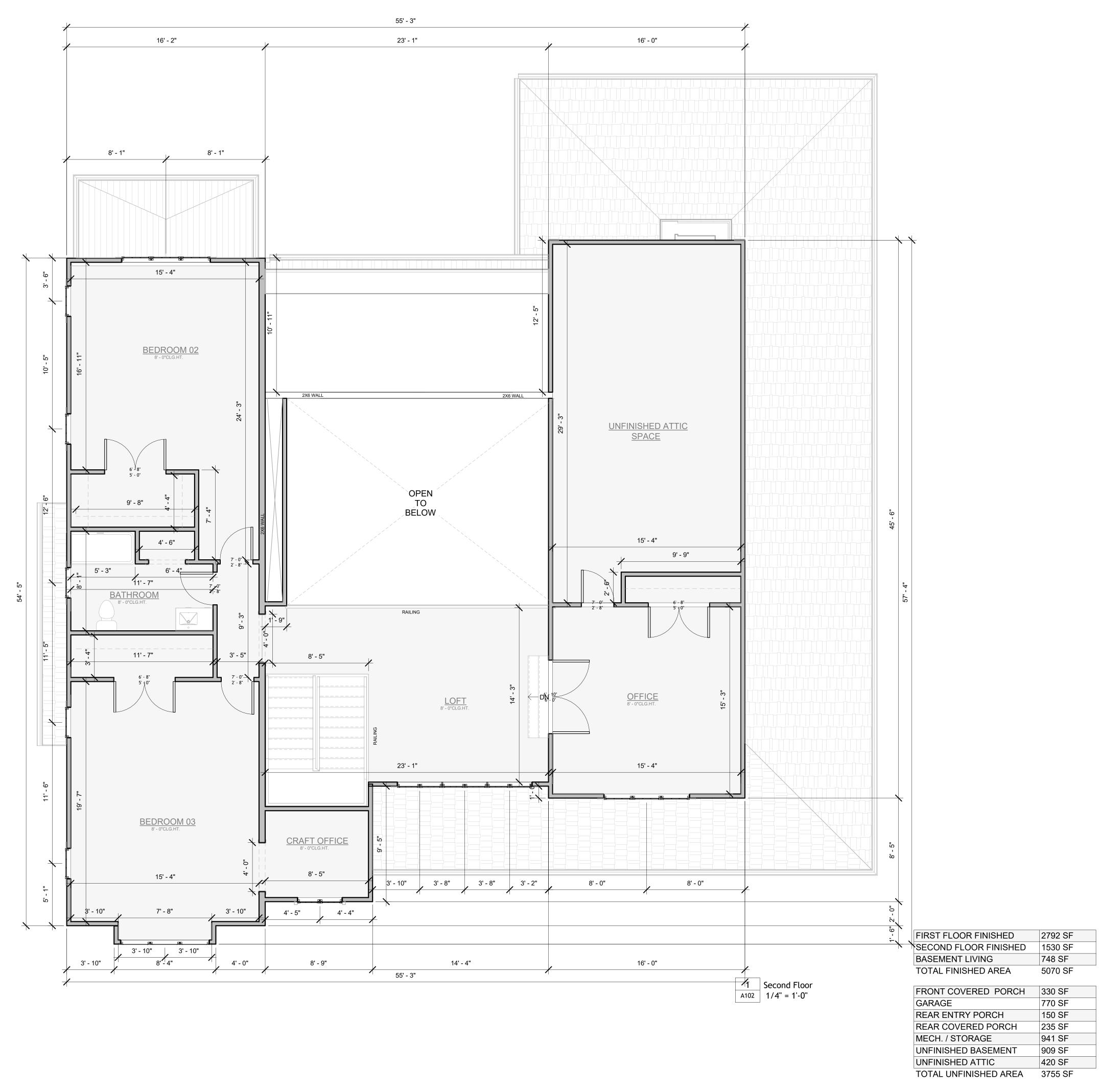
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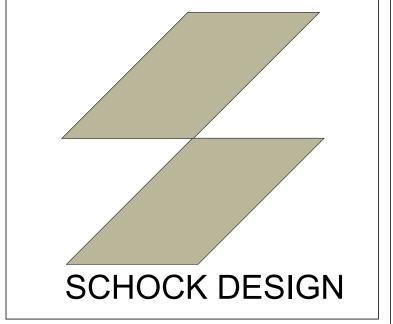
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APPROVED BY

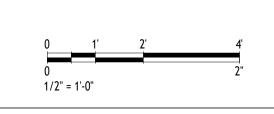
J. GREG ALLEN

SIGNATURE:

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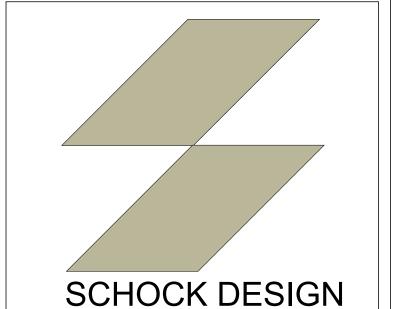
A102

Second Floor Plan



TOTAL AREA: 8,822 SQFT





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465 N. JACKSON FRANKLIN, IN 46



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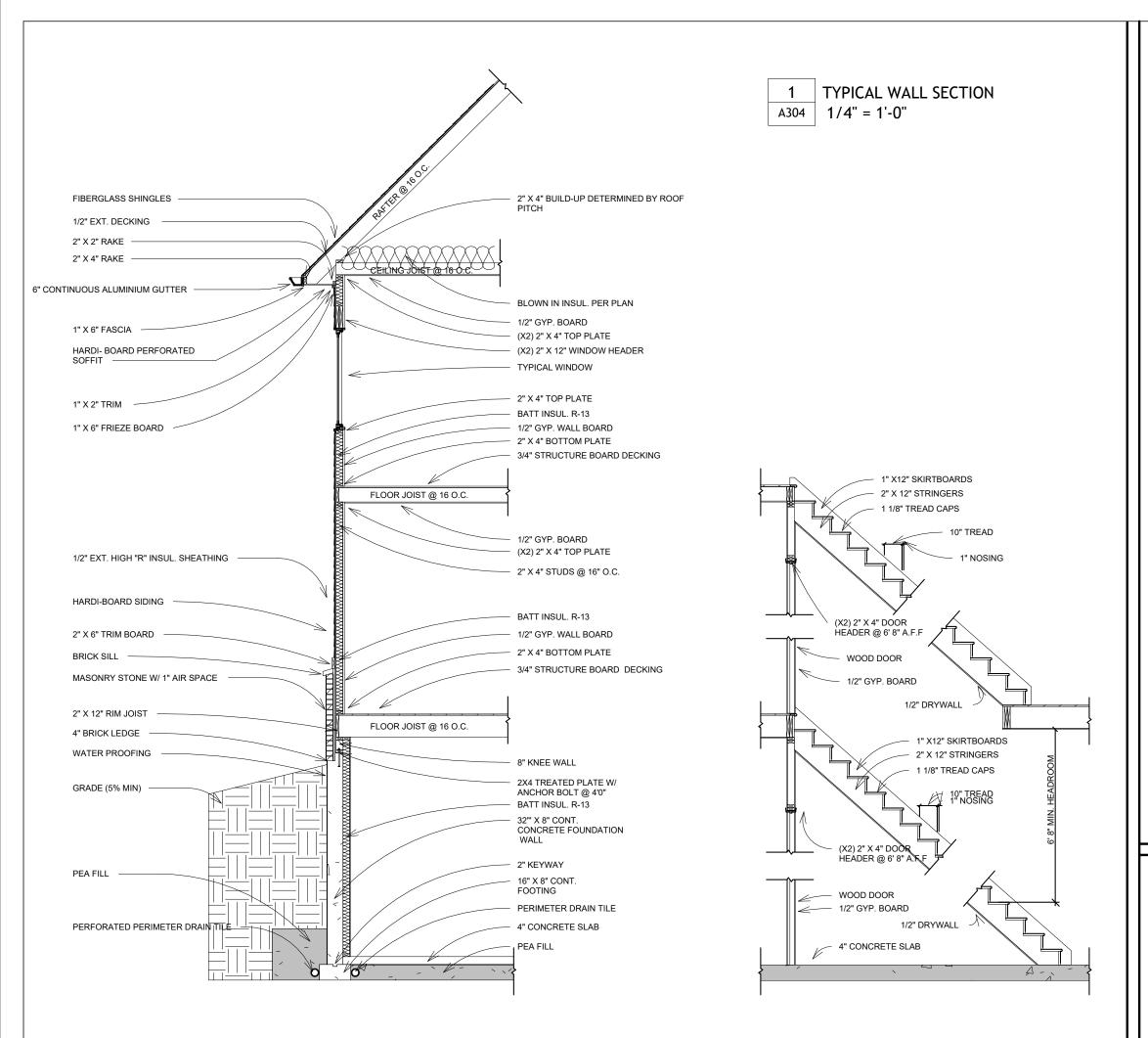
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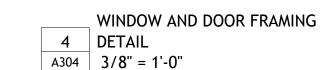
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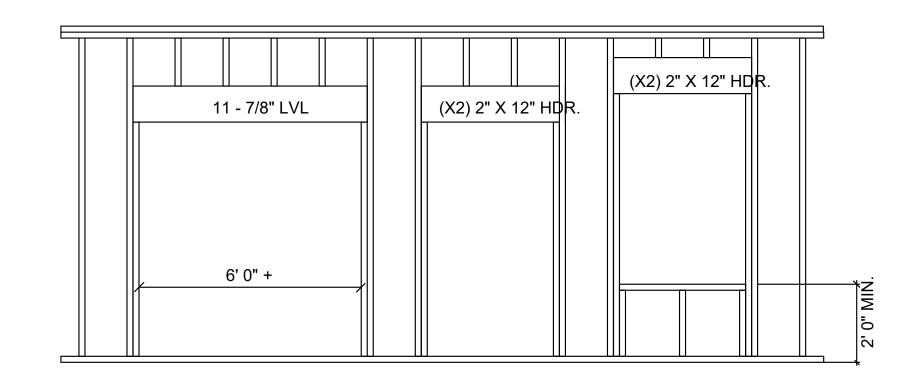
Scale As indicated

Elevations

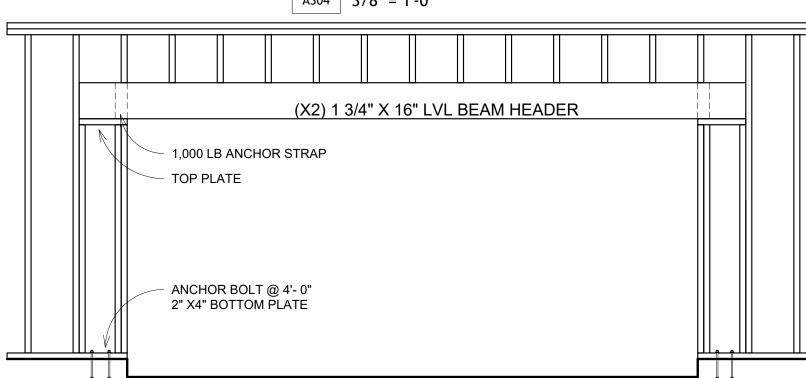
1/2" = 1'-0"

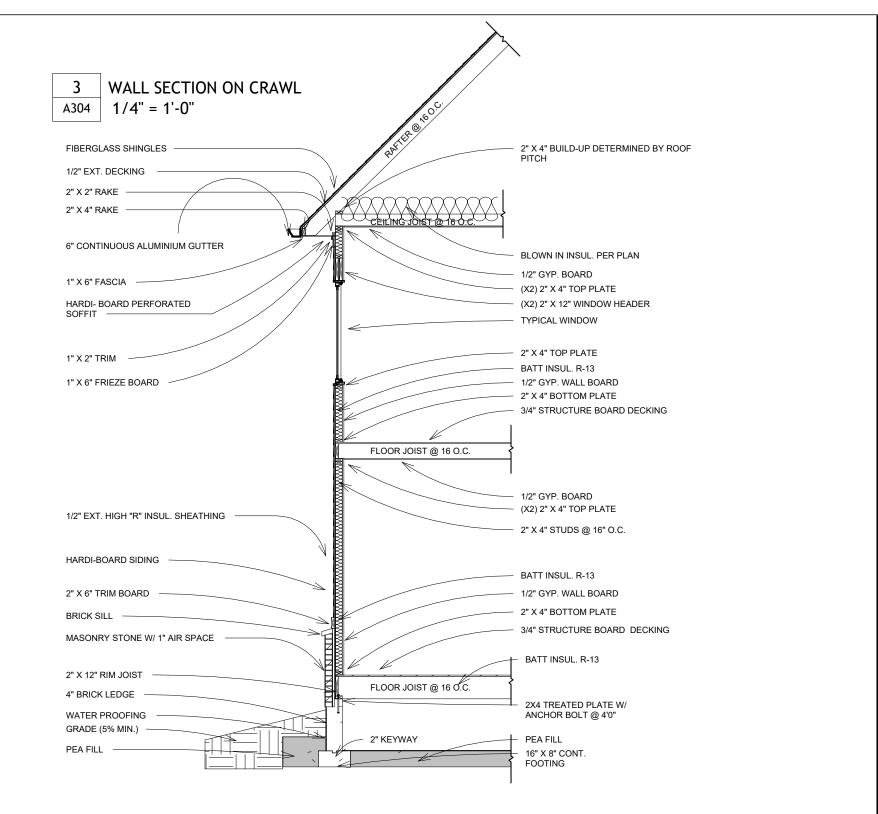




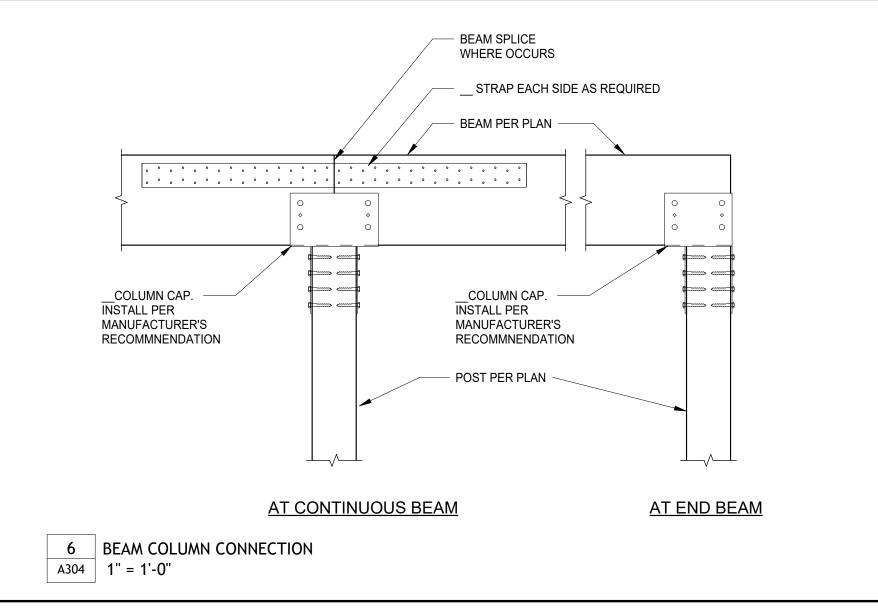


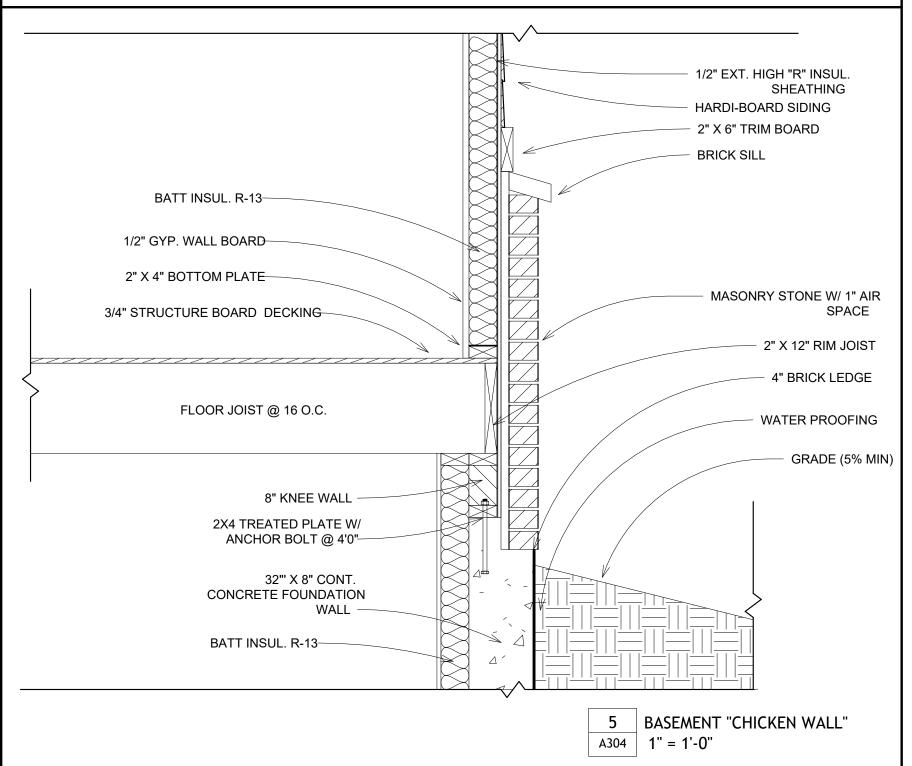
GARAGE DOOR FRAMING DETAIL A304 3/8" = 1'-0"



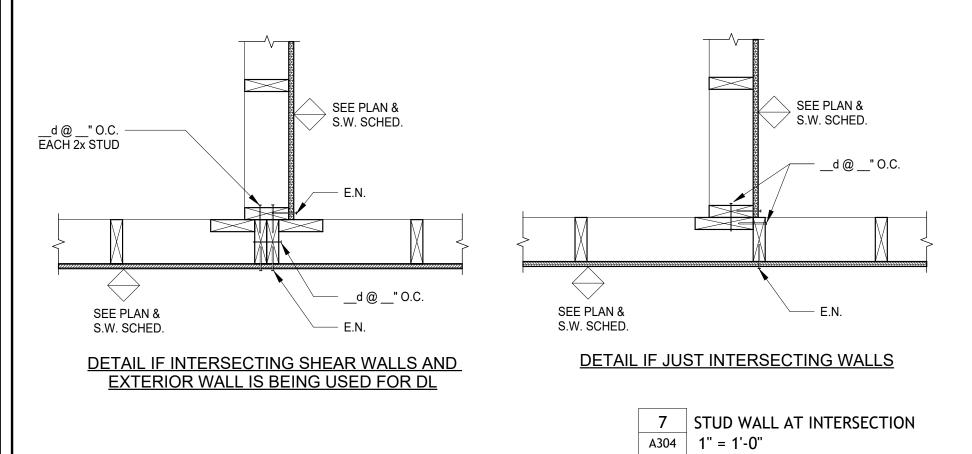


BEAM COLLUMN CONNECTION



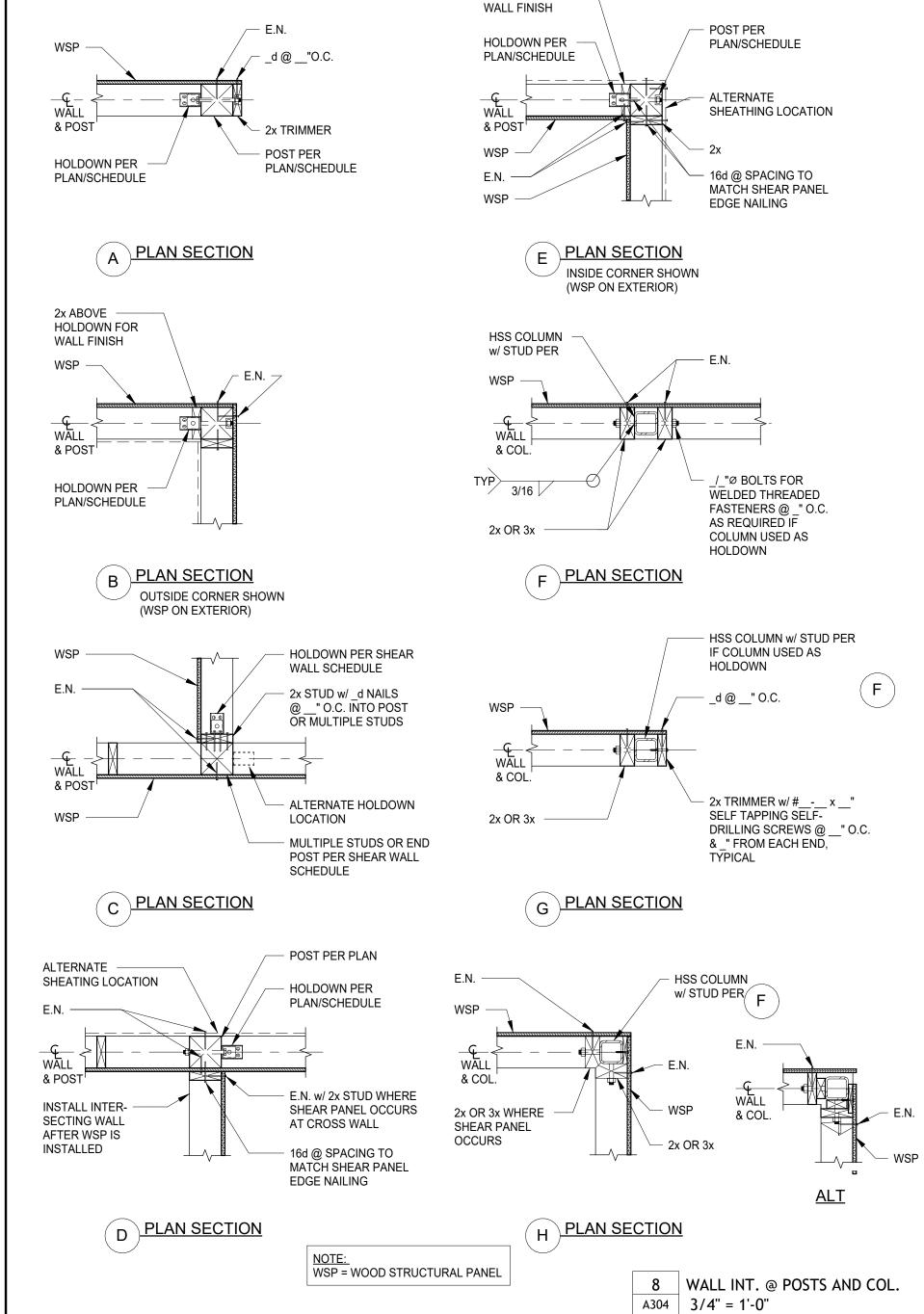


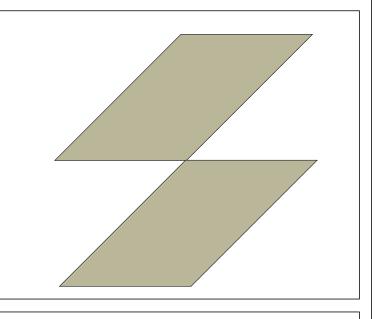
STUD WALL AT INTERSECTION



WALL INTERSECTIONS AT POSTS AND COLUMNS

HOLDOWN FOR





SCHOCK DESIGN SCHOCKINTERIORS.COM

INFO@SCHOCKINTERIOS.COM 317-696-2502

J GREG ALLEN **HOMES**

CURRY25

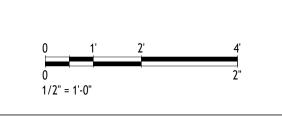
CLIENT APPROVAL

SIGNATURE:

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Wall Sections



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SURFACE OR NEW FINISHED WALL SURFACE, UNLESS

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FOR ALL WALL-SUPPORTED ITEMS. SEE DRAWINGS FOR CASEWORK ITEMS.

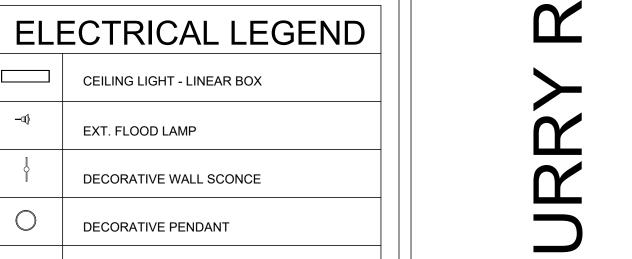
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WITH FINISHED FACE OF EXISTING WALLS. 5.ALL DIMENSIONS ARE TO FACE OF NEW GYPSUM BOARD FINISH OR EXISTING FINISHES UNLESS OTHERWISE NOTED. 6.HINGE SIDE OF ALL DOORS SHALL BE 5" OFF THE FACE OF ADJACENT WALL, UNLESS NOTED

7.PATCH FINISHES OF EXISTING WALLS AND CEILING TO REMAIN AS REQUIRED FOR UNIFORM,

8.INSTALL WOOD BLOCKING IN WALLS BEHIND WALL-HUNG ITEMS AND TOILET ACCESSORIES.



SCHOCK DESIGN

SCHOCKINTERIORS.COM INFO@SCHOCKINTERIORS.COM

ALL ELECTRICAL DEVICES AND FIXTURES AND IN ALL LIVING

I. PREWIRE FOR SECURITY AND LOW VOLTAGE SYSTEMS

QUARTERS TO BE PROTECTED WITH A.F.I. BREAKER

3.ALL ELECTRICAL SHALL BE IN ACCORDANCE WITH

SMOKE DETECTORS POWERED BY HOUSE ELECTRIC W/

BATTERY BACKUP AND INTERCONNECTED. INSTALLED IN

CARBON MONOXIDE PROTECTION SHALL BE PROVIDED WITHIN TEN FEET OF EACH ROOM USED FOR SLEEPING

CEILING LIGHT - LINEAR BOX

DECORATIVE WALL SCONCE

DOWNLIGHT - RECESSED CAN (TYPE 2)

DOWNLIGHT - RECESSED CAN (STANDARD)

DECORATIVE PENDANT

SWITCH-SINGLE (SINGLE)

SWITCH- DOUBLE (DOUBLE)

SWITCH- DIMMER (DIMMER)

OUTLET - TRIPLEX (SINGLE)

OUTLET - RANGE (SINGLE)

OUTLET - DUPLEX (SINGLE)

CEILING FAN (DECORATIVE)

TRANSFORMER SWITCHBOARD

THIS PLAN IS FOR CONCEPTUAL PURPOSES

ONLY. TO BE APPROVED BY LICENSED **ELECTRICIAN BEFORE CONSTRUCTION**

OUTLET FLOOR - SINGLE (SINGLE)

OUTLET - GFI (SINGLE)

JUNCTION BOX

FAN (STANDARD)

POWER PANEL

LIGHTING PANEL

SWITCH- THREE WAY (THREE WAY)

RECEPTACLE - 220V (STANDARD)

3

\$0

R

GFI

EXT. FLOOD LAMP

EACH SLEEPING ROOM AND IN HALL OR AREA IMMEDIATELY OUTSIDE EACH ROOM AND AT HIGHEST POINT OF EACH

2. INSTALL RG-6 COAXIAL CABLE AND

CAT-6 TWISTED PAIR WIRE (SEE BUILDER FOR DETAILS)

LOCAL CODES

STORY OF RESIDENCE

317-696-2502

EST 1976 J. GREG ALLEN HOMES

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J. GREG ALLEN

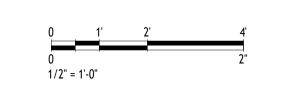
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Scale As indicated

Basement Electrical Plan



Basement Electrical 1/4" = 1'-0"

1.VERIFY ALL EXISTING CONDITIONS PRIOR TO THE START OF CONSTRUCTION. NOTIFY THE ARCHITECT IMMEDIATELY OF ANY CONFLICTS PRIOR TO PROCEEDING WITH WORK.

2.THE CONTRACTOR SHALL FILE ALL DRAWINGS FOR PERMIT APPLICATION OR OTHER MATERIALS REQUIRED TO SECURE ANY AND ALL NECESSARY BUILDING PERMITS AS MIGHT BE REQUIRED BY ANY LOCAL ORDINANCES TO PERFORM THIS WORK.

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5.UPON COMPLETION OF PROJECT, OBTAIN ALL FINAL INSPECTIONS AS REQUIRED BY LOCAL JURISPECTIONS AND FURNISH OWNER WITH EVIDENCE OF ALL SUCH INSPECTIONS AND CERTIFICATES OF OCCUPATORY.

6.UPON COMPLETION OF PROJECT, P. OVIDE WITH ALL INSTRUCTION MANUALS, WAR ANT OTHER DOCUMENTS REQUIRED SOPE AT MAINTENANCE OF ANY ITEM IN THE O INTRAC WORK...

7.THESE CONSTRUCTION NOTES AND/OR DRAWINGS ARE SUPPLIED TO ILLUSTRATE THE DESIGN AND GENERAL TYPE OF CONSTRUCTION DESIRED AND ARE INTENDED TO IMPLY THE FINAL QUALITY OF CONSTRUCTION, MATERIAL AND WORKMANSHIP THROUGHOUT.

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9.ALL DIMENSIONS ARE TO EXISTING FINISHED WALL SURFACE OR NEW FINISHED WALL SURFACE, UNLESS NOTED.

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11.THE GENERAL CONTRACTOR SHALL PROVIDE A THOROUGH CLEAN-UP AT CLOSE-OUT, INCLUDING VACUUMING AND CLEANING ALL CARPETING.

12.PROVIDE WOOD BLOCKING IN WALLS AS REQUIRED FOR ALL WALL-SUPPORTED ITEMS. SEE DRAWINGS FOR CASEWORK ITEMS.

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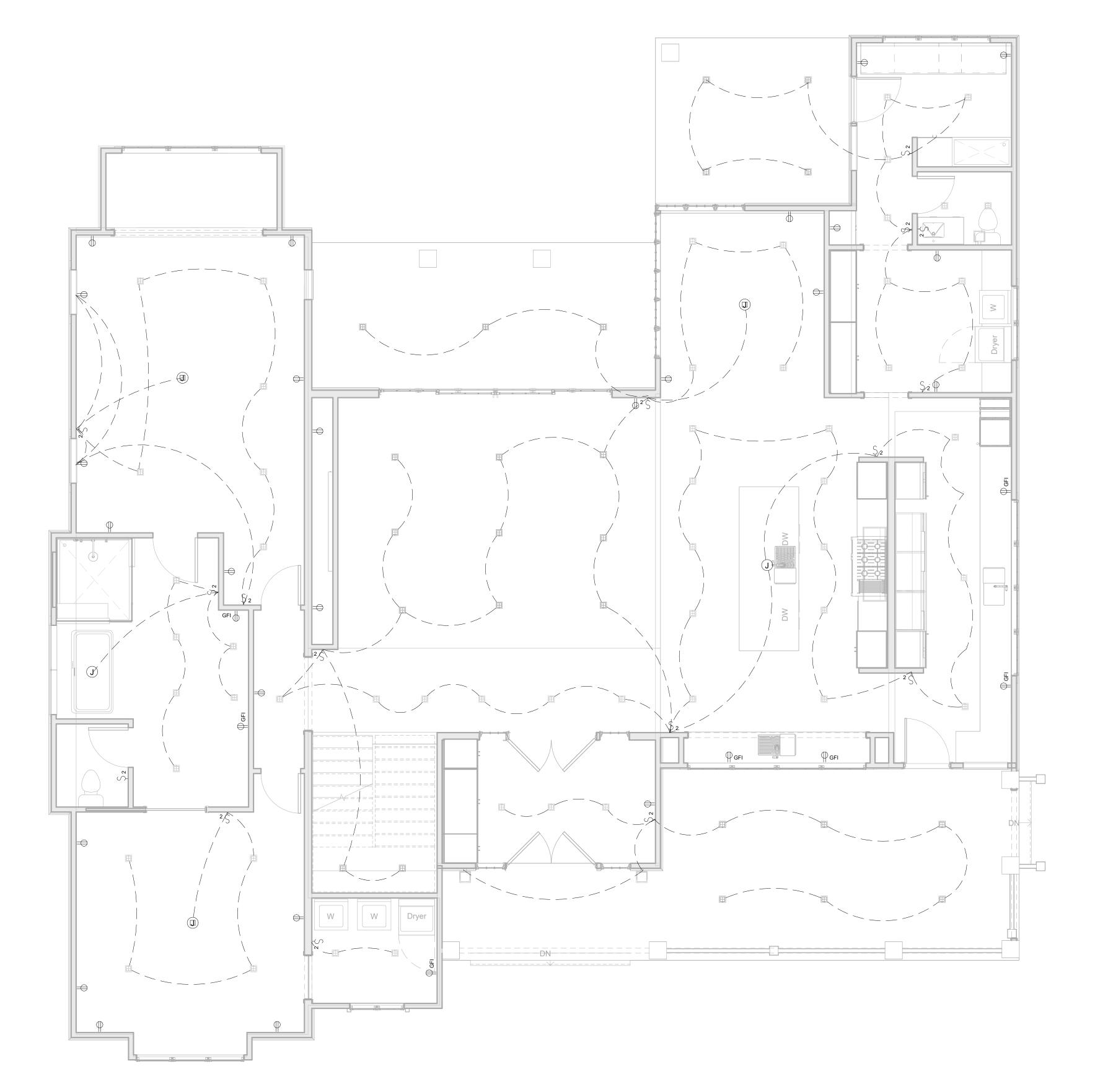
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9.INSTALL R-11 SOUND BATT INSULATION IN ALL WALLS, UNLESS NOTED OTHERWISE.

1 First Floor Electrical 1/4" = 1'-0"





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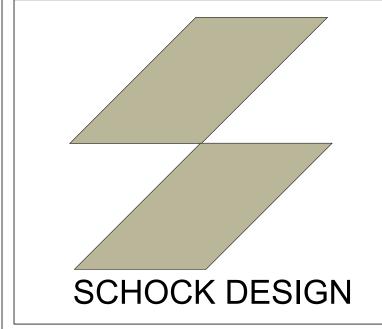
NOTE: CARBON MO

CARBON MONOXIDE PROTECTION SHALL BE PROVIDED WITHIN TEN FEET OF EACH ROOM USED FOR SLEEPING

ELECTRICAL LEGEND

	ELECTRICAL LEGENL	
	CEILING LIGHT - LINEAR BOX	
-Ф	EXT. FLOOD LAMP	
}	DECORATIVE WALL SCONCE	
0	DECORATIVE PENDANT	
⊠	DOWNLIGHT - RECESSED CAN (TYPE 2)	
Ø	DOWNLIGHT - RECESSED CAN (STANDARD)	
\$	SWITCH-SINGLE (SINGLE)	
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\$3	SWITCH- THREE WAY (THREE WAY)	
ŞD	SWITCH- DIMMER (DIMMER)	
	RECEPTACLE - 220V (STANDARD)	
	OUTLET - TRIPLEX (SINGLE)	
₽ _R	OUTLET - RANGE (SINGLE)	
⊕ GFI	OUTLET - GFI (SINGLE)	
	OUTLET - DUPLEX (SINGLE)	
	OUTLET FLOOR - SINGLE (SINGLE)	
J	JUNCTION BOX	
	CEILING FAN (DECORATIVE)	
X -	FAN (STANDARD)	
SB	TRANSFORMER SWITCHBOARD	
	POWER PANEL	
	LIGHTING PANEL	

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RY RESIDENCE



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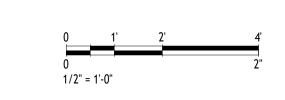
J. GREG ALLEN

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Scale As indicated

First Floor Electrical



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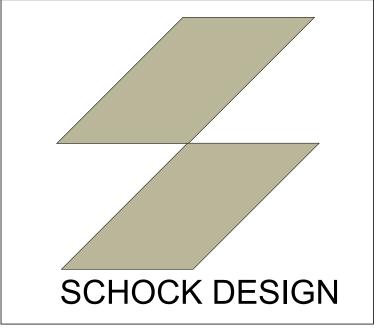
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J. GREG ALLEN

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Second Floor Electrical

