



SPEC 04

PROJECT: RESIDENTIAL NEW BUILD

ADDRESS: PRATI, LOT 24

OWNER: J. GREG ALLEN HOMES

CONTRACTING: J. GREG ALLEN HOMES

ARCHITECTURE: SCHOCK DESIGN

FIRST FLOOR FINISHED	3422 SF
BASEMENT FINISHED	651 SF
TOTAL FINISHED AREA	4073 SF

REAR COVERED PORCH	432 SF
3 CAR GARAGE	1021 SF
UNFINISHED MECH.	1658 SF
UNFINISHED BASEMENT	1021 SF
TOTAL UNFINISHED AREA	4133 SF

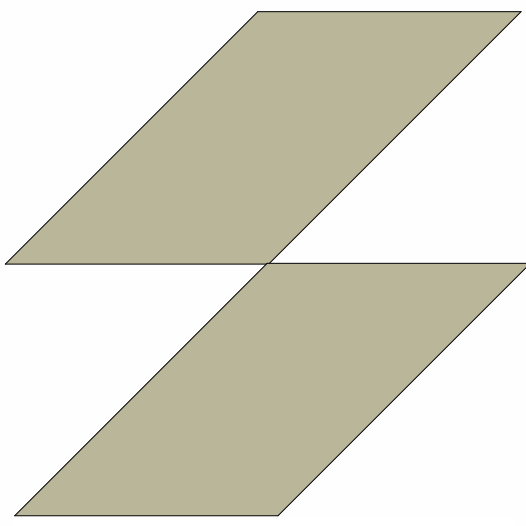
TOTAL AREA : 8,175 SQFT



PRATI , LOT 24 , BARGERSVILLE , IN



SCHOCK DESIGN



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317-696-2502

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PRATI , LOT 24 , BARGERSVILLE , IN



Project number Project Number

Date

CLIENT APPROVAL

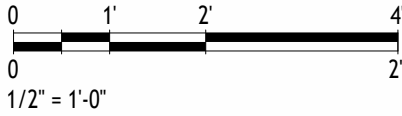
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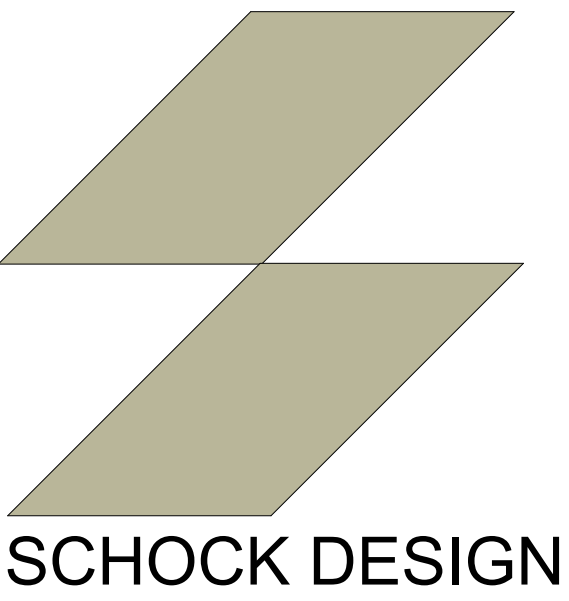
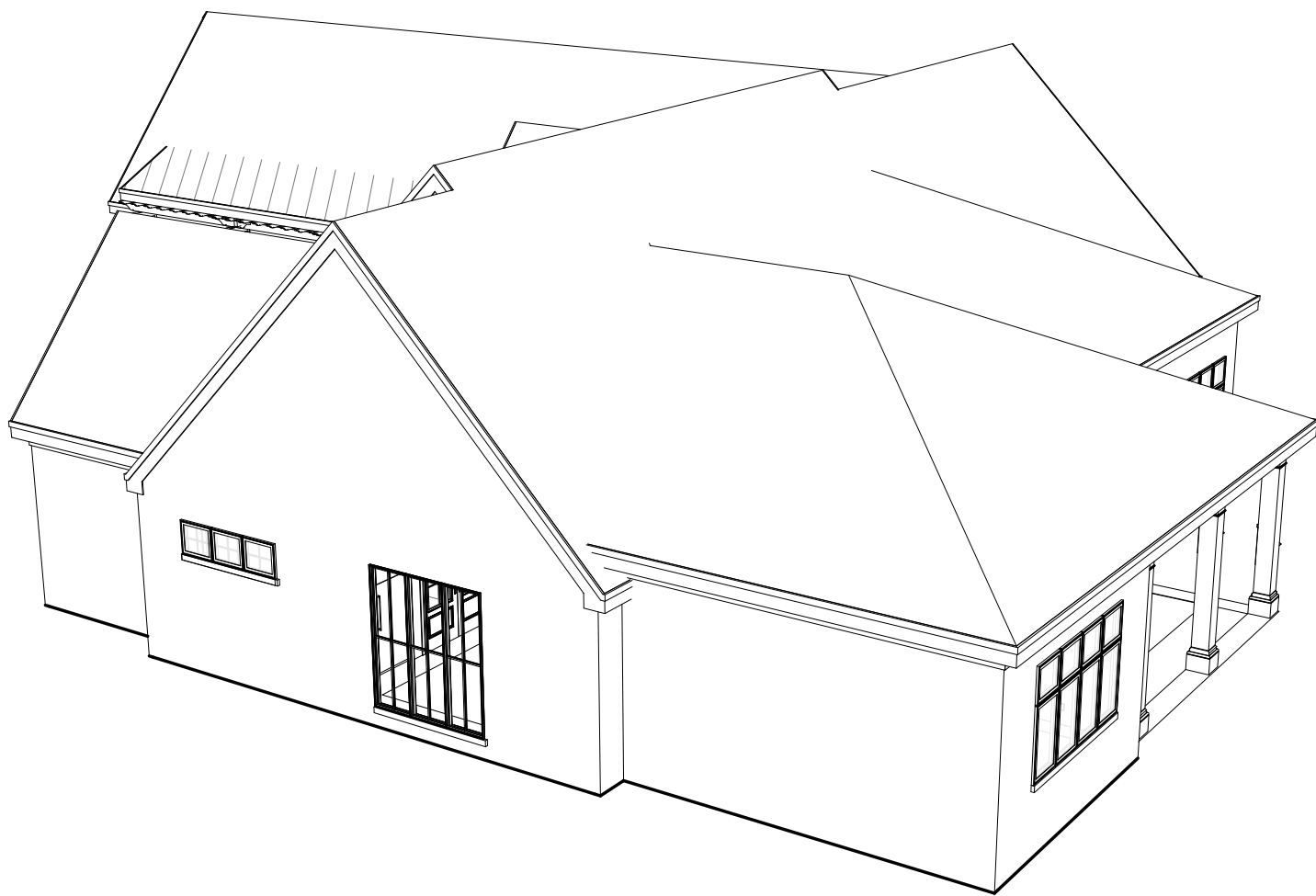
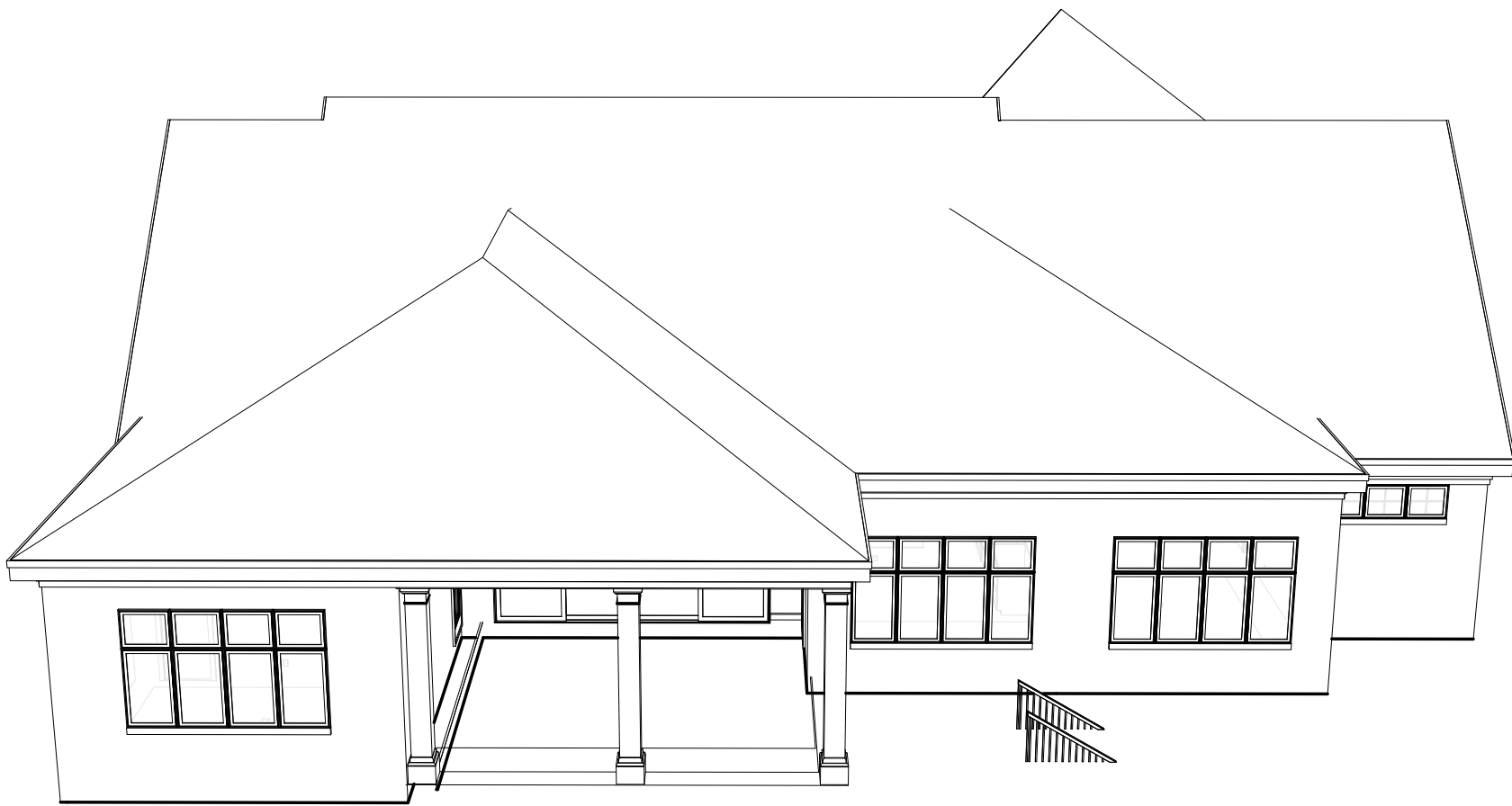
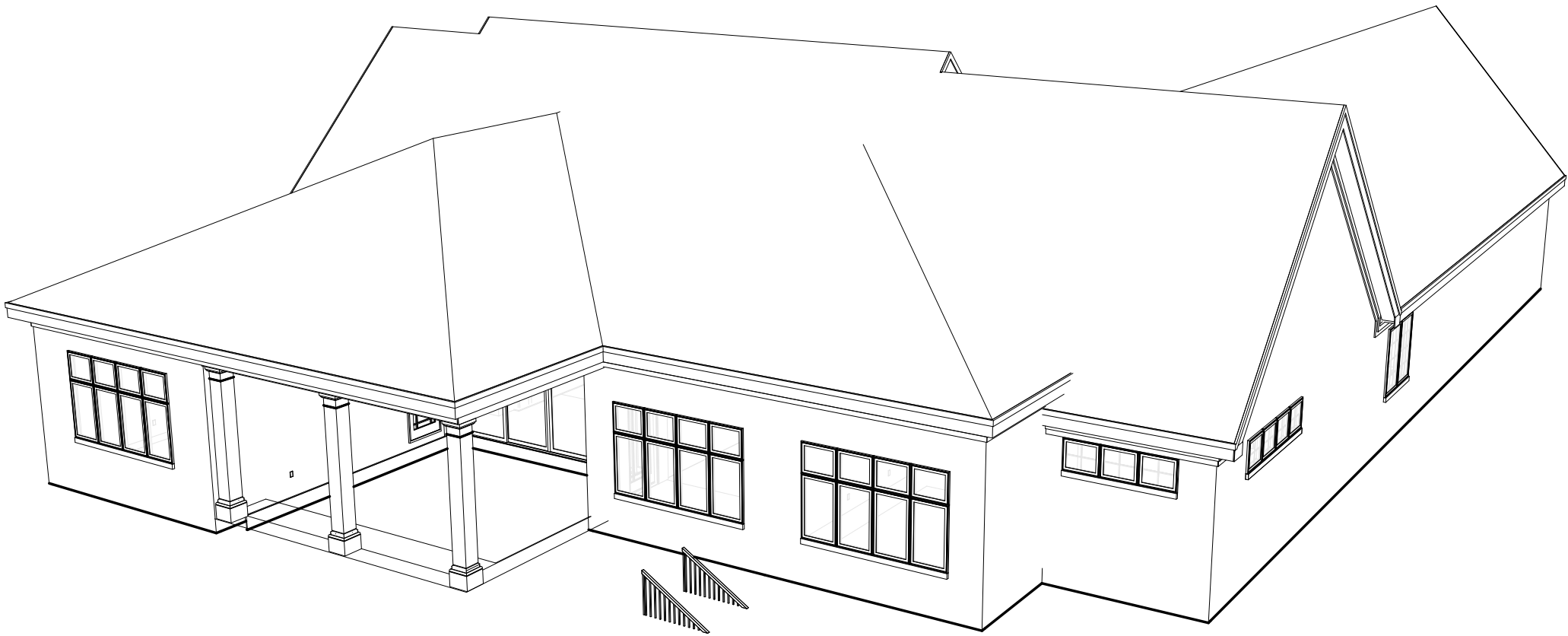
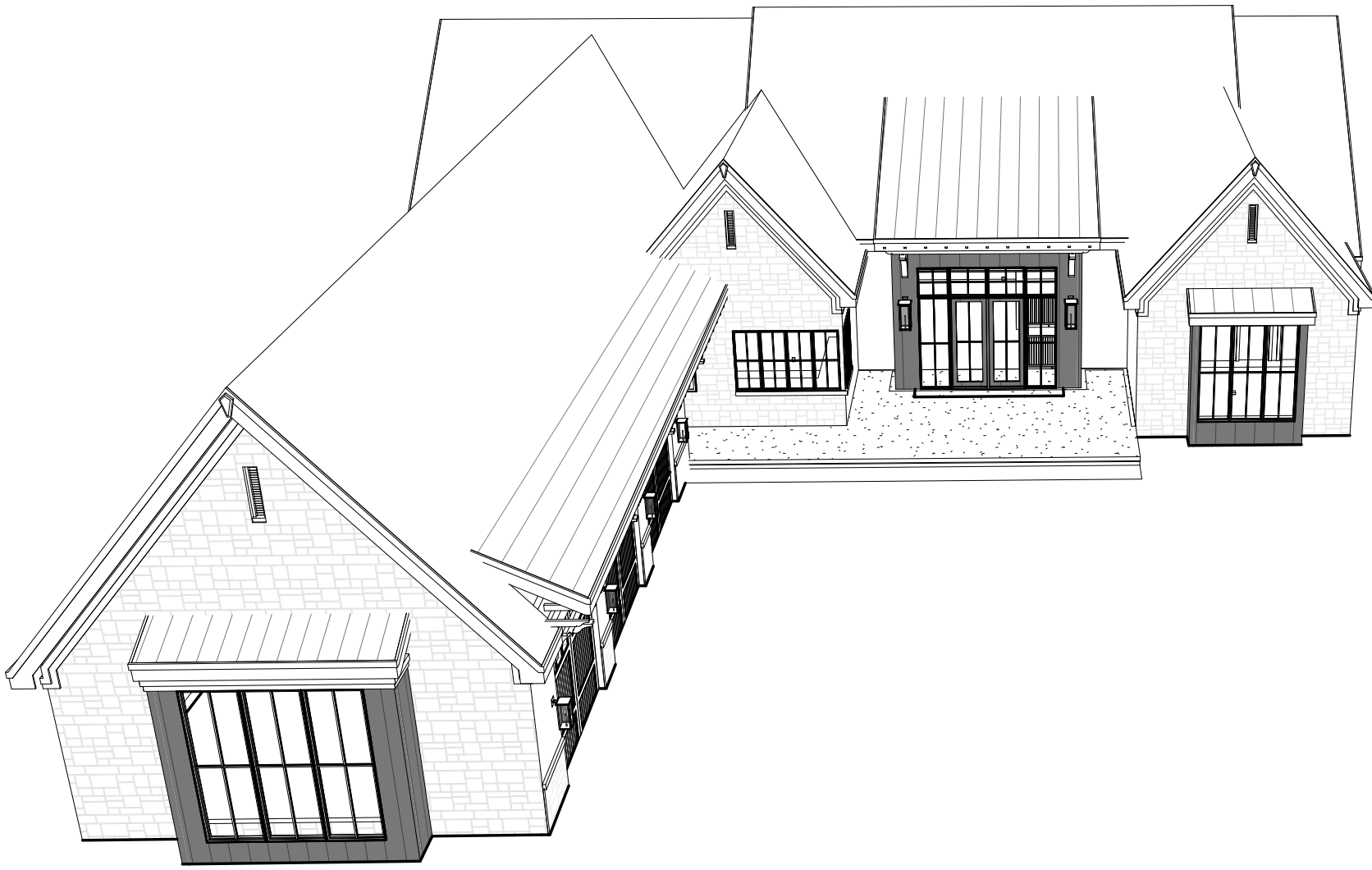
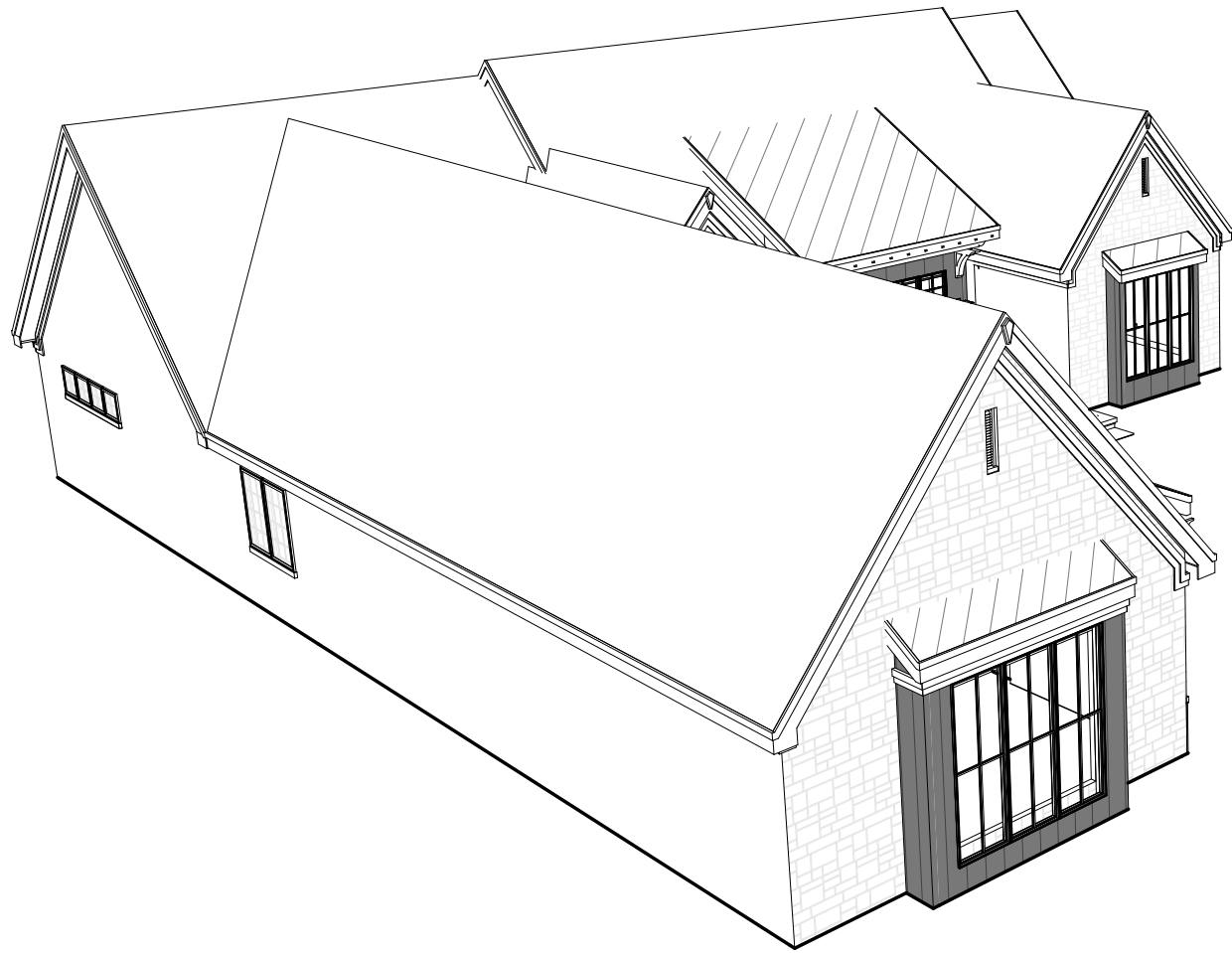


ARCHITECTURAL NOTES:

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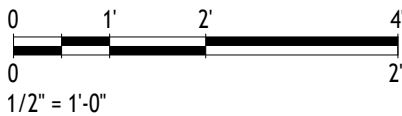
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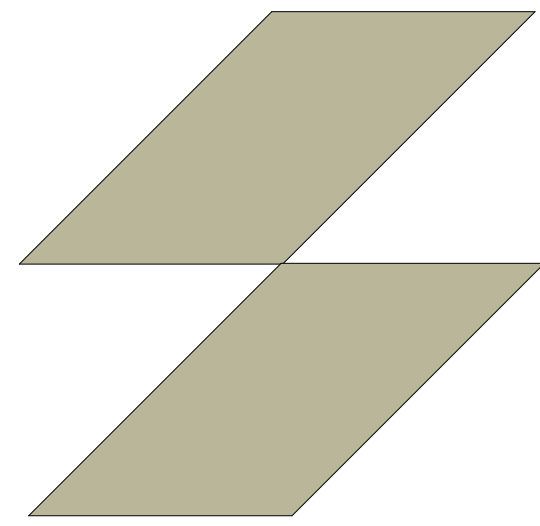
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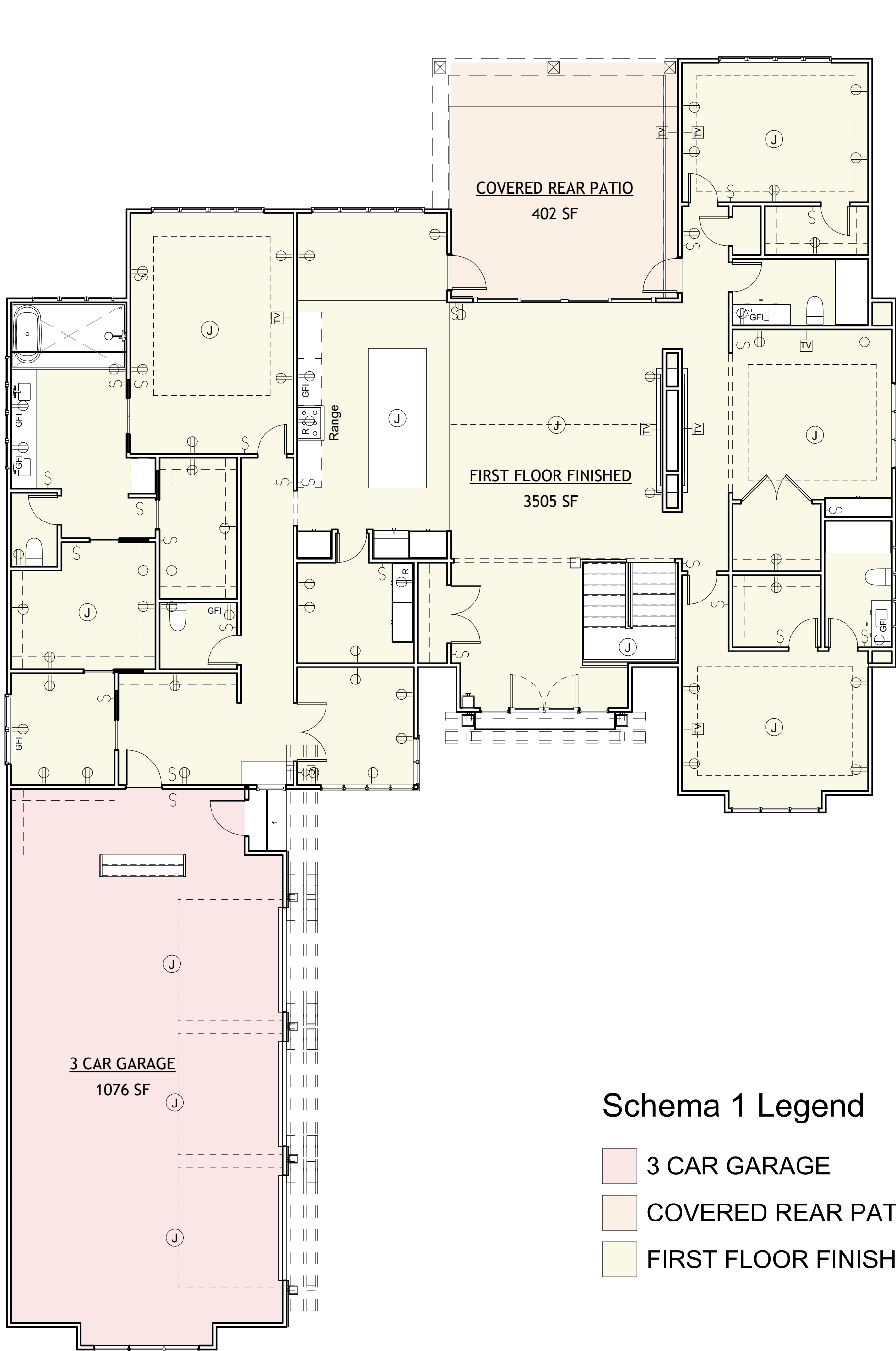
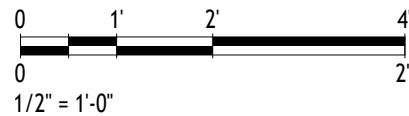
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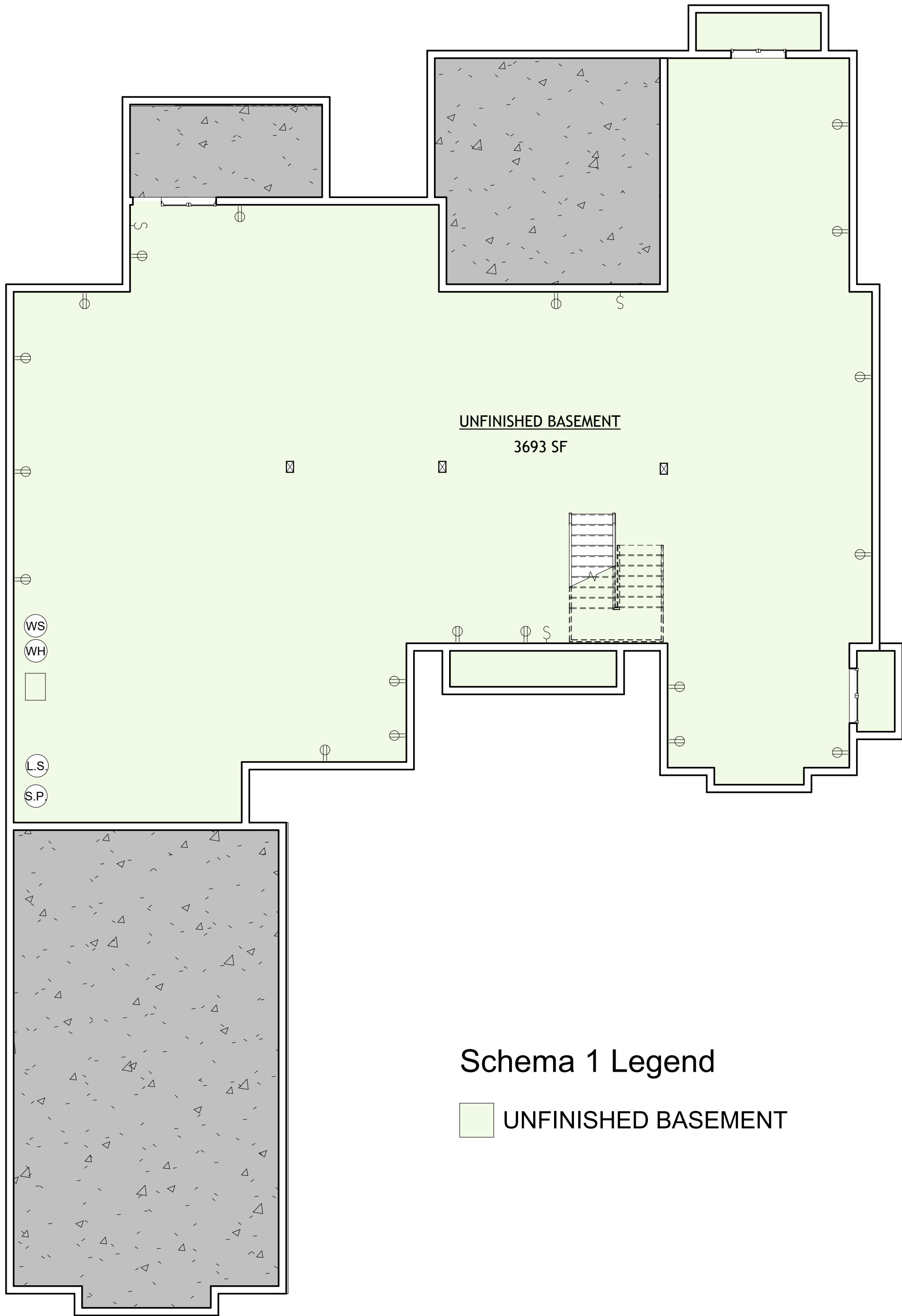
Scale 1/8" = 1'-0"

Details



Schema 1 Legend

- 3 CAR GARAGE
- COVERED REAR PATIO
- FIRST FLOOR FINISHED



Schema 1 Legend

- UNFINISHED BASEMENT

FIRST FLOOR FINISHED	3422 SF
BASEMENT FINISHED	651 SF
TOTAL FINISHED AREA	4073 SF

REAR COVERED PORCH	432 SF
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Room Legend

- BATHROOM 03
- BEDROOM 03
- CABANA BATH
- COVERED PORCH
- DINING ROOM
- FOYER
- GREAT ROOM
- HER W.I.C.
- HIS W.I.C.
- KITCHEN
- LAUNDRY
- MASTER BATHROOM
- MASTER BEDROOM
- MUDROOM
- OFFICE
- PANTRY
- POWDER
- STUDY



Room Finish Schedule							
Room Name	Area	Finish					Comments
		Floor	Base	Wall	Ceiling	Ceiling Height	
GREAT ROOM	553 SF						
KITCHEN	280 SF						
DINING ROOM	96 SF						
MASTER BEDROOM	289 SF						
MASTER BATHROOM	157 SF						
HER W.I.C.	125 SF						
LAUNDRY	85 SF						
MUDROOM	226 SF						
POWDER	38 SF						
HIS W.I.C.	81 SF						
STUDY	208 SF						
BEDROOM 03	230 SF						
BATHROOM 03	62 SF						
FOYER	223 SF						
PANTRY	93 SF						
COVERED PORCH	Not Placed						
3 CAR GARAGE	Not Placed						
COVERED PORCH	323 SF						
UNFINISHED BASEMENT	3533 SF						
Room	387 SF						
OFFICE	101 SF						
CABANA BATH	67 SF						
BEDROOM 03	192 SF						

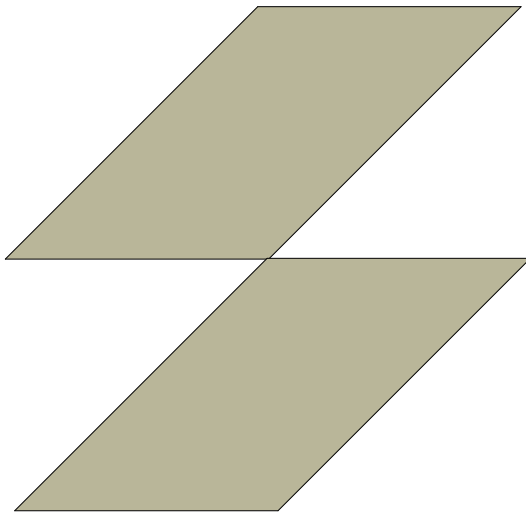
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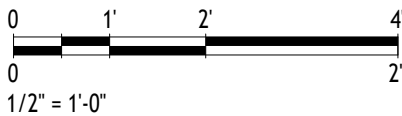
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Scale 3/32" = 1'-0"

Details





3 South
A200 1/4" = 1'-0"



2 North
A200 1/4" = 1'-0"

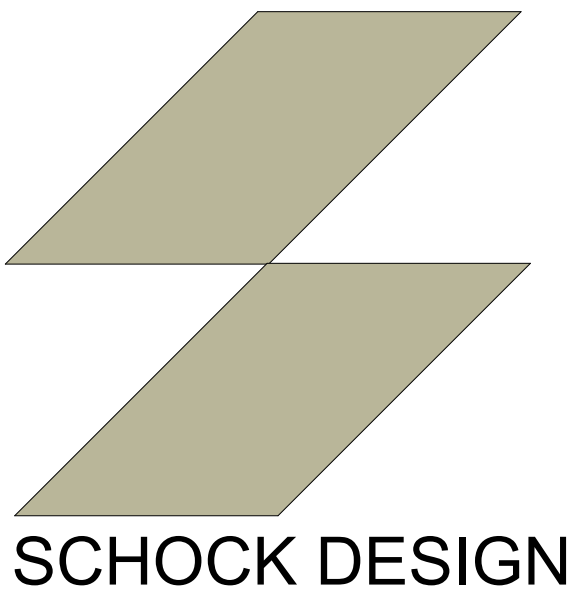
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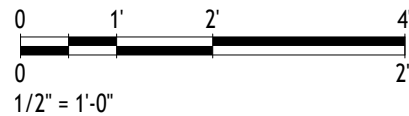
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CITY APPROVAL

A200

Scale 1/4" = 1'-0"

Elevations



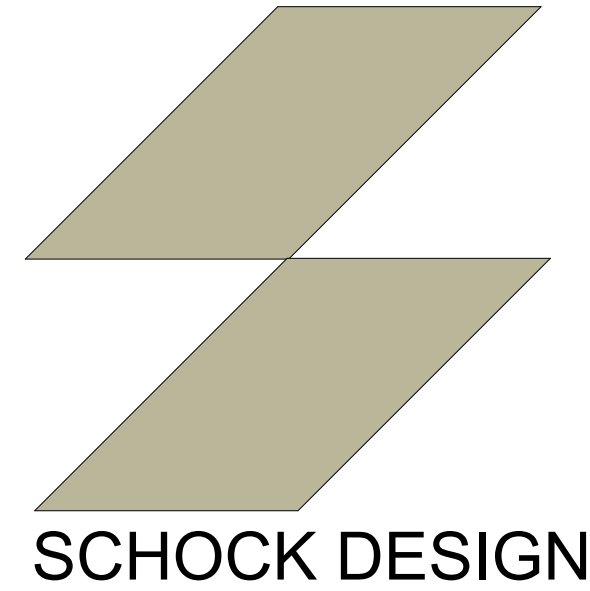
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SPEC 04

PRATI , LOT 24 , BARGERSVILLE , IN



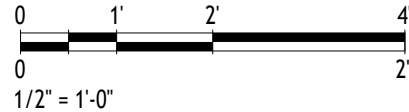
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CLIENT APPROVAL

A201

Scale 1/4" = 1'-0"

Elevations





ARCHITECTURAL NOTES:

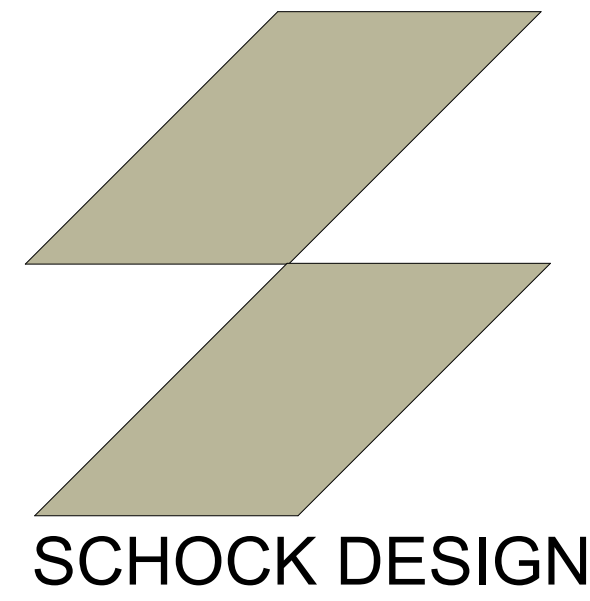
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NOT FOR CONSTRUCTION



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SPEC 04

PRATI, LOT 24, BARGERSVILLE, IN



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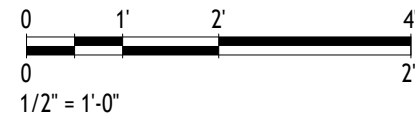
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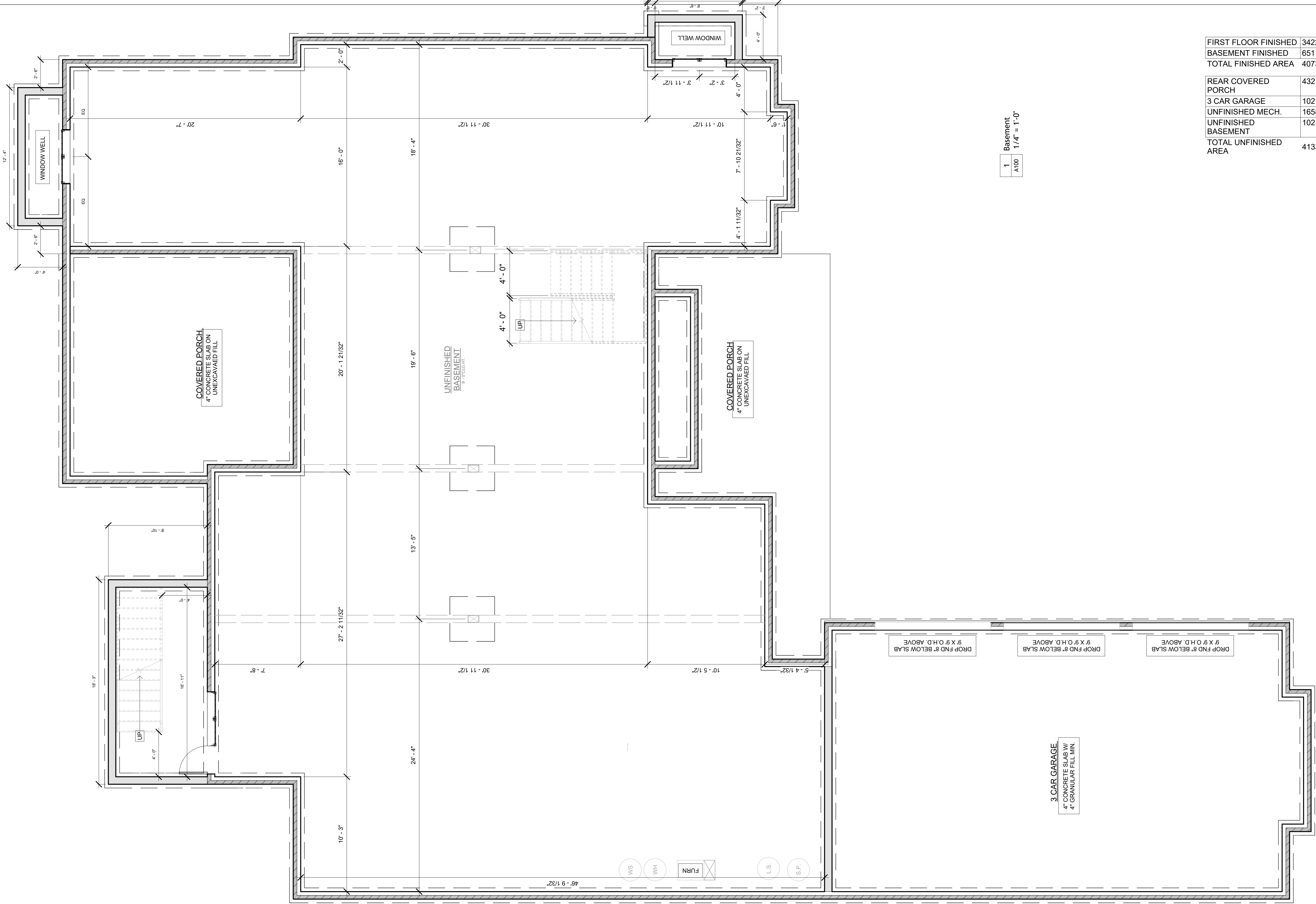
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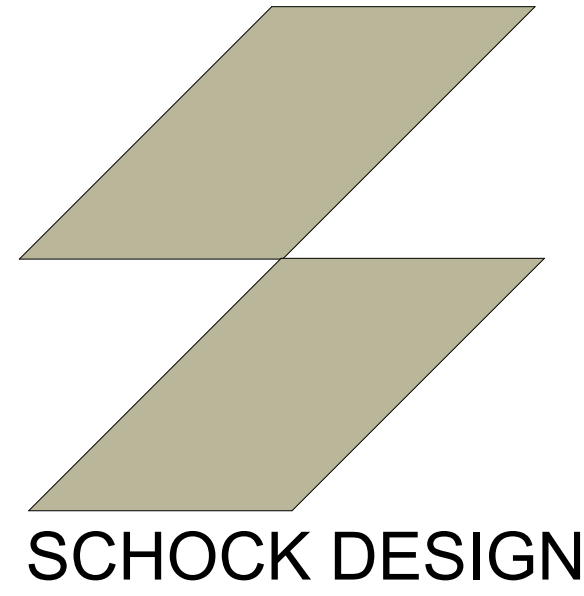
First Floor Plan





FIRST FLOOR FINISHED	3422 SF
BASEMENT FINISHED	651 SF
TOTAL FINISHED AREA	4073 SF
REAR COVERED PORCH	432 SF
3 CAR GARAGE	1021 SF
UNFINISHED MECH.	1658 SF
UNFINISHED BASEMENT	1021 SF
TOTAL UNFINISHED AREA	4133 SF

1 Basement
A100 1/4" = 1'-0"



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SPEC 04

PRATI , LOT 24 , BARGERSVILLE , IN



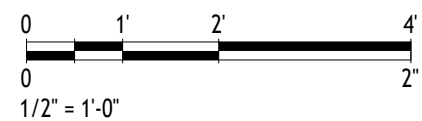
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Basement Plan



ARCHITECTURAL NOTES:

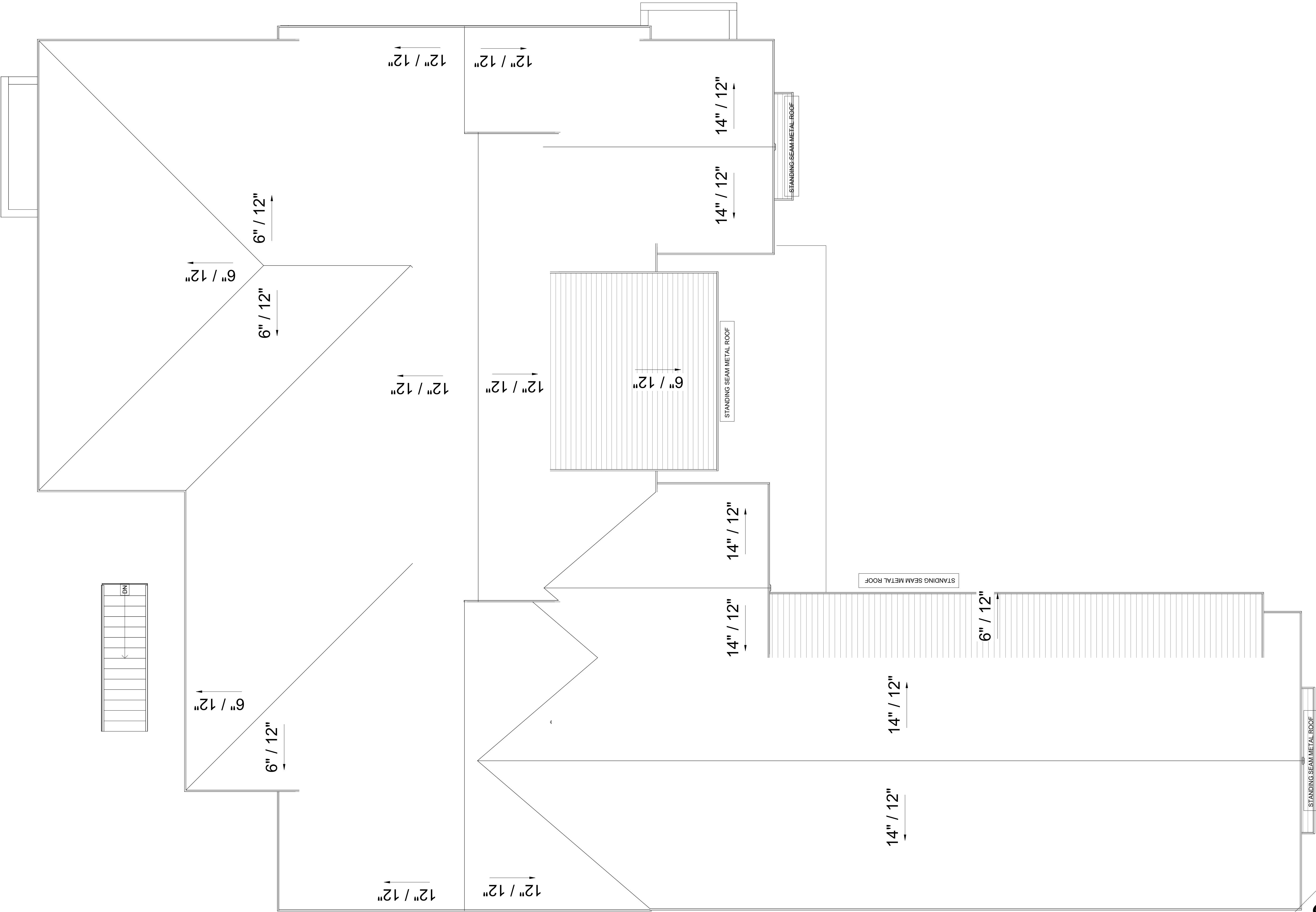
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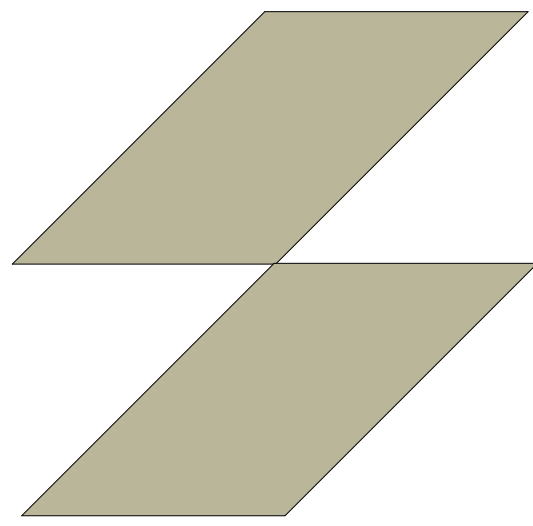
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PRATI , LOT 24 , BARGERSVILLE , IN



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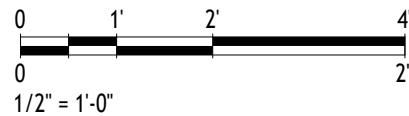
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Roof Plan





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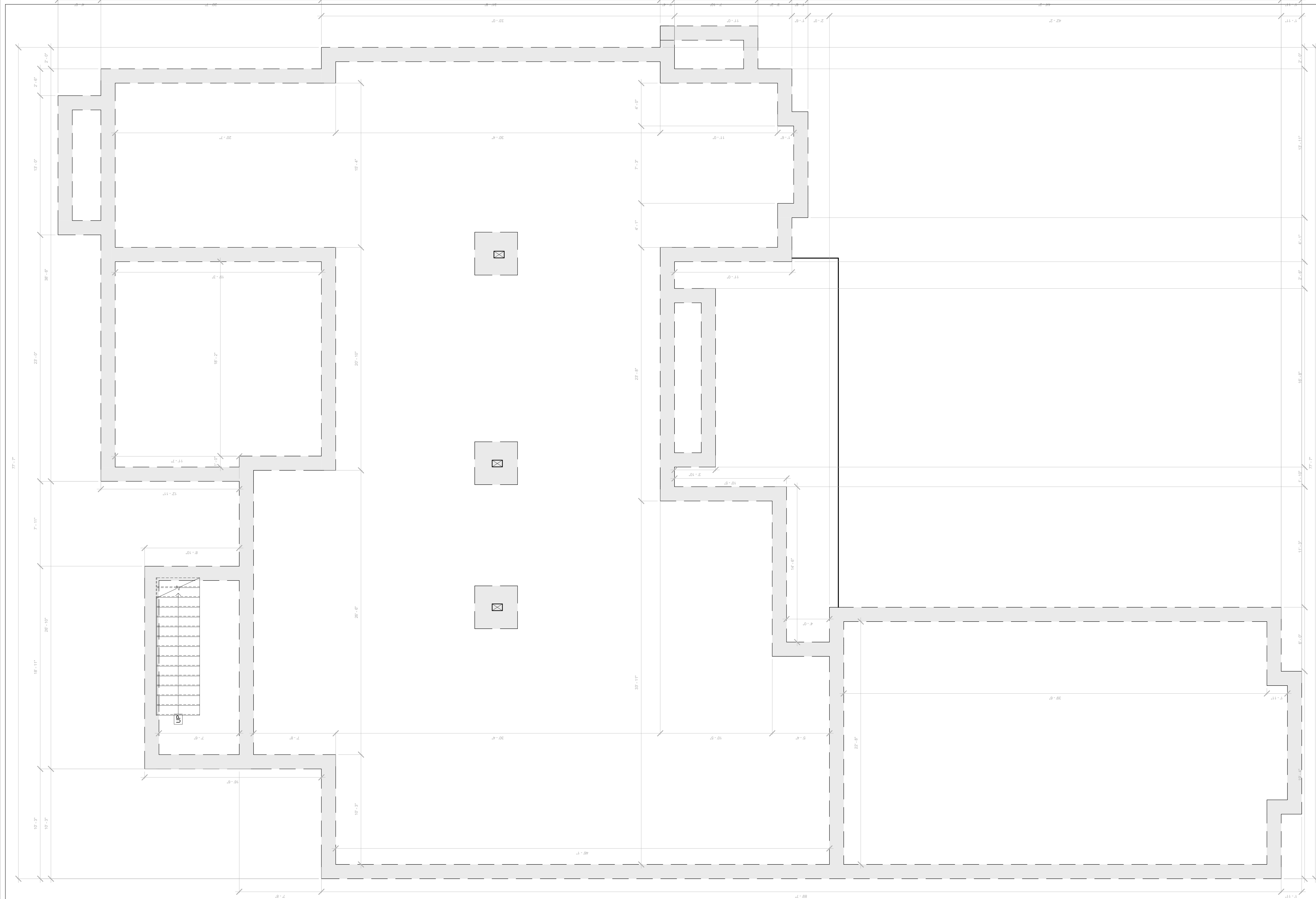
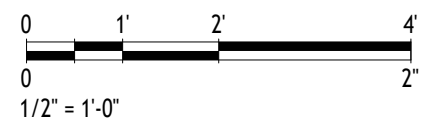
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SIGNATURE:

S100

Scale 1/4" = 1'-0"

Foundation Plan



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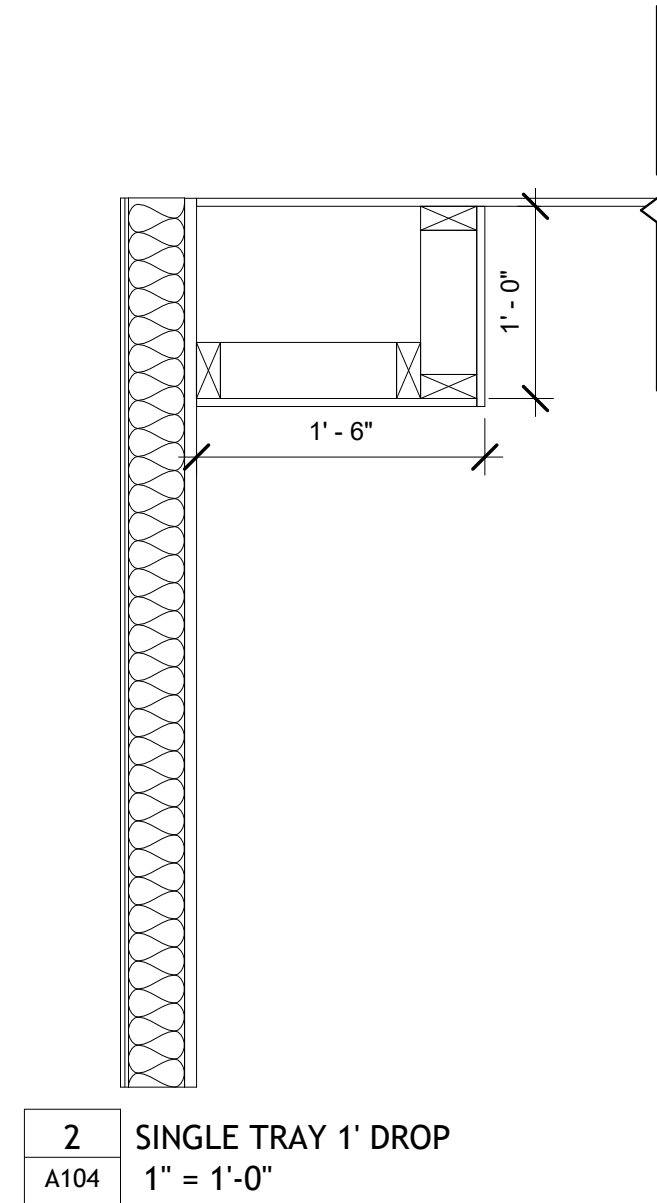
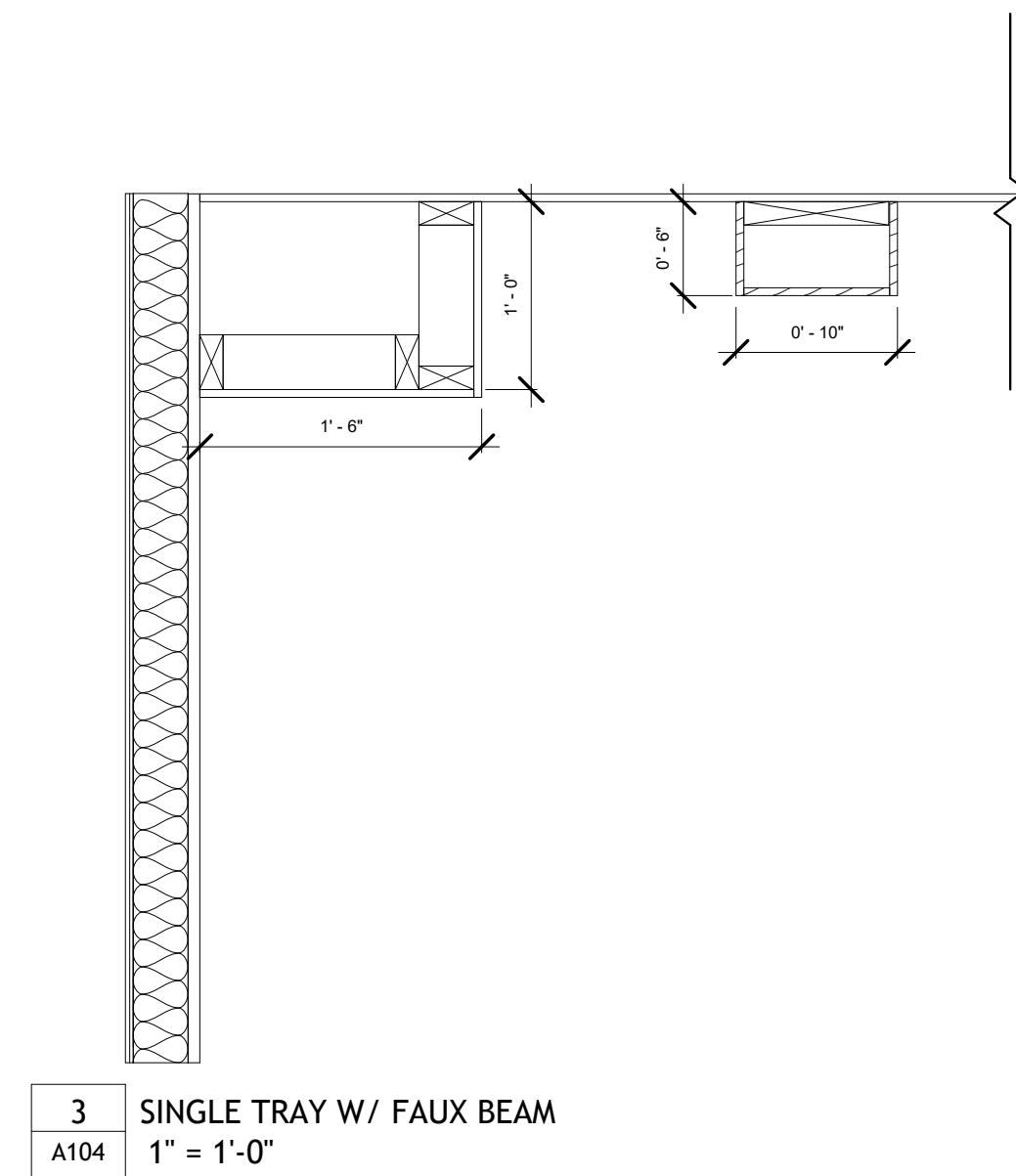
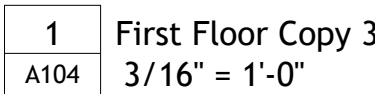
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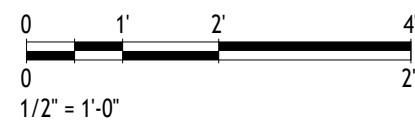
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Scale As indicated

First Floor Reflected Ceiling Plan

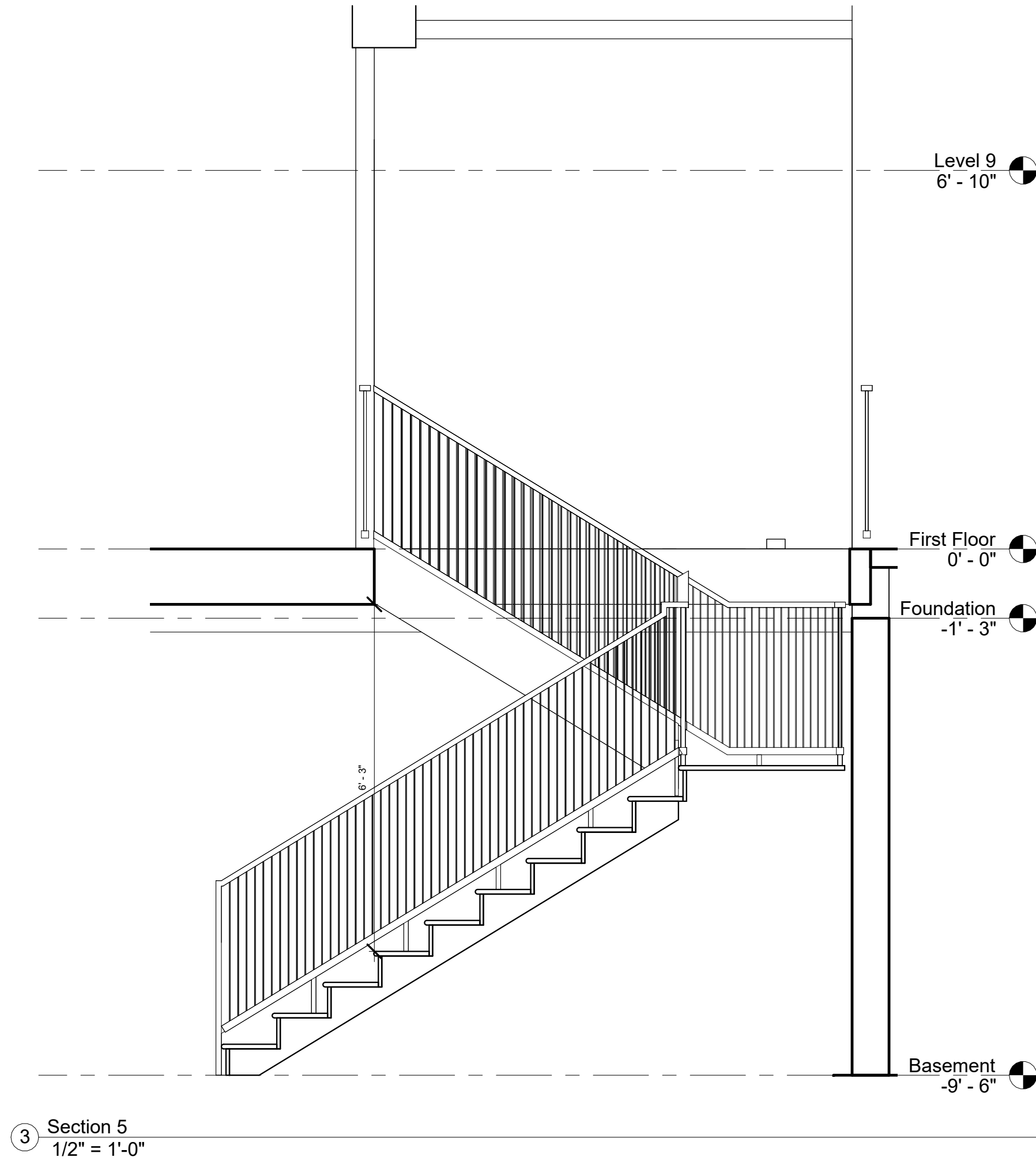
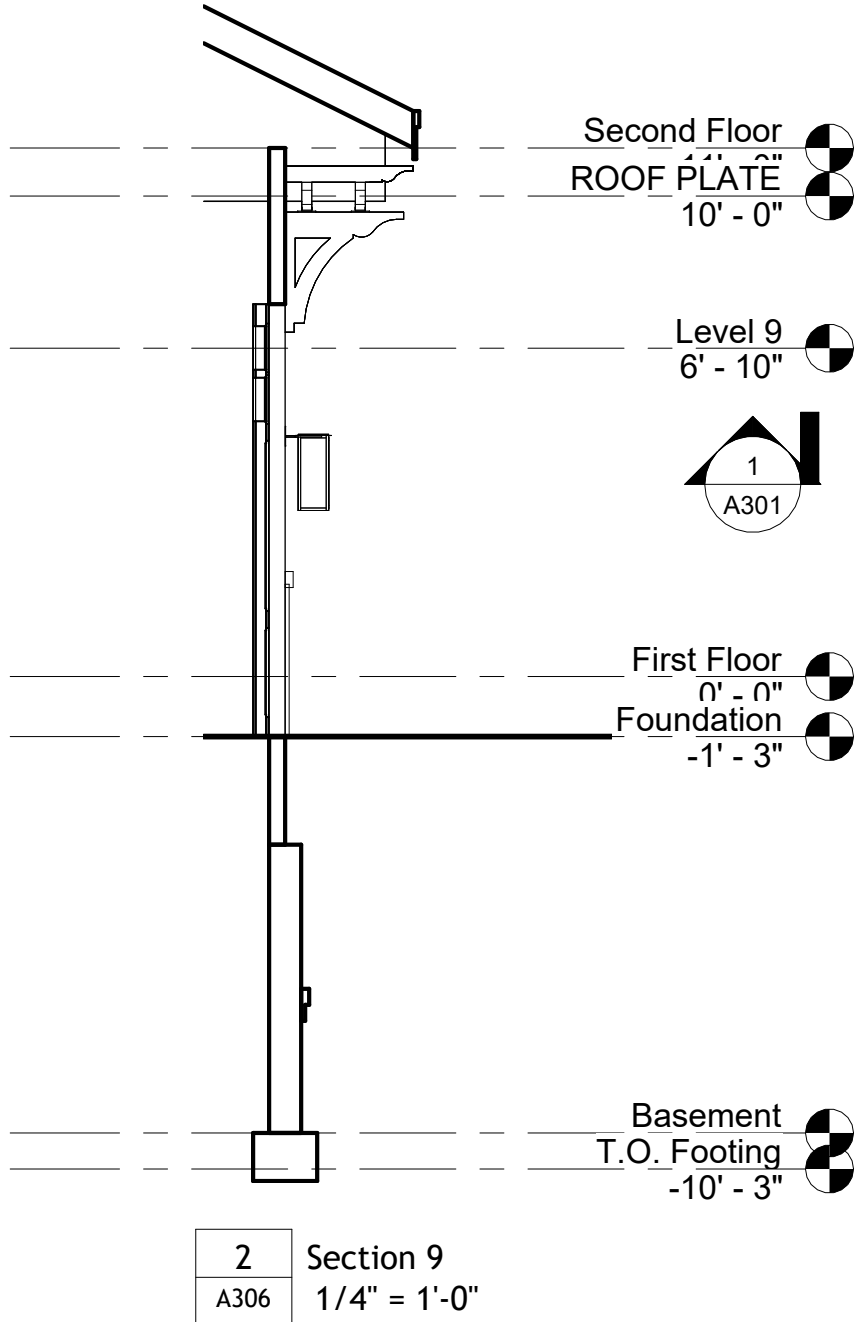


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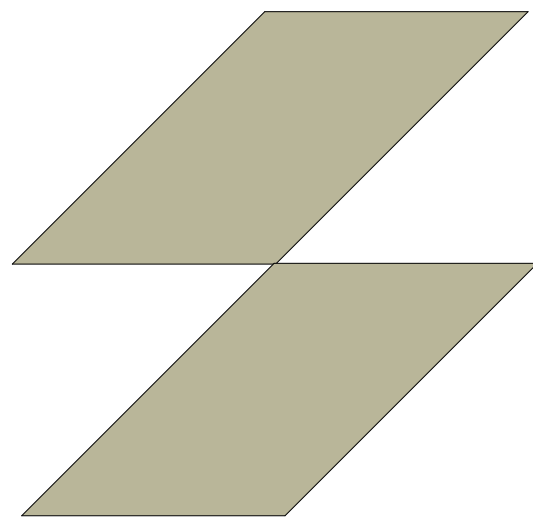
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- 2.REPORT ALL DIMENSIONAL DISCREPANCIES TO ARCHITECT FOR RESOLUTION.
- 3.ALL NON-PERPENDICULAR WALLS SHALL BE AT 45 DEGREES UNLESS OTHERWISE NOTED.
- 4.ALIGN FINISHED FACE OF NEW CONSTRUCTION WITH FINISHED FACE OF EXISTING WALLS.
- 5.ALL DIMENSIONS ARE TO FACE OF NEW GYPSUM BOARD FINISH OR EXISTING FINISHES UNLESS OTHERWISE NOTED.
- 6.HINGE SIDE OF ALL DOORS SHALL BE 5" OFF THE FACE OF ADJACENT WALL, UNLESS NOTED OTHERWISE.
- 7.PATCH FINISHES OF EXISTING WALLS AND CEILING TO REMAIN AS REQUIRED FOR UNIFORM, CLEAN APPEARANCE.
- 8.INSTALL WOOD BLOCKING IN WALLS BEHIND WALL-HUNG ITEMS AND TOILET ACCESSORIES.
- 9.INSTALL R-11 SOUND BATT INSULATION IN ALL WALLS, UNLESS NOTED OTHERWISE.



SCHOCK DESIGN

SCHOCKINTERIORS.COM

INFO@SCHOCKINTERIORS.COM

317-696-2502

SPEC 04

PRATI , LOT 24 , BARGERSVILLE , IN



Project number

Project Number

Date

7/4/2025 8:11:28 PM

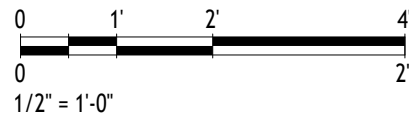
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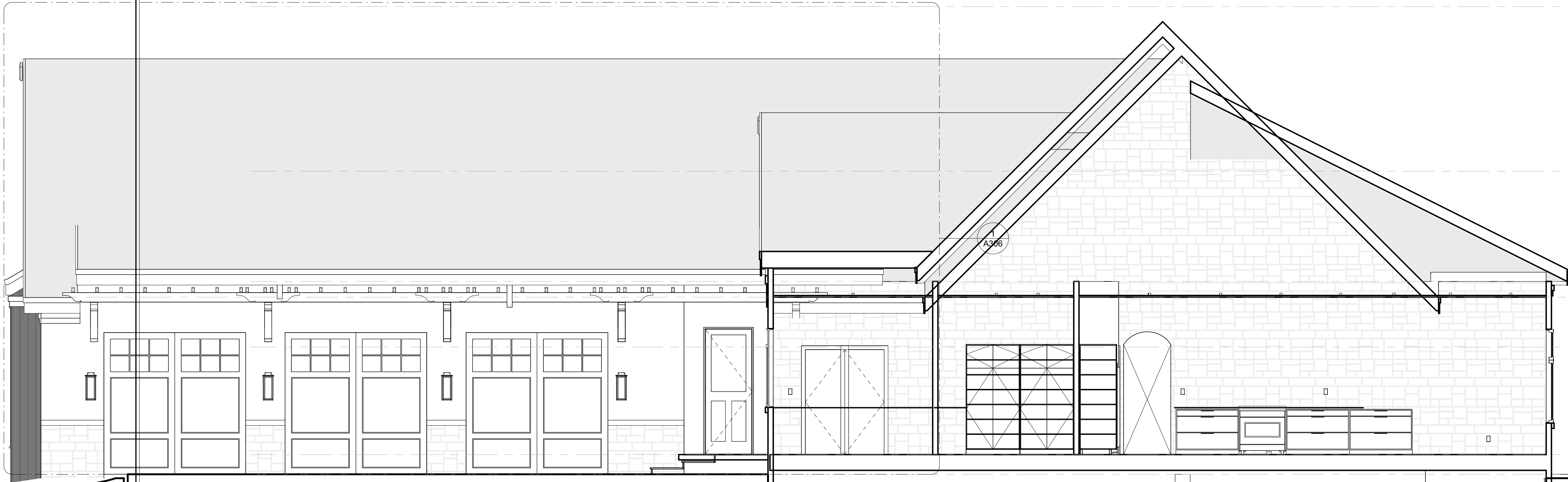
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A306

Scale As indicated

CNST DETAILS





EST. TOP OF
ROOF
28' - 5 1/2"

Roof
18' - 0"

Second Floor
ROOF PLATE
11' - 0"
10' - 0"

Level 9
6' - 10"

First Floor
n' - 0"
Foundation
-1' - 3"

1 Section 3
A301 1/4" = 1'-0"

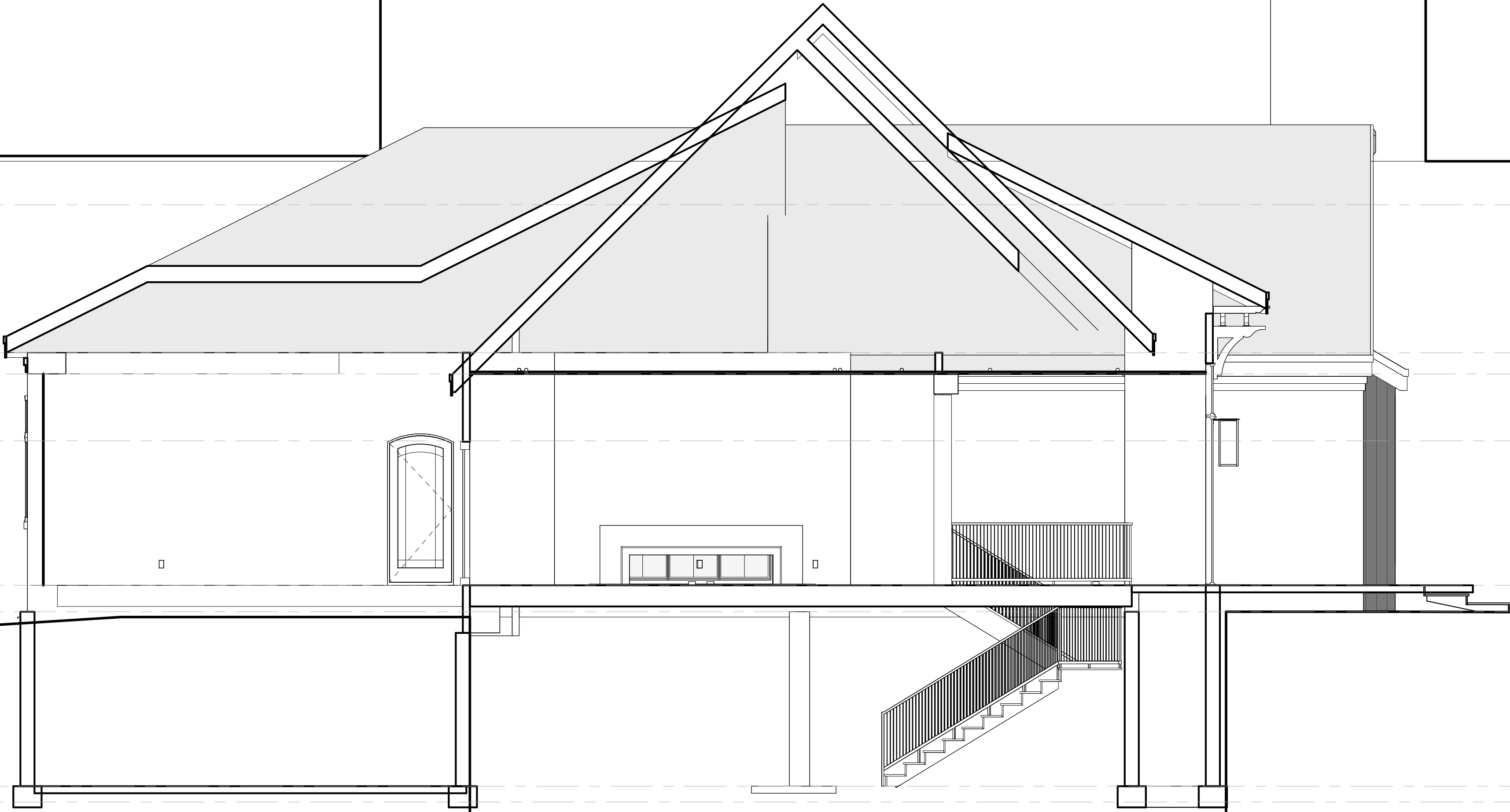
Basement
-9' - 6" T.O. Footing
B.O. Footing
-11' - 3"

EST. TOP OF
ROOF
28' - 5 1/2"

GENERAL FLOOR PLAN NOTES:

1. ALL INTERIOR WALLS ARE 2X-1 OR 2X, AS SHOWN. EXTERIOR WALLS ARE 2X1 OR 2X, W/ ONE LAYER OF 1/2" SHEATHING. ALIGN EXTERIOR OF SHEATHING WITH FOUNDATION WALL. ALL ANGLED WALLS ARE 15 DEGREES FROM ADJACENT WALL UNLESS OTHERWISE NOTED.
2. CONFIRM ALL HEADER HEIGHTS AND SIZES PRIOR TO START OF FRAMING. ALL OPENINGS ARE TO BE 1" FROM ADJACENT WALL UNLESS NOTED OTHERWISE.
3. VERIFY ALL TYPES AND SIZES OF WINDOW UNITS AND DOORS WITH OWNER/BUILDER. NOTIFY BUILDER OF ANY DISCREPANCIES.
4. VERIFY LOCATION, TYPES AND SIZES OF VENTS AND EXTERIOR TRIM WITH OWNER/BUILDER.
5. INSULATE HIDDEN AREAS OR ASSEMBLIES BEFORE COVERING.
6. BUILDER/LUMBER SUPPLIER SHALL SPECIFY SIZES OF DIMENSIONAL LUMBER FOR FLOOR AND ROOF SYSTEMS. NOTIFY BUILDER/LUMBER SUPPLIER IMMEDIATELY OF ANY DISCREPANCIES.
7. STEEL LINTELS OR WOOD BEARING AREAS PROPERLY SIZED, ARE TO BE PROVIDED OVER ALL OPENINGS TO SUPPORT MASONRY VENEER.
8. ALL ROOF AND WALL INTERSECTIONS SHALL BE FLASHED WITH ALUMINUM OR BETTER MATERIAL.
9. ALL BEDROOM EGRESS WINDOWS TO MEET MIN. CLEAR OPENING OF 5.7 FT² UNLESS NOTED OTHERWISE. ONE WINDOW MINIMUM NEEDED PER BEDROOM.

NOTE
IT IS THE BUILDER/OWNERS RESPONSIBILITY TO VERIFY THE PROPER AIR SPACE BETWEEN ALL BRICK AND WOOD WALLS WITH HOUSE WRAP, TO PREVENT WATER INFILTRATION. BUILDER/OWNER SHOULD SEEK THE ASSISTANCE OF A QUALIFIED ENGINEER FOR THE PROPER SIZING OF ALL STRUCTURAL HEADERS, RAFTERS, SUPPORT BEAMS, LAMINATED BEAMS, JOISTS, FOOTINGS, ETC. IT IS THE BUILDER/OWNERS RESPONSIBILITY TO VERIFY ALL DIMENSIONS/DESIGN OF THESE DOCUMENTS FOR ACCURACY.



2 Section 4
A301 1/4" = 1'-0"

EST. TOP OF
ROOF
28' - 5 1/2"

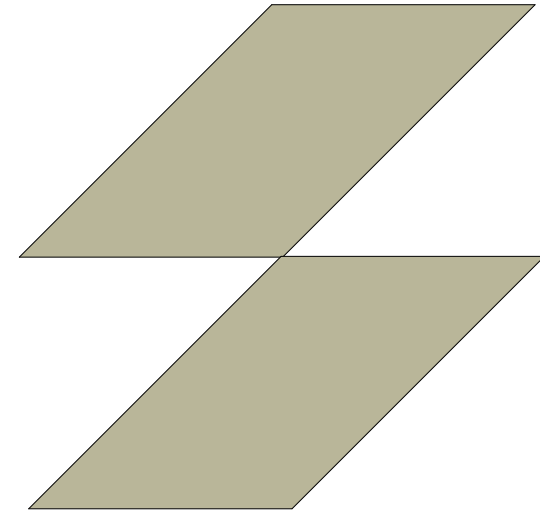
Scale 1/4" = 1'-0"

Building Sections

0 1 2 4
0 1/2' - 1'-0"
Basement
T.O. Footing
B.O. Footing
-11' - 3"

DATE

7/4/2025 8:11:28 PM



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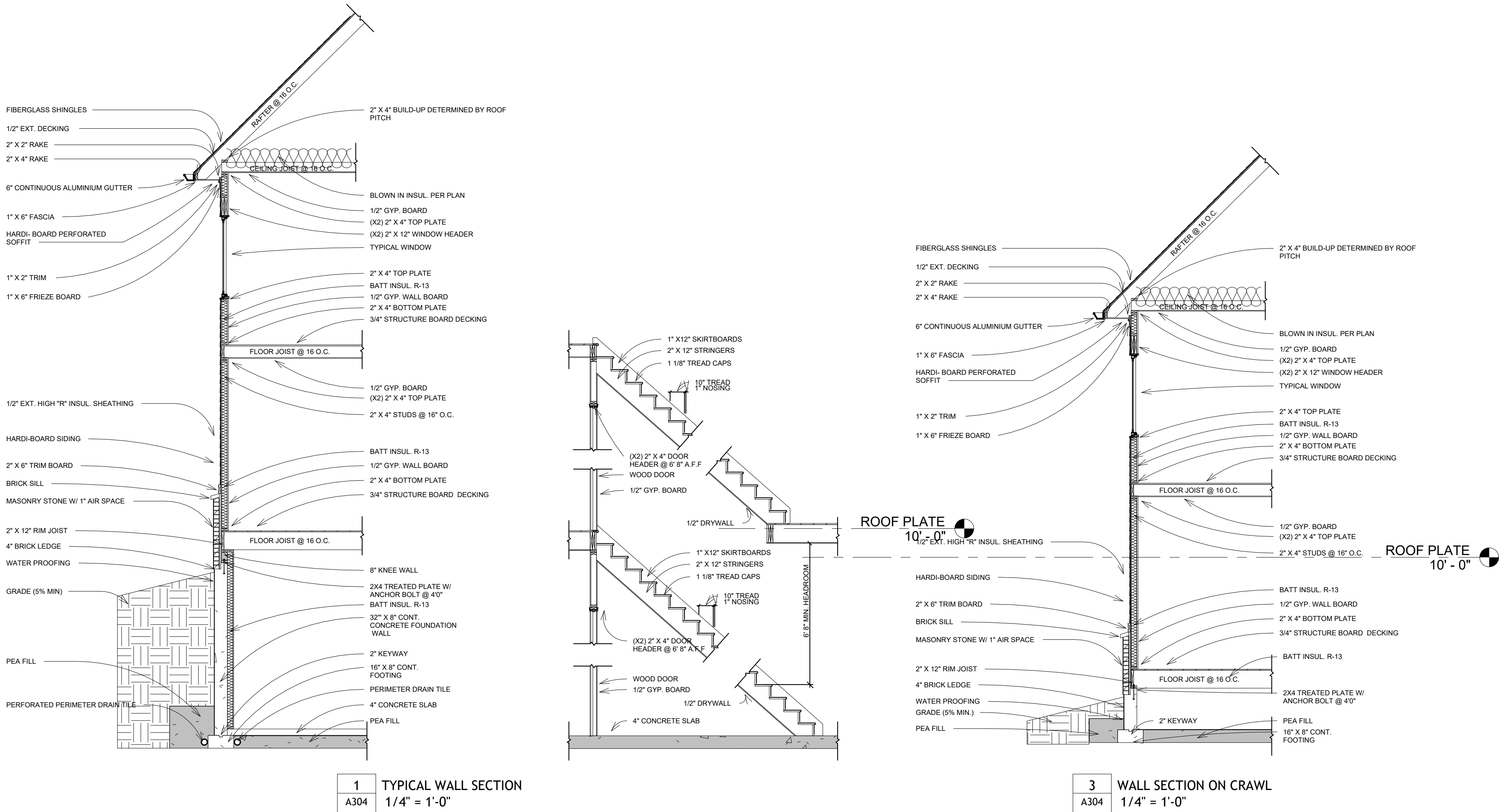
SPEC 04

PRATI, LOT 24, BARGERSVILLE, IN

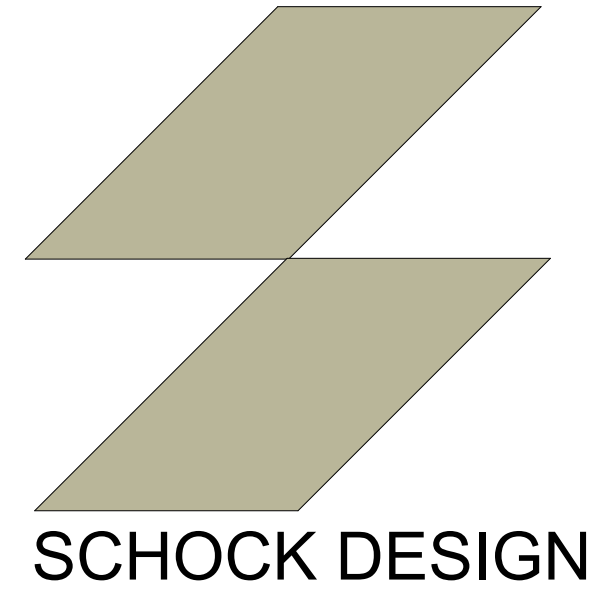
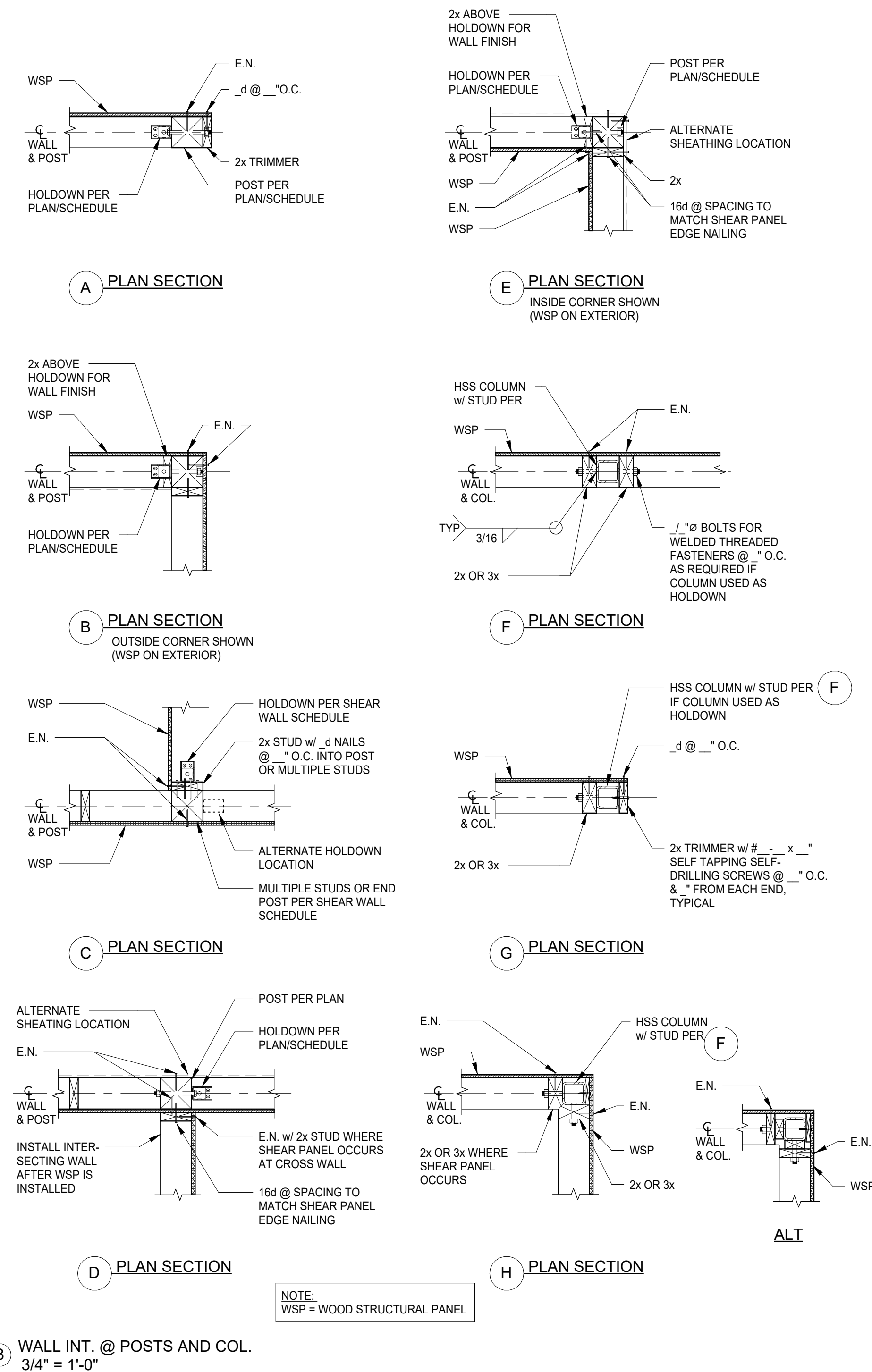
CLIENT APPROVAL

SIGNATURE: Level 9
6' - 10"

A301



WALL INTERSECTIONS AT POSTS AND COLUMNS



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SPEC 04

PRATI, LOT 24, BARGERSVILLE, IN



REVISION NUMBER: Project Number

DATE PUBLISHED: 7/4/2025 8:11:29 PM

APPROVED BY

J. GREG ALLEN

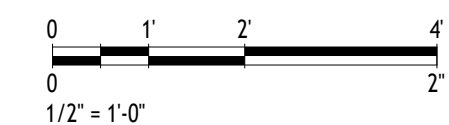
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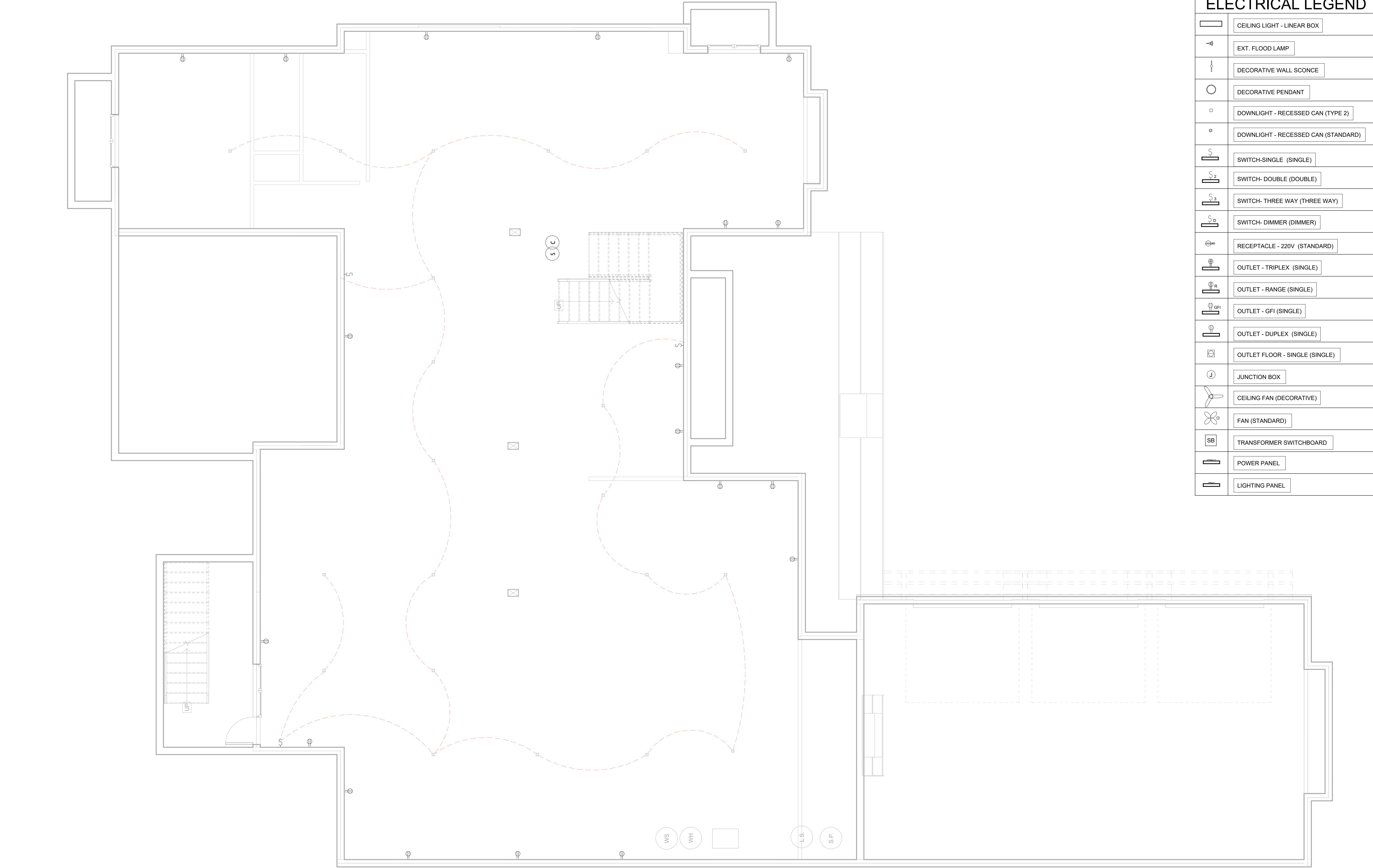
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A304

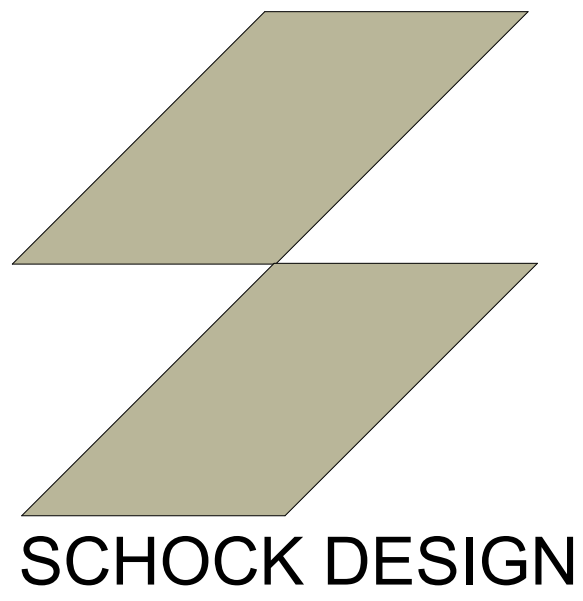
Scale As indicated

Wall Sections





ELECTRICAL LEGEND	
	CEILING LIGHT - LINEAR BOX
	EXT. FLOOD LAMP
	DECORATIVE WALL SCONCE
	DECORATIVE PENDANT
	DOWNLIGHT - RECESSED CAN (TYPE 2)
	DOWNLIGHT - RECESSED CAN (STANDARD)
	SWITCH-SINGLE (SINGLE)
	SWITCH- DOUBLE (DOUBLE)
	SWITCH- THREE WAY (THREE WAY)
	SWITCH- DIMMER (DIMMER)
	RECEPTACLE - 220V (STANDARD)
	OUTLET - TRIPLEX (SINGLE)
	OUTLET - RANGE (SINGLE)
	OUTLET - GFI (SINGLE)
	OUTLET - DUPLEX (SINGLE)
	OUTLET FLOOR - SINGLE (SINGLE)
	JUNCTION BOX
	CEILING FAN (DECORATIVE)
	FAN (STANDARD)
	TRANSFORMER SWITCHBOARD
	POWER PANEL
	LIGHTING PANEL



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SPEC 04
PRATI , LOT 24 , BARGERSVILLE , IN



Project number Project Number
Date 7/4/2025 8:11:31 PM

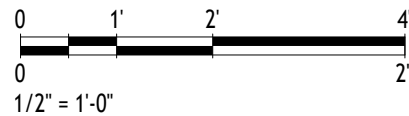
CLIENT APPROVAL

SIGNATURE: _____

E100

Scale As indicated

Basement
Electrical Plan



ARCHITECTURAL NOTES:

- 1.VERIFY ALL EXISTING CONDITIONS PRIOR TO THE START OF CONSTRUCTION. NOTIFY THE ARCHITECT IMMEDIATELY OF ANY CONFLICTS PRIOR TO PROCEEDING WITH WORK.
- 2.THE CONTRACTOR SHALL FILE ALL DRAWINGS FOR PERMIT APPLICATION OR OTHER MATERIALS REQUIRED TO SECURE ANY AND ALL NECESSARY BUILDING PERMITS AS MIGHT BE REQUIRED BY ANY LOCAL ORDINANCES TO PERFORM THIS WORK.
- 3.THE DRAWINGS ARE NOT TO BE SCALED. FOR INFORMATION CONCERNING EXISTING PARTITIONS, ETC., VERIFICATION MUST BE DONE IN THE FIELD.
- 4.THE USE OF THE WORDS "PROVIDE" OR "PROVIDED" IN CONNECTION WITH ANY ITEM SPECIFIED, IS INTENDED TO MEAN, UNLESS OTHERWISE NOTED, THAT SUCH SHALL BE FURNISHED AND INSTALLED FOLLOWING MANUFACTURERS' INSTRUCTIONS AND RECOMMENDATIONS, AND SUPPLYING AND INSTALLING ALL ASSOCIATED ITEMS AND ACCESSORIES AS REQUIRED, AND CONNECTED WHERE SO REQUIRED FOR A COMPLETE INSTALLATION.
- 5.UPON COMPLETION OF PROJECT, OBTAIN ALL FINAL INSPECTIONS AS REQUIRED BY LOCAL JURISDICTIONS AND FURNISH OWNER WITH EVIDENCE OF ALL SUCH INSPECTIONS AND CERTIFICATES OF OCCUPANCY.
- 6.UPON COMPLETION OF PROJECT, PROVIDE OWNER WITH ALL INSTRUCTION MANUALS, WARRANTIES OR OTHER DOCUMENTS REQUIRED FOR OPERATION OR MAINTENANCE OF ANY ITEM IN THE CONTRACTOR'S WORK.

- 7.THESE CONSTRUCTION NOTES AND/OR DRAWINGS ARE SUPPLIED TO ILLUSTRATE THE DESIGN AND GENERAL TYPE OF CONSTRUCTION DESIRED AND ARE INTENDED TO IMPLY THE FINAL QUALITY OF CONSTRUCTION, MATERIAL AND WORKMANSHIP THROUGHOUT.
- 8.THE GENERAL CONTRACTOR SHALL MAINTAIN A CURRENT AND COMPLETE SET OF CONSTRUCTION DRAWINGS ON THE SITE DURING ALL PHASES OF CONSTRUCTION FOR USE OF THE TRADES.
- 9.ALL DIMENSIONS ARE TO EXISTING FINISHED WALL SURFACE OR NEW FINISHED WALL SURFACE, UNLESS NOTED.
- 10.THE CONTRACTOR SHALL PROTECT ALL EXISTING AND NEW MATERIALS AND FINISHES FROM DAMAGE WHICH MAY OCCUR FROM CONSTRUCTION, DEMOLITION, PAINT, DUST, WATER, ETC. ALL SUCH DAMAGE SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF THE ARCHITECT AND OWNER AT THE CONTRACTOR'S EXPENSE.
- 11.THE GENERAL CONTRACTOR SHALL PROVIDE A THOROUGH CLEAN-UP AT CLOSE-OUT, INCLUDING VACUUMING AND CLEANING ALL CARPETING.
- 12.PROVIDE WOOD BLOCKING IN WALLS AS REQUIRED FOR ALL WALL-SUPPORTED ITEMS. SEE DRAWINGS FOR CASEWORK ITEMS.

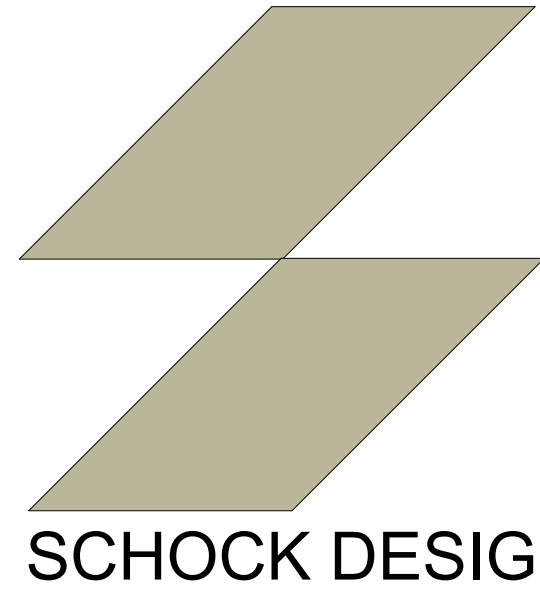
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ELECTRICAL LEGEND

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	EXT. FLOOD LAMP
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	DECORATIVE PENDANT
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	JUNCTION BOX
	CEILING FAN (DECORATIVE)
	FAN (STANDARD)
	TRANSFORMER SWITCHBOARD
	POWER PANEL
	LIGHTING PANEL



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SPEC 04

PRATI , LOT 24 , BARGERSVILLE , IN



Project number Project Number
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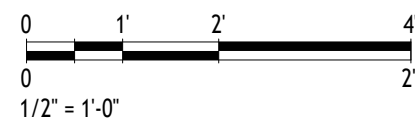
CLIENT APPROVAL

SIGNATURE: _____

E101

Scale As indicated

First Floor
Electrical



ARCHITECTURAL NOTES:

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