

WILDRIDGE24

PROJECT:

RESIDENTIAL REMODEL

ADDRESS:

8020 S. FRANKLIN RD.
INDIANAPOLIS, IN 46259

OWNER:

JOE WILDRIDGE

CONTRACTING:

SCHOCK DESIGN

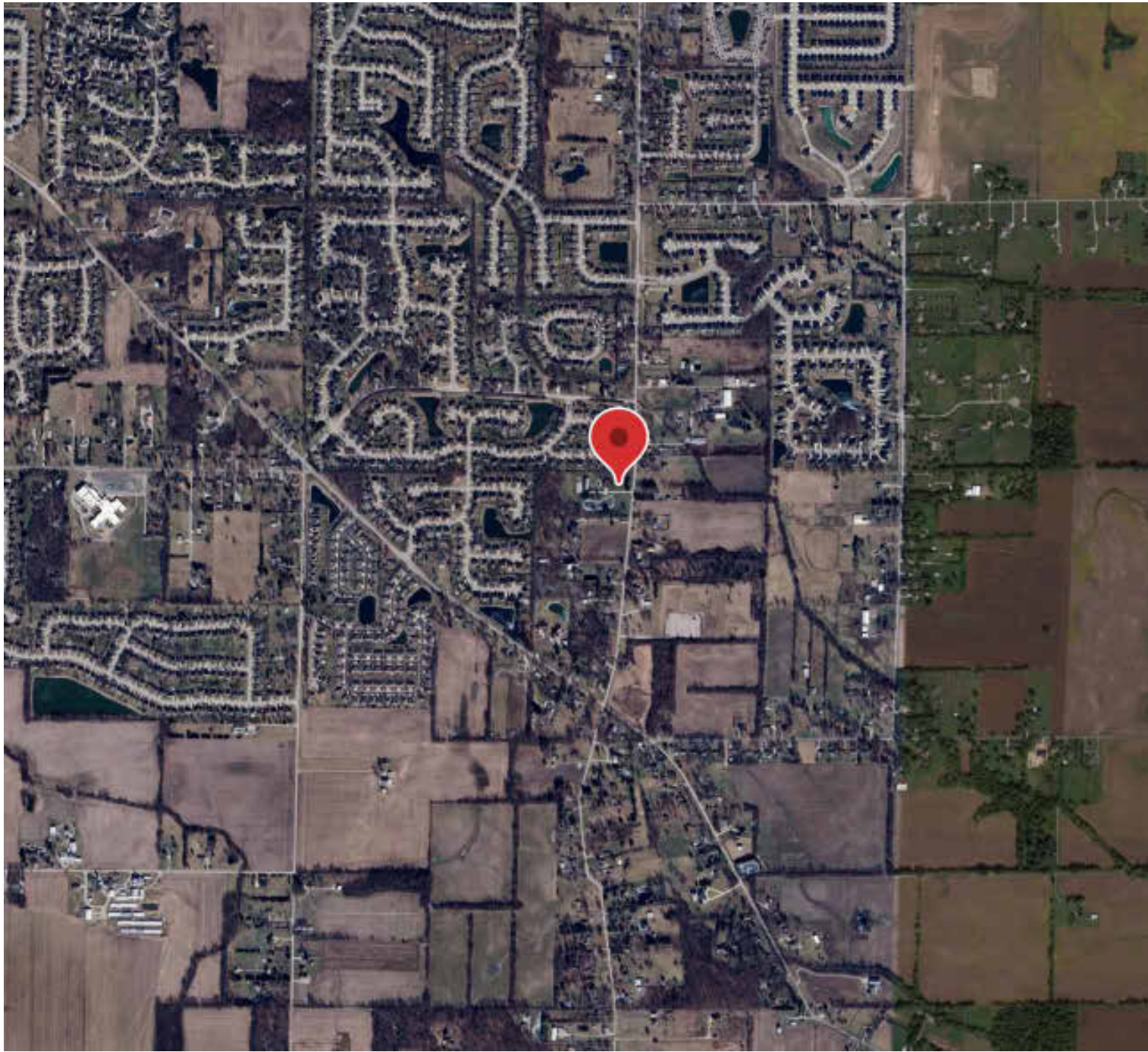
ARCHITECTURE:

SCHOCK DESIGN

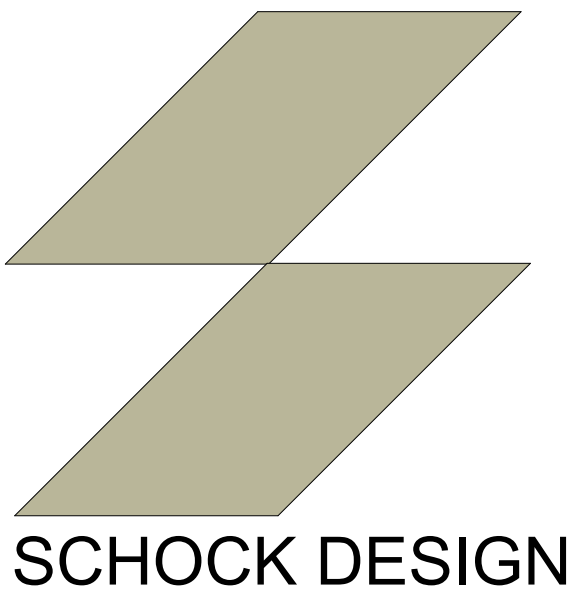
INTERIORS:

SCHOCK DESIGN

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A104	First Floor Reflected Ceiling Plan
A105	Second Floor Reflected Ceiling Plan
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S0	Foundation Plan
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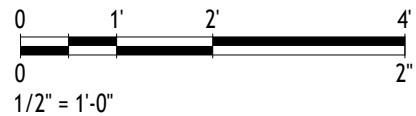
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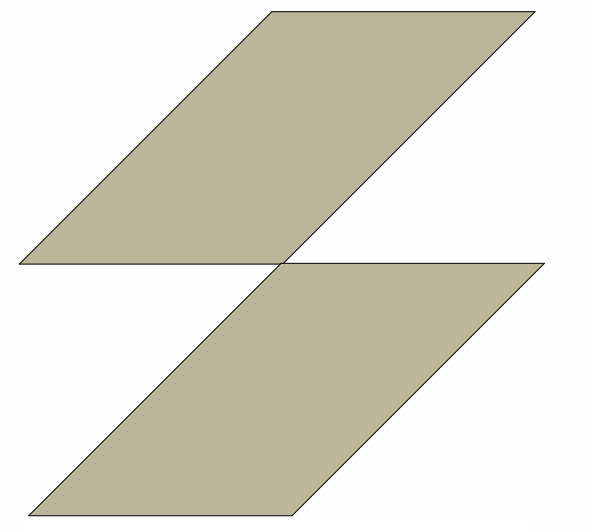
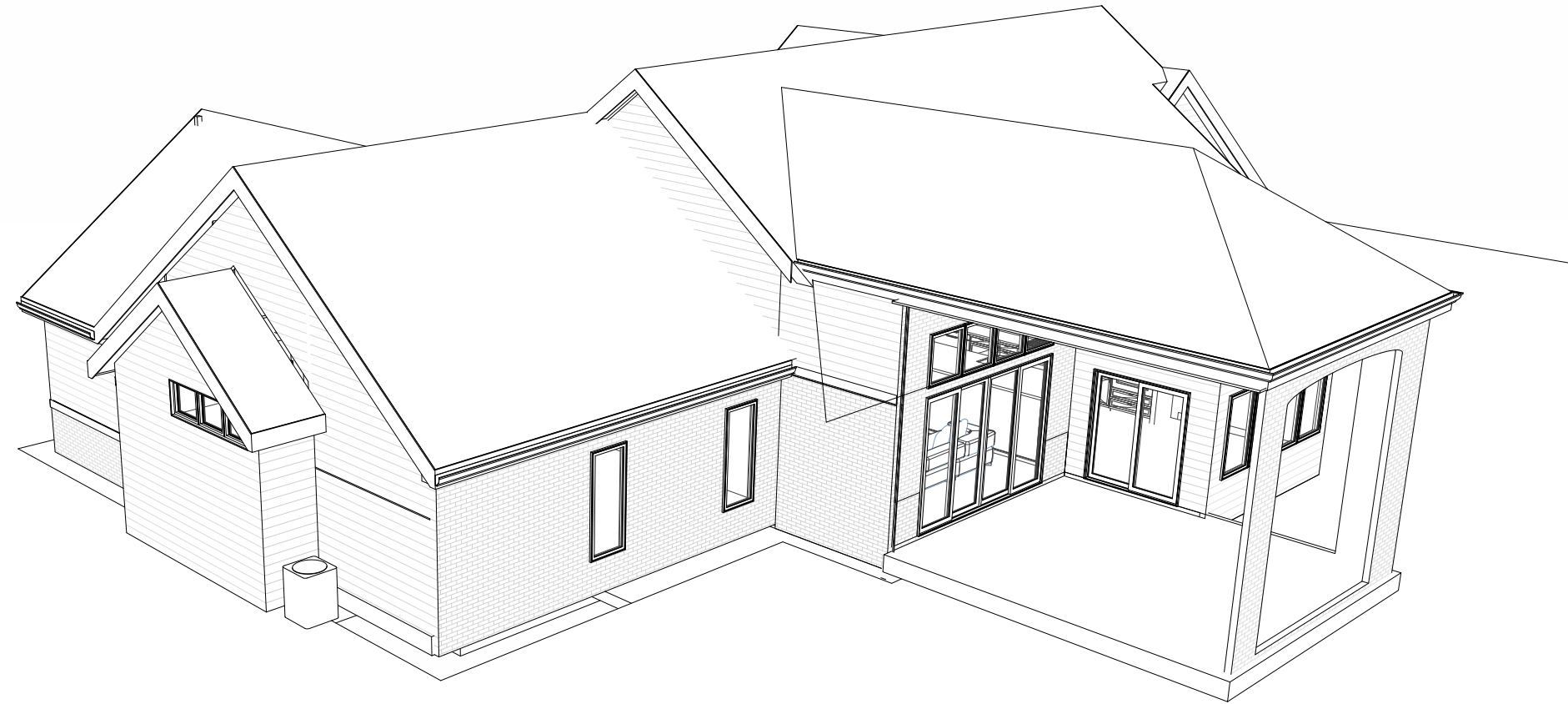
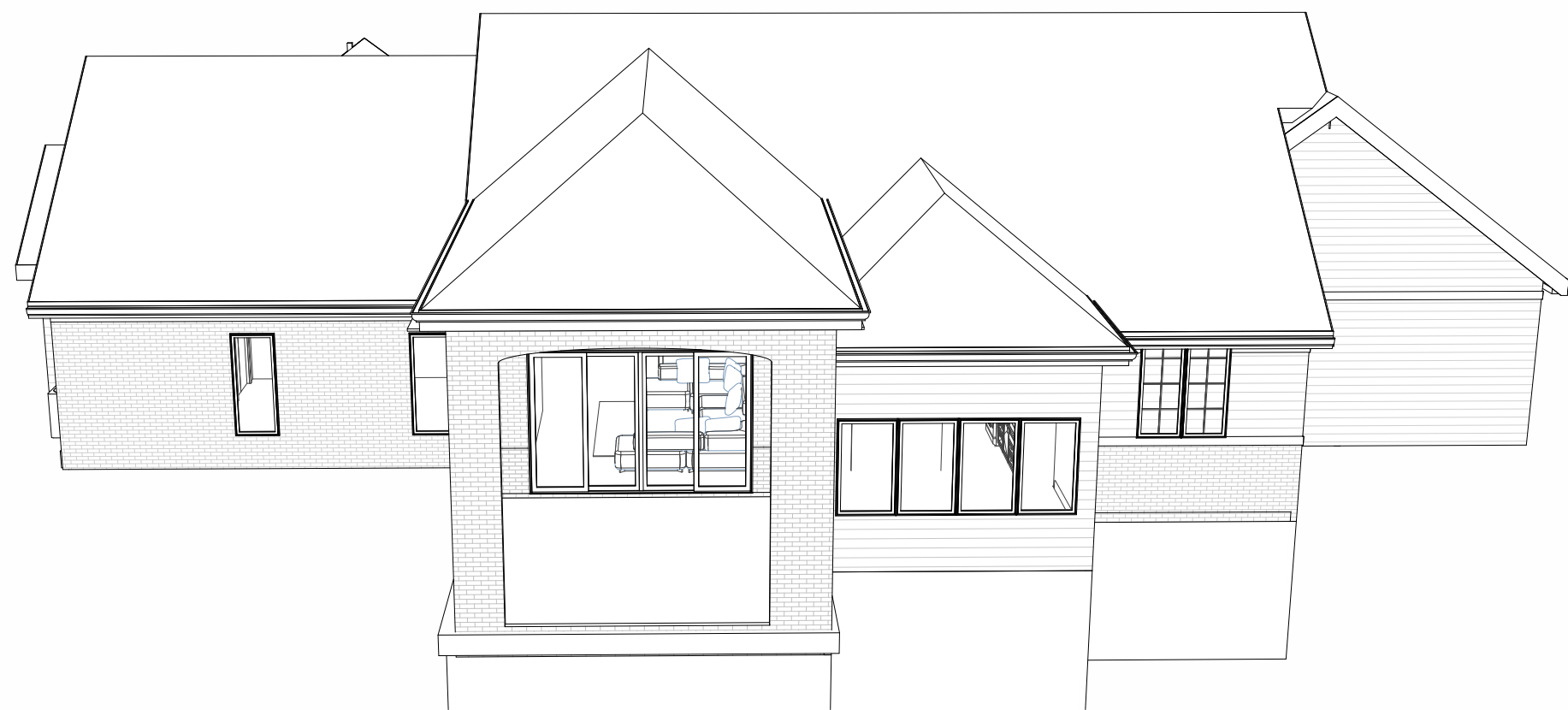
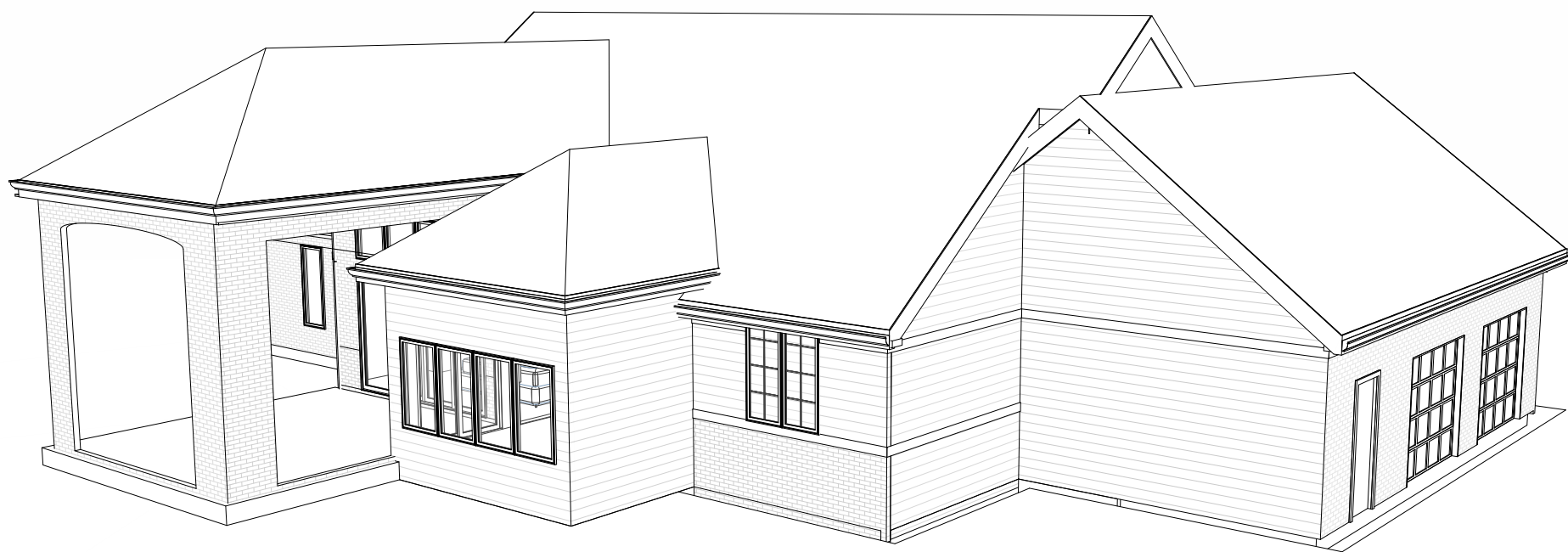
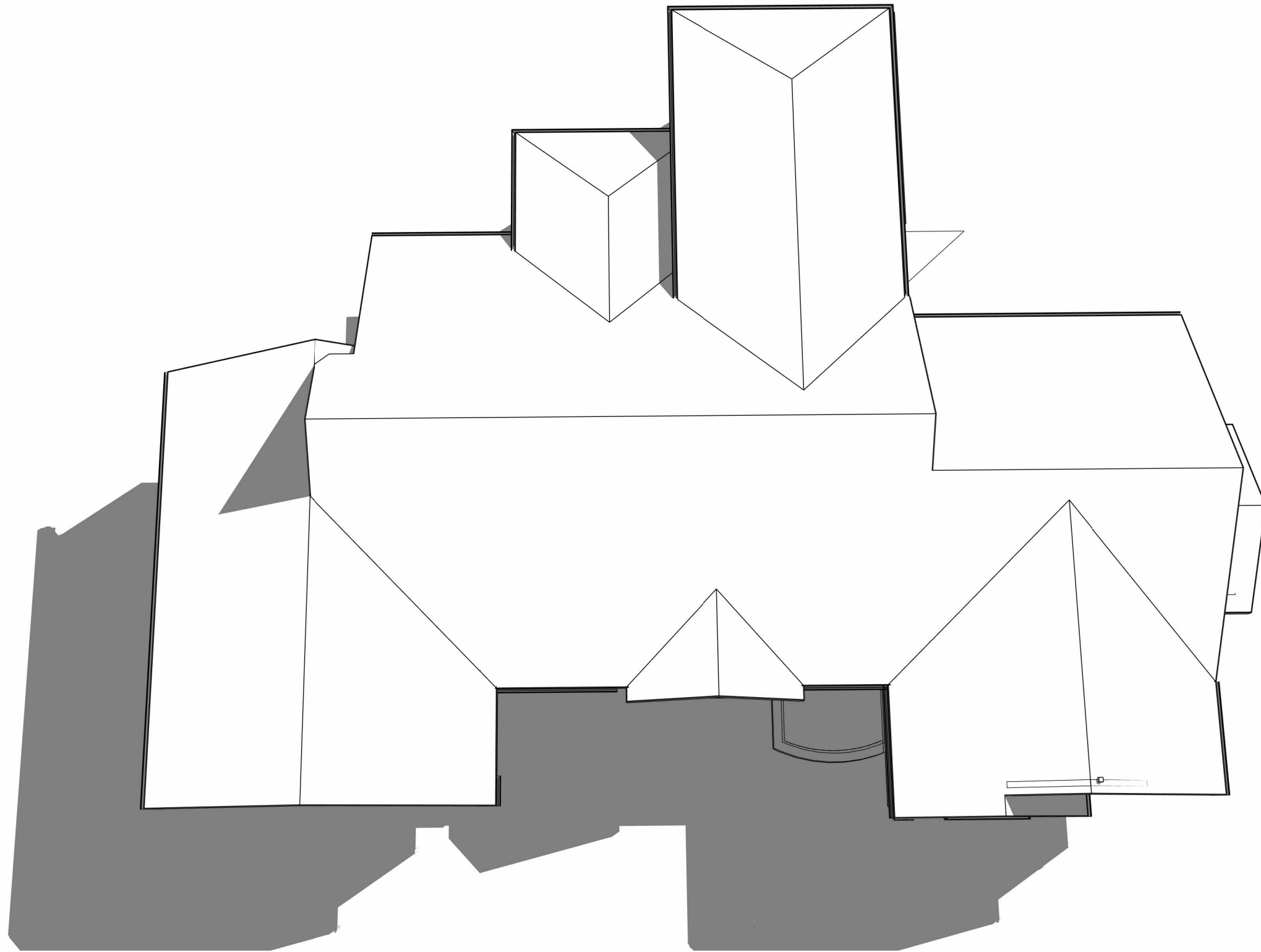
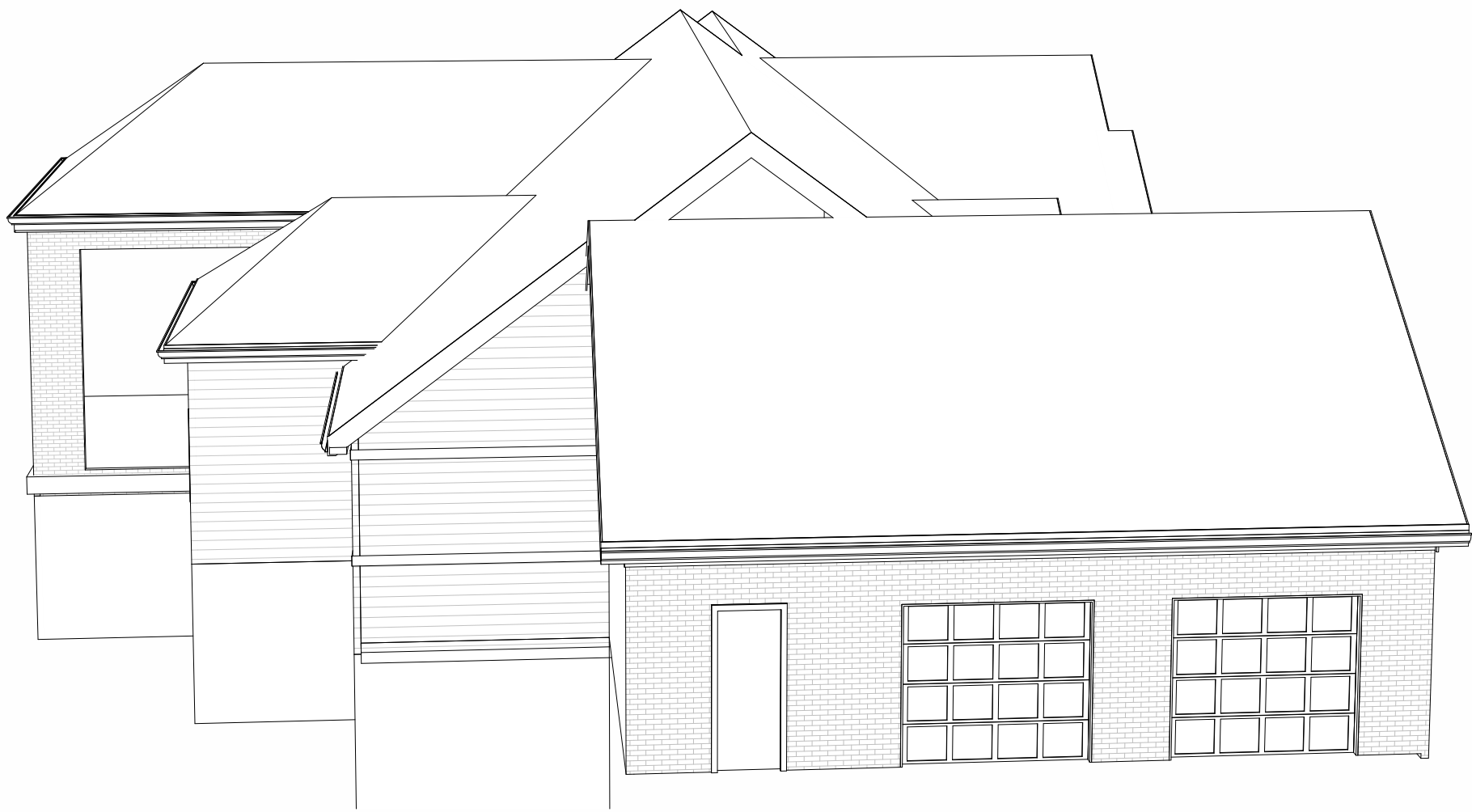
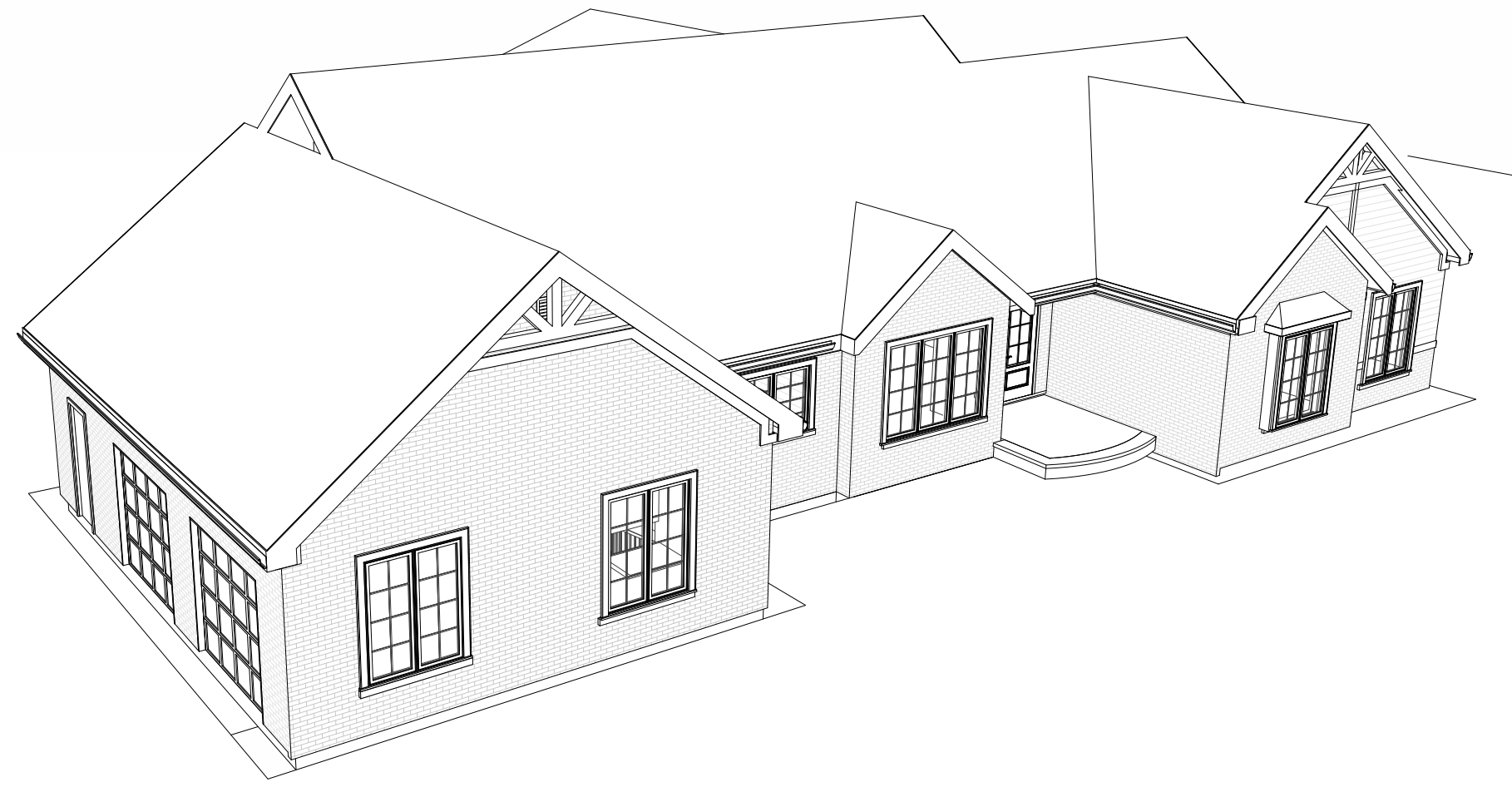
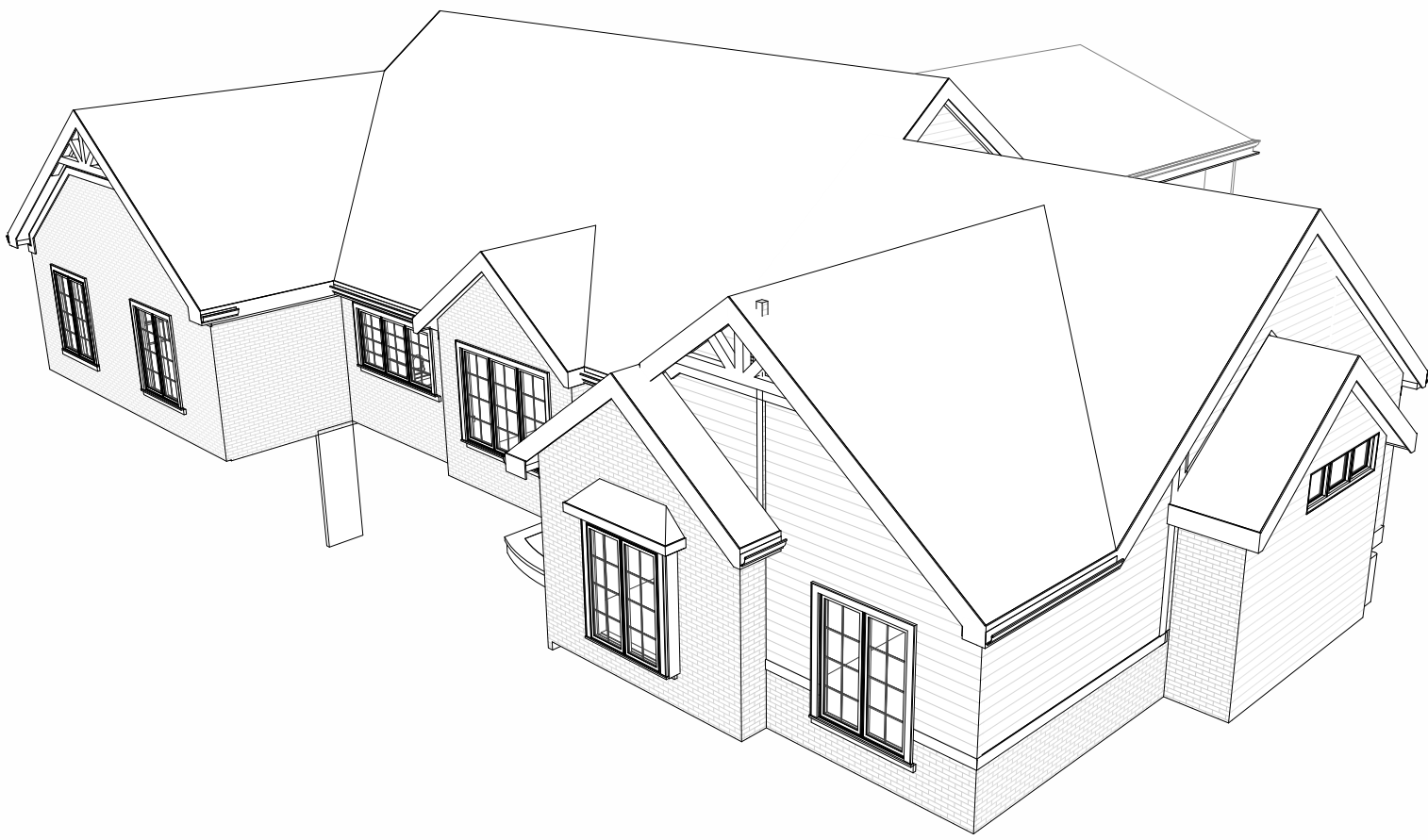
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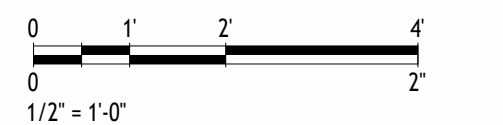
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EXTERIOR Details



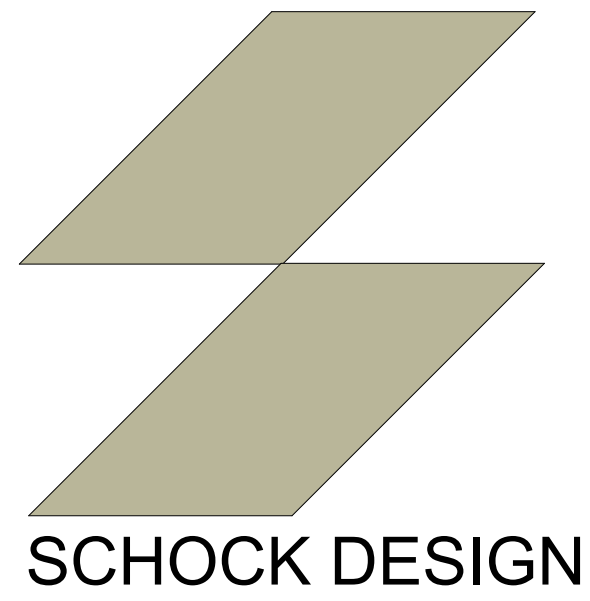
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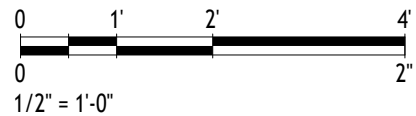
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INTERIOR Details



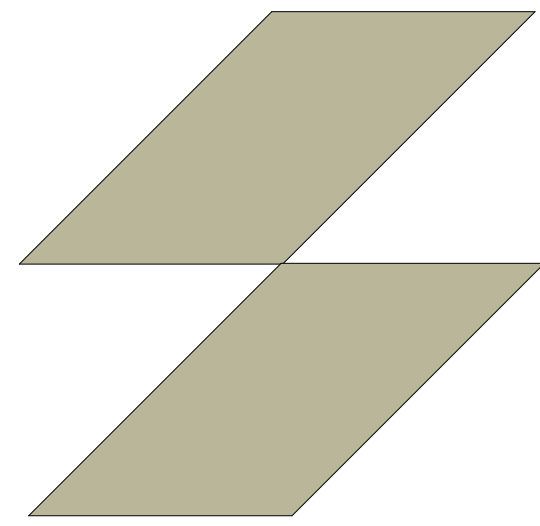
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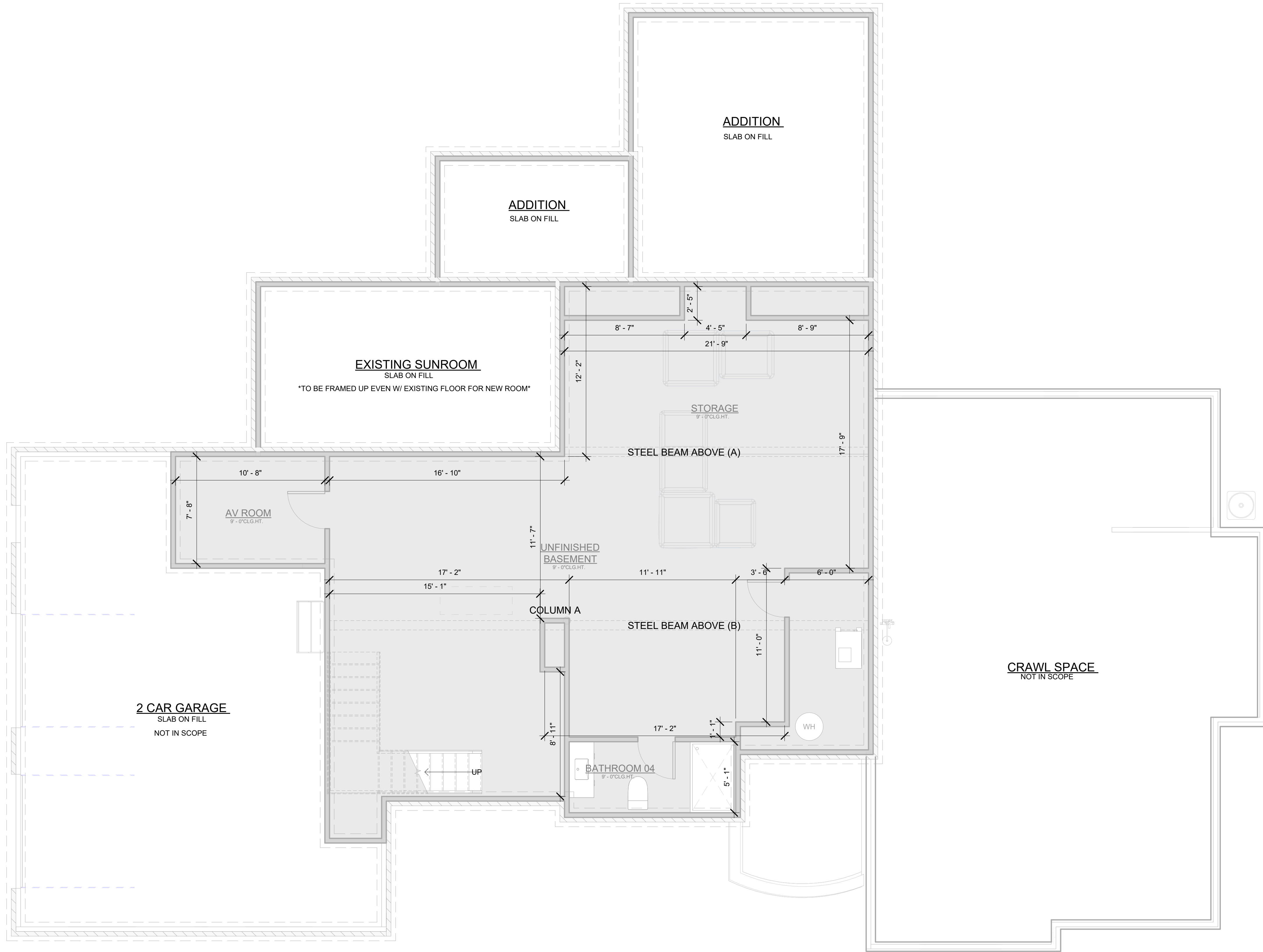
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1 Basement
A100 1/4" = 1'-0"

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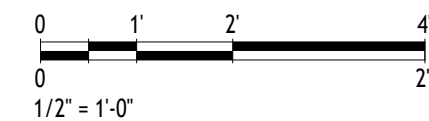
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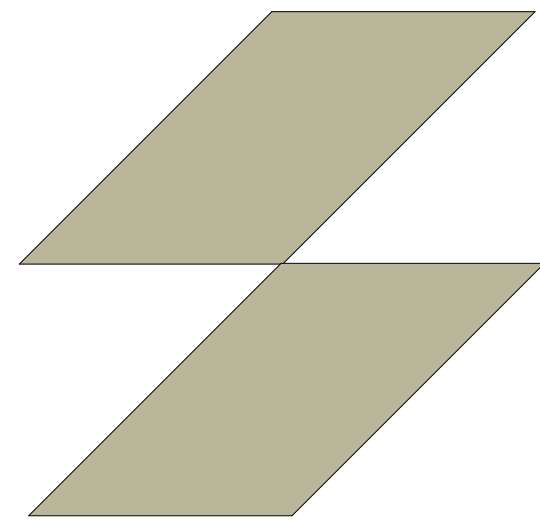
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Scale 1/4" = 1'-0"

Basement Plan





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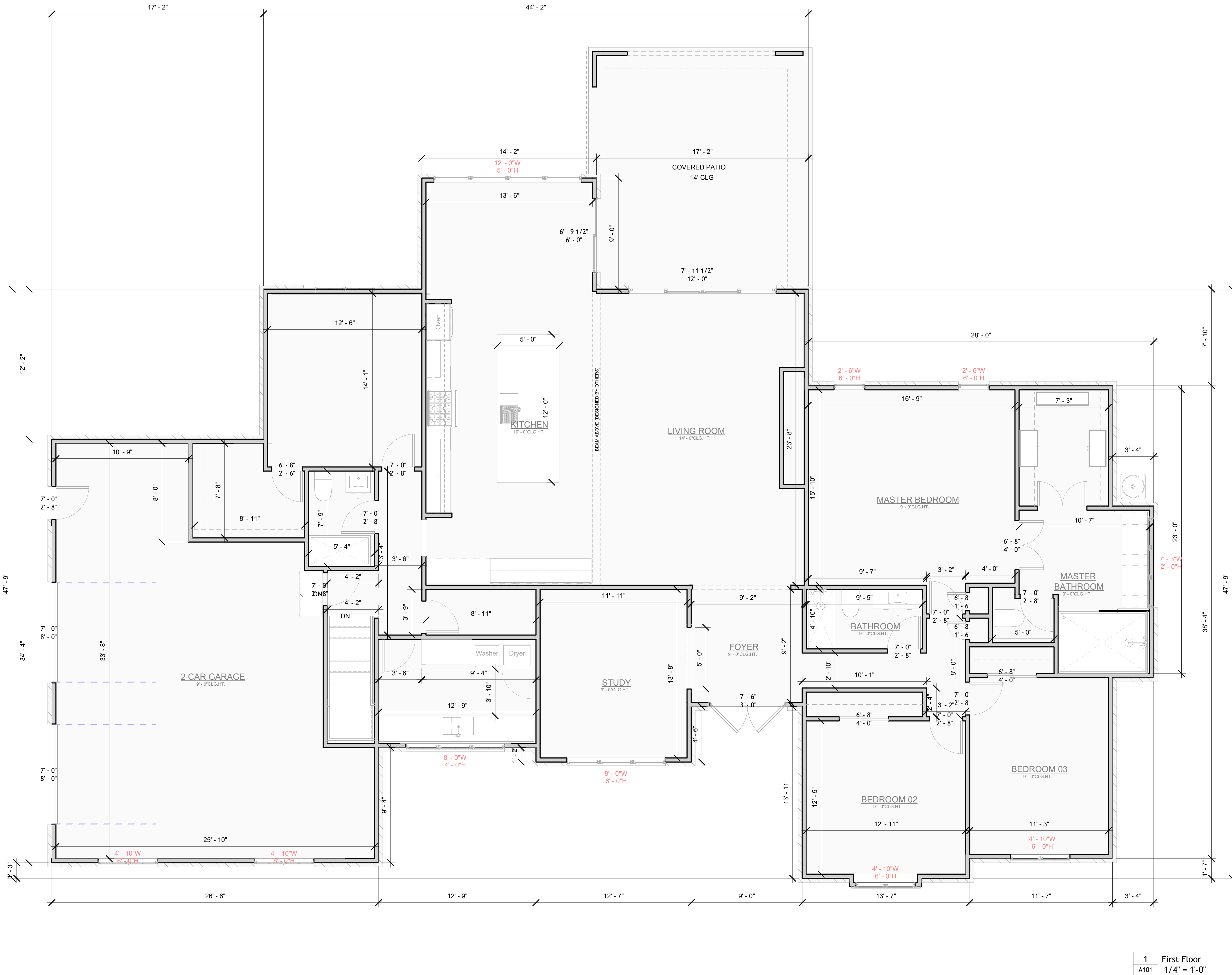
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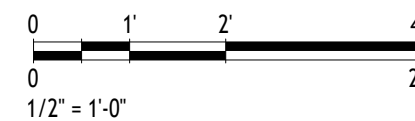
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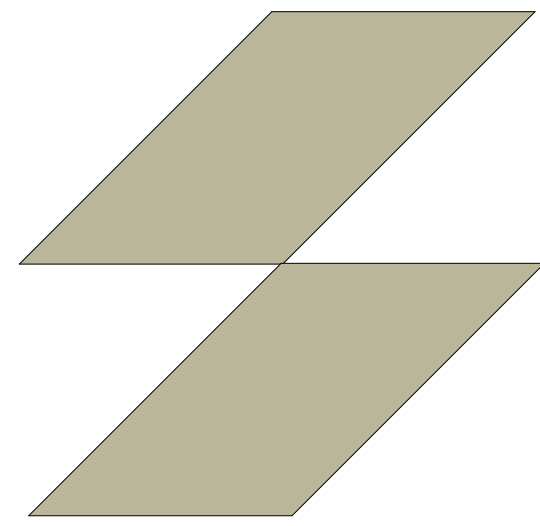
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Scale 1/4" = 1'-0"

First Floor Plan





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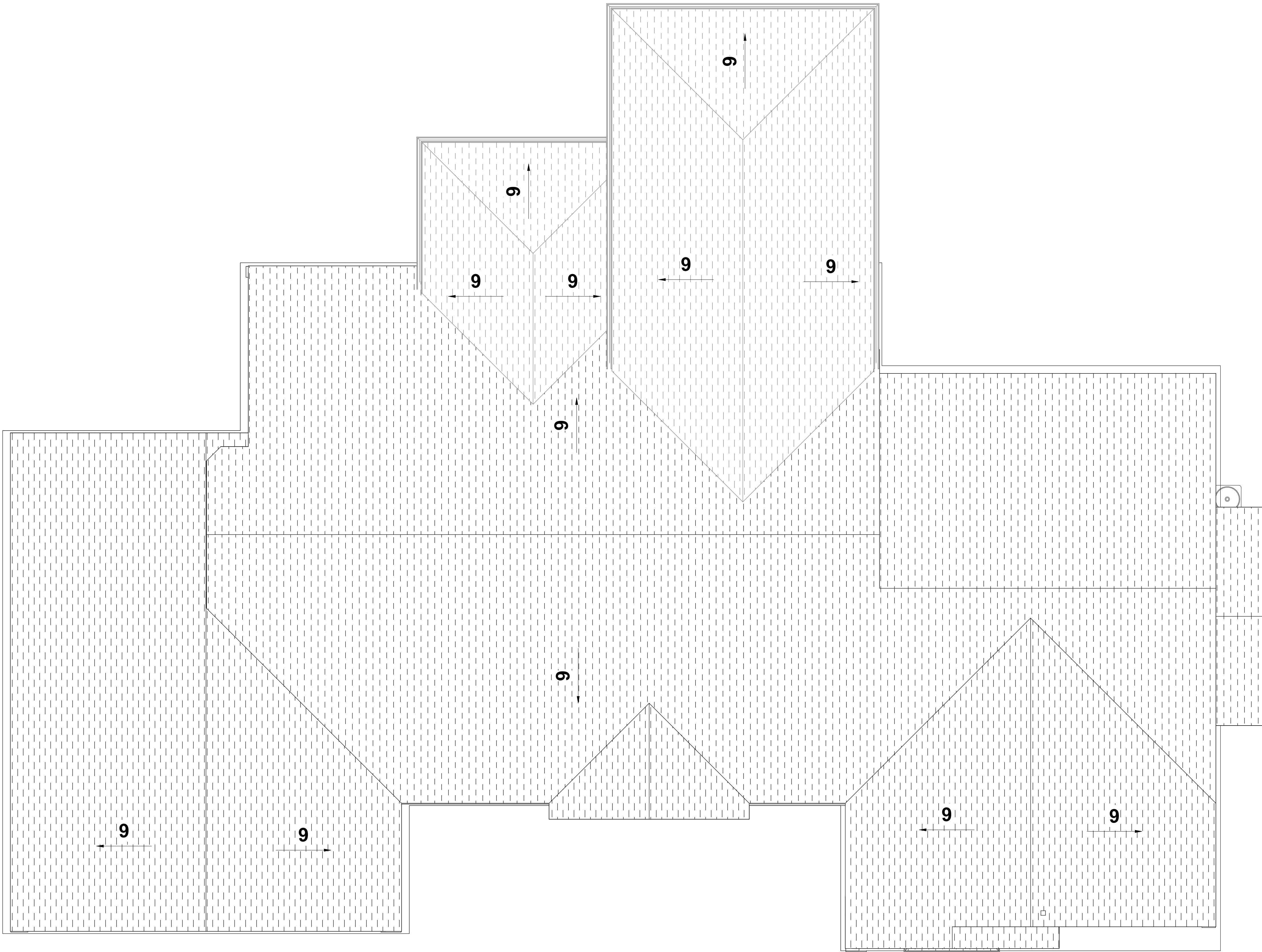
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Project number

Date

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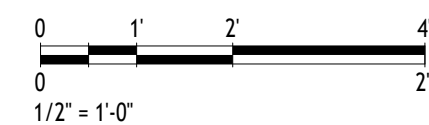
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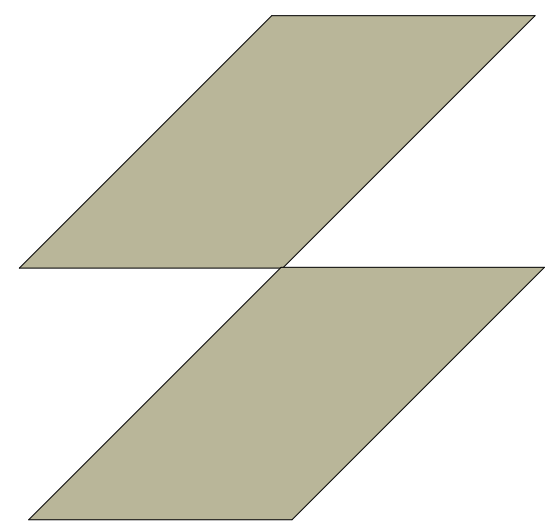
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A106

Scale 1/4" = 1'-0"

Roof Plan





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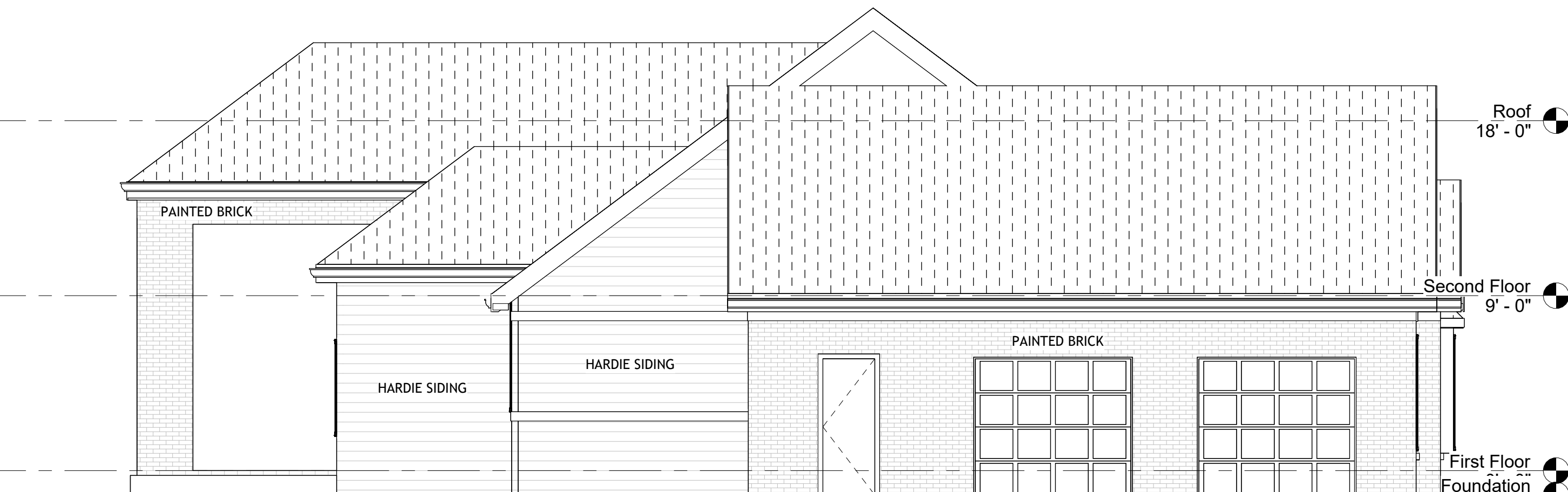
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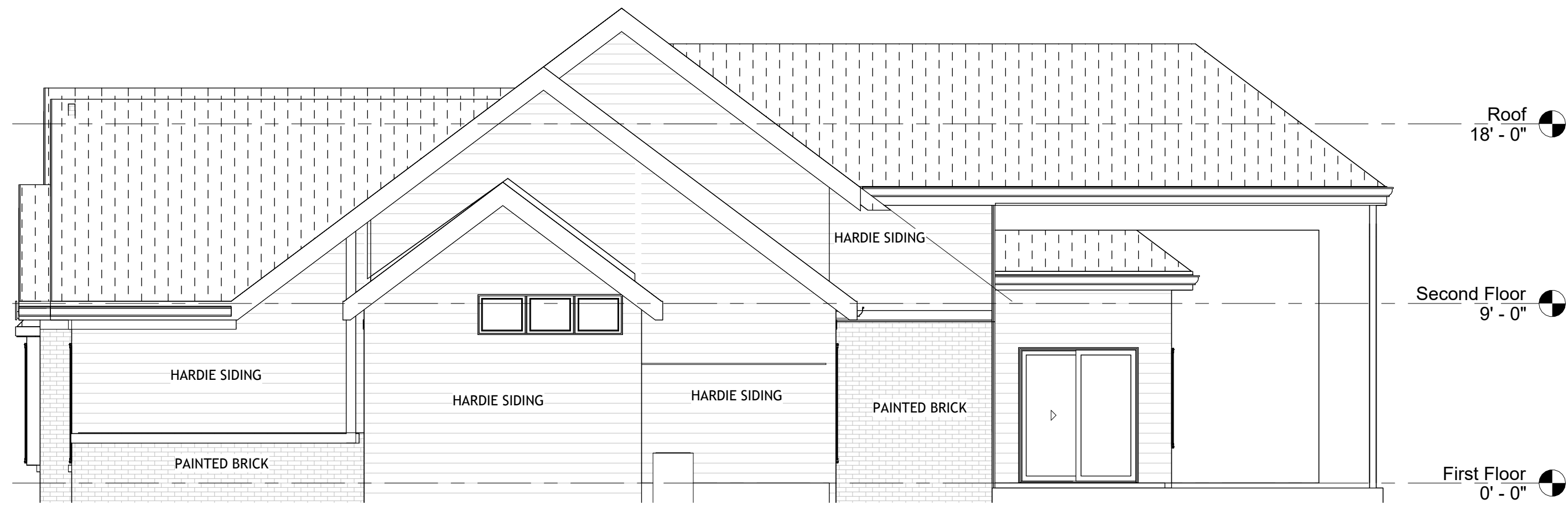
1 South
AZ00 3/16" = 1'-0"



3 North
AZ00 3/16" = 1'-0"



4 West
AZ00 3/16" = 1'-0"



2 East
AZ00 3/16" = 1'-0"

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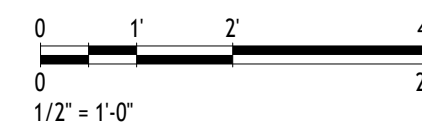
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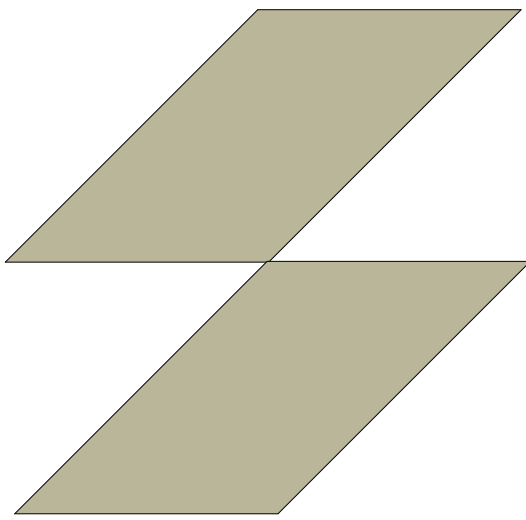
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A200

Scale 3/16" = 1'-0"

Elevations





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WILDRIDGE24
8020 S Franklin Rd.
Indianapolis, IN 46259

JOE WILDRIDGE

Project number
Date

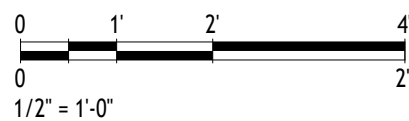
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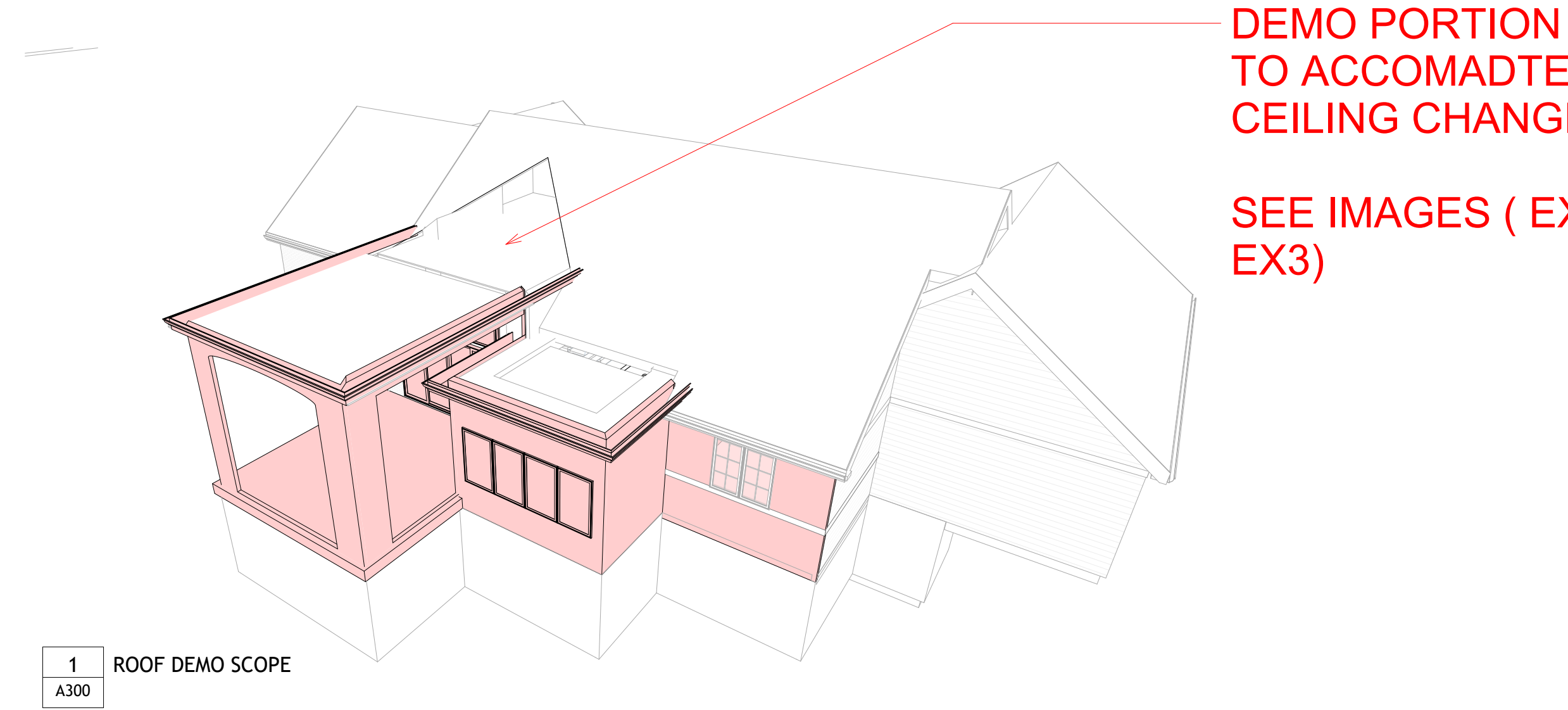
Elevations



GENERAL FLOOR PLAN NOTES:

1. ALL INTERIOR WALLS ARE 2X-1 OR 2x. AS SHOWN. EXTERIOR WALLS ARE 2X1 OR 2x. W/ ONE LA YER OF 1/2" SHEATHING. ALIGN EXTERIOR OF SHEATHING WITH FOUNDATION WALL. ALL ANGLED WALLS ARE 15 DEGREES FROM ADJACENT WALL UNLESS OTHERWISE NOTED.
2. CONFIRM ALL HEADER HEIGHTS AND SIZES PRIOR TO START OF FRAMING. ALL OPENINGS ARE TO BE 1" FROM ADJACENT WALL UNLESS NOTED OTHERWISE.
3. VERIFY ALL TYPES AND SIZES OF WINDOW UNITS AND DOORS WITH OWNER/BUILDER. NOTIFY BUILDER OF ANY DISCREPANCIES.
4. VERIFY LOCATION, TYPES AND SIZES OF VENTS AND EXTERIOR TRIM WITH OWNER/BUILDER
5. INSULATE HIDDEN AREAS OR ASSEMBLIES BEFORE COVERING
6. BUILDER/LUMBER SUPPLIER SHALL SPECIFY SIZES OF DIMENSIONAL LUMBER FOR FLOOR AND ROOF SYSTEMS. NOTIFY BUILDER/LUMBER SUPPLIER IMMEDIATELY OF ANY DISCREPANCIES.
7. STEEL LINTELS OR WOOD BEARING AREAS PROPERLY SIZED, ARE TO BE PROVIDED OVER ALL OPENINGS TO SUPPORT MASONRY VENEER.
8. ALL ROOF AND WALL INTERSECTIONS SHALL BE FLASHED WITH ALUMINUM OR BETTER MATERIAL.
9. ALL BEDROOM EGRESS WINDOWS TO MEET MIN CLEAR OPENING OF 5.1 FT2 UNLESS NOTED OTHERWISE. ONE WINDOW MINIMUM NEEDED PER BEDROOM.

NOTE
IT IS THE BUILDER/ OWNERS RESPONSIBILITY TO VERIFY THE PROPER AIR SPACE BETWEEN ALL BRICK AND WOOD WALLS WITH HOUSE WRAP. TO PREVENT WATER INFILTRATION. BUILDER/ OWNER SHOULD SEEK THE ASSISTANCE OF A QUALIFIED ENGINEER FOR THE PROPER SIZING OF ALL STRUCTURAL HEADERS, RAFTERS, SUPPORT BEAMS, LAMINATED BEAMS, JOISTS, FOOTINGS, ETC. IT IS THE BUILDER/ OWNERS RESPONSIBILITY TO VERIFY ALL DIMENSIONS/DESIGN OF THESE DOCUMENTS FOR ACCURACY.



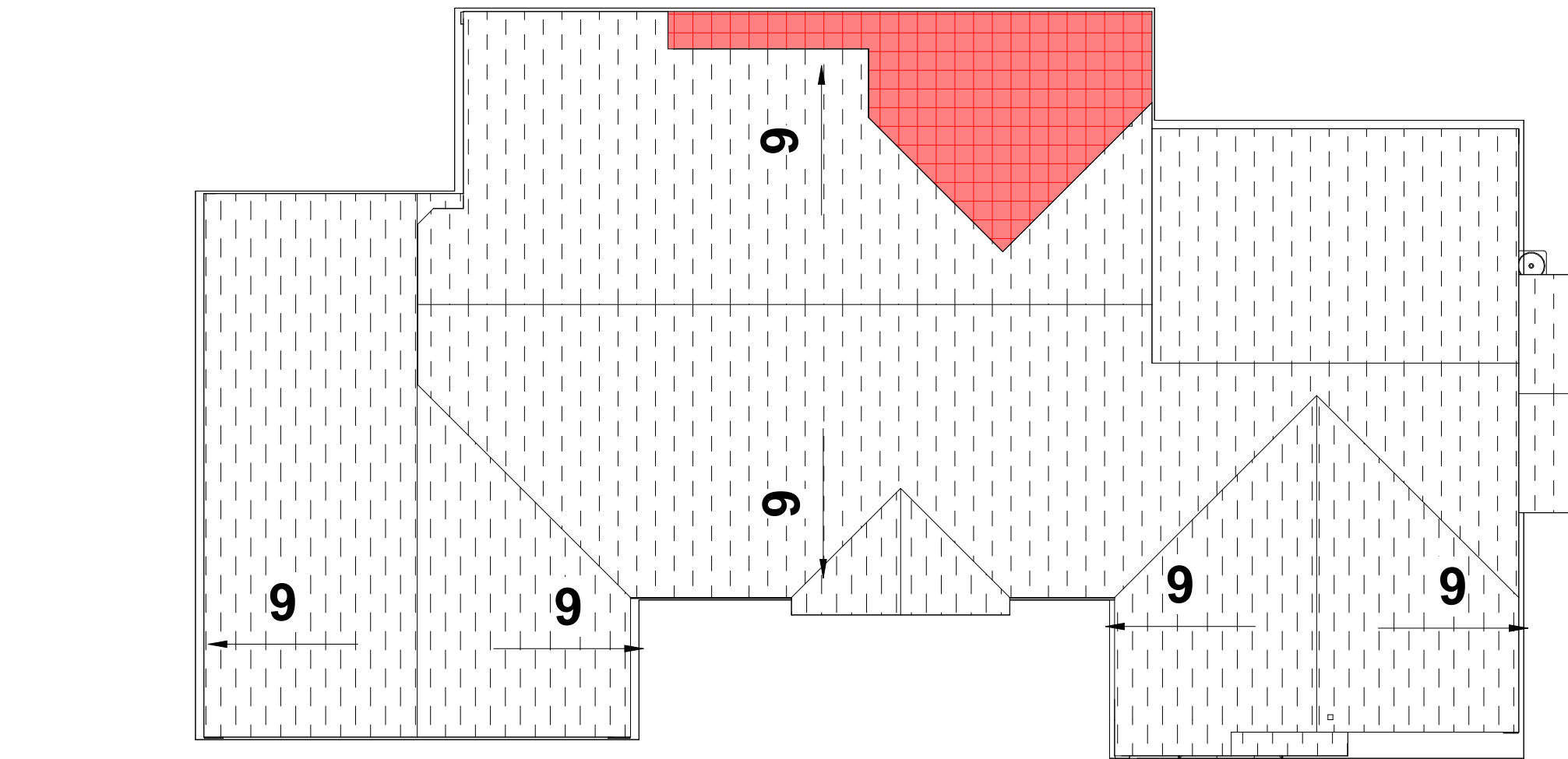
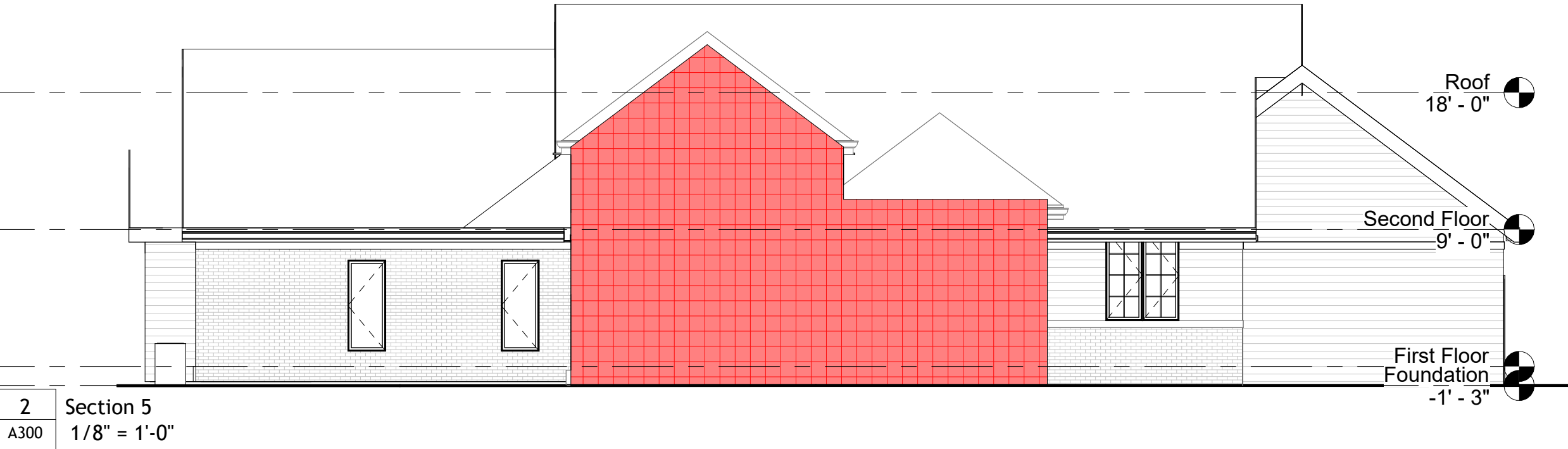
DEMO PORTION OF ROOF
TO ACCOMADTE FOR 14'
CEILING CHANGE

SEE IMAGES (EX1, EX2,
EX3)

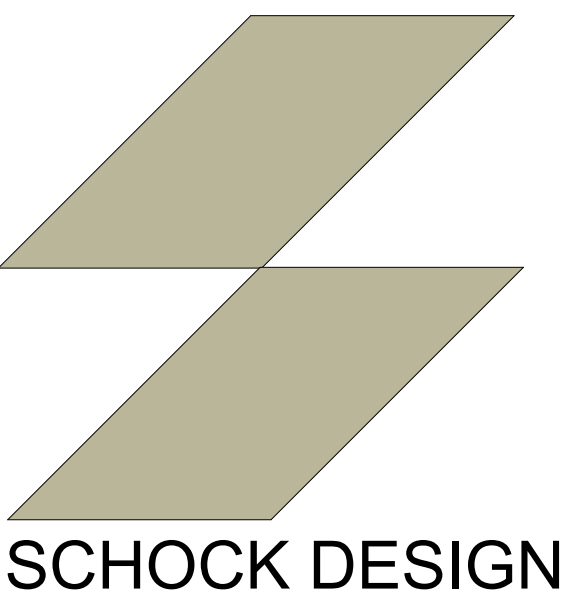


DEMO AND FRAME
UP FOR 14'
CEILING

EX. 1 - ATTIC VIEW



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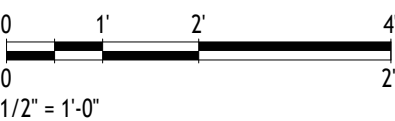
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Scale As indicated

Building Sections



1/2" = 1'-0"

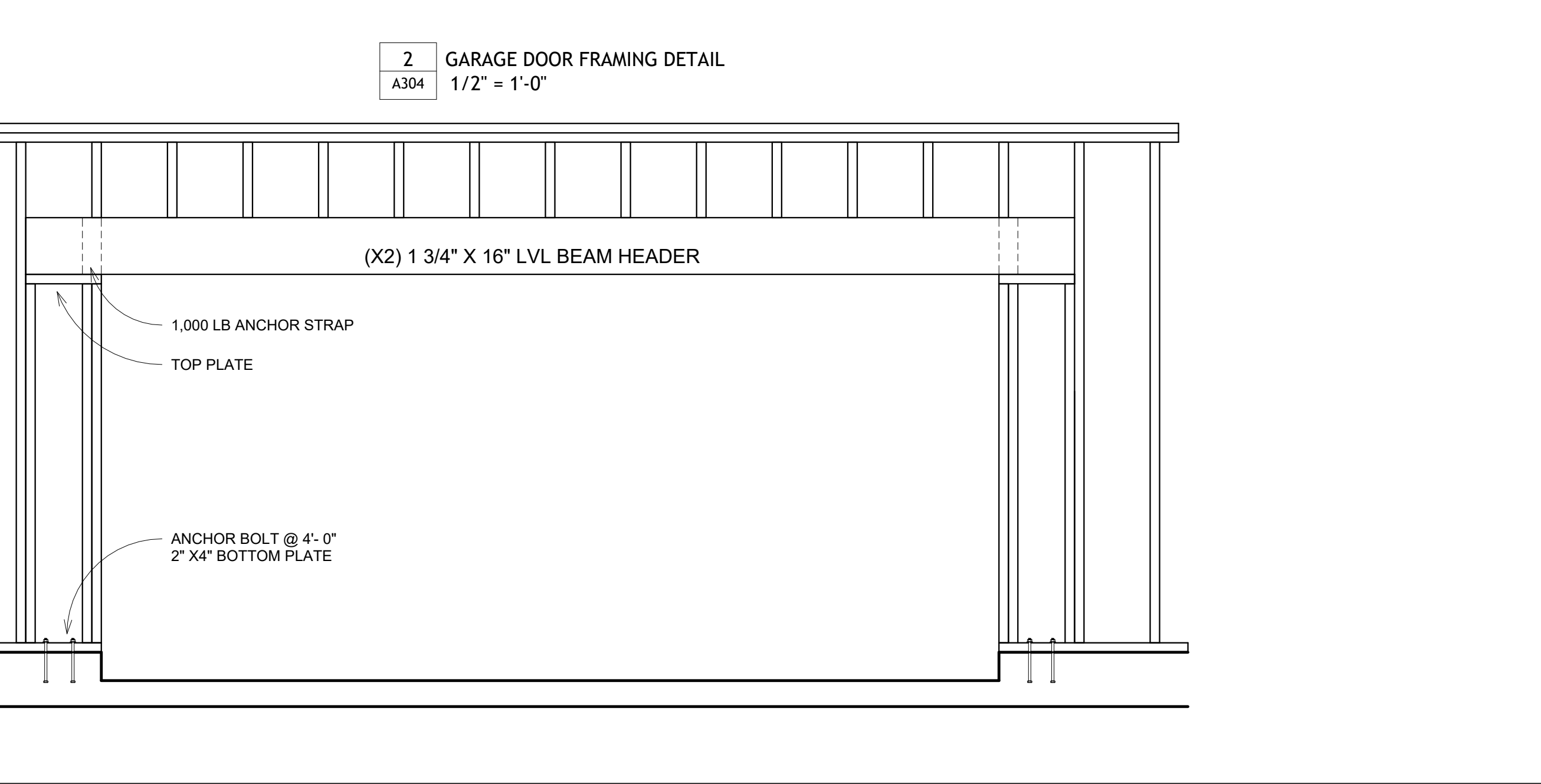
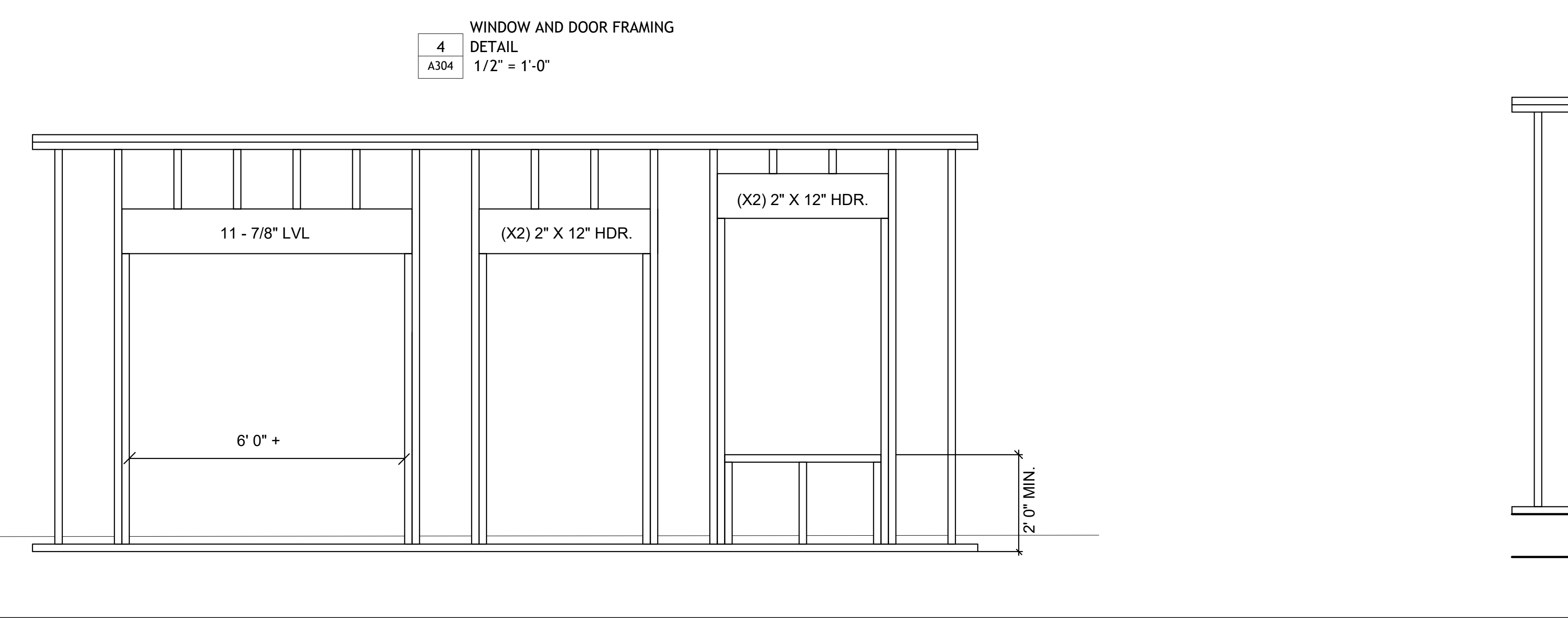
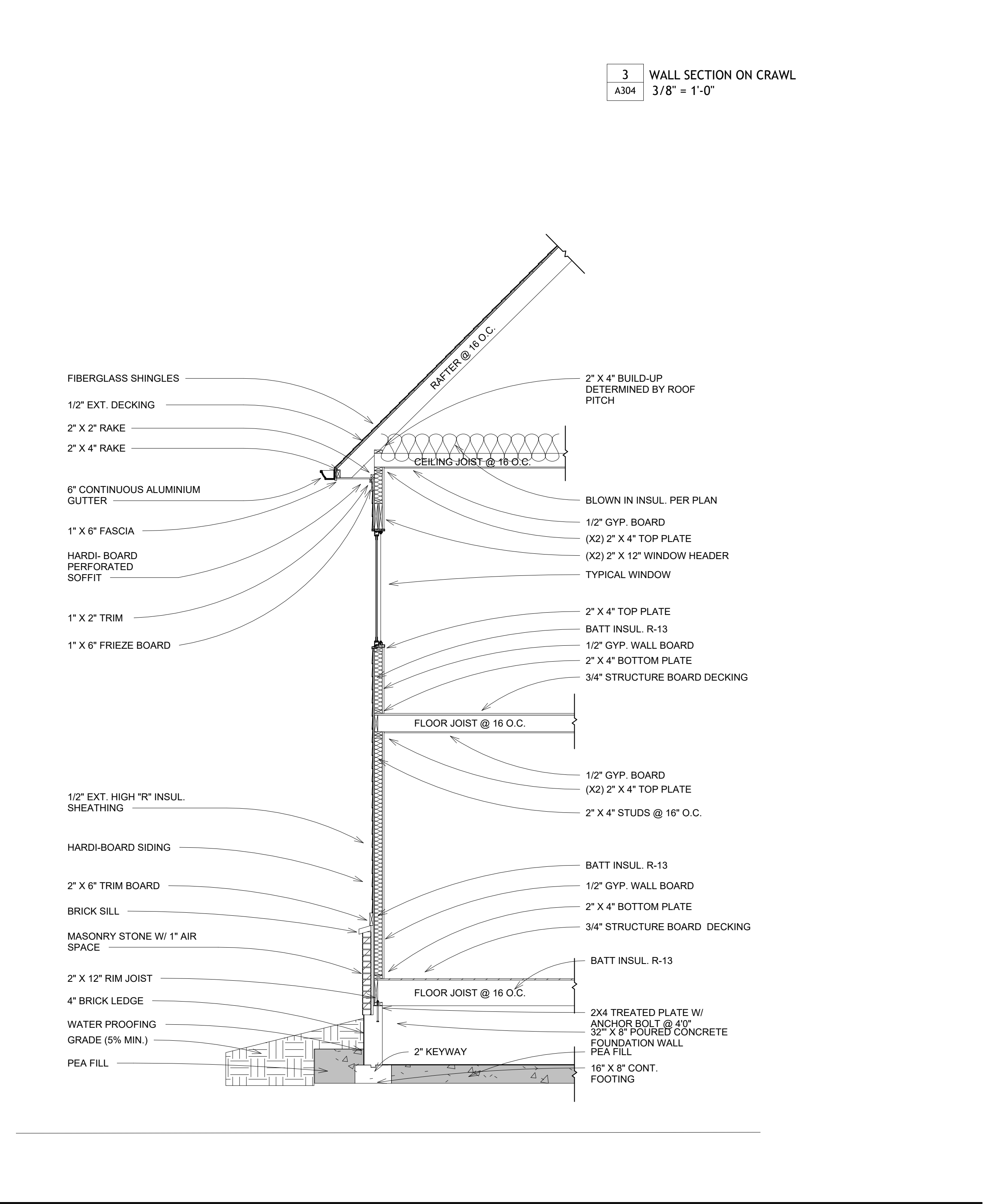
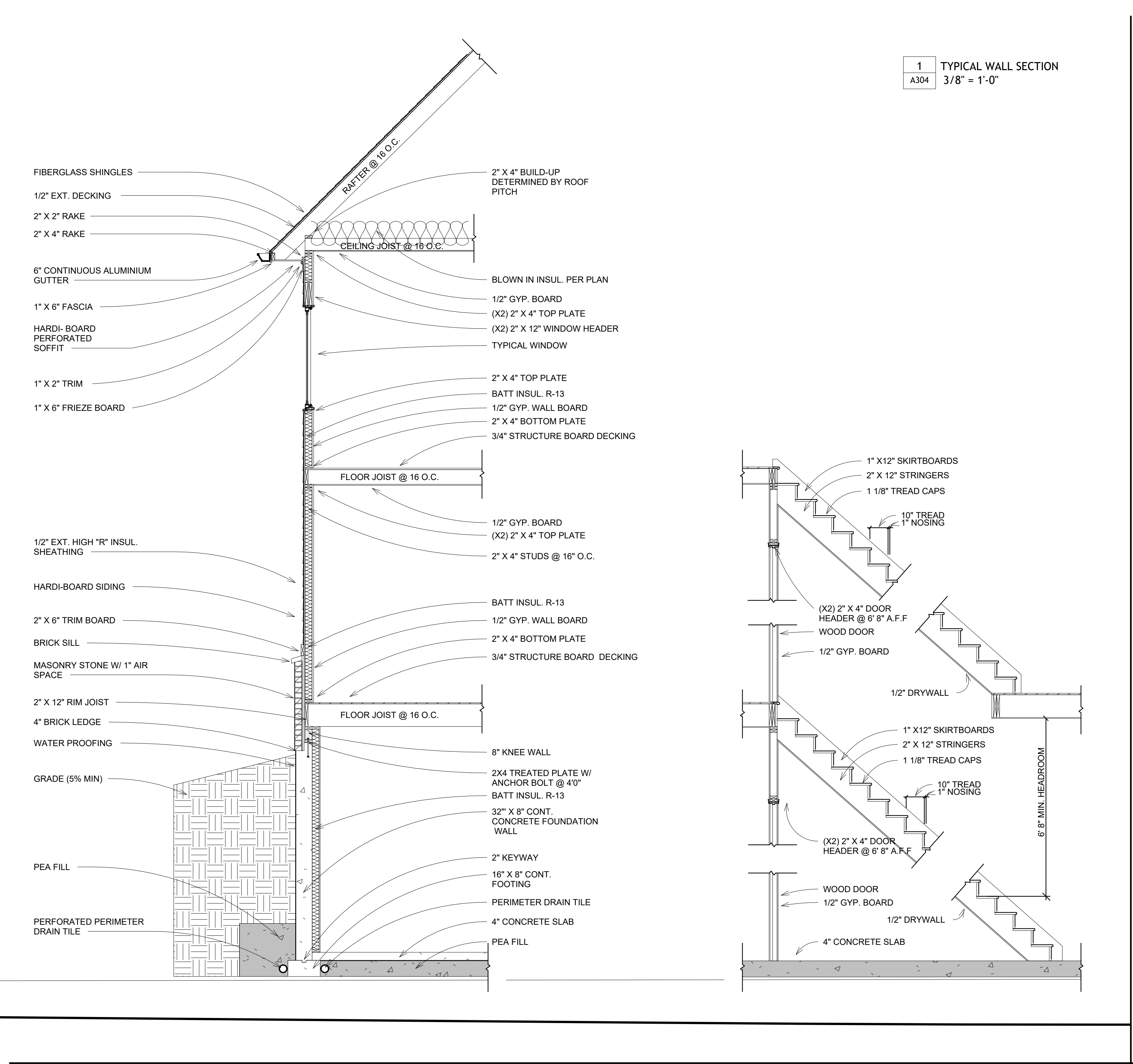
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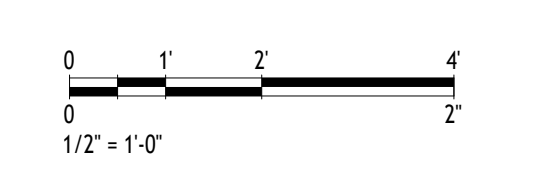
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Project number
Date

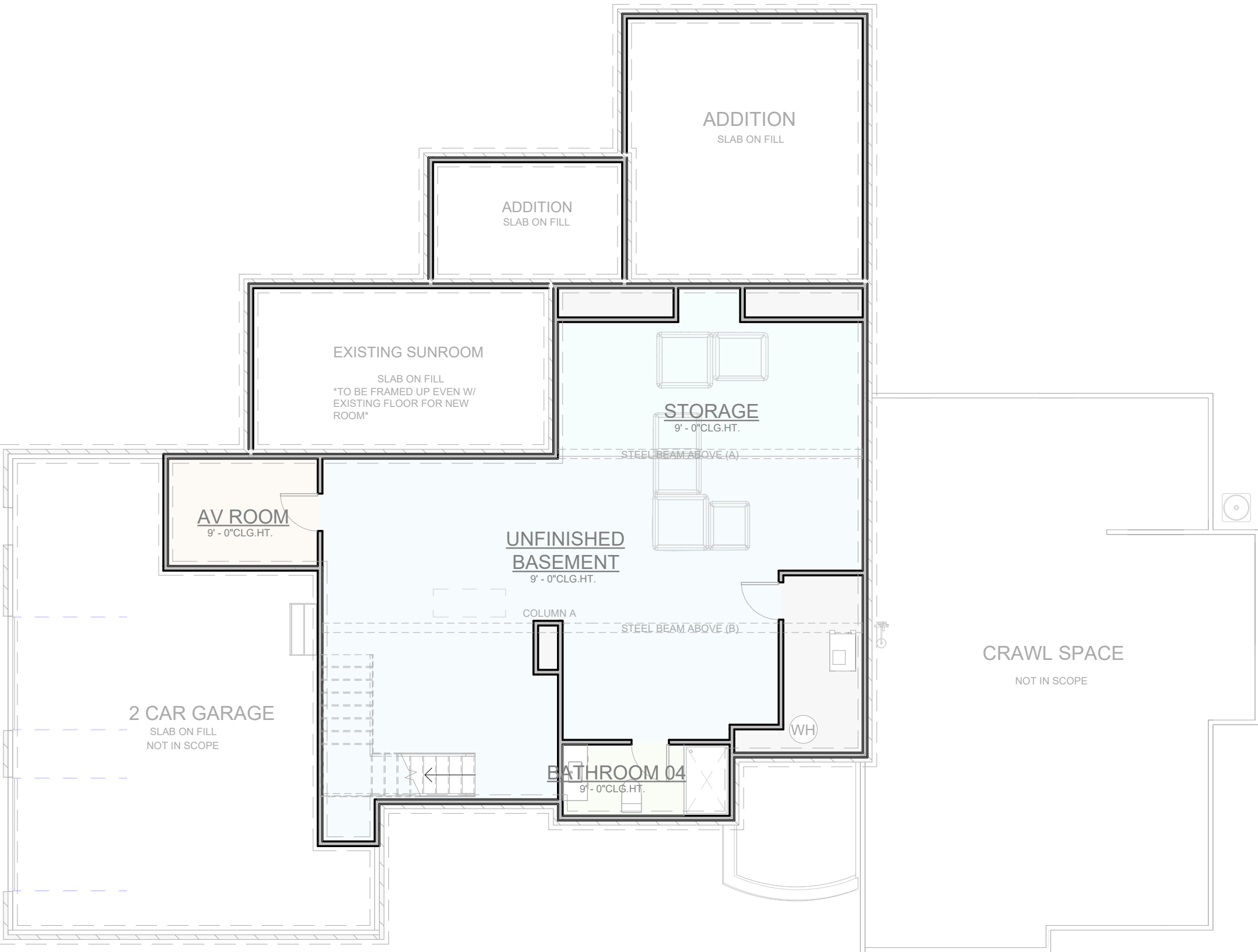
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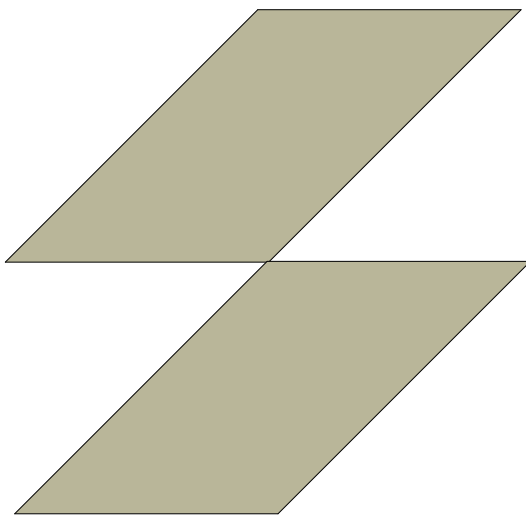
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Wall Sections





Room Finish Schedule										
Room Name	Finish				Area	Ceiling Height	Perimeter	Base Style	Level	Comments
	Floor	Base	Wall	Ceiling						
LIVING ROOM	W1	P1	P1	P2	383 SF	14' - 0"	85' - 4"	B1	First Floor	
STUDY	W1	P1	P1	P2	163 SF	9' - 0"	51' - 2"	B1	First Floor	
FOYER	W1	P1	P1	P2	136 SF	9' - 0"	73' - 2"	B1	First Floor	
BEDROOM 02	C1	P1	P1	P2	160 SF	9' - 0"	50' - 8"	B1	First Floor	
BEDROOM 03	C1	P1	P1	P2	161 SF	9' - 0"	51' - 2"	B1	First Floor	
MASTER BATHROOM	T1	P1	P1	P2	120 SF	9' - 0"	55' - 10"	B1	First Floor	
MASTER BEDROOM	C1	P1	P1	P2	272 SF	9' - 0"	69' - 10"	B1	First Floor	
BATHROOM	T2	P1	P1	P2	46 SF	9' - 0"	28' - 6"	B1	First Floor	
2 CAR GARAGE	E1	P1	P1	P2	676 SF	9' - 0"	119' - 0"	B1	First Floor	
KITCHEN	W1	P1	P1	P2	323 SF	10' - 0"	79' - 2 1/2"	B1	First Floor	
GUEST BED	C1	P1	P1	P2	176 SF	9' - 0"	53' - 2"	B1	First Floor	
UNFINISHED BASEMENT	C1	P1	P1	P2	775 SF	9' - 0"	152' - 7 1/2"	B1	Basement	
BATHROOM 04	T3	P1	P1	P2	61 SF	9' - 0"	34' - 0"	B1	Basement	
STORAGE	C1	P1	P1	P2	219 SF	9' - 0"	67' - 6"	B1	Basement	
AV ROOM	N/A	P1	P1	P2	82 SF	9' - 0"	36' - 8 1/2"	B1	Basement	
DINING ROOM		P1	P1	P2	119 SF	9' - 0"	44' - 8"	B1	First Floor	
PANTRY	W1	P1	P1	P2	34 SF	9' - 0"	25' - 7"	B1	First Floor	
W.I.C.	C1	P1	P1	P2	62 SF	9' - 0"	33' - 6"	B1	First Floor	
LAUNDRY	W1	P1	P1	P2	107 SF	9' - 0"	46' - 7"	B1	First Floor	
POWDER BATH	W1	P1	P1	P2	41 SF	9' - 0"	26' - 1 9/16"	B1	First Floor	
MASTER CLOSET	W1	P1	P1	P2	68 SF	9' - 0"	33' - 4"	B1	First Floor	
HALL	W1	P1	P1	P2	102 SF	9' - 0"	62' - 7"	B1	First Floor	



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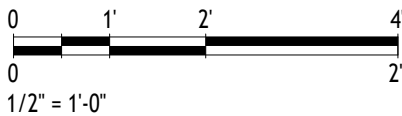
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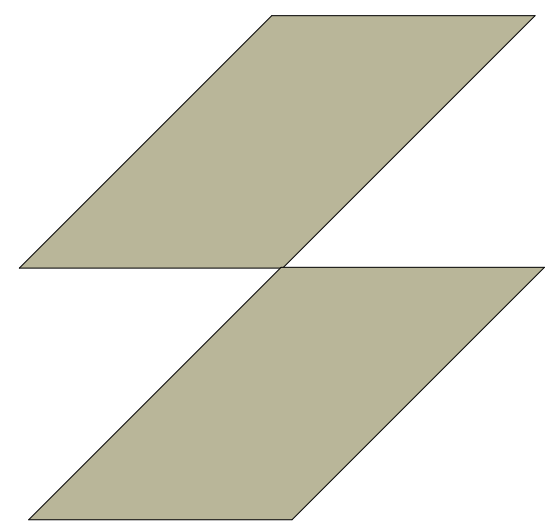
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FINISH SCHEDULE





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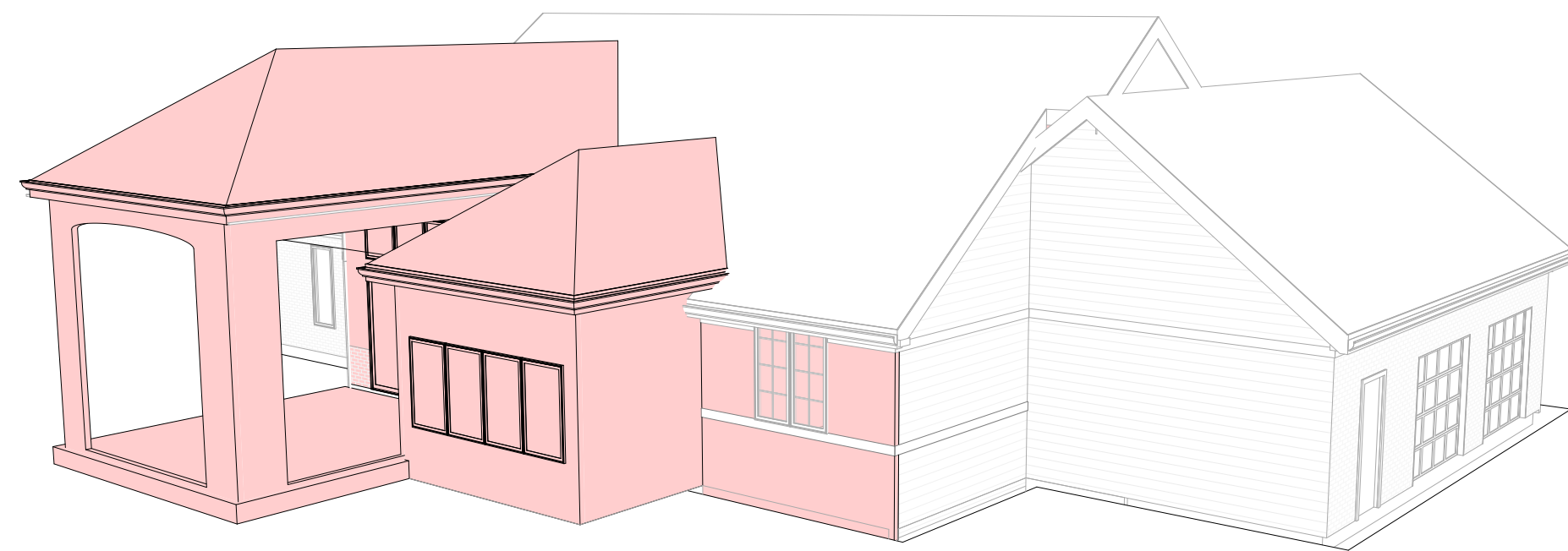
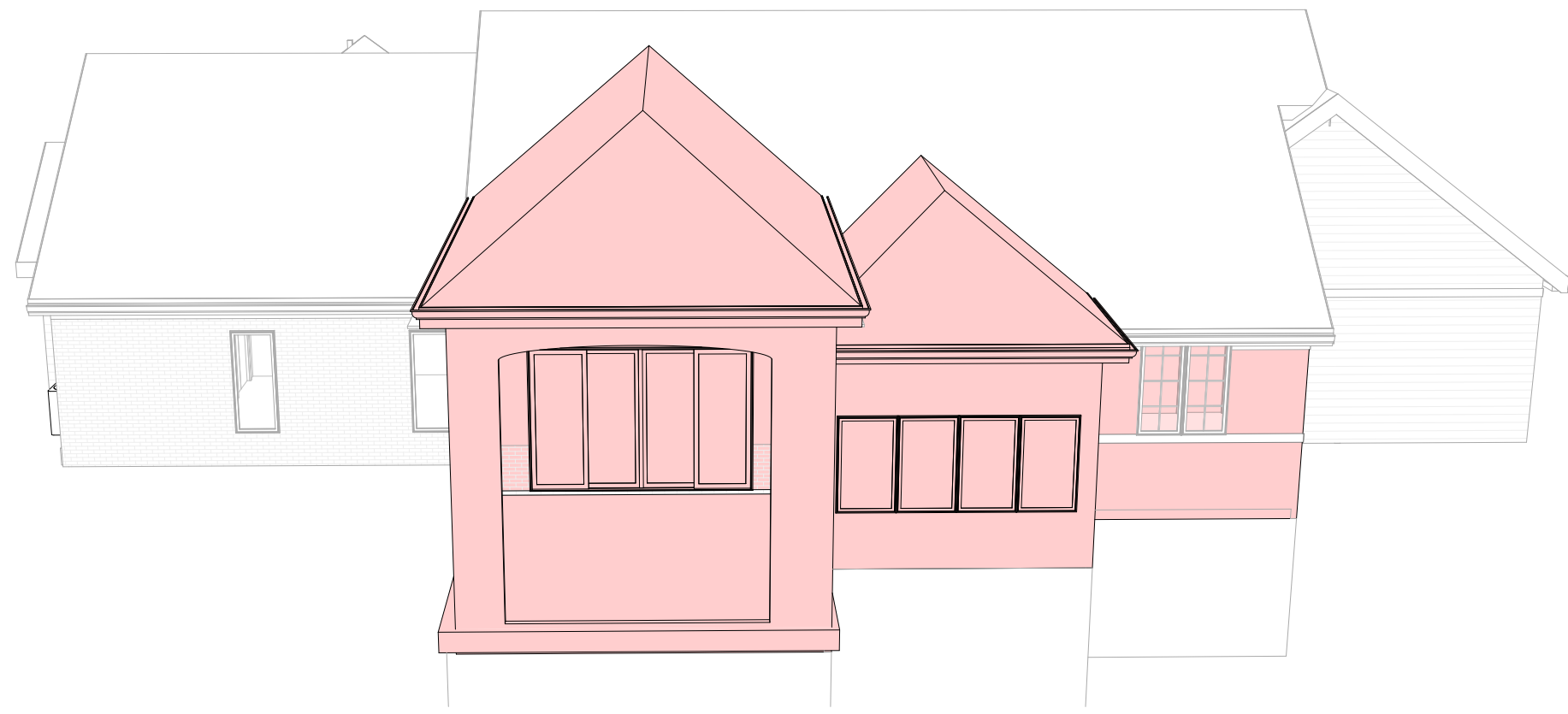
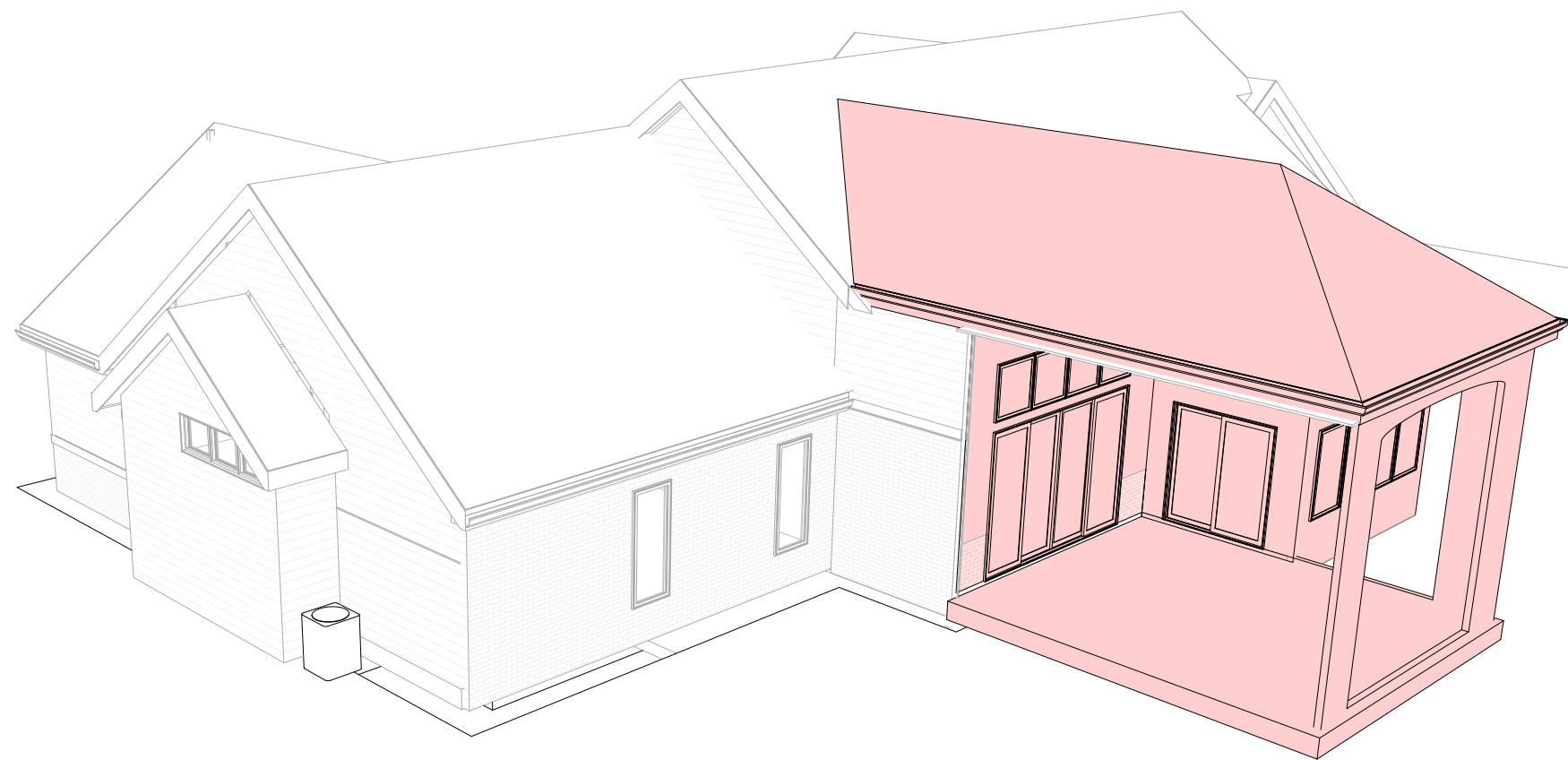
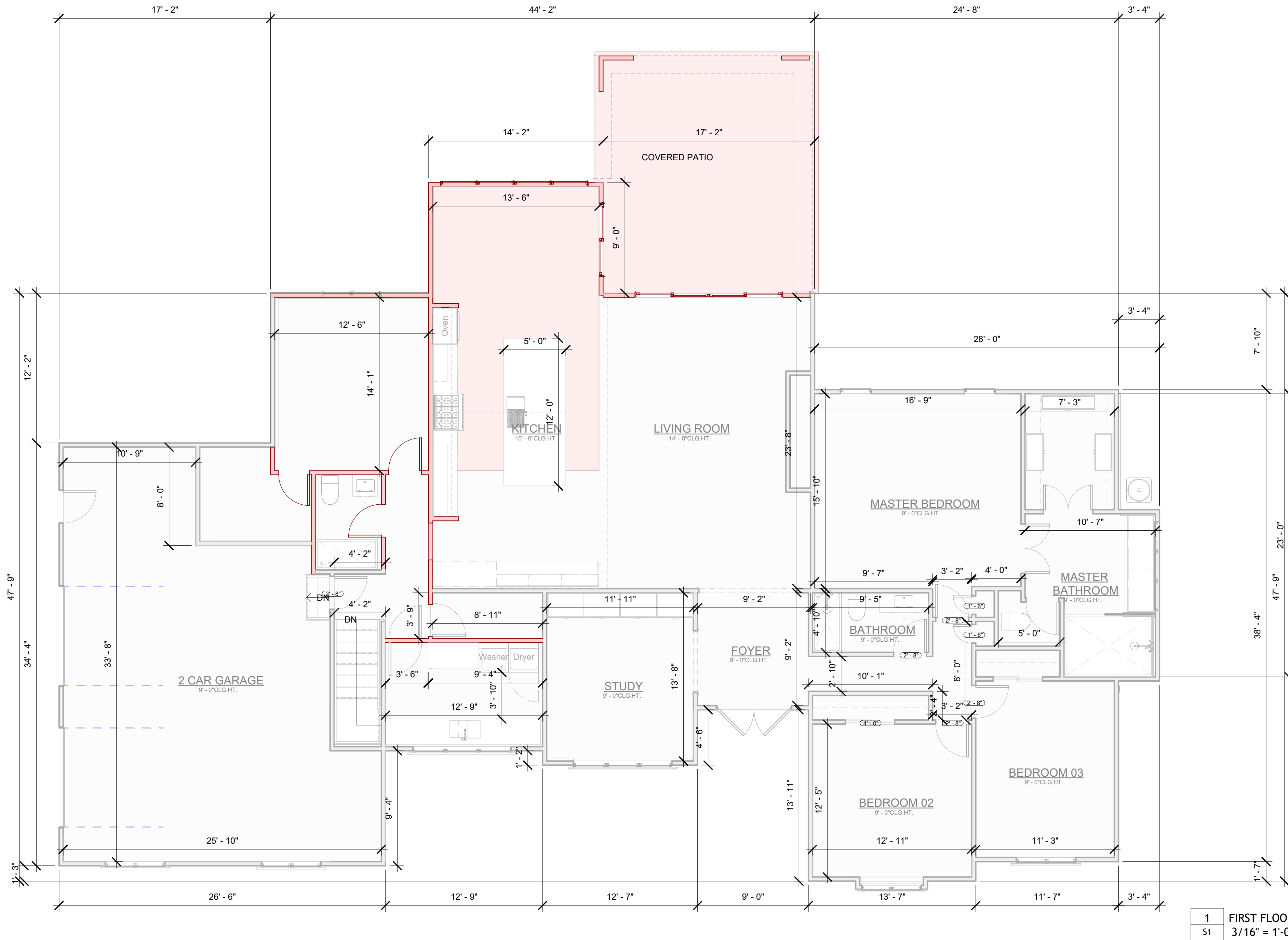
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8. THE GENERAL CONTRACTOR SHALL MAINTAIN A CURRENT AND COMPLETE SET OF CONSTRUCTION DRAWINGS ON THE SITE DURING ALL PHASES OF CONSTRUCTION FOR USE OF THE TRADES.
9. ALL DIMENSIONS ARE TO EXISTING FINISHED WALL SURFACE OR NEW FINISHED WALL SURFACE, UNLESS NOTED.
10. THE CONTRACTOR SHALL PROTECT ALL EXISTING AND NEW MATERIALS AND FINISHES FROM DAMAGE WHICH MAY OCCUR FROM CONSTRUCTION, DEMOLITION, PAINT, DUST, WATER, ETC. ALL SUCH DAMAGE SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF THE ARCHITECT AND OWNER AT THE CONTRACTOR'S EXPENSE.
11. THE GENERAL CONTRACTOR SHALL PROVIDE A THOROUGH CLEAN-UP AT CLOSE-OUT, INCLUDING VACUUMING AND CLEANING ALL CARPETING.
12. PROVIDE WOOD BLOCKING IN WALLS AS REQUIRED FOR ALL WALL-SUPPORTED ITEMS. SEE DRAWINGS FOR CASEWORK ITEMS.

GENERAL NOTES:

1. DO NOT SCALE THE DRAWINGS.
2. REPORT ALL DIMENSIONAL DISCREPANCIES TO ARCHITECT FOR RESOLUTION.
3. ALL NON-PERPENDICULAR WALLS SHALL BE AT 45 DEGREES UNLESS OTHERWISE NOTED.
4. ALIGN FINISHED FACE OF NEW CONSTRUCTION WITH FINISHED FACE OF EXISTING WALLS.
5. ALL DIMENSIONS ARE TO FACE OF NEW GYPSUM BOARD FINISH OR EXISTING FINISHES UNLESS OTHERWISE NOTED.
6. HINGE SIDE OF ALL DOORS SHALL BE 5' OFF THE FACE OF ADJACENT WALL, UNLESS NOTED OTHERWISE.
7. PATCH FINISHES OF EXISTING WALLS AND CEILING TO REMAIN AS REQUIRED FOR UNIFORM, CLEAN APPEARANCE.
8. INSTALL WOOD BLOCKING IN WALLS BEHIND WALL-HUNG ITEMS AND TOILET ACCESSORIES.
9. INSTALL R-11 SOUND BATT INSULATION IN ALL WALLS, UNLESS NOTED OTHERWISE.

Project number

Date

CLIENT APPROVAL

SIGNATURE:

DATE: 4/3/2025 2:03:46 PM

S1

Scale 3/16" = 1'-0"

First Floor
Framing Plan

