

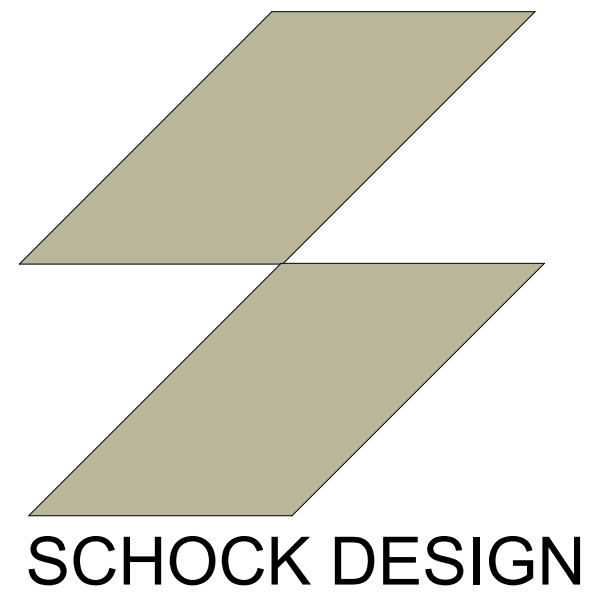
ARCHITECTURAL NOTES:

- 1.VERIFY ALL EXISTING CONDITIONS PRIOR TO THE START OF CONSTRUCTION. NOTIFY THE ARCHITECT IMMEDIATELY OF ANY CONFLICTS PRIOR TO PROCEEDING WITH WORK.
- 2.THE CONTRACTOR SHALL FILE ALL DRAWINGS FOR PERMIT APPLICATION OR OTHER MATERIALS REQUIRED TO SECURE ANY AND ALL NECESSARY BUILDING PERMITS AS MIGHT BE REQUIRED BY ANY LOCAL ORDINANCES TO PERFORM THIS WORK.
- 3.THE DRAWINGS ARE NOT TO BE SCALED. FOR INFORMATION CONCERNING EXISTING PARTITIONS, ETC., VERIFICATION MUST BE DONE IN THE FIELD.
- 4.THE USE OF THE WORDS "PROVIDE" OR "PROVIDED" IN CONNECTION WITH ANY ITEM SPECIFIED, IS INTENDED TO MEAN, UNLESS OTHERWISE NOTED, THAT SUCH SHALL BE FURNISHED AND INSTALLED FOLLOWING MANUFACTURER'S INSTRUCTIONS AND RECOMMENDATIONS, AND SUPPLYING AND INSTALLING ALL ASSOCIATED ITEMS AND ACCESSORIES AS REQUIRED, AND CONNECTED WHERE SO REQUIRED FOR A COMPLETE INSTALLATION.
- 5.UPON COMPLETION OF PROJECT, OBTAIN ALL FINAL INSPECTIONS AS REQUIRED BY LOCAL JURISDICTION AND FURNISH OWNER WITH EVIDENCE OF ALL INSPECTIONS AND CERTIFICATES OF OCCUPANCY.
- 6.UPON COMPLETION OF PROJECT, PROVIDE WITH ALL INSTRUCTION MANUALS, IF ANY, AND OTHER DOCUMENTS REQUIRED FOR MAINTENANCE OF ANY ITEM IN THE WORK.

- 7.THESE CONSTRUCTION DRAWINGS ARE SUPPLIED FOR GENERAL TYPE DESIGN AND ARE INTENDED TO INDICATE THE QUALITY OF CONSTRUCTION, MATERIALS, AND WORKMANSHIP THROUGHOUT.
- 8.THE GENERAL CONTRACTOR SHALL MAINTAIN A CURRENT AND COMPLETE SET OF CONSTRUCTION DRAWINGS ON THE SITE DURING ALL PHASES OF CONSTRUCTION FOR USE OF THE TRADES.
- 9.ALL DIMENSIONS ARE TO EXISTING FINISHED WALL SURFACE OR NEW FINISHED WALL SURFACE, UNLESS NOTED.
- 10.THE CONTRACTOR SHALL PROTECT ALL EXISTING AND NEW MATERIALS AND FINISHES FROM DAMAGE WHICH MAY OCCUR FROM CONSTRUCTION, DEMOLITION, PAINT, DUST, WATER, ETC. ALL SUCH DAMAGE SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF THE ARCHITECT AND OWNER AT THE CONTRACTOR'S EXPENSE.
- 11.THE GENERAL CONTRACTOR SHALL PROVIDE A THOROUGH CLEAN-UP AT CLOSE-OUT, INCLUDING VACUUMING AND CLEANING ALL CARPETING.
- 12.PROVIDE WOOD BLOCKING IN WALLS AS REQUIRED FOR ALL WALL-SUPPORTED ITEMS. SEE DRAWINGS FOR CASEWORK ITEMS.

GENERAL NOTES:

- 1.DO NOT SCALE THE DRAWINGS.
- 2.REPORT ALL DIMENSIONAL DISCREPANCIES TO ARCHITECT FOR RESOLUTION.
- 3.ALL NON-PERPENDICULAR WALLS SHALL BE AT 45 DEGREES UNLESS OTHERWISE NOTED.
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317-696-2502

PRATI SPEC 003

BARGERSVILLE, IN



REVISION NUMBER: Project Number

DATE PUBLISHED: 5/2/2025 12:51:33 PM

APPROVED BY

J. GREG ALLEN

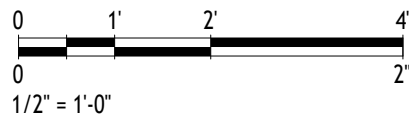
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Scale 1/4" = 1'-0"

Elevations

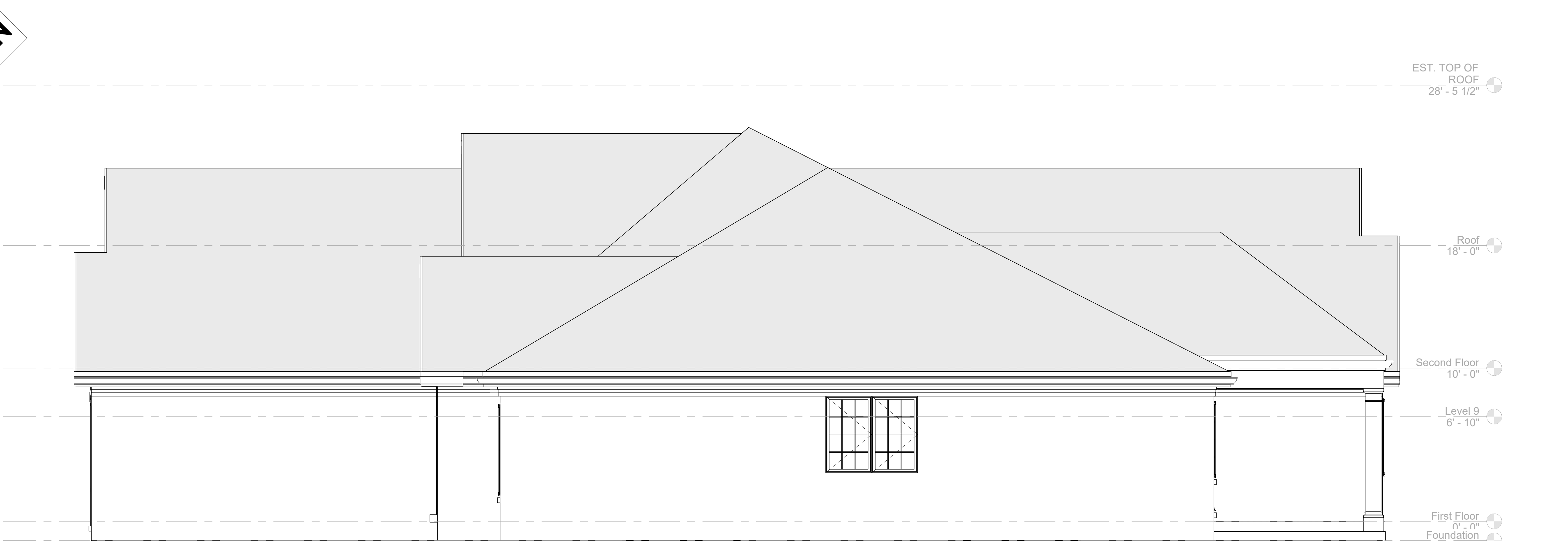


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- 5.UPON COMPLETION OF PROJECT, OBTAIN INSPECTIONS AS REQUIRED BY LOCAL AND FURNISH OWNER WITH PROPER INSPECTIONS AND CERTIFICATES.
- 6.UPON COMPLETION OF PROJECT, PROVIDE OWNER WITH ALL INSTRUCTIONS AND OTHER DOCUMENTS RE MAINTENANCE OF ANY WORK.
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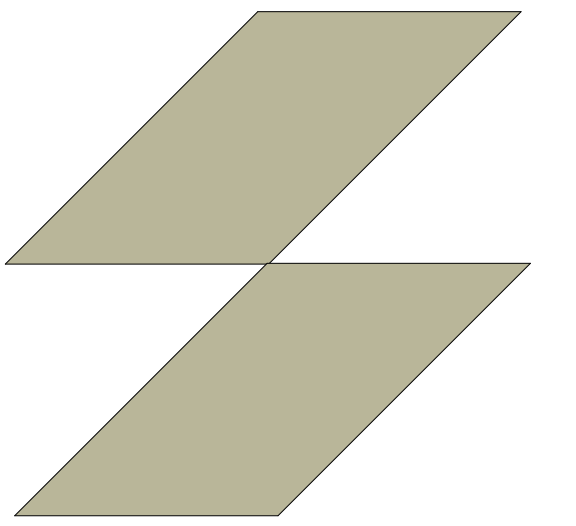
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1 East
A201 1/4" = 1'-0"



2 West
A201 1/4" = 1'-0"



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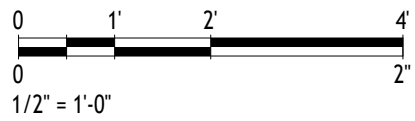
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A201

Scale 1/4" = 1'-0"

Elevations



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- 7.THESE CONSTRUCTION DRAWINGS ARE SUPPLIED TO THE OWNER FOR GENERAL INFORMATION ONLY. THEY ARE NOT TO BE USED FOR ANY OTHER PURPOSE AND ARE NOT TO BE REPRODUCED OR COPIED IN ANY MANNER WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT.

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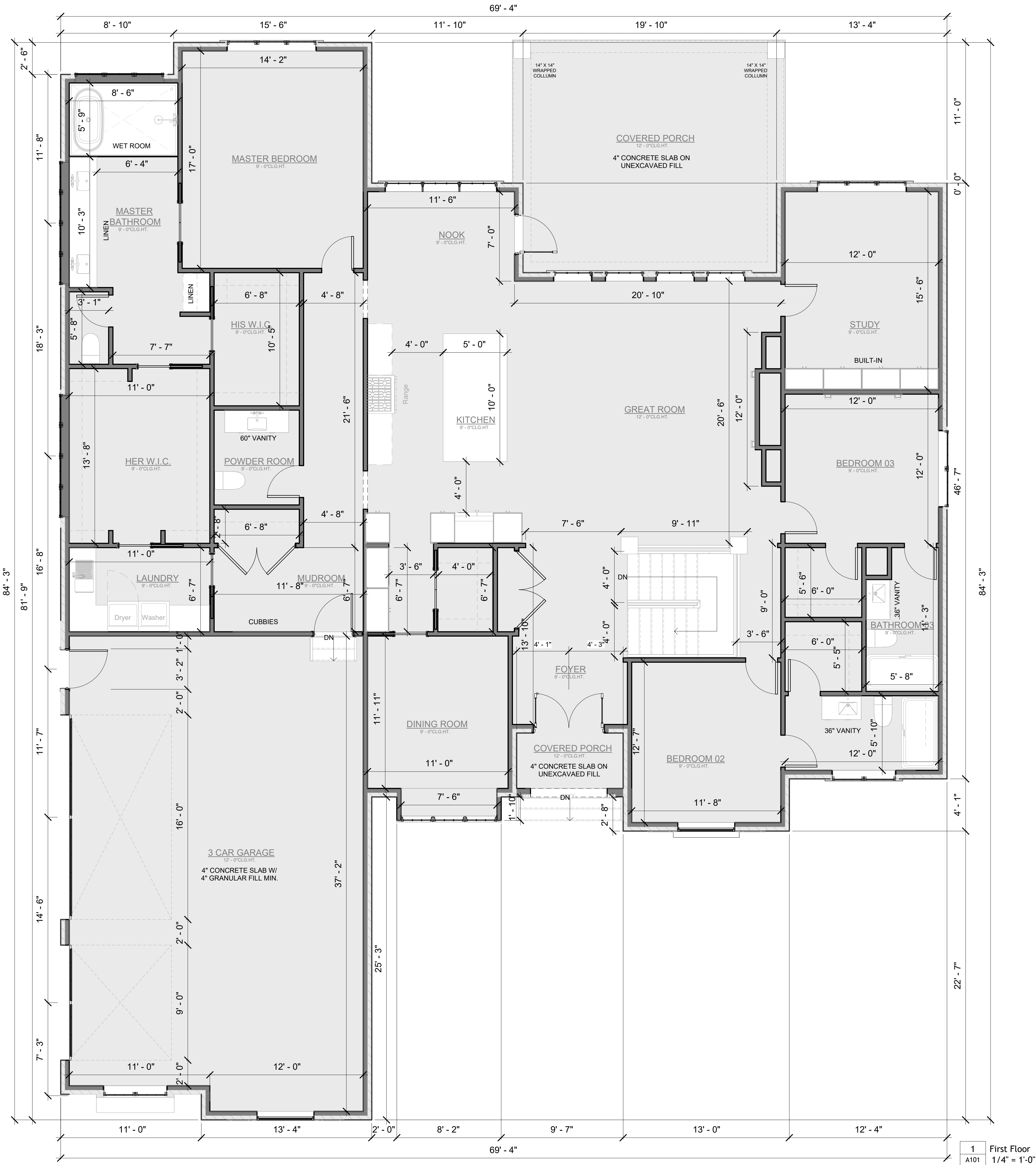
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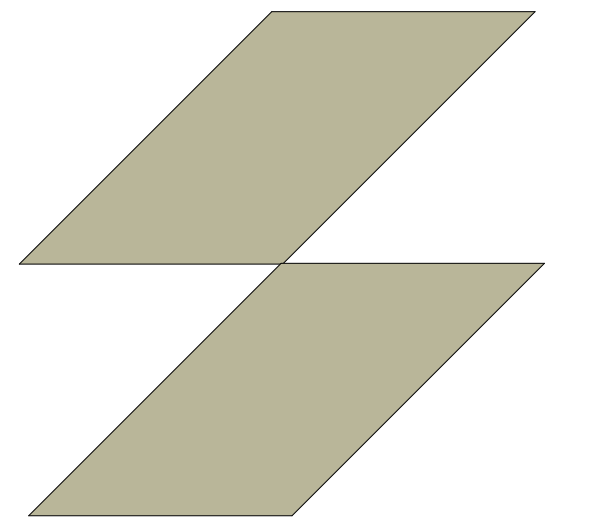
NOT FOR CONSTRUCTION



FIRST FLOOR FINISHED	2955 SF
BASEMENT FINISHED	1712 SF
TOTAL FINISHED AREA	4668 SF
REAR COVERED PORCH	369 SF
FRONT COVERED PORCH	45 SF
3 CAR GARAGE	849 SF
MECH / STORAGE	178 SF
TOTAL UNFINISHED AREA	1441 SF

TOTAL PROJECT AREA : 6,109 SQFT

1 First Floor
A101 1/4" = 1'-0"



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PRATI SPEC 003

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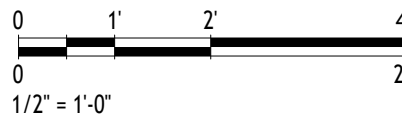
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Scale 1/4" = 1'-0"

First Floor Plan



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- 5.UPON COMPLETION OF PROJECT, OWNER SHALL HAVE INSPECTIONS AS REQUIRED BY LOCAL AND STATE AGENCIES WITH DUE DILIGENCE AND CERTIFICATE.
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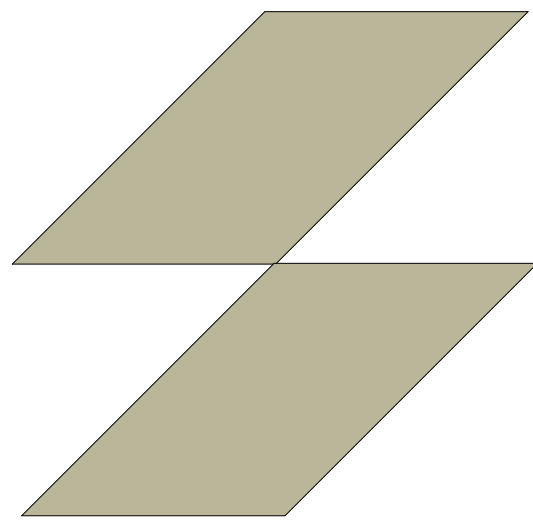
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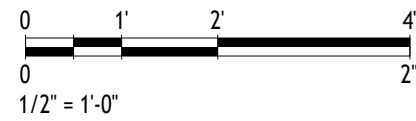
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Scale 1/4" = 1'-0"

Basement Plan

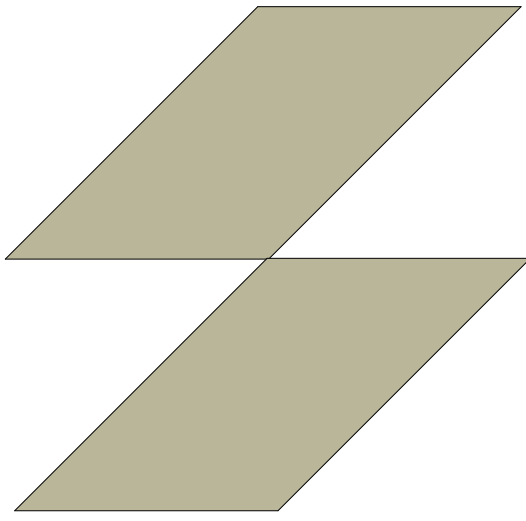
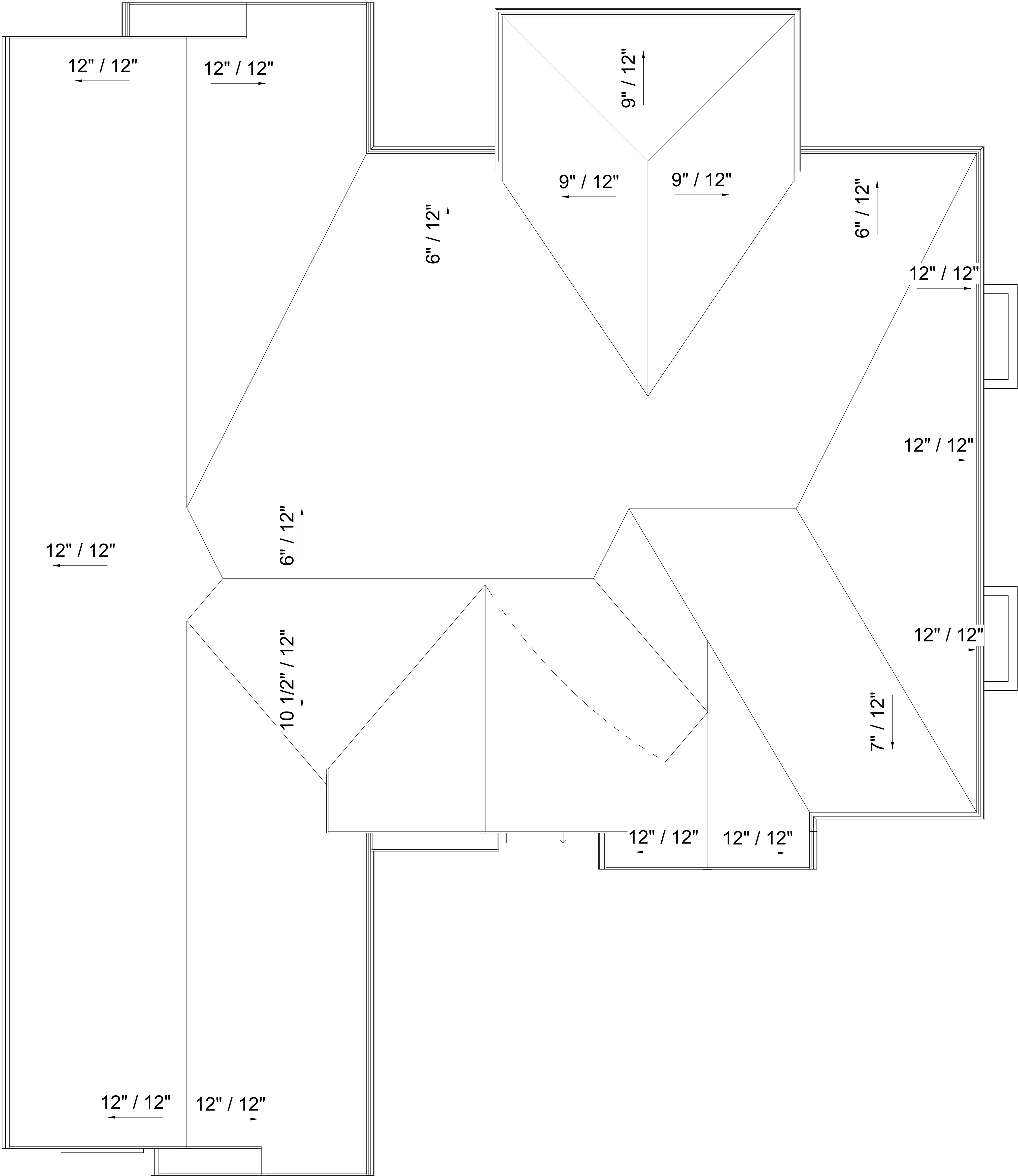


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- 5.UPON COMPLETION OF PROJECT INSPECTIONS AS REQUIRED BY CITY AND FURNISH OWNER WITH COPY OF INSPECTIONS AND CERTIFICATE.
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SCHOCK DESIGN

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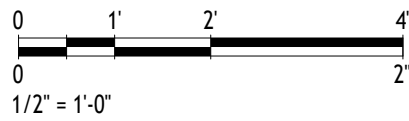
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Scale 1/4" = 1'-0"

Roof Plan



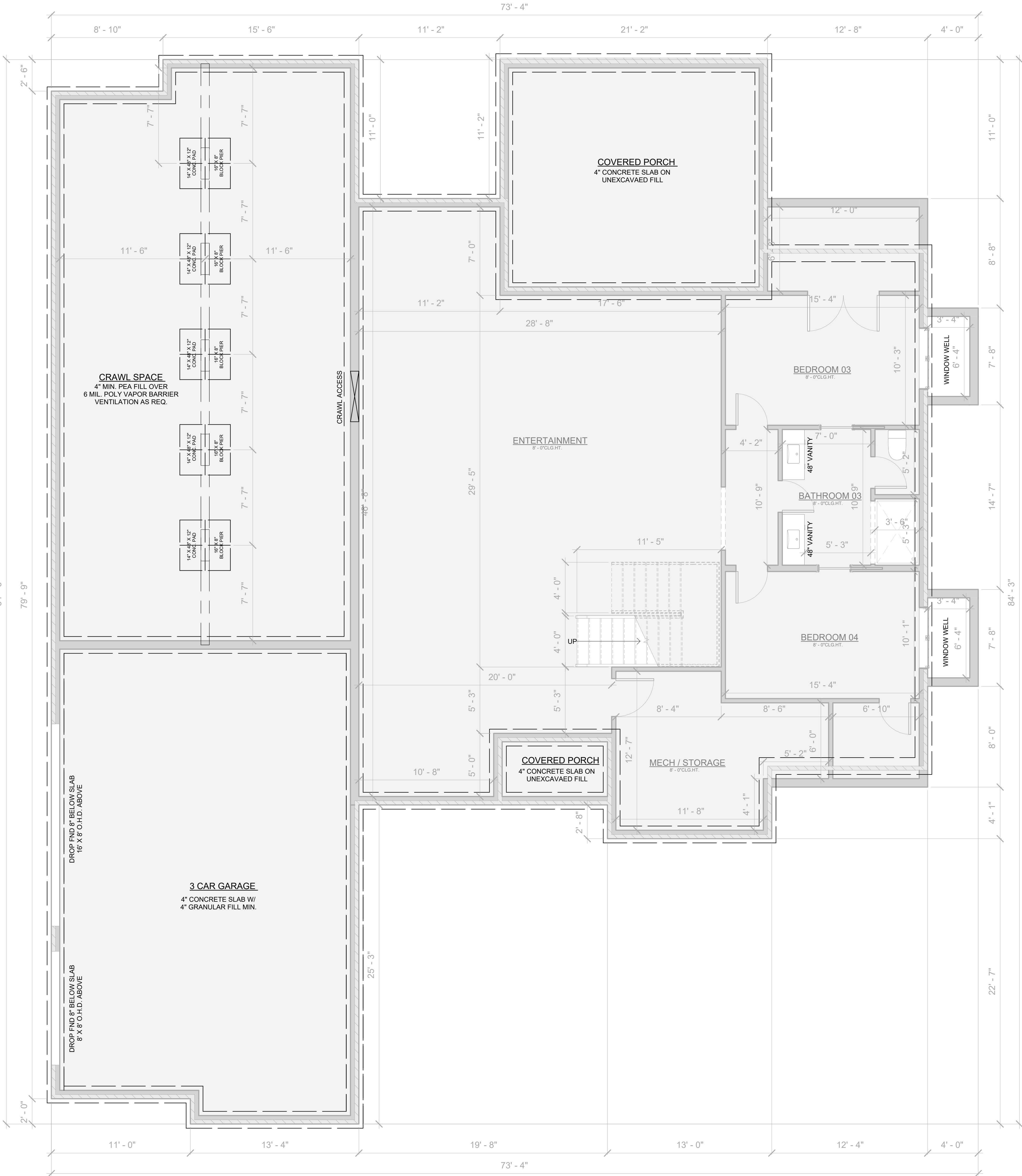
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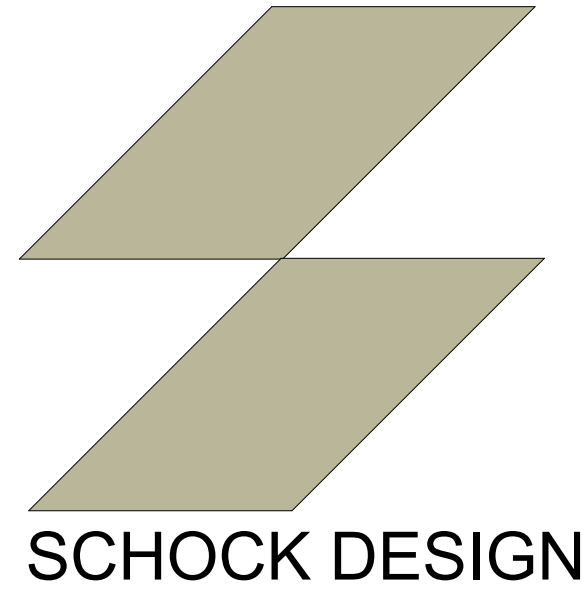
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- 7.PATCH FINISHES OF EXISTING WALLS AND CEILING TO REMAIN AS REQUIRED FOR UNIFORM, CLEAN APPEARANCE.
- 8.INSTALL WOOD BLOCKING IN WALLS BEHIND WALL-HUNG ITEMS AND TOILET ACCESSORIES.
- 9.INSTALL R-11 SOUND BATT INSULATION IN ALL WALLS, UNLESS NOTED OTHERWISE.



1
5100 FOUNDATION PLAN
1/4" = 1'-0"



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317-696-2502

PRATI SPEC 003
BARGERSVILLE , IN



REVISION NUMBER: Project Number

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J. GREG ALLEN

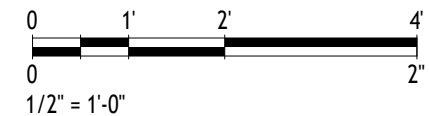
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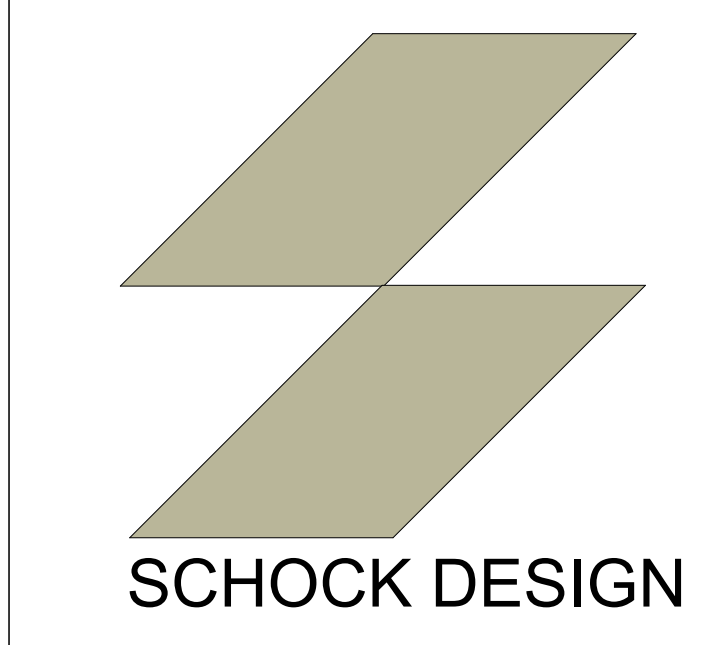
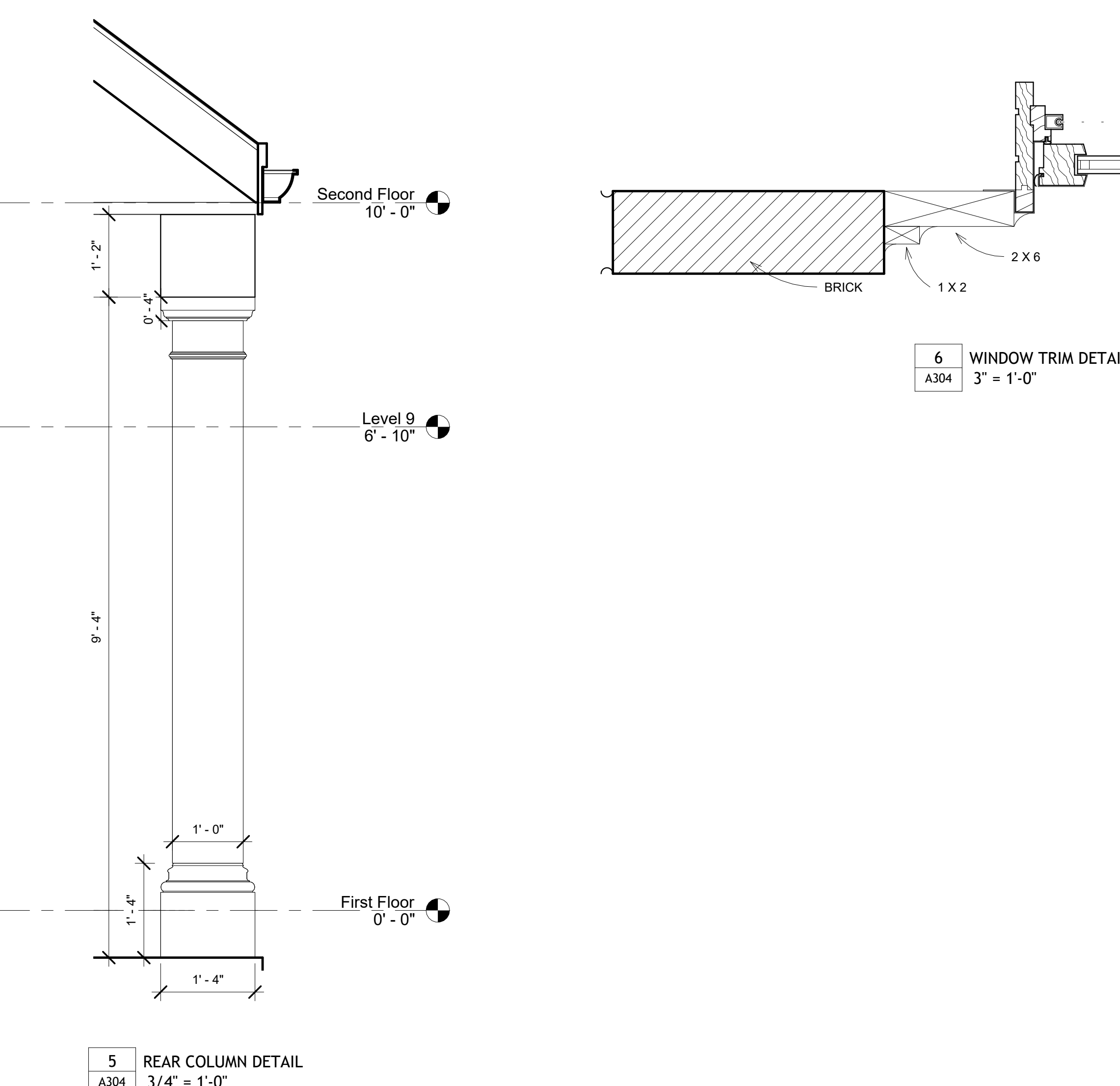
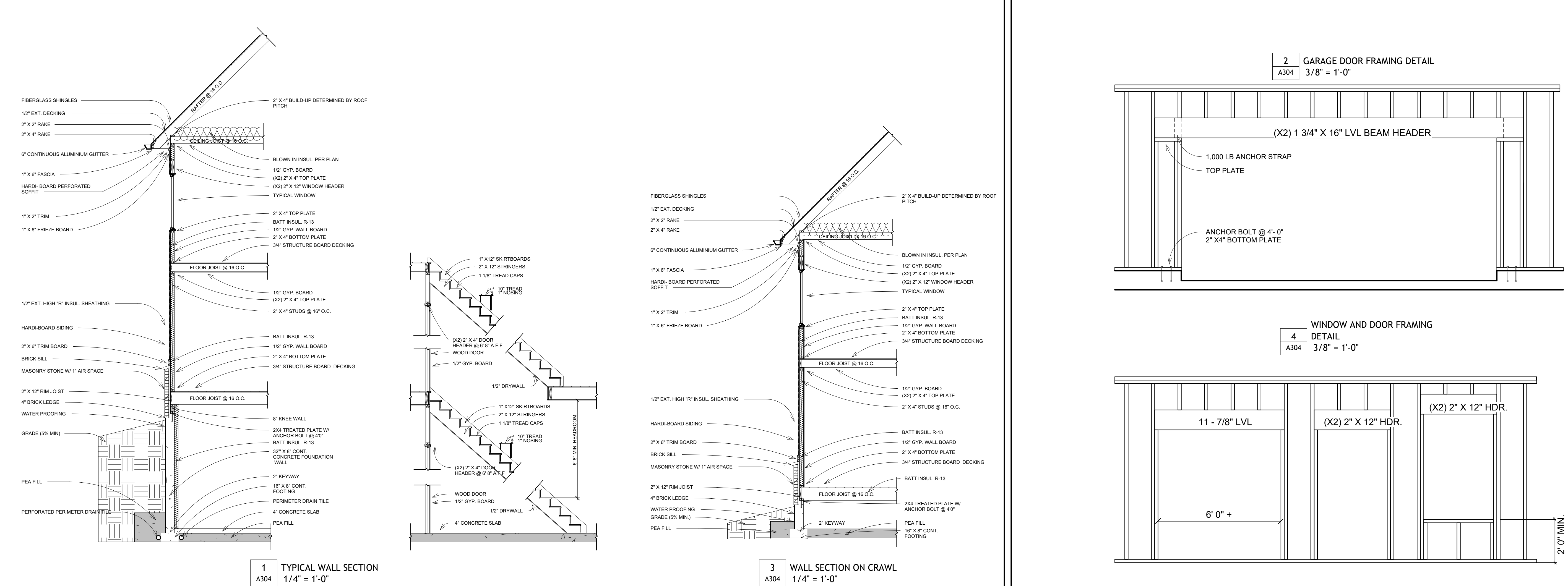
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S100

Scale 1/4" = 1'-0"

Foundation Plan





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PRATI SPEC 003
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A304
Scale As indicated

Wall Sections

0 1 2 4
0 1/2" = 1'-0"