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- G004 ACCESSIBILITY REQUIREMENTS

STRUCTURAL

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- AD101 DEMO PLAN - LEVEL 1
- AD102 DEMO PLAN - LEVEL 2
- AD201 DEMO EXTERIOR ELEVATIONS
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- A101 FLOOR PLAN - LEVEL 1
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- A612 WINDOW SCHEDULES & DETAILS

17 EAST CENTRAL

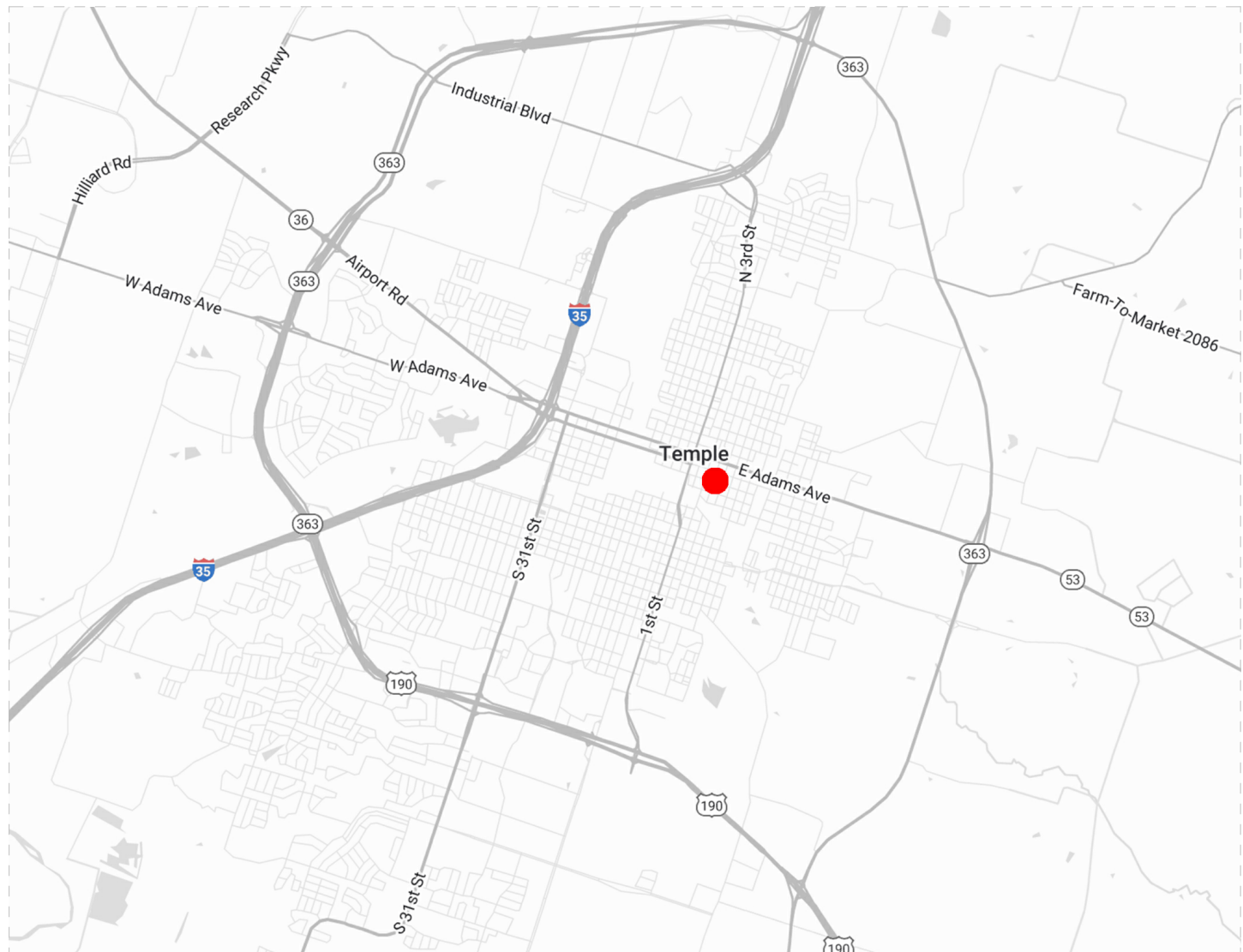
FACADE RENOVATIONS

MARCH 14, 2025
ISSUE FOR PERMIT

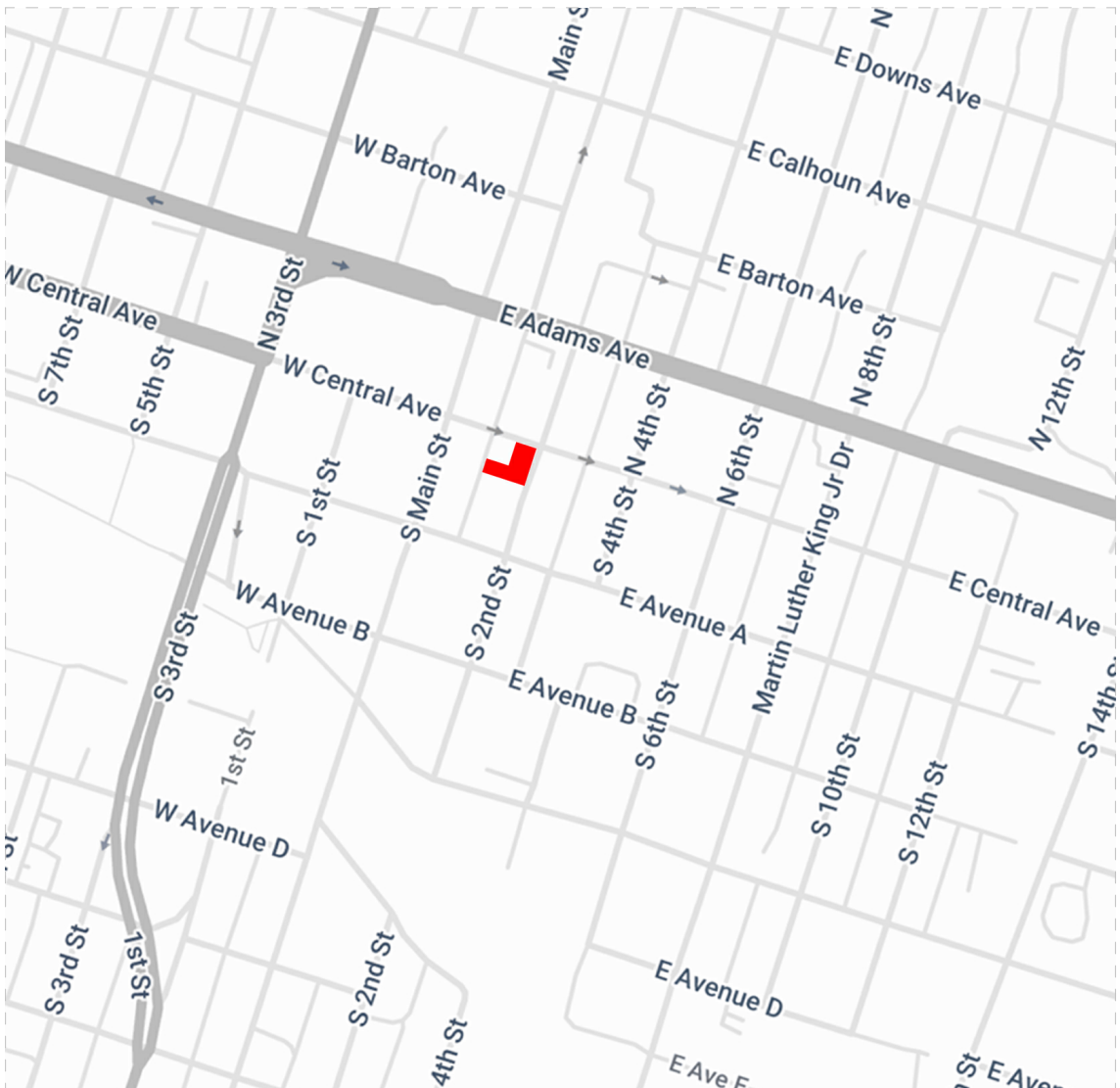


IMAGE FOR VISUALIZATION PURPOSES ONLY

VICINITY MAP:



SITE:



PROJECT LOCATION

17 East Central Avenue,
Temple, TX 76501

PROJECT SUMMARY

EXTERIOR REMODEL OF A HISTORIC
COMMERCIAL BUILDING IN DOWNTOWN
TEMPLE, TEXAS.

APPROXIMATE EXISTING
FOOTPRINT: 6624 SF
TOTAL AREA: 19,282 SF
STOREYS: 3 TOTAL
2 ABOVE GRADE, 1 BELOW GRADE
HEIGHT:
PARAPET: 39'-6" A.F.G.
T.O. ELEVATOR SHAFT: 44'-7 3/4"
TOTAL WALL AREA: 9483 SF

NO PROPOSED CHANGES TO EXISTING
BUILDING FOOTPRINT, HEIGHT OR AREA.

APPROXIMATE PROPOSED GLAZING
TOTAL AREA: 2332 SF
PERCENTAGE OF TOTAL WALL: 24.5%

DESIGN TEAM
ARCHITECTURE



CONSULTANTS



PROJECT TITLE

FACADE RENOVATIONS
17 EAST CENTRAL



03/14/2025

ISSUE FOR PERMIT

MARCH 14, 2025
PROJECT# | 24-PAS812

REV.	DATE	DESCRIPTION

DRAWING TITLE

COVER (22x34)

SHEET NUMBER

G001

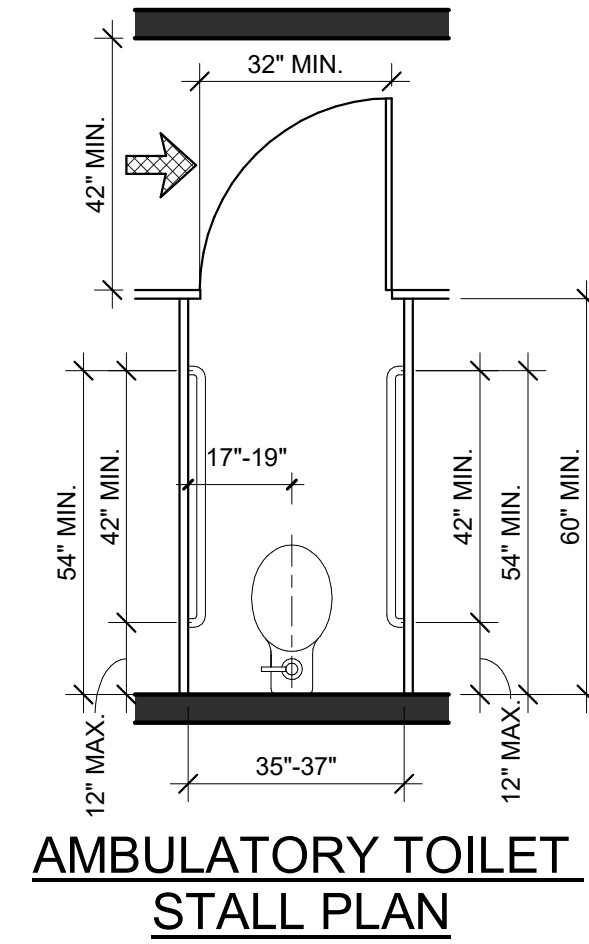
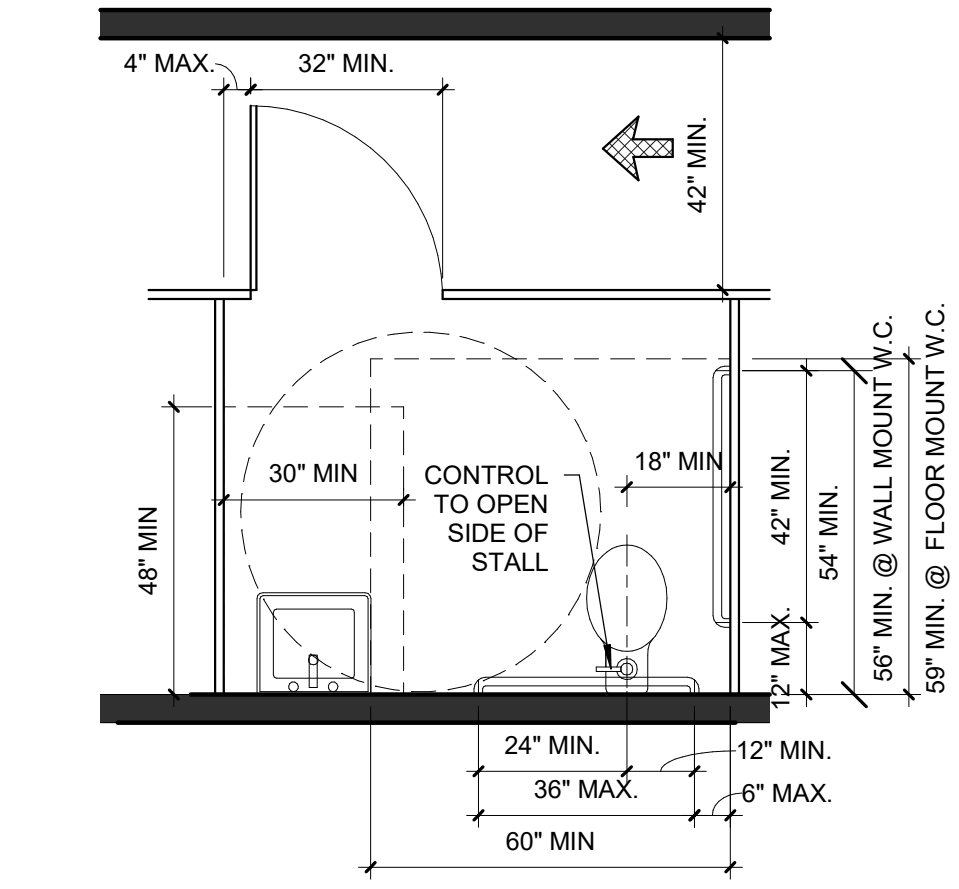
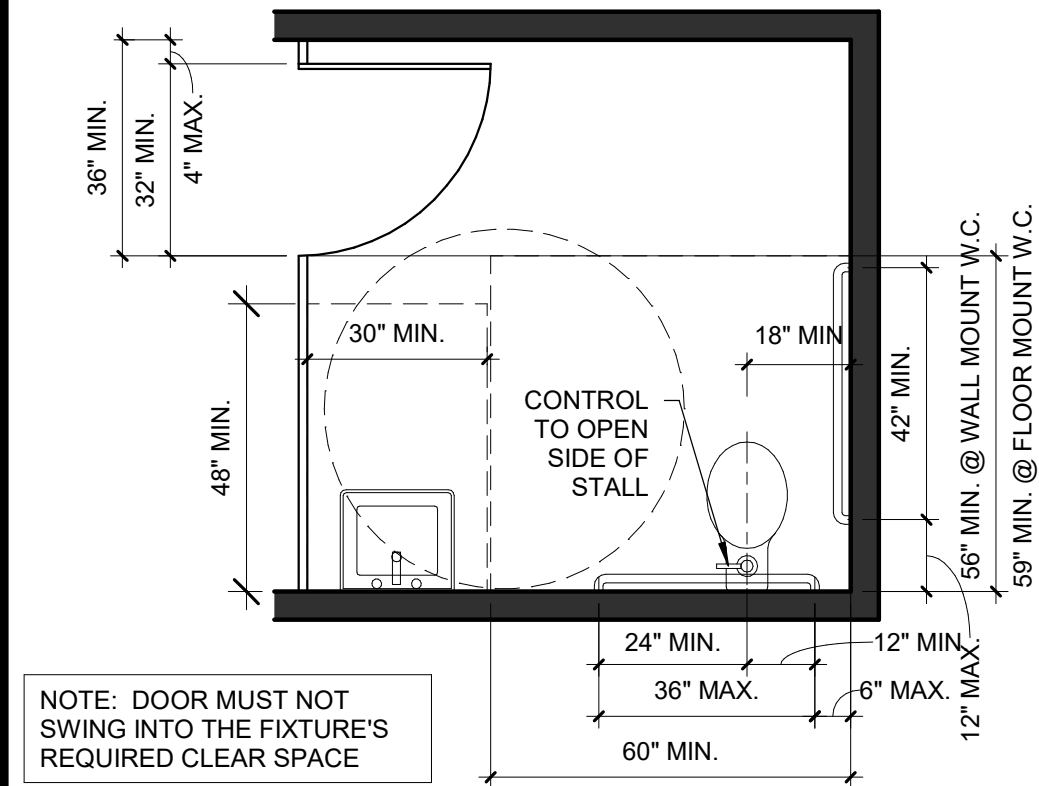
ARCHITECT

Pillar Architecture Studio
800 S Austin Ave
Georgetown, TX 78626
512.768.0285
Contact: Bruce Hoelscher

STRUCTURAL

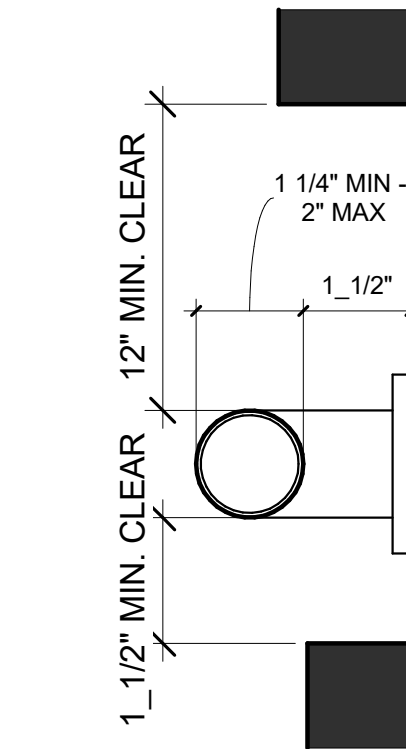
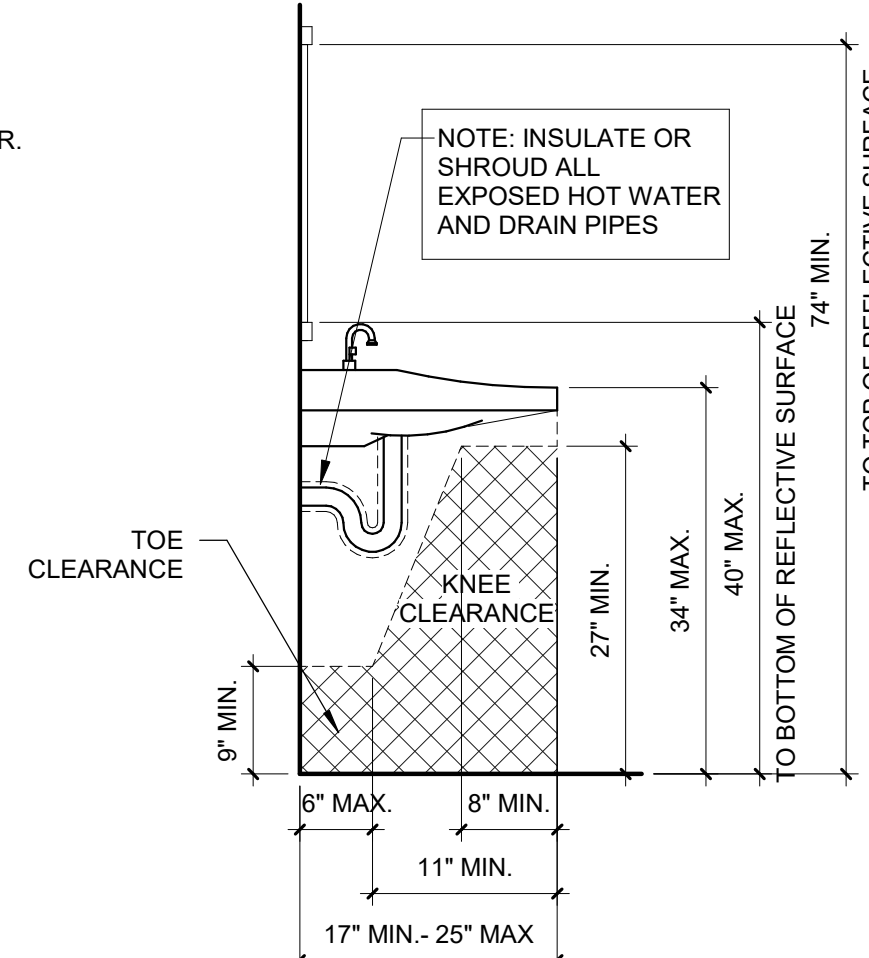
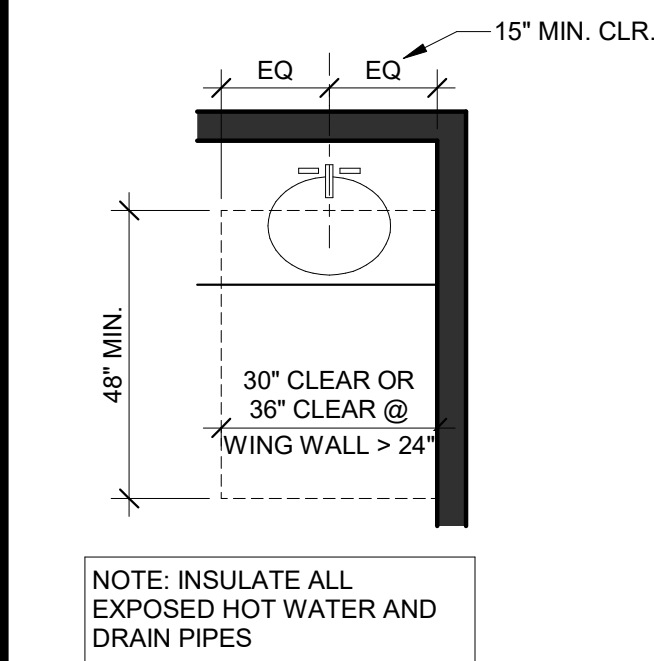
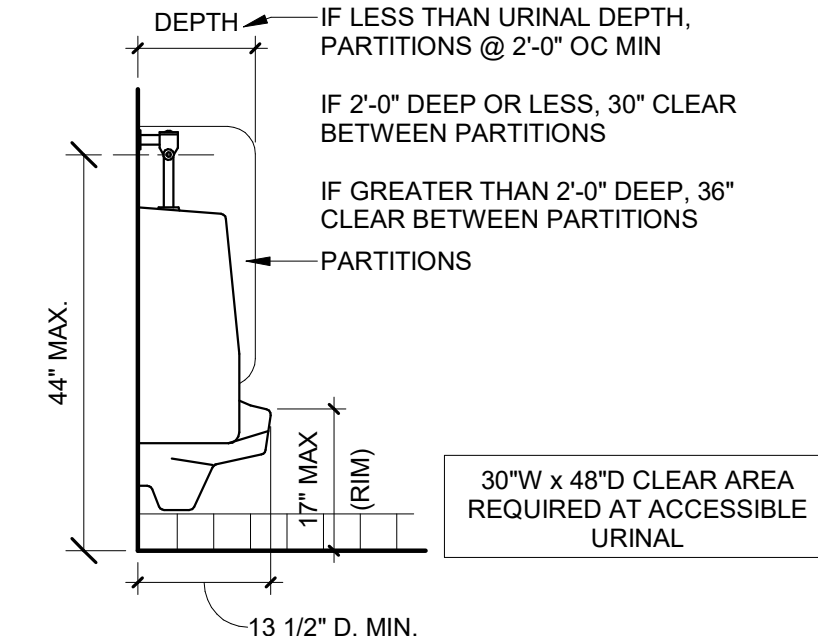
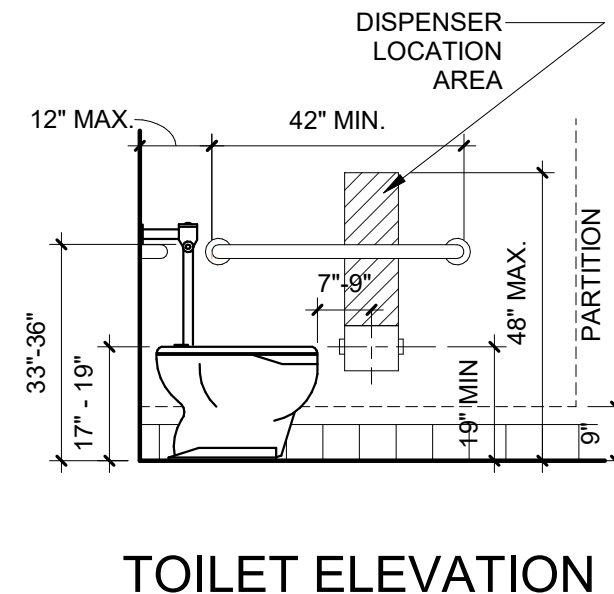
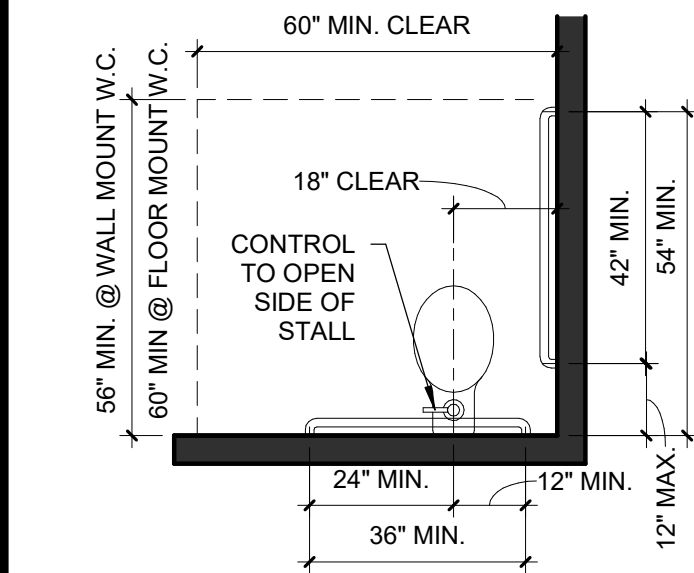
Gessner Engineering
824 S Austin Ave
Georgetown, TX 78626
512.930.5832
Contact: Tori Whitman

TOILET ROOMS

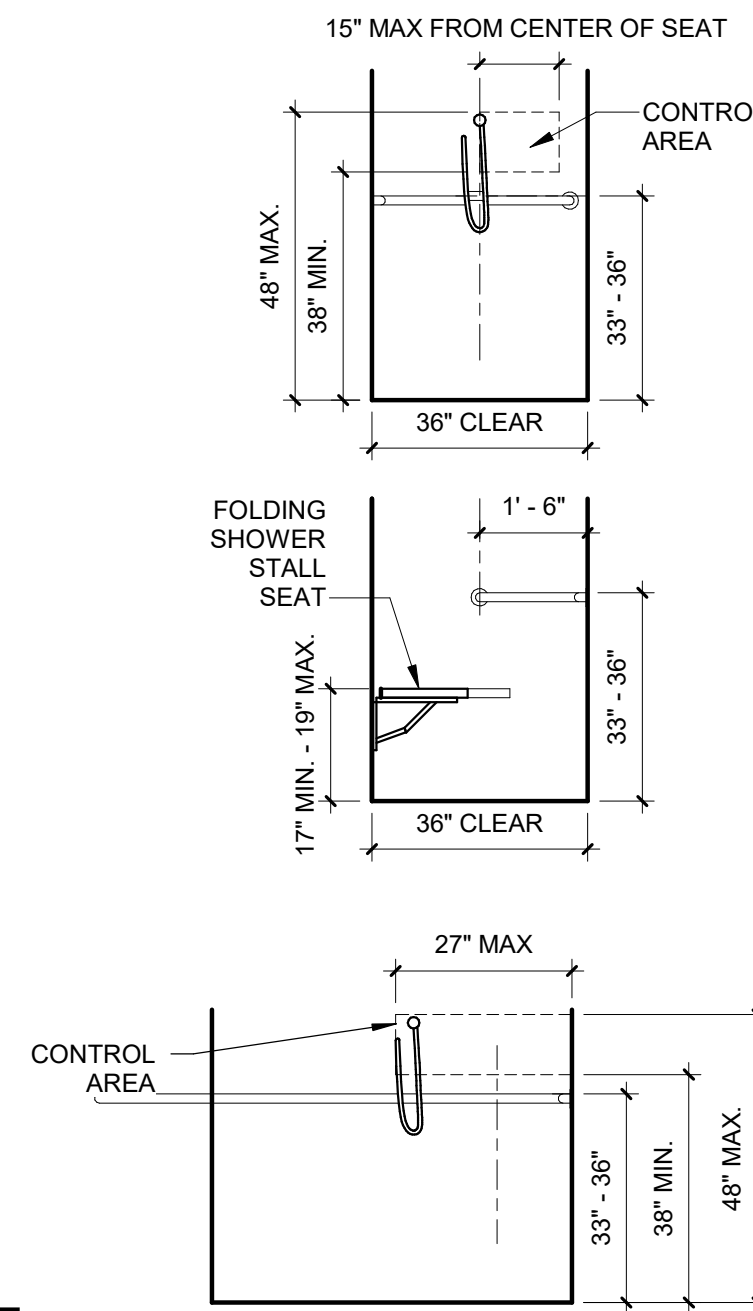
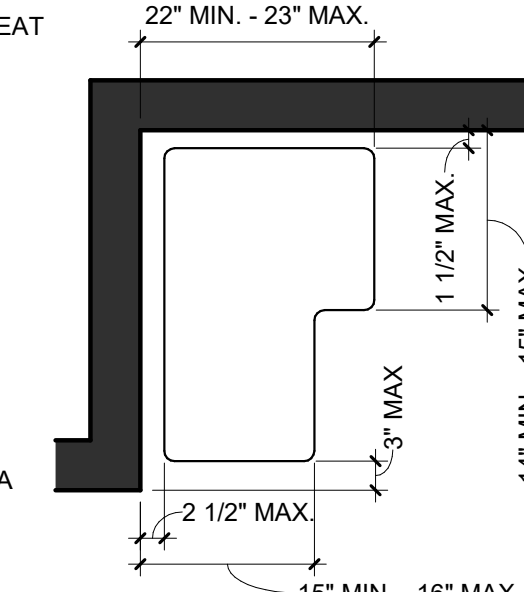
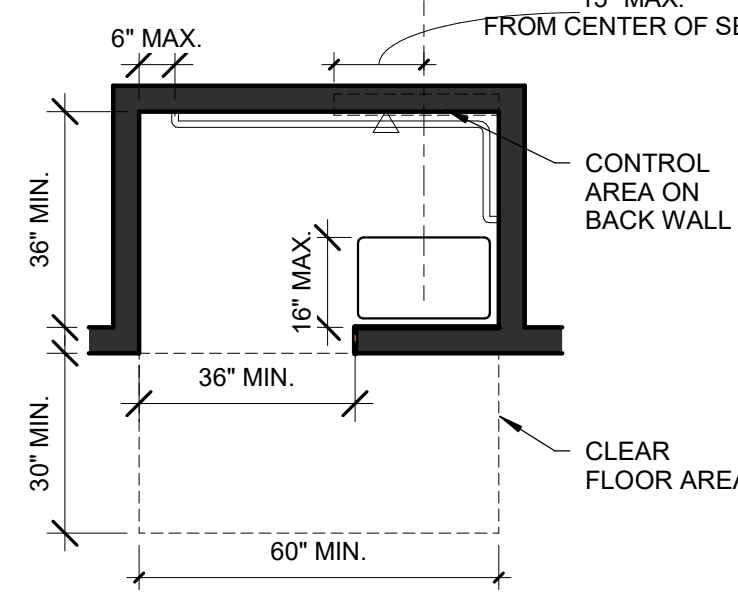
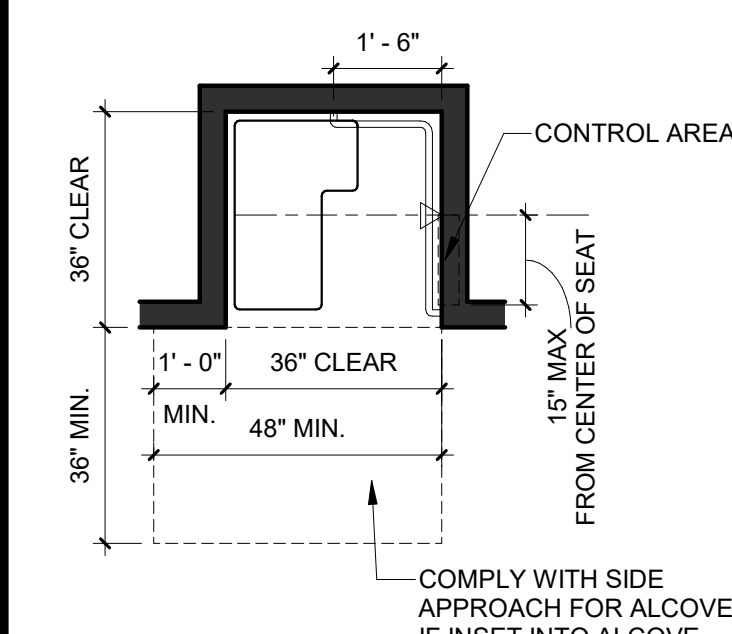


TOILET STALL PLAN - DOOR SWING IN

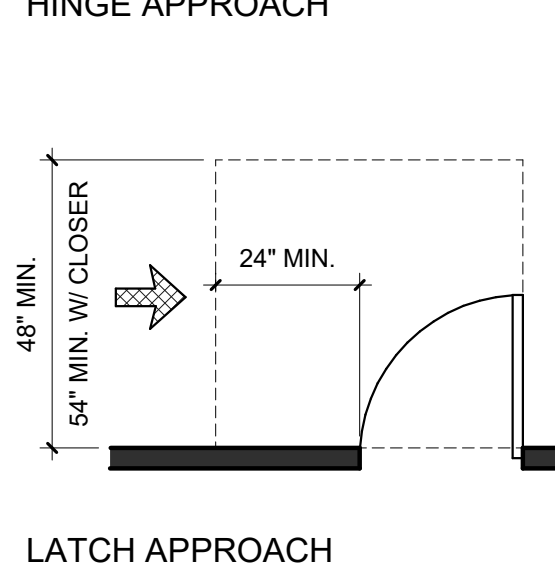
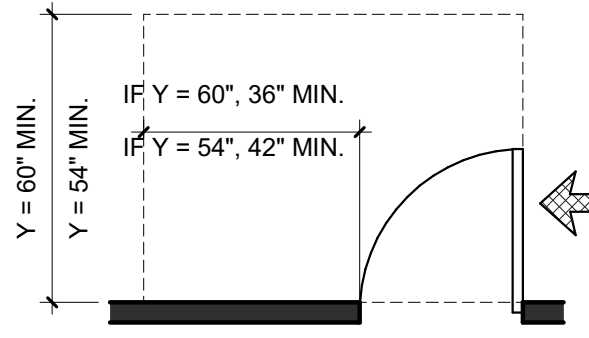
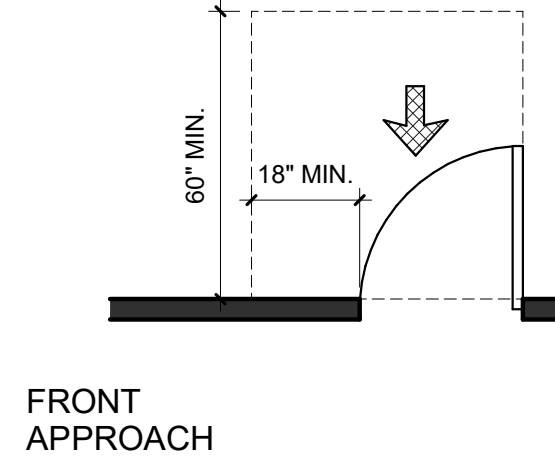
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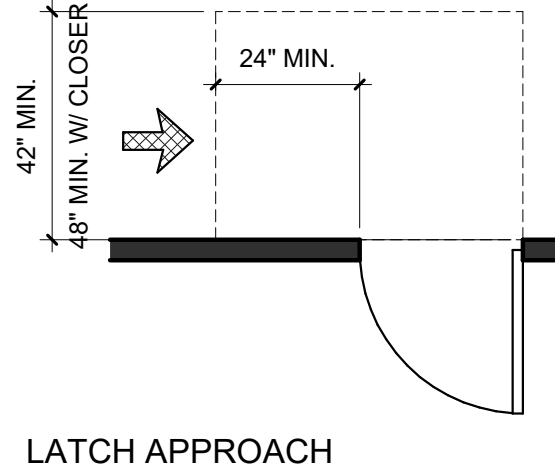
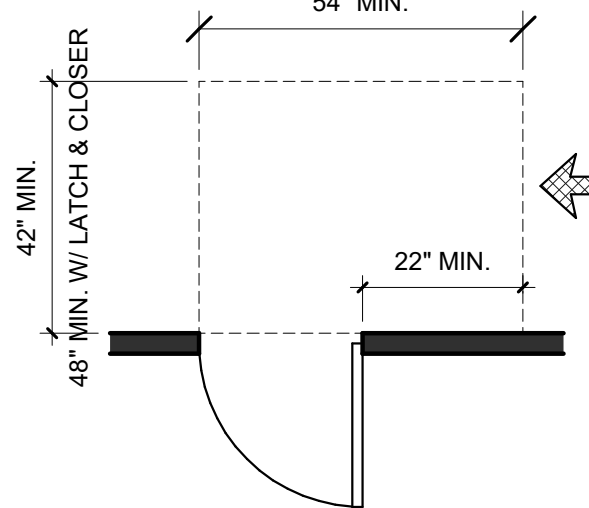
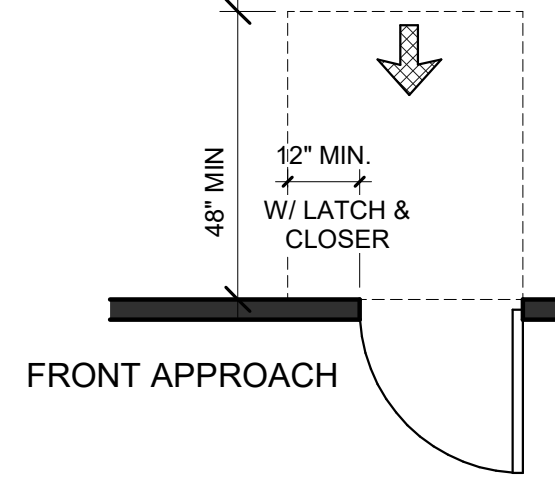
SHOWERS



DOORS



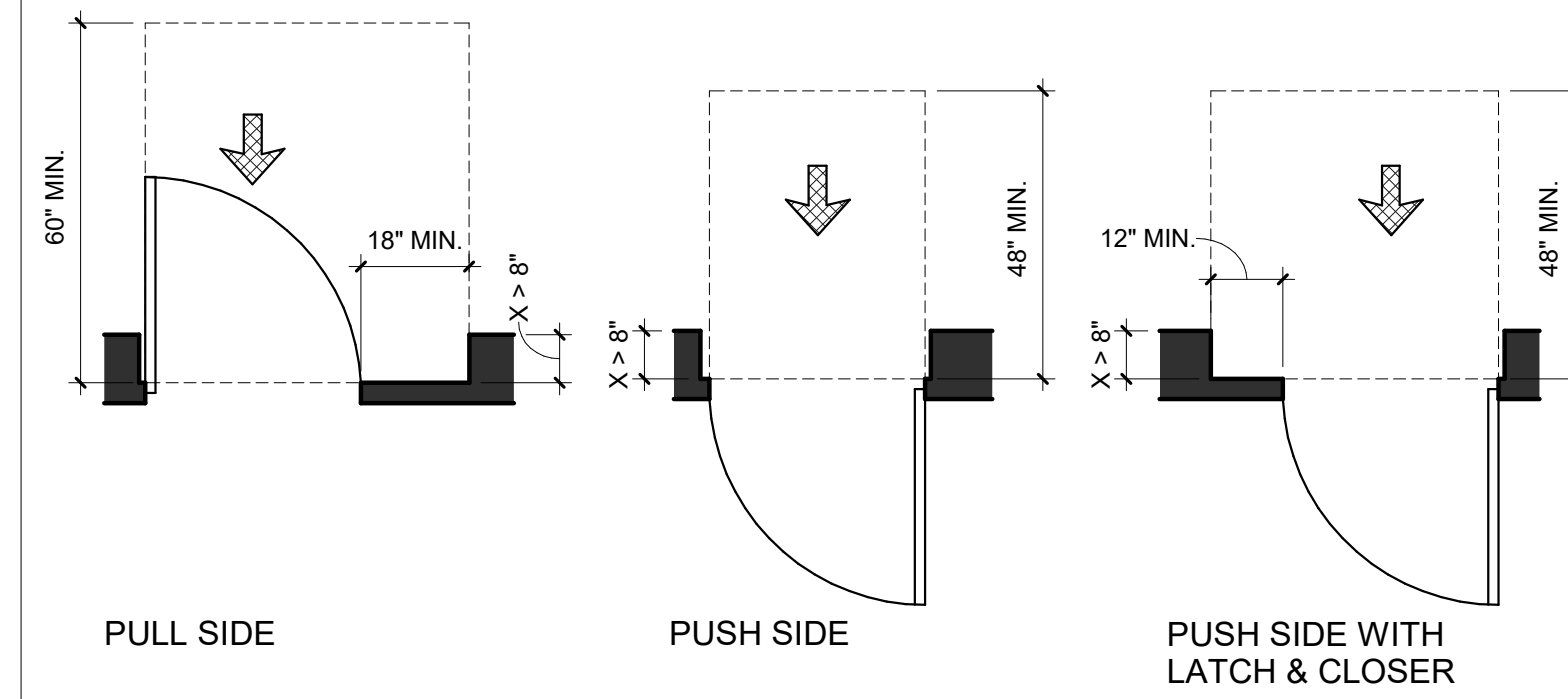
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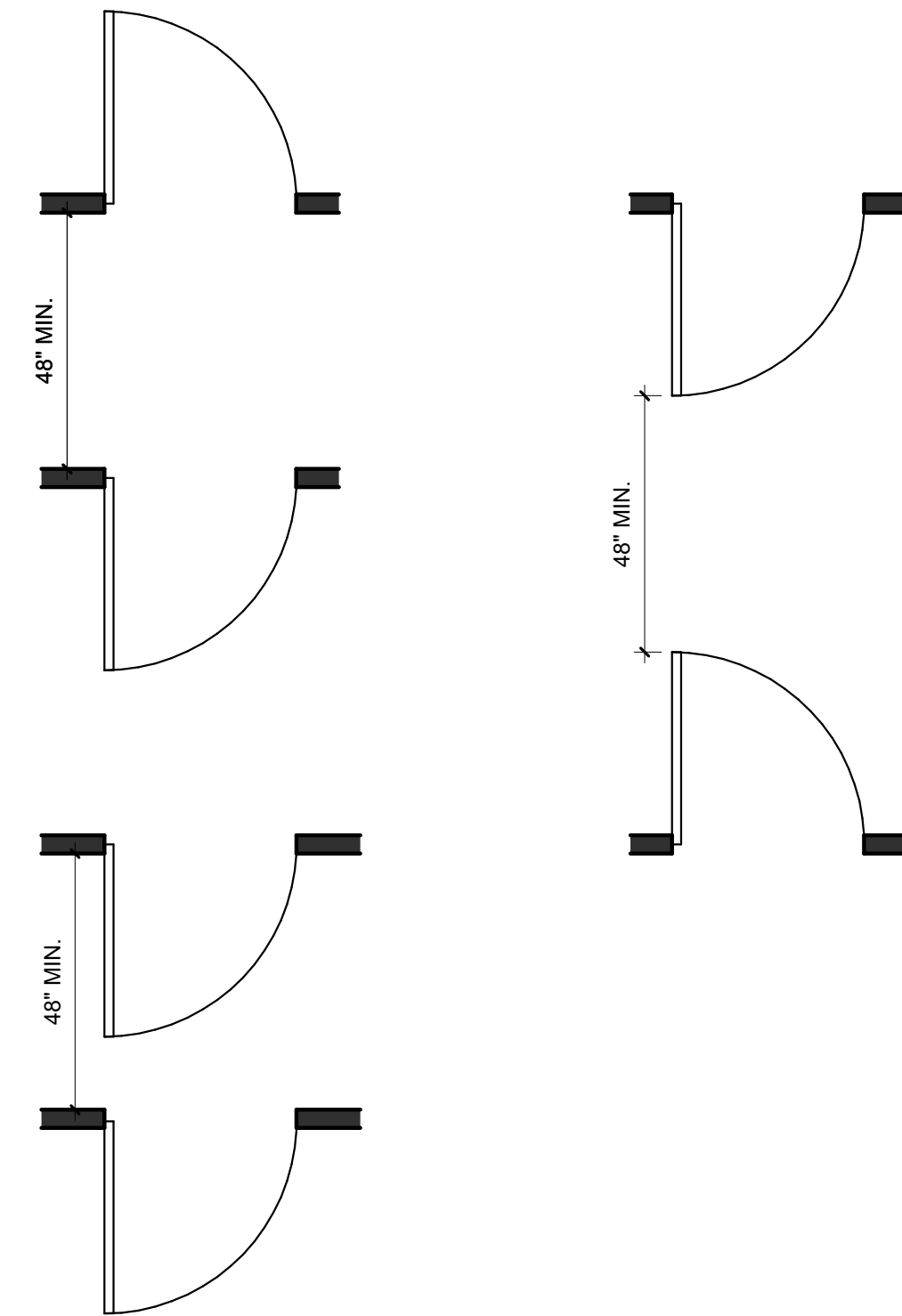
PUSH SIDE CLEARANCE

NOTES

1. CONTRACTOR TO NOTIFY ARCHITECT OF ANY CONFLICT BETWEEN THIS SHEET AND THE DRAWINGS OR SPECIFICATIONS PRIOR TO INSTALLATION.
2. INFORMATION APPEARING ON THIS SHEET IS FOR ILLUSTRATION ONLY. CONTRACTOR TO VERIFY CONFORMANCE TO CONSTRUCTION DOCUMENTS, ADOPTED 2012 T.A.S. (TEXAS ACCESSIBILITY STANDARDS) CODES FOR BUILDING CONSTRUCTION. NOTIFY ARCHITECT IF CONFLICT OCCURS.
3. REFER TO ARCHITECTURAL DRAWINGS AND SPECIFICATIONS FOR ACTUAL DESIGN AND CONFIGURATIONS.
4. ALL DIMENSIONS ON THIS SHEET ARE TO FACE OF FINISH.



RECESSED DOORS & GATES



DO NOT SCALE

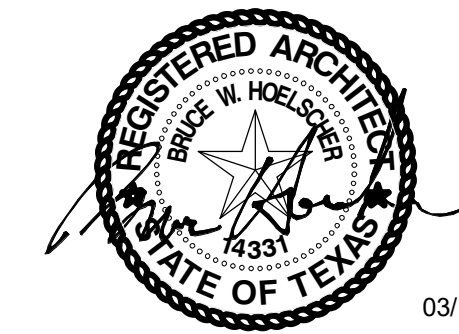


800 S AUSTIN AVE, GEORGETOWN, TX 78626



FACADE RENOVATIONS

17 EAST CENTRAL



ISSUE FOR PERMIT

MARCH 14, 2025
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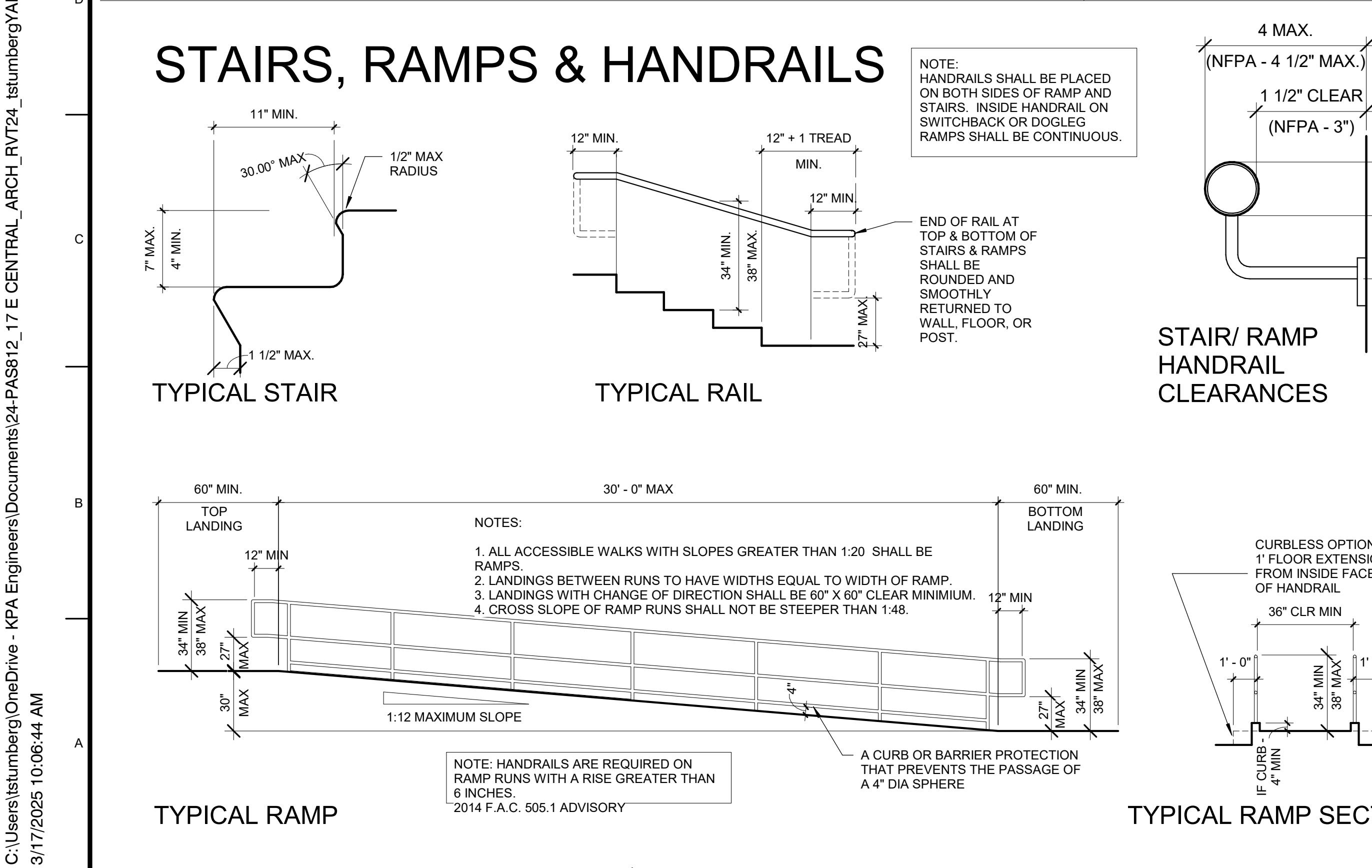
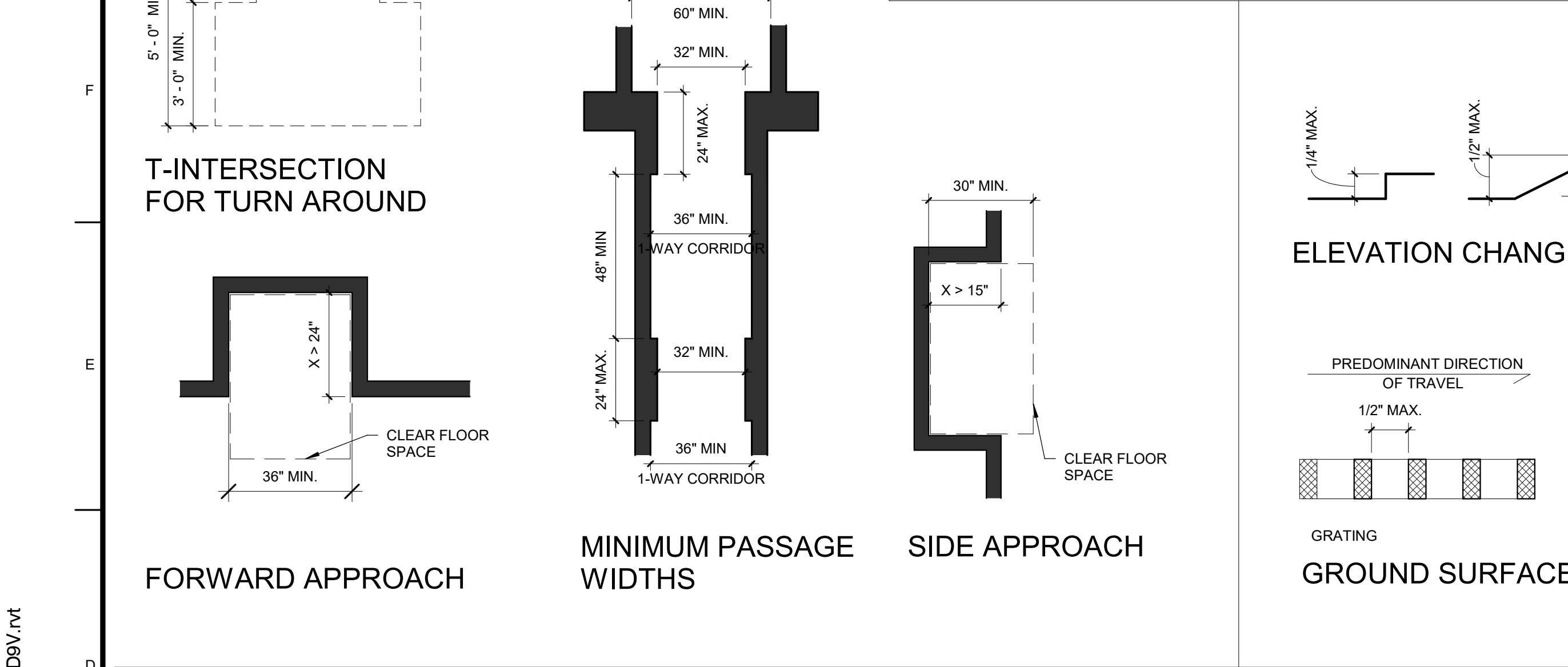
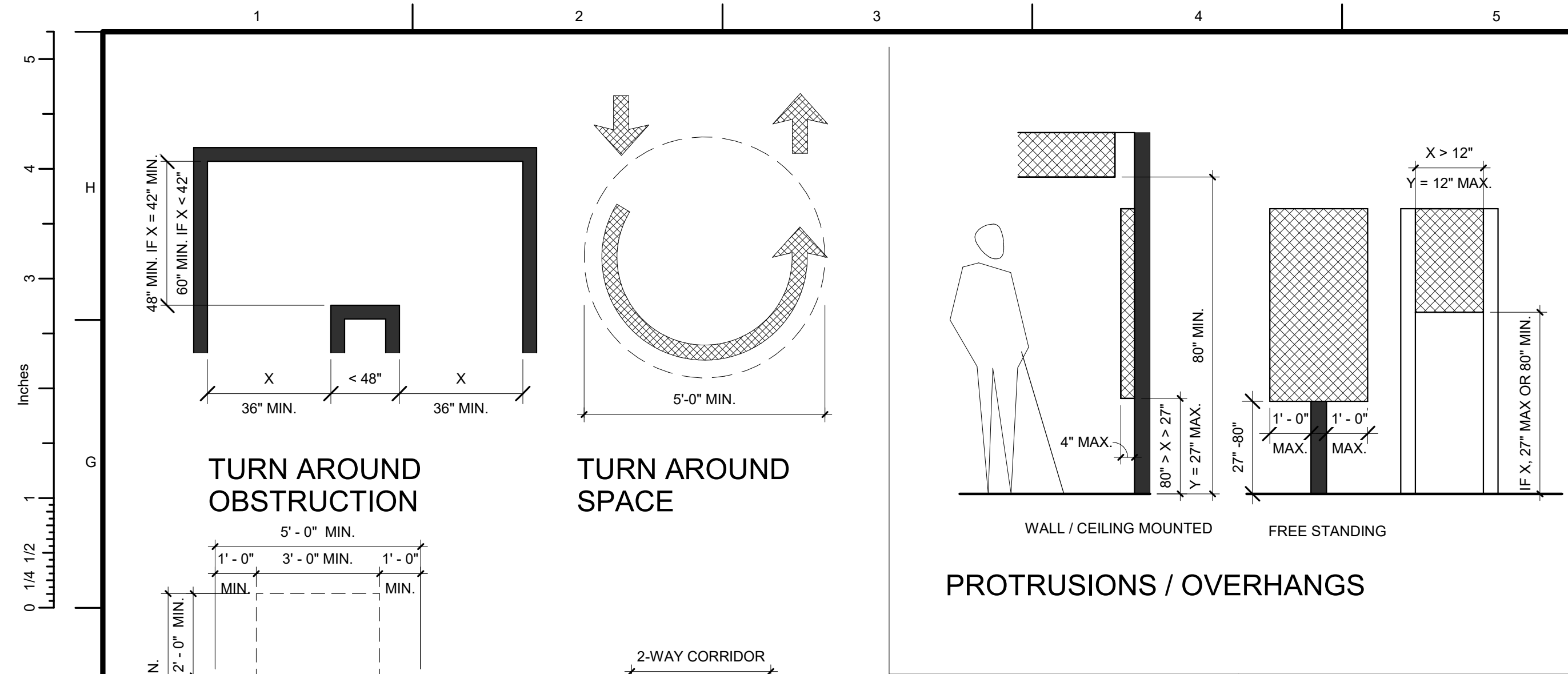
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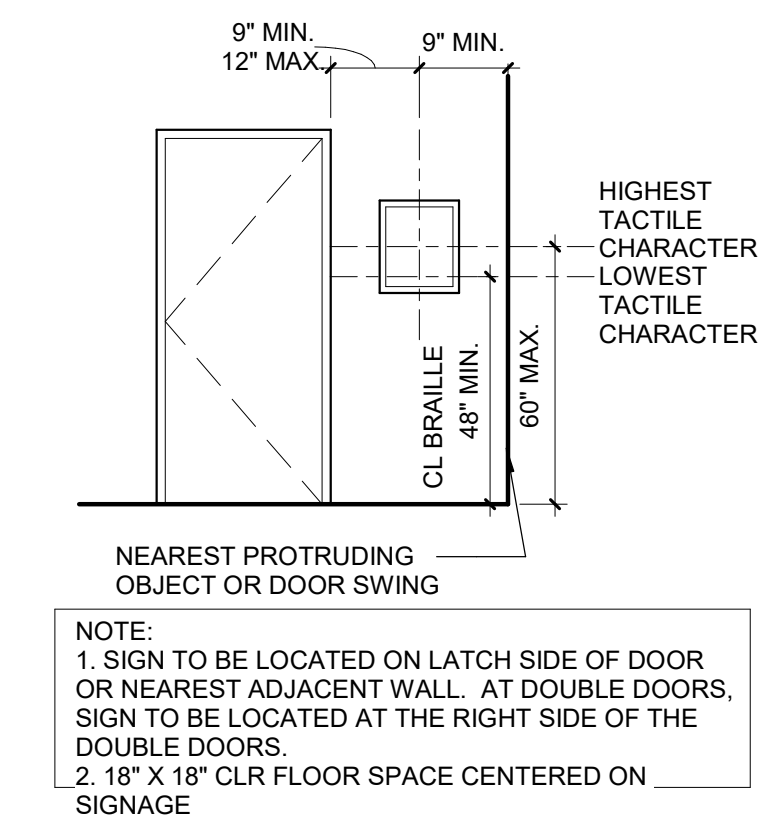
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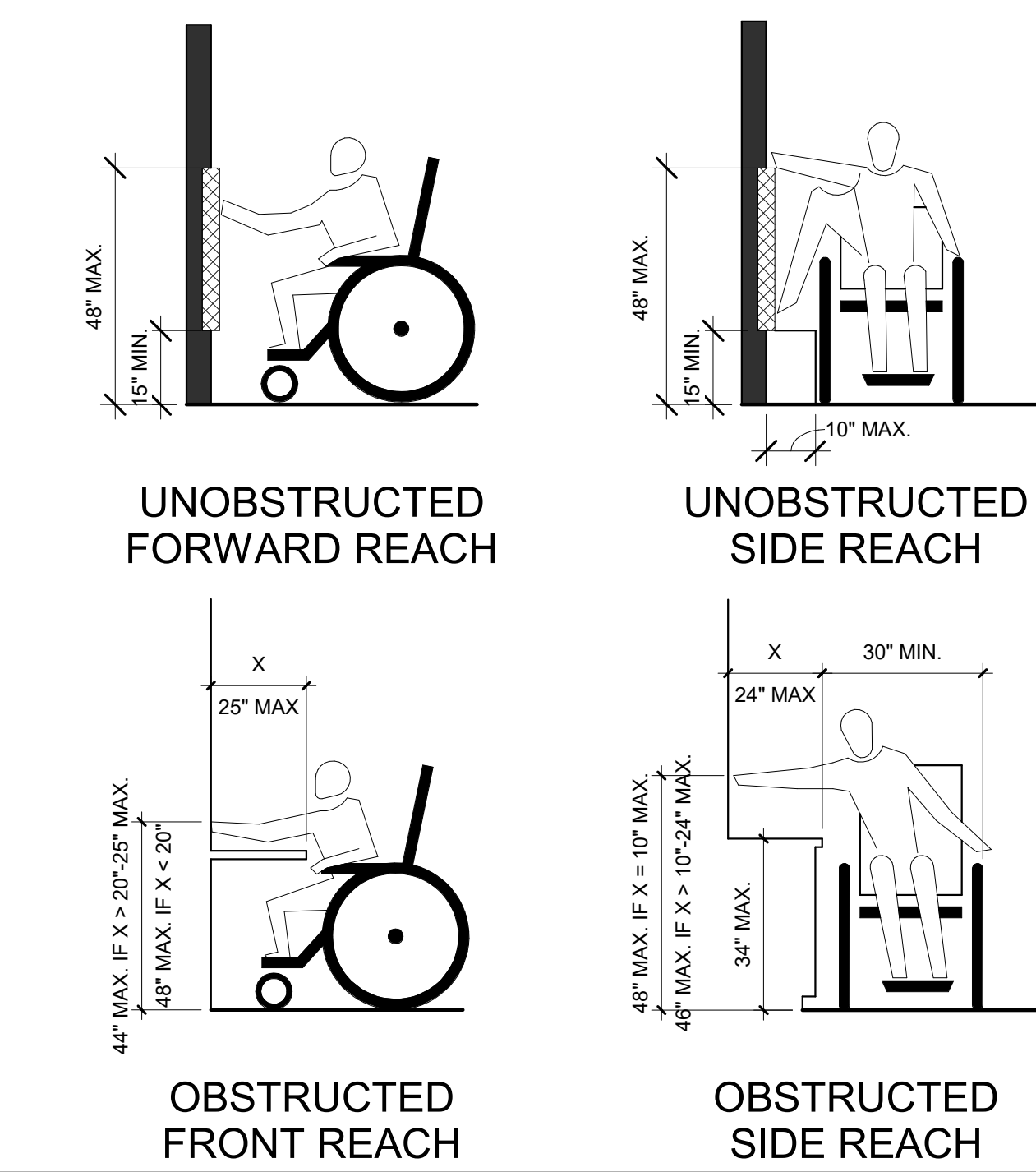
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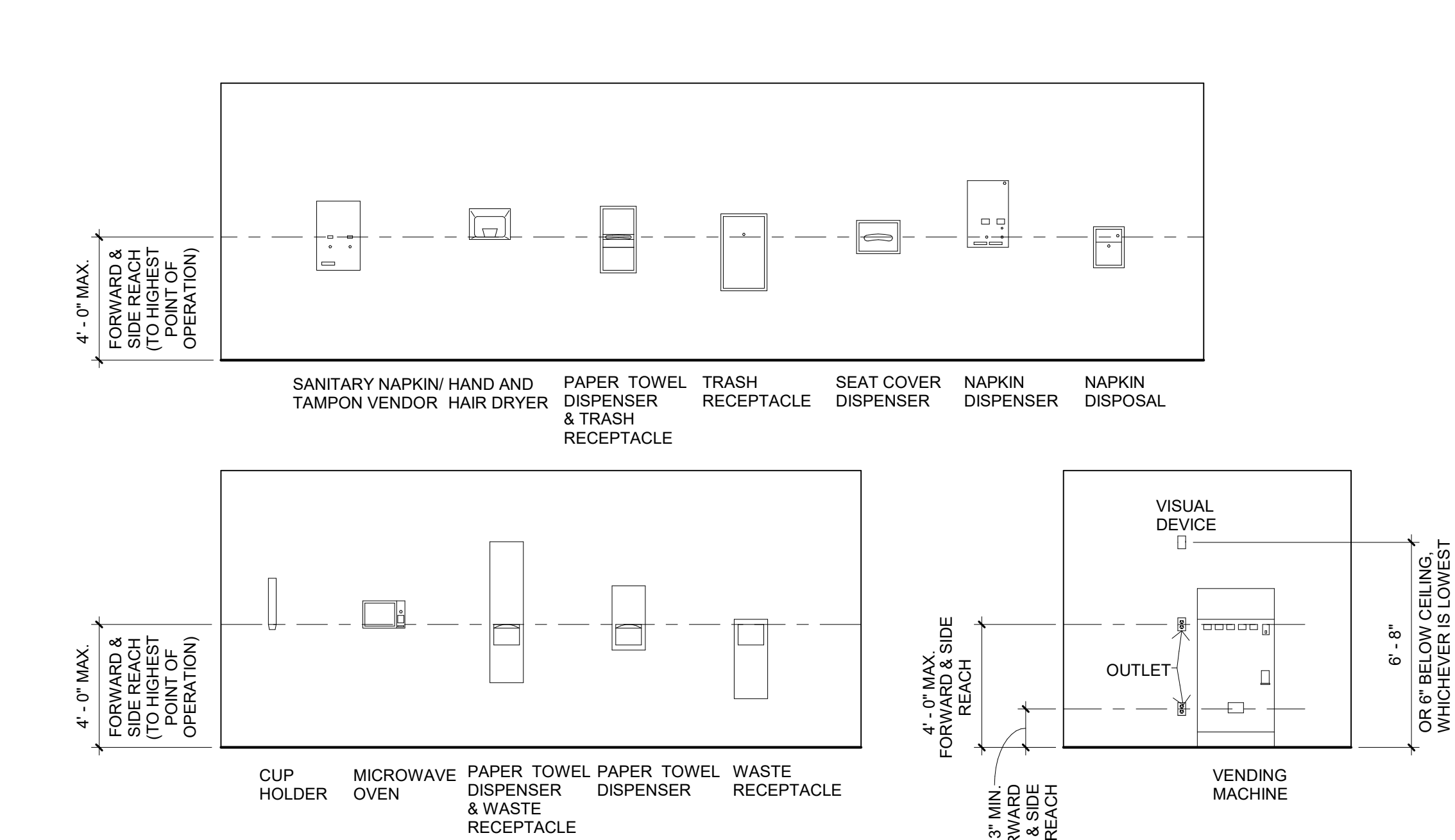
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- INFORMATION APPEARING ON THIS SHEET IS FOR ILLUSTRATION ONLY. CONTRACTOR TO VERIFY CONFORMANCE TO CONSTRUCTION DOCUMENTS, CURRENT ADOPTED FLORIDA ACCESSIBLTY CODE FOR BUILDING CONSTRUCTION AND A.D.A. NOTIFY ARCHITECT IF CONFLICT OCCURS.
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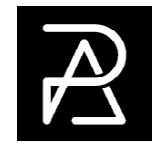
ACCESSIBILITY



FIXTURE & EQUIPMENT MOUNTING HEIGHTS



DESIGN TEAM
ARCHITECTURE



PILLAR
ARCHITECTURE STUDIO

800 S AUSTIN AVE, GEORGETOWN, TX 78626

CONSULTANTS



PROJECT TITLE

FACADE RENOVATIONS

17 EAST CENTRAL



03/14/2025

ISSUE FOR PERMIT

MARCH 14, 2025
PROJECT# | 24-PAS812

REV.	DATE	DESCRIPTION

DRAWING TITLE

**ACCESSIBILITY
REQUIREMENTS**

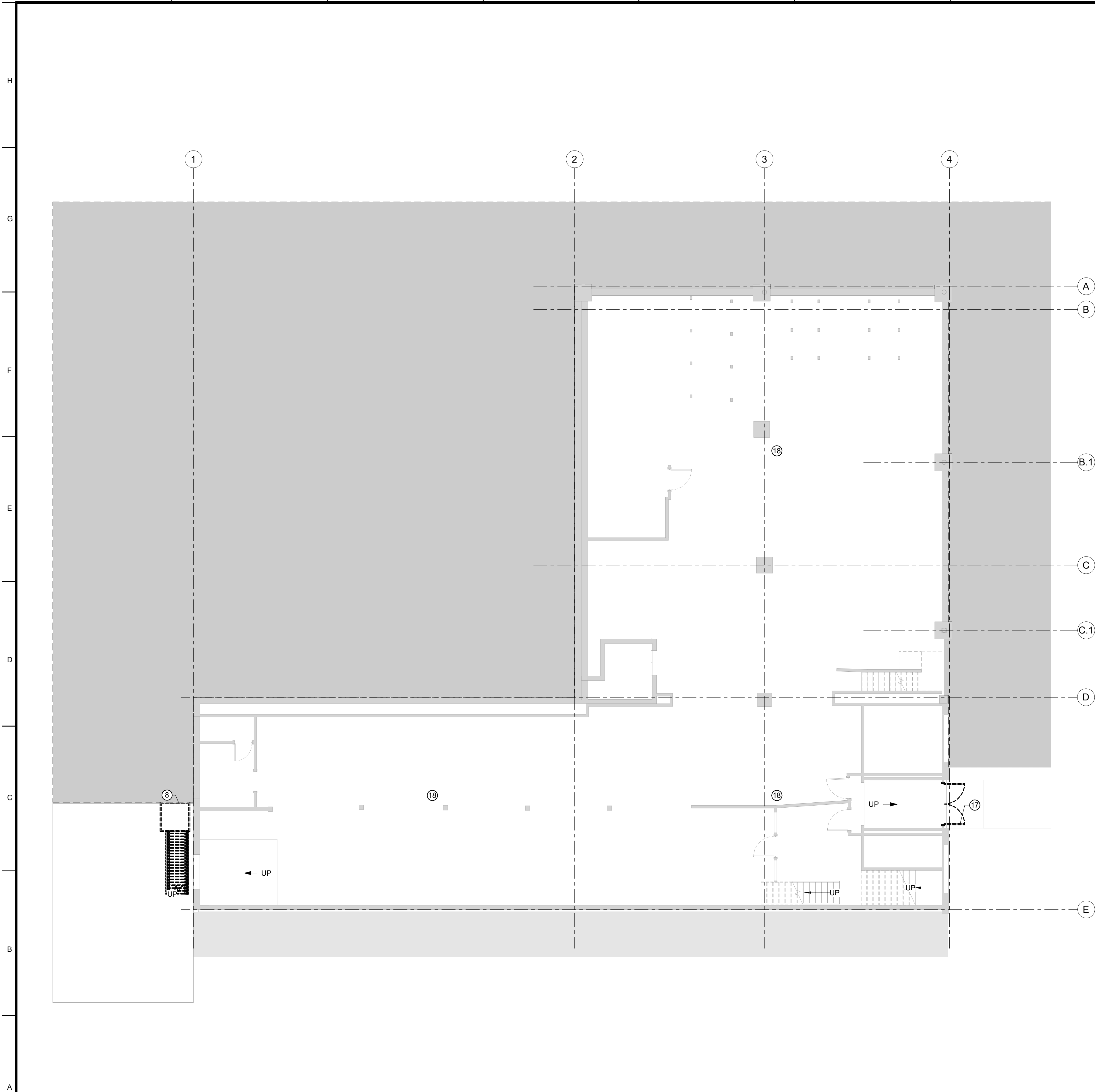
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DEMO PLAN LEGEND

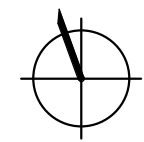
- EXISTING TO REMAIN
- EXISTING TO BE REMOVED
- DEMO KEYNOTE

DEMO GENERAL NOTES

- CONTRACTOR SHALL VERIFY ALL DIMENSIONS W/ EXISTING CONDITIONS FOR SIZES, QUANTITIES AND LOCATIONS.
- PRIOR TO DEMOLITION CONFIRM THAT WALLS TO BE DEMOLISHED ARE NOT REQUIRED BEARING COMPONENTS OF ANY FLOOR OR FRAMING ASSEMBLIES ABOVE.
- ALL EXISTING ITEMS TO REMAIN SHALL BE PROTECTED DURING DEMOLITION AND NEW CONSTRUCTION.
- IN ALL AREAS OF WORK, AT EXISTING WALLS TO REMAIN WHERE OUTLETS, ETC. ARE REMOVED, PATCH AND REPAIR WALL TO RECEIVE MATCH EXISTING WALL TEXTURE. PREPARE WALL TO RECEIVE NEW FINISHES.
- ALL LOOSE ITEMS (ARTWORK, PICTURES, ETC.) ON WALL WILL BE REMOVED BY OWNER. FIXED ITEMS ON WALLS WITH REMAIN IN PLACED DURING CONSTRUCTION. CONTRACTORS SHALL REMOVE ALL EXISTING SIGNAGE AND TURN OVER TO OWNER.

DEMO KEYNOTES

- DEMO PLYWOOD INFILL.
- DEMO BRICK VENEER AND PREPARE FOR ACCEPTANCE OF NEW BRICK VENEER
- DEMO DAMAGED BRICK ARCHITRAVE FACE TO A DEPTH REQUIRED TO APPLY A FLUSH MORTAR SCREED COAT
- DEMO DAMAGED GLAZED BRICK BANDING FACE TO A DEPTH REQUIRED TO ACCEPT NEW THIN GLAZED BRICK.
- DEMO WINDOW.
- DEMO WINDOW SECURITY GRATE.
- DEMO METAL PANEL INFILL.
- DEMO METAL STAIRS.
- DEMO WOOD TRIM AND BLOCKING TO EXPOSE EXISTING STEEL BEAM.
- CAREFULLY REMOVE ALL WOOD JAMBS AND BLOCKING. PRIOR TO DEMOLITION, CONFIRM THAT THE REMOVED ELEMENTS DO NOT SUPPORT BUILDING COMPONENTS TO REMAIN. NOTIFY ARCHITECT IF WOOD ELEMENTS ARE FOUND TO BE STRUCTURAL IN NATURE AND SUPPORTING EXISTING MATERIALS.
- REMOVE MORTAR DROPPINGS FROM TOP OF BRICK WALL
- REMOVE BRICK INFILL TO CREATE NEW OPENING
- DEMO EXISTING DOOR.
- DEMO GUTTER AND DOWNSPOUT.
- DEMO EXISTING VENT.
- SAWCUT EXISTING SITE PAVING ALONG ENTIRE LENGTH OF NORTH AND EAST ELEVATIONS AS NEEDED TO EXPOSE THE FACE OF THE EXISTING BUILDING FOUNDATION
- DEMO METAL GATE / DOORS.
- NO WORK PROPOSED ON INTERIOR.



NORTH REF

DO NOT SCALE

DESIGN TEAM
ARCHITECTURE



PILLAR
ARCHITECTURE STUDIO

800 S AUSTIN AVE, GEORGETOWN, TX 78626

CONSULTANTS



PROJECT TITLE

FACADE RENOVATIONS
17 EAST CENTRAL



ISSUE FOR PERMIT

MARCH 14, 2025
PROJECT# | 24-PAS812

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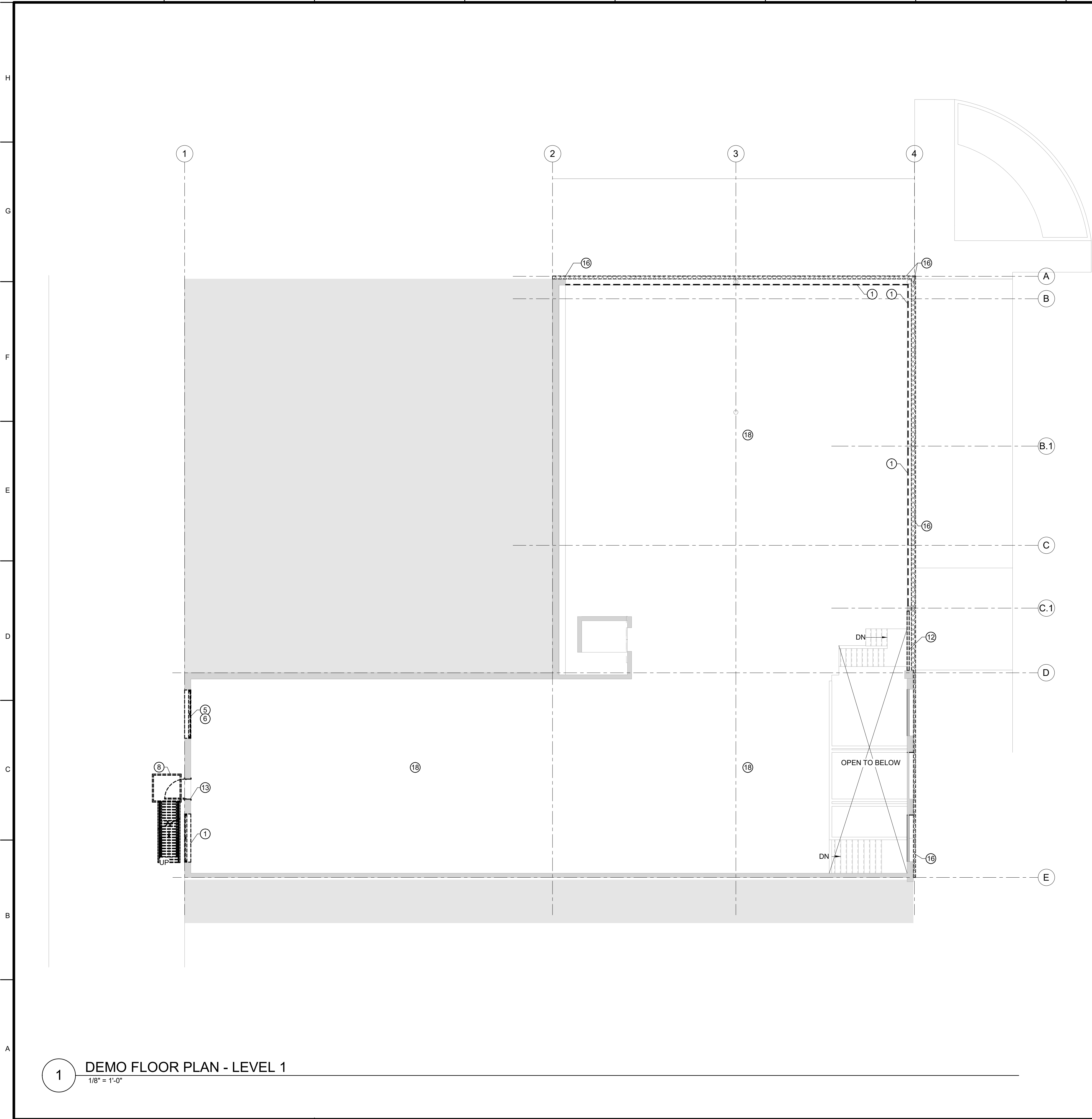
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**DEMO PLAN -
BASEMENT**

SHEET NUMBER
AD100

1 DEMO FLOOR PLAN - BASEMENT
1/8" = 1'-0"

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Inches



DEMO PLAN LEGEND

- EXISTING TO REMAIN
- EXISTING TO BE REMOVED
- DEMO KEYNOTE

DEMO GENERAL NOTES

- CONTRACTOR SHALL VERIFY ALL DIMENSIONS W/ EXISTING CONDITIONS FOR SIZES, QUANTITIES AND LOCATIONS.
- PRIOR TO DEMOLITION CONFIRM THAT WALLS TO BE DEMOLISHED ARE NOT REQUIRED BEARING COMPONENTS OF ANY FLOOR OR FRAMING ASSEMBLIES ABOVE.
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- IN ALL AREAS OF WORK, AT EXISTING WALLS TO REMAIN WHERE OUTLETS, ETC. ARE REMOVED, PATCH AND REPAIR WALL TO RECEIVE MATCH EXISTING WALL TEXTURE. PREPARE WALL TO RECEIVE NEW FINISHES.
- ALL LOOSE ITEMS (ARTWORK, PICTURES, ETC.) ON WALL WILL BE REMOVED BY OWNER. FIXED ITEMS ON WALLS WITH REMAIN IN PLACED DURING CONSTRUCTION. CONTRACTORS SHALL REMOVE ALL EXISTING SIGNAGE AND TURN OVER TO OWNER.

DEMO KEYNOTES

- DEMO PLYWOOD INFILL.
- DEMO BRICK VENEER AND PREPARE FOR ACCEPTANCE OF NEW BRICK VENEER
- DEMO DAMAGED BRICK ARCHITRAVE FACE TO A DEPTH REQUIRED TO APPLY A FLUSH MORTAR SCREED COAT
- DEMO DAMAGED GLAZED BRICK BANDING FACE TO A DEPTH REQUIRED TO ACCEPT NEW THIN GLAZED BRICK.
- DEMO WINDOW.
- DEMO WINDOW SECURITY GRATE.
- DEMO METAL PANEL INFILL.
- DEMO METAL STAIRS.
- DEMO WOOD TRIM AND BLOCKING TO EXPOSE EXISTING STEEL BEAM.
- CAREFULLY REMOVE ALL WOOD JAMBS AND BLOCKING. PRIOR TO DEMOLITION, CONFIRM THAT THE REMOVED ELEMENTS DO NOT SUPPORT BUILDING COMPONENTS TO REMAIN. NOTIFY ARCHITECT IF WOOD ELEMENTS ARE FOUND TO BE STRUCTURAL IN NATURE AND SUPPORTING EXISTING MATERIALS.
- REMOVE MORTAR DROPPINGS FROM TOP OF BRICK WALL
- REMOVE BRICK INFILL TO CREATE NEW OPENING
- DEMO EXISTING DOOR.
- DEMO GUTTER AND DOWNSPOUT.
- DEMO EXISTING VENT.
- SAWCUT EXISTING SITE PAVING ALONG ENTIRE LENGTH OF NORTH AND EAST ELEVATIONS AS NEEDED TO EXPOSE THE FACE OF THE EXISTING BUILDING FOUNDATION
- DEMO METAL GATE / DOORS.
- NO WORK PROPOSED ON INTERIOR.

DESIGN TEAM
ARCHITECTURE



PILLAR
ARCHITECTURE STUDIO

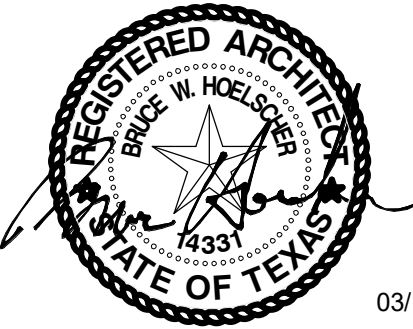
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CONSULTANTS



PROJECT TITLE

FACADE RENOVATIONS
17 EAST CENTRAL



03/14/2025

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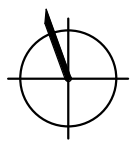
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DRAWING TITLE

DEMO PLAN -
LEVEL 1

SHEET NUMBER

AD101



NORTH REF

DO NOT SCALE



DEMO PLAN LEGEND

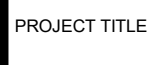
- ## DEMO GENERAL NOTES

- ## # DEMO KEYNOTES

- DESIGN TEAM
ARCHITECTURE

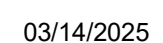


CONSULTANTS



FACADE RENOVATIONS

17 EAST CENTRAL



MARCH 14, 2025
PROJECT# | 24-PAS812

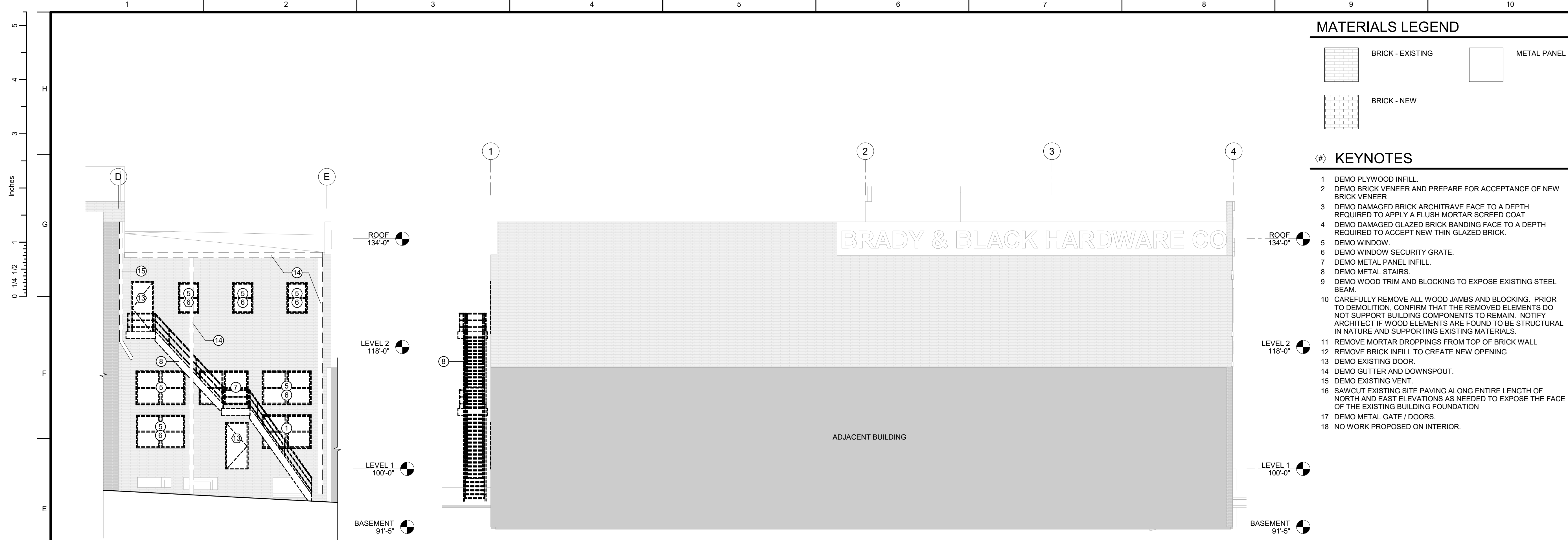
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DEMO PLAN -
LEVEL 2

SHEET NUMBER

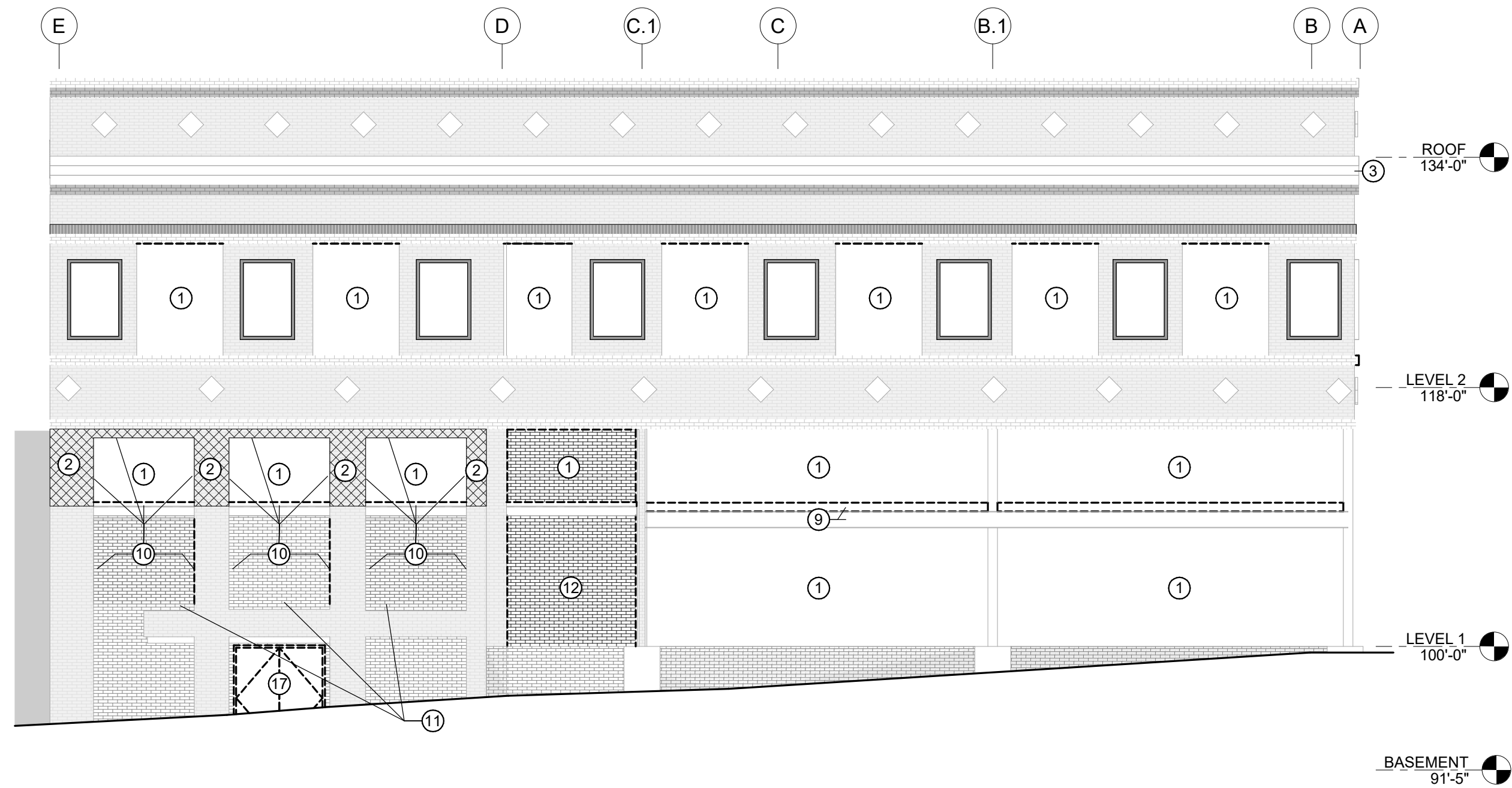
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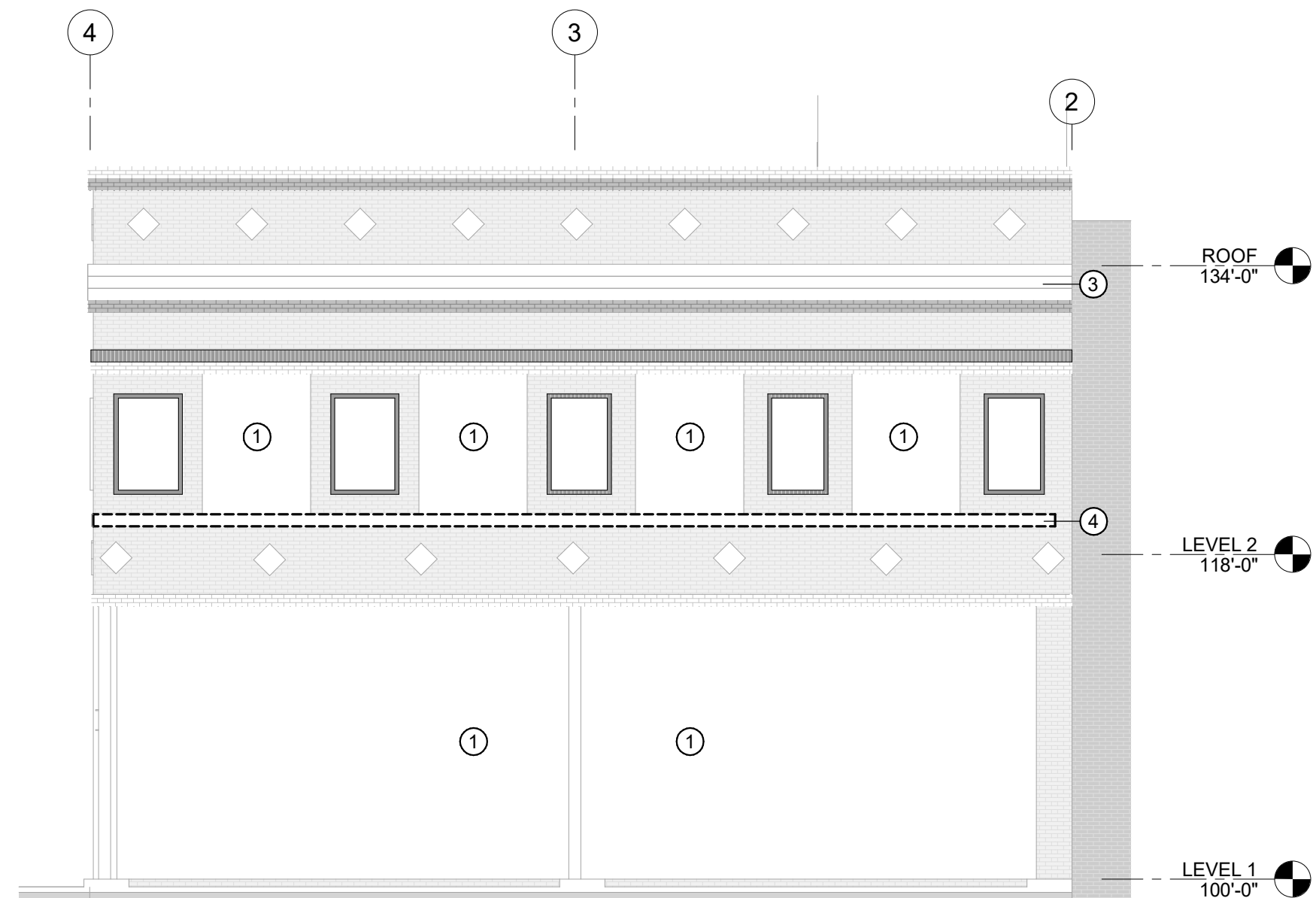


4 DEMO EXTERIOR ELEVATION - WEST
1/8" = 1'-0"

3 DEMO EXTERIOR ELEVATION - SOUTH
1/8" = 1'-0"

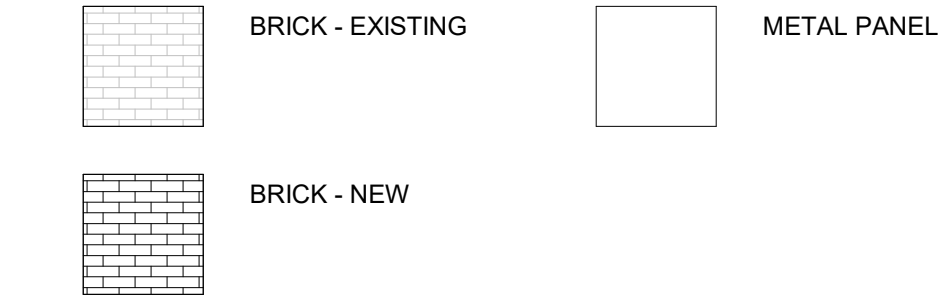


1 DEMO EXTERIOR ELEVATION EAST
1/8" = 1'-0"



2 DEMO EXTERIOR ELEVATION - NORTH
1/8" = 1'-0"

MATERIALS LEGEND



KEYNOTES

- 1 DEMO PLYWOOD INFILL.
- 2 DEMO BRICK VENEER AND PREPARE FOR ACCEPTANCE OF NEW BRICK VENEER
- 3 DEMO DAMAGED BRICK ARCHITRAVE FACE TO A DEPTH REQUIRED TO APPLY A FLUSH MORTAR SCREED COAT
- 4 DEMO DAMAGED GLAZED BRICK BANDING FACE TO A DEPTH REQUIRED TO ACCEPT NEW THIN GLAZED BRICK.
- 5 DEMO WINDOW.
- 6 DEMO WINDOW SECURITY GRATE.
- 7 DEMO METAL PANEL INFILL.
- 8 DEMO METAL STAIRS.
- 9 DEMO WOOD TRIM AND BLOCKING TO EXPOSE EXISTING STEEL BEAM.
- 10 CAREFULLY REMOVE ALL WOOD JAMBS AND BLOCKING. PRIOR TO DEMOLITION, CONFIRM THAT THE REMOVED ELEMENTS DO NOT SUPPORT BUILDING COMPONENTS TO REMAIN. NOTIFY ARCHITECT IF WOOD ELEMENTS ARE FOUND TO BE STRUCTURAL IN NATURE AND SUPPORTING EXISTING MATERIALS.
- 11 REMOVE MORTAR DROPPINGS FROM TOP OF BRICK WALL
- 12 REMOVE BRICK INFILL TO CREATE NEW OPENING
- 13 DEMO EXISTING DOOR.
- 14 DEMO GUTTER AND DOWNSPOUT.
- 15 DEMO EXISTING VENT.
- 16 SAWCUT EXISTING SITE PAVING ALONG ENTIRE LENGTH OF NORTH AND EAST ELEVATIONS AS NEEDED TO EXPOSE THE FACE OF THE EXISTING BUILDING FOUNDATION
- 17 DEMO METAL GATE / DOORS.
- 18 NO WORK PROPOSED ON INTERIOR.

DESIGN TEAM
ARCHITECTURE

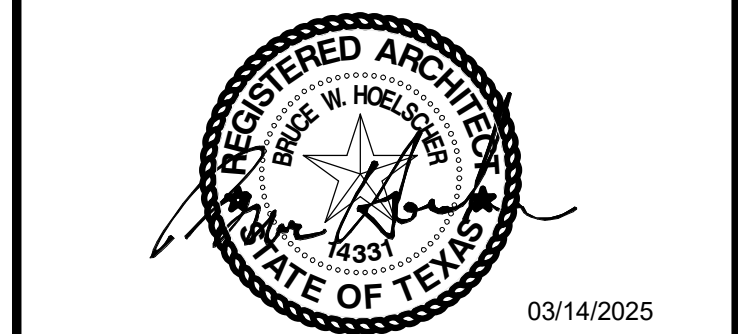


CONSULTANTS



PROJECT TITLE

FACADE RENOVATIONS
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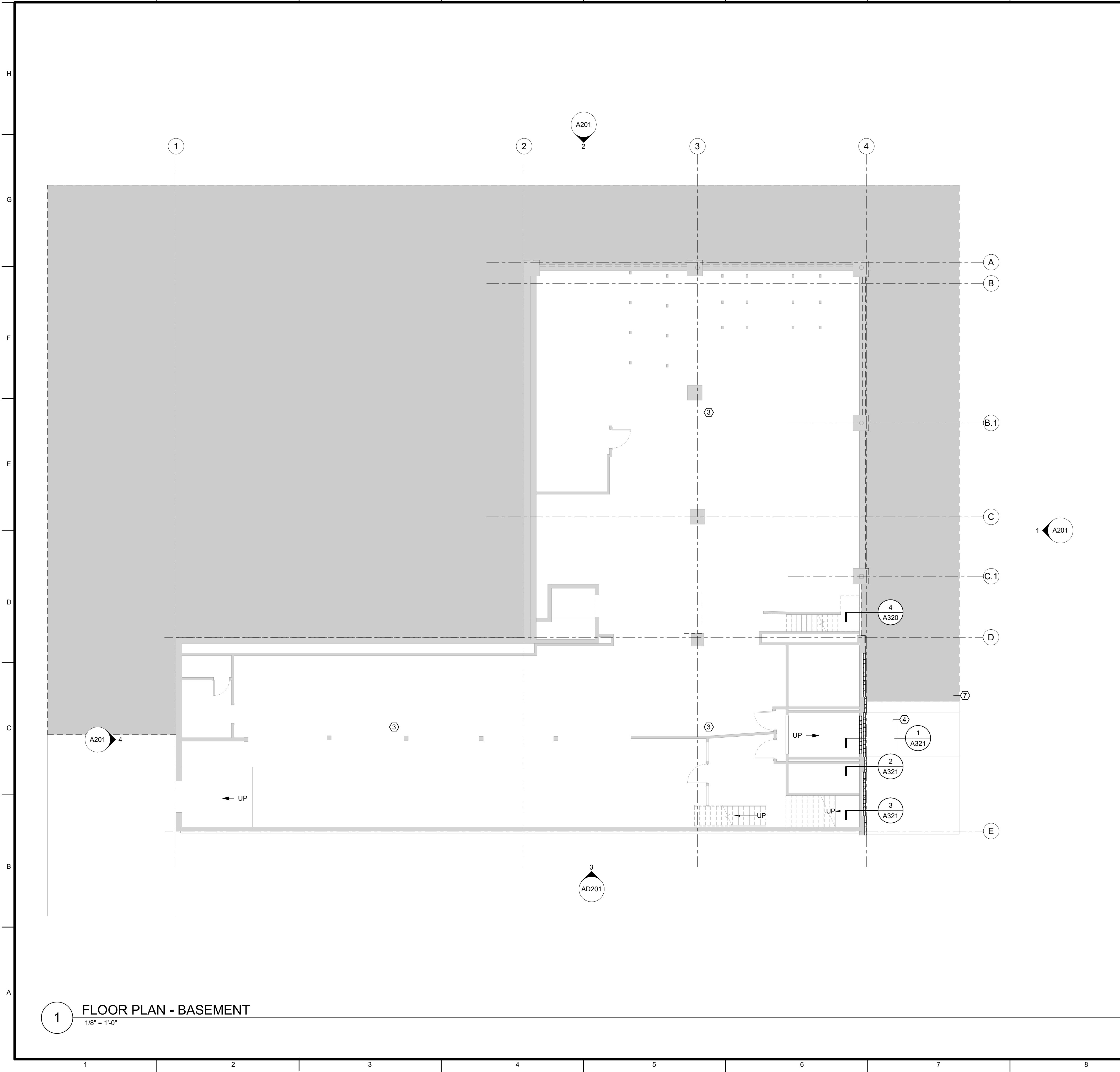
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DEMO EXTERIOR ELEVATIONS

SHEET NUMBER
AD201

DO NOT SCALE

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0 1/4 1/2 1
Inches



GENERAL NOTES

- A. ALL DIMENSIONS ARE TO FACE OF FRAMING, FACE OF FINISH OR CONCRETE UNO.
B. CONTRACTOR SHALL PROVIDE STORAGE FOR ALL BUILDING MATERIALS IN ACCORDANCE W/ MANUFACTURER'S RECOMMENDATIONS. STORAGE OF SUPPLIES SHALL REMAIN DRY.

KEYNOTES

- 1 EXISTING SIDEWALK
2 EXISTING BRICK PAVERS
3 NO WORK PROPOSED ON INTERIOR.
4 INFILL CONCRETE @ DEMO'D ENTRANCE, TO BE FLUSH W/ EXISTING SIDEWALK.
5 EXISTING ADJACENT BUILDING
6 EXISTING STREET PARKING SIGN.
7 GRAYED AREA INDICATES BELOW GRADE AT PLAN CUT HEIGHT (4'-6" AFF @ BASEMENT).
8 EXISTING ALLEY
9 EXISTING STREET PARKING

DESIGN TEAM
ARCHITECTURE



PILLAR
ARCHITECTURE STUDIO

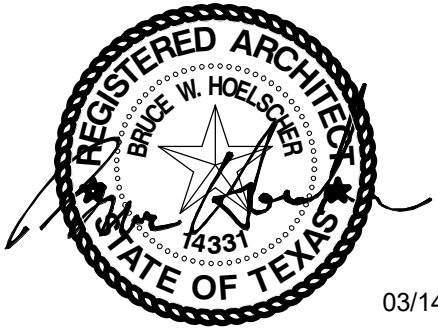
800 S AUSTIN AVE, GEORGETOWN, TX 78626

CONSULTANTS



PROJECT TITLE

FACADE RENOVATIONS
17 EAST CENTRAL



ISSUE FOR PERMIT

MARCH 14, 2025
PROJECT# | 24-PAS812

REV.	DATE	DESCRIPTION

DRAWING TITLE

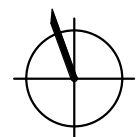
**FLOOR PLAN -
BASEMENT**

SHEET NUMBER

A100

1 FLOOR PLAN - BASEMENT

1/8" = 1'-0"

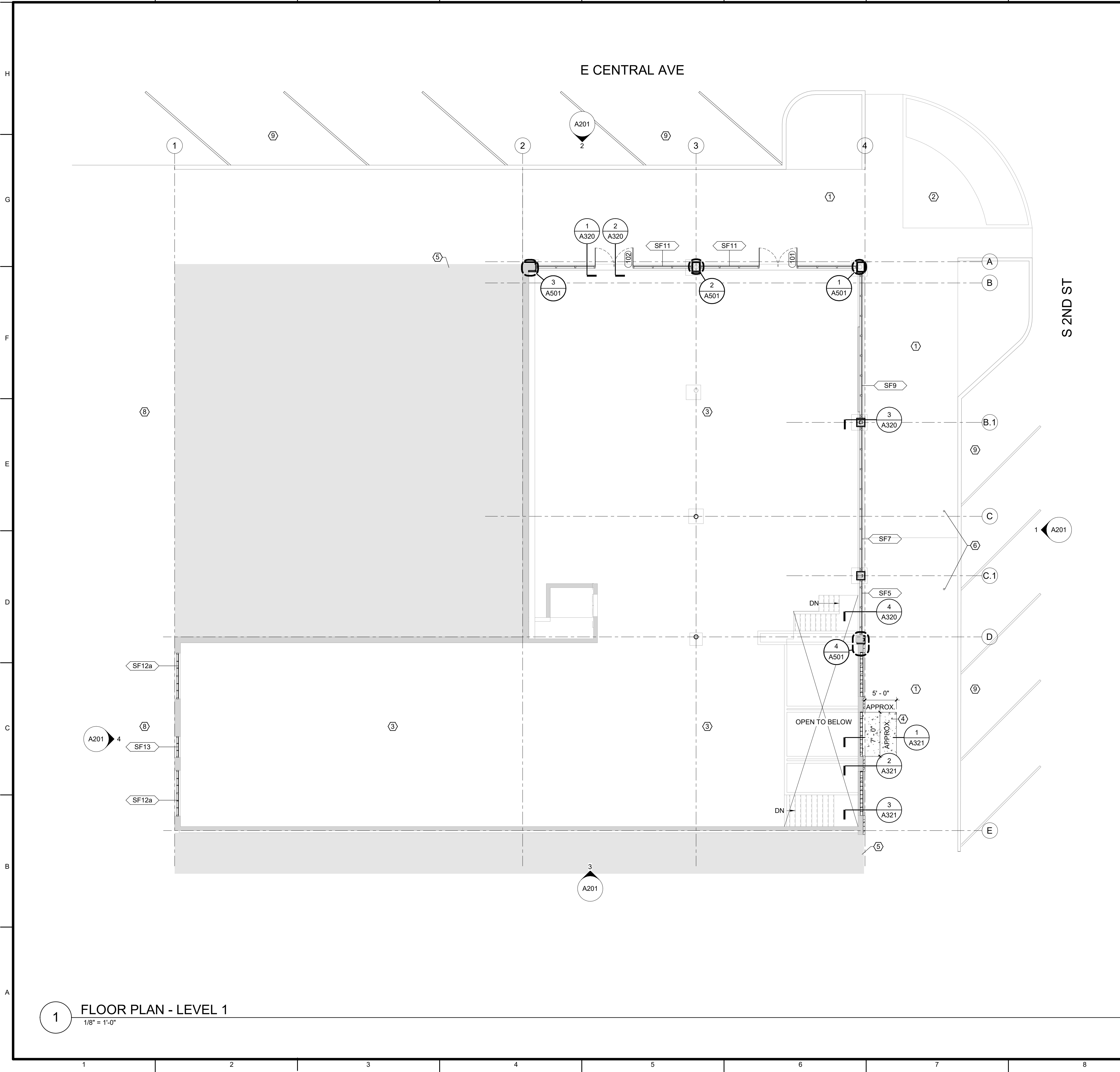


NORTH REF

DO NOT SCALE

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3/17/2025 10:06:50 AM

0 1/4 1/2
Inches



NORTH REF

GENERAL NOTES

- A. ALL DIMENSIONS ARE TO FACE OF FRAMING, FACE OF FINISH OR CONCRETE UNO.
B. CONTRACTOR SHALL PROVIDE STORAGE FOR ALL BUILDING MATERIALS IN ACCORDANCE W/ MANUFACTURER'S RECOMMENDATIONS. STORAGE OF SUPPLIES SHALL REMAIN DRY.

KEYNOTES

- 1 EXISTING SIDEWALK
2 EXISTING BRICK PAVERS
3 NO WORK PROPOSED ON INTERIOR.
4 INFILL CONCRETE @ DEMO'D ENTRANCE, TO BE FLUSH W/ EXISTING SIDEWALK.
5 EXISTING ADJACENT BUILDING
6 EXISTING STREET PARKING SIGN.
7 GRAVED AREA INDICATES BELOW GRADE AT PLAN CUT HEIGHT (4'-6" AFF @ BASEMENT).
8 EXISTING ALLEY
9 EXISTING STREET PARKING

DESIGN TEAM
ARCHITECTURE



PILLAR
ARCHITECTURE STUDIO

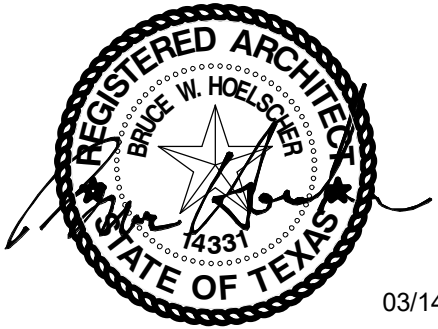
800 S AUSTIN AVE, GEORGETOWN, TX 78626

CONSULTANTS



PROJECT TITLE

FACADE RENOVATIONS
17 EAST CENTRAL



ISSUE FOR PERMIT

MARCH 14, 2025
PROJECT# | 24-PAS812

REV.	DATE	DESCRIPTION

DRAWING TITLE

**FLOOR PLAN -
LEVEL 1**

SHEET NUMBER

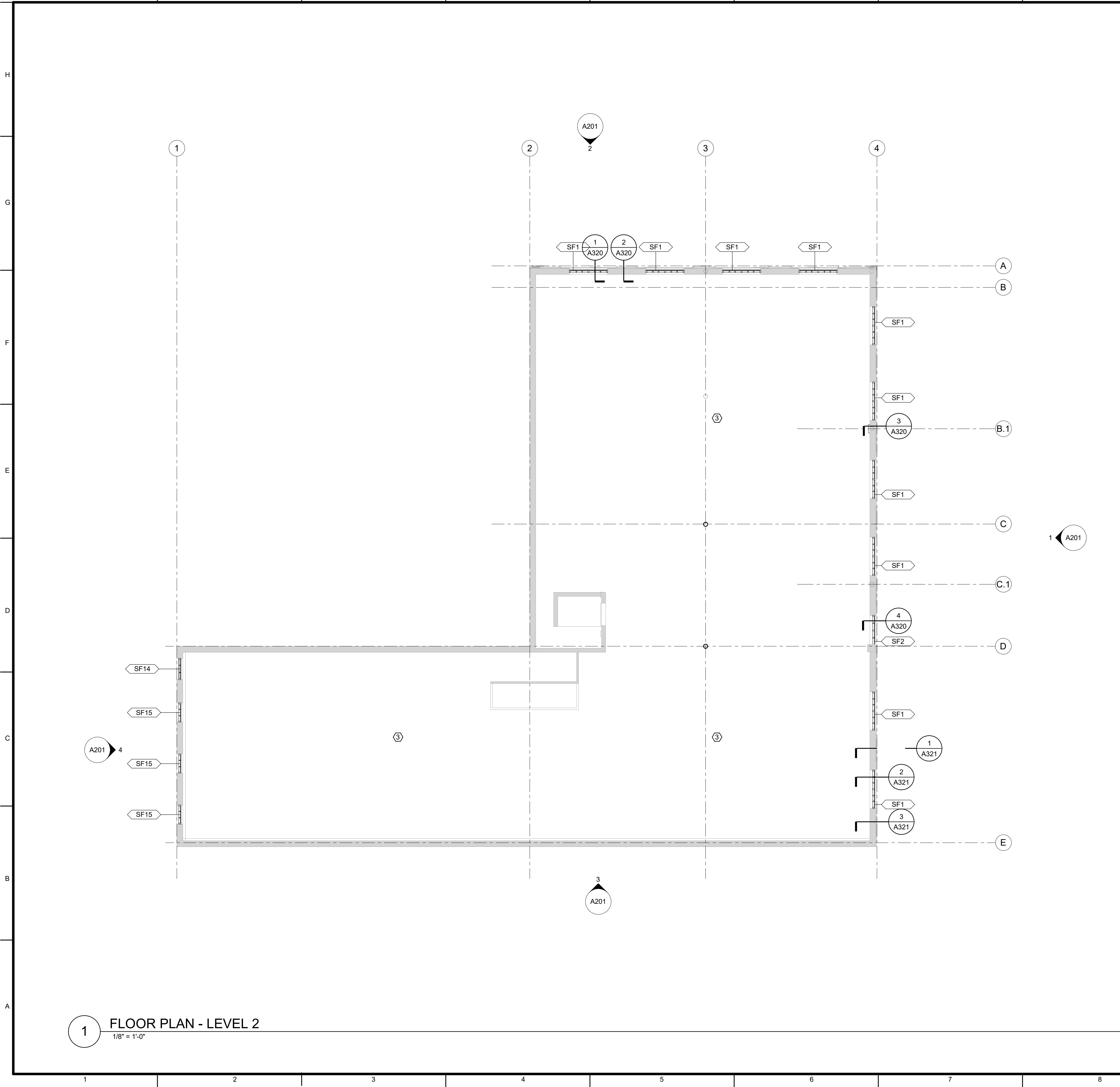
A101

DO NOT SCALE

1 FLOOR PLAN - LEVEL 1
1/8" = 1'-0"

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3/17/2025 10:06:51 AM

0 1/4 1/2 1
Inches



GENERAL NOTES

- ALL DIMENSIONS ARE TO FACE OF FRAMING, FACE OF FINISH OR CONCRETE UNO.
- CONTRACTOR SHALL PROVIDE STORAGE FOR ALL BUILDING MATERIALS IN ACCORDANCE W/ MANUFACTURER'S RECOMMENDATIONS. STORAGE OF SUPPLIES SHALL REMAIN DRY.

KEYNOTES

- EXISTING SIDEWALK
- EXISTING BRICK PAVERS
- NO WORK PROPOSED ON INTERIOR.
- INFILL CONCRETE @ DEMO'D ENTRANCE, TO BE FLUSH W/ EXISTING SIDEWALK.
- EXISTING ADJACENT BUILDING
- EXISTING STREET PARKING SIGN.
- GRAYED AREA INDICATES BELOW GRADE AT PLAN CUT HEIGHT (4'-6" AFF @ BASEMENT).
- EXISTING ALLEY
- EXISTING STREET PARKING

DESIGN TEAM
ARCHITECTURE



PILLAR
ARCHITECTURE STUDIO

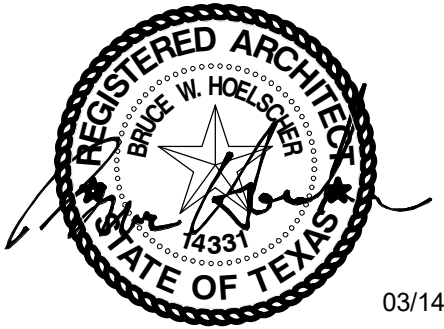
800 S AUSTIN AVE, GEORGETOWN, TX 78626

CONSULTANTS



PROJECT TITLE

FACADE RENOVATIONS
17 EAST CENTRAL



ISSUE FOR PERMIT

MARCH 14, 2025
PROJECT# | 24-PAS812

REV.	DATE	DESCRIPTION

DRAWING TITLE

**FLOOR PLAN -
LEVEL 2**

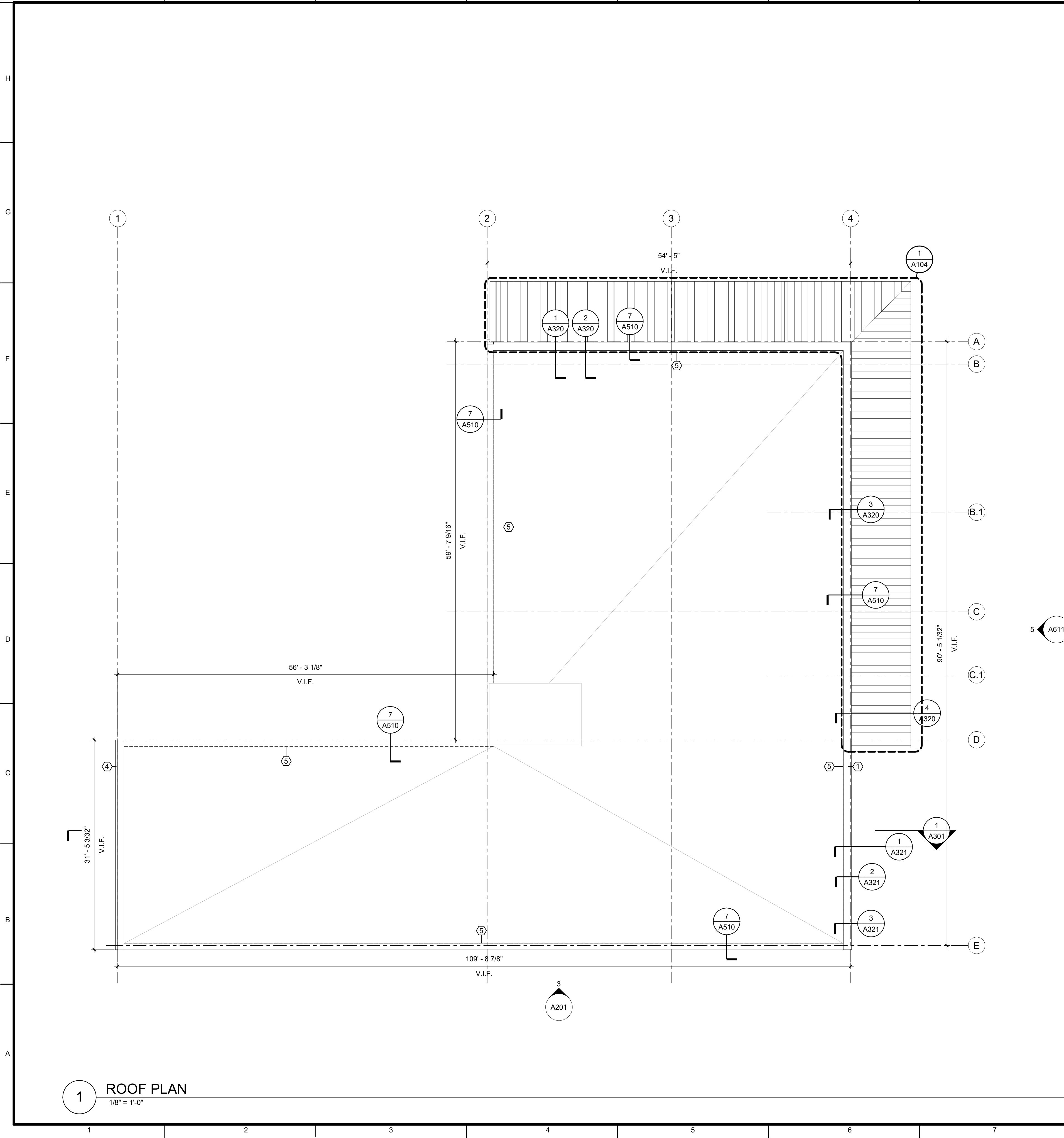
SHEET NUMBER

A102

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0 1/4 1/2
Inches

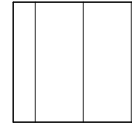


1 ROOF PLAN
1/8" = 1'-0"

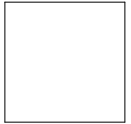


DO NOT SCALE

ROOF MATERIALS LEGEND



NEW RF1, STANDING
SEAM METAL ROOF
OVER CHANNEL
STEEL FRAME



EXISTING

GENERAL NOTES

A. NOT USED.

KEYNOTES

- NEW PARAPET FLASHING AND COPING.
- ALIGN CANOPY STRUCTURE W/ EXISTING TIE-BACK LOCATIONS
- ANCHOR B.O. CANOPY ON EACH SIDE OF COLUMN WRAPS
- NEW GUTTER AND DOWNSPOUTS.
- NEW COAT OF MASTIC DAMPPROOFING OVER BACK OF EXISTING PARAPET WALLS.
- 6" CHANNEL STEEL STRUCTURAL FRAME, TYP
- 1 1/2" STANDING SEAM METAL ROOF, RF1, OVER STRUCTURAL FRAME, TYP

DESIGN TEAM
ARCHITECTURE



PILLAR
ARCHITECTURE STUDIO

800 S AUSTIN AVE, GEORGETOWN, TX 78626

CONSULTANTS

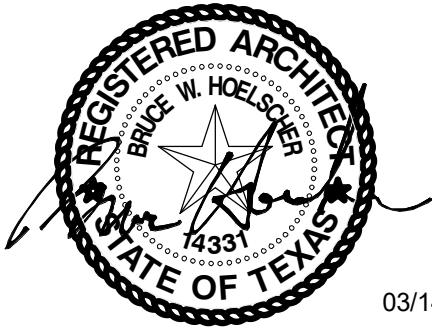


GESSNER
ENGINEERING

PROJECT TITLE

FACADE RENOVATIONS

17 EAST CENTRAL



03/14/2025

ISSUE FOR PERMIT

MARCH 14, 2025
PROJECT# | 24-PAS812

REV.	DATE	DESCRIPTION

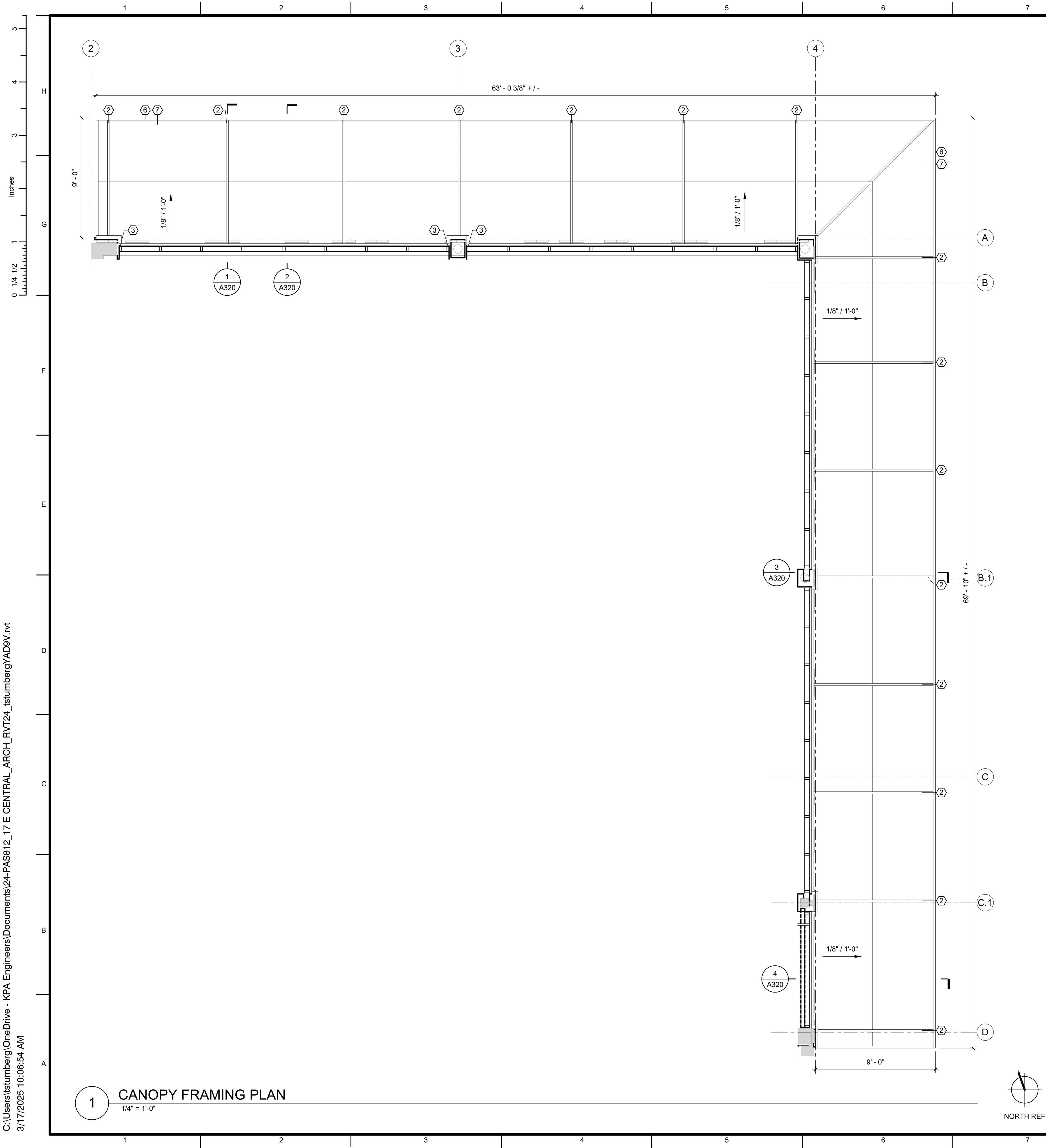
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ROOF PLAN

SHEET NUMBER

A103

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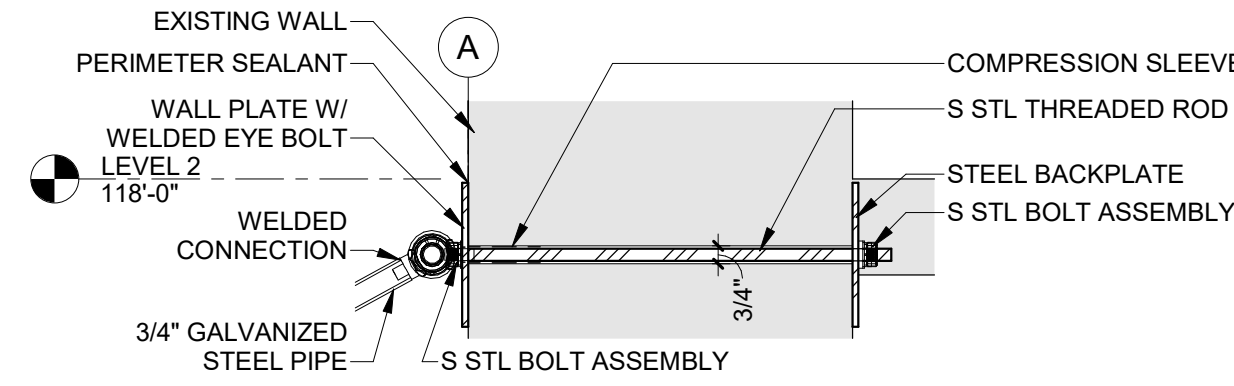


GENERAL NOTES

A. NOT USED.

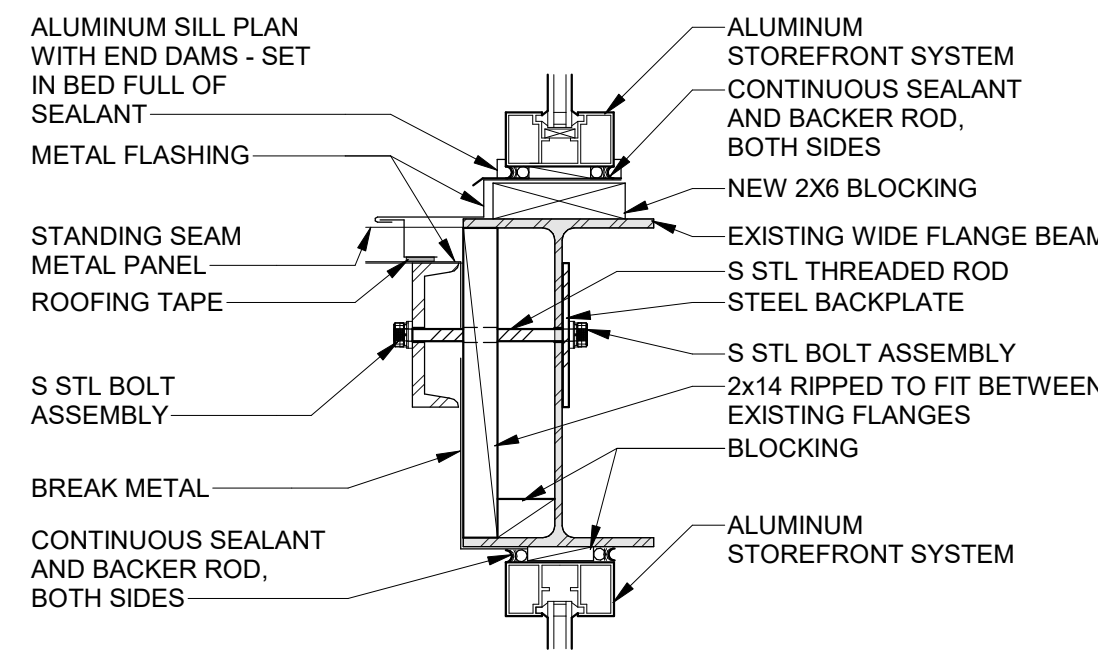
KEYNOTES

- 1 NEW PARAPET FLASHING AND COPING.
- 2 ALIGN CANOPY STRUCTURE W/ EXISTING TIE-BACK LOCATIONS
- 3 ANCHOR B.O. CANOPY ON EACH SIDE OF COLUMN WRAPS
- 4 NEW GUTTER AND DOWNSPOUTS.
- 5 NEW COAT OF MASTIC DAMPPROOFING OVER BACK OF EXISTING PARAPET WALLS.
- 6 6" CHANNEL STEEL STRUCTURAL FRAME, TYP
- 7 1 1/2" STANDING SEAM METAL ROOF, RF1, OVER STRUCTURAL FRAME, TYP



5 CANOPY TIE-BACK SECTION DETAIL

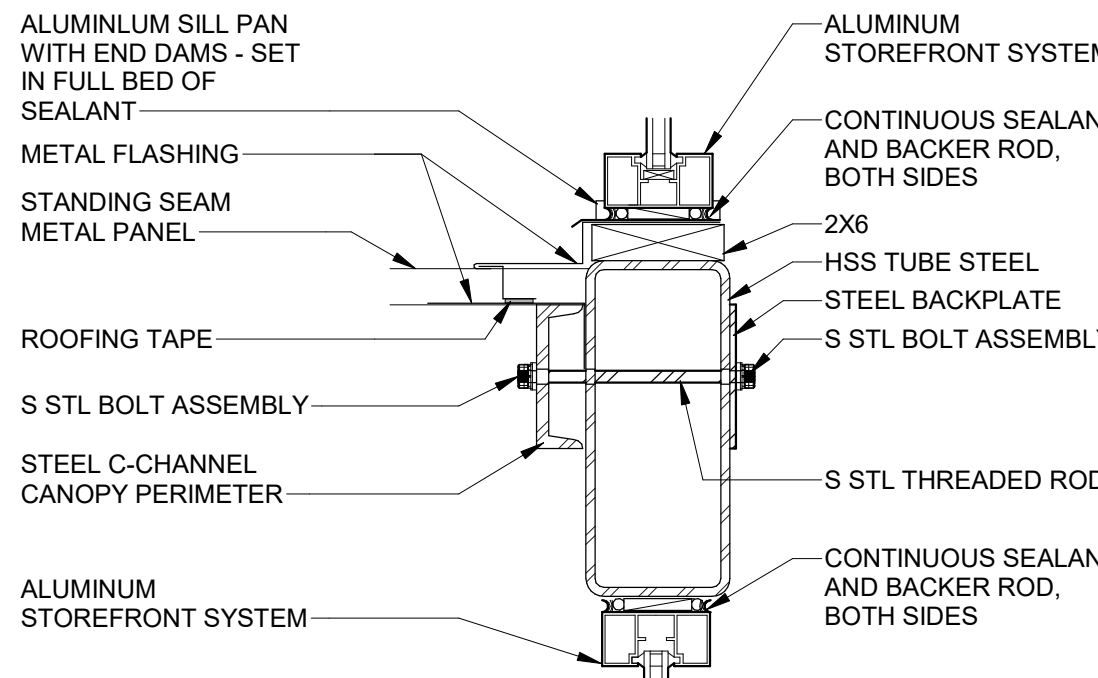
1 1/2" = 1'-0"



4 CANOPY ATTACHMENT @ EXISTING STRUCTURE SECTION DETAIL

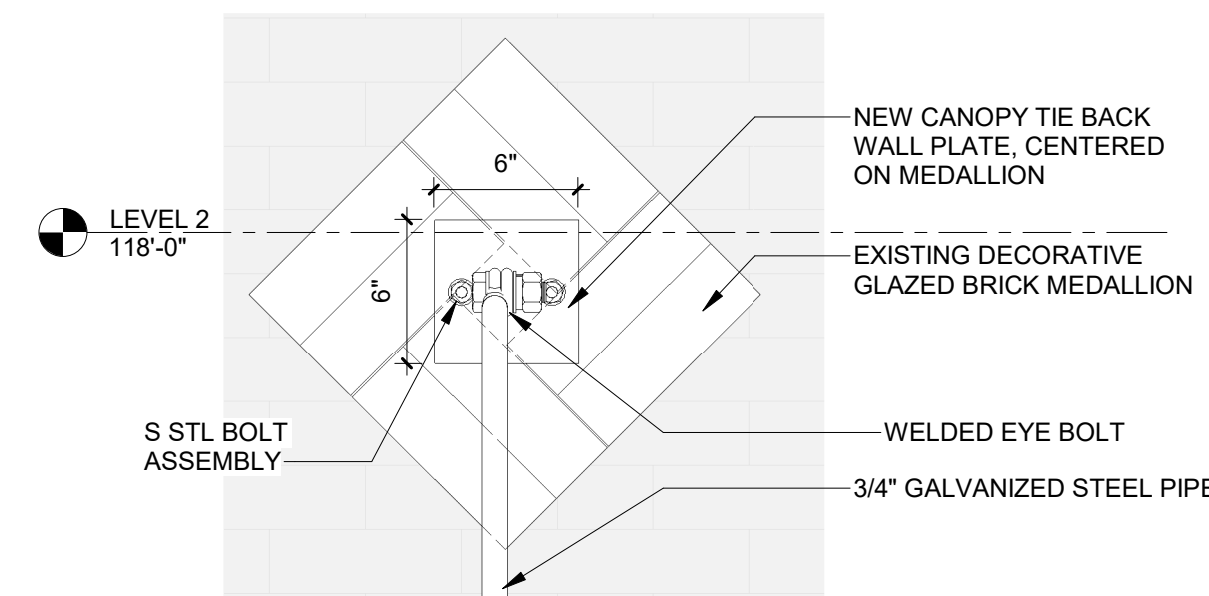
1 1/2" = 1'-0"

@ SIM DETAIL:
NEW WIDE FLANGE
BEAM TO MATCH
EXISTING STRUC.



3 CANOPY ATTACHMENT @ NEW STRUCTURE SECTION DETAIL

1 1/2" = 1'-0"



2 CANOPY TIE BACK PLATE ELEVATION

1 1/2" = 1'-0"

DESIGN TEAM
ARCHITECTURE



PILLAR
ARCHITECTURE STUDIO

800 S AUSTIN AVE, GEORGETOWN, TX 78626

CONSULTANTS



PROJECT TITLE

FACADE RENOVATIONS

17 EAST CENTRAL



03/14/2025

ISSUE FOR PERMIT

MARCH 14, 2025
PROJECT# | 24-PAS812

REV.	DATE	DESCRIPTION

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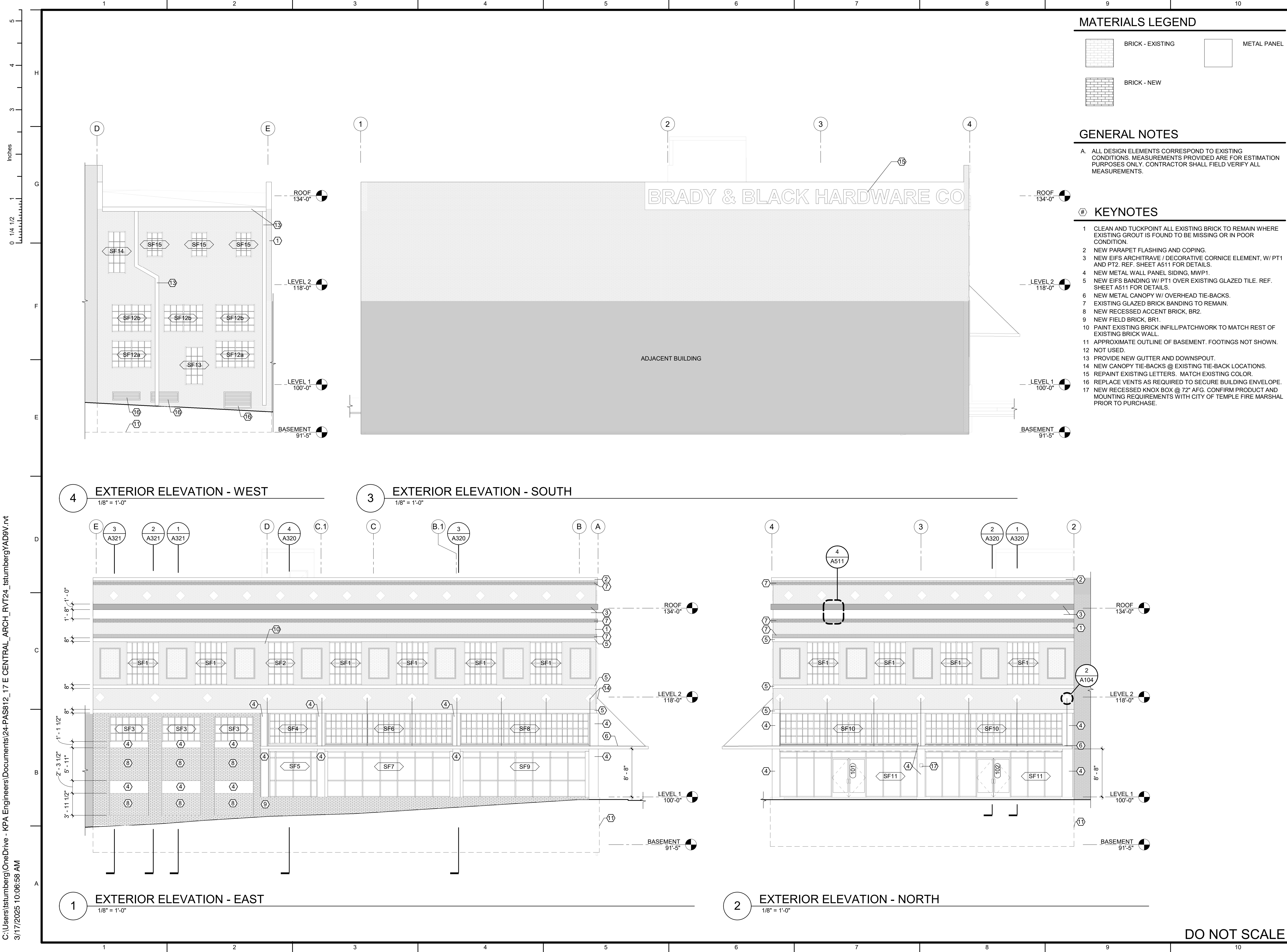
ROOF PLAN -
CANOPY

SHEET NUMBER

A104

DO NOT SCALE

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DESIGN TEAM
ARCHITECTURE



PILLAR
ARCHITECTURE STUDIO

800 S AUSTIN AVE, GEORGETOWN, TX 78626

CONSULTANTS



PROJECT TITLE

FACADE RENOVATIONS
17 EAST CENTRAL



03/14/2025

ISSUE FOR PERMIT

MARCH 14, 2025
PROJECT# | 24-PAS812

REV.	DATE	DESCRIPTION

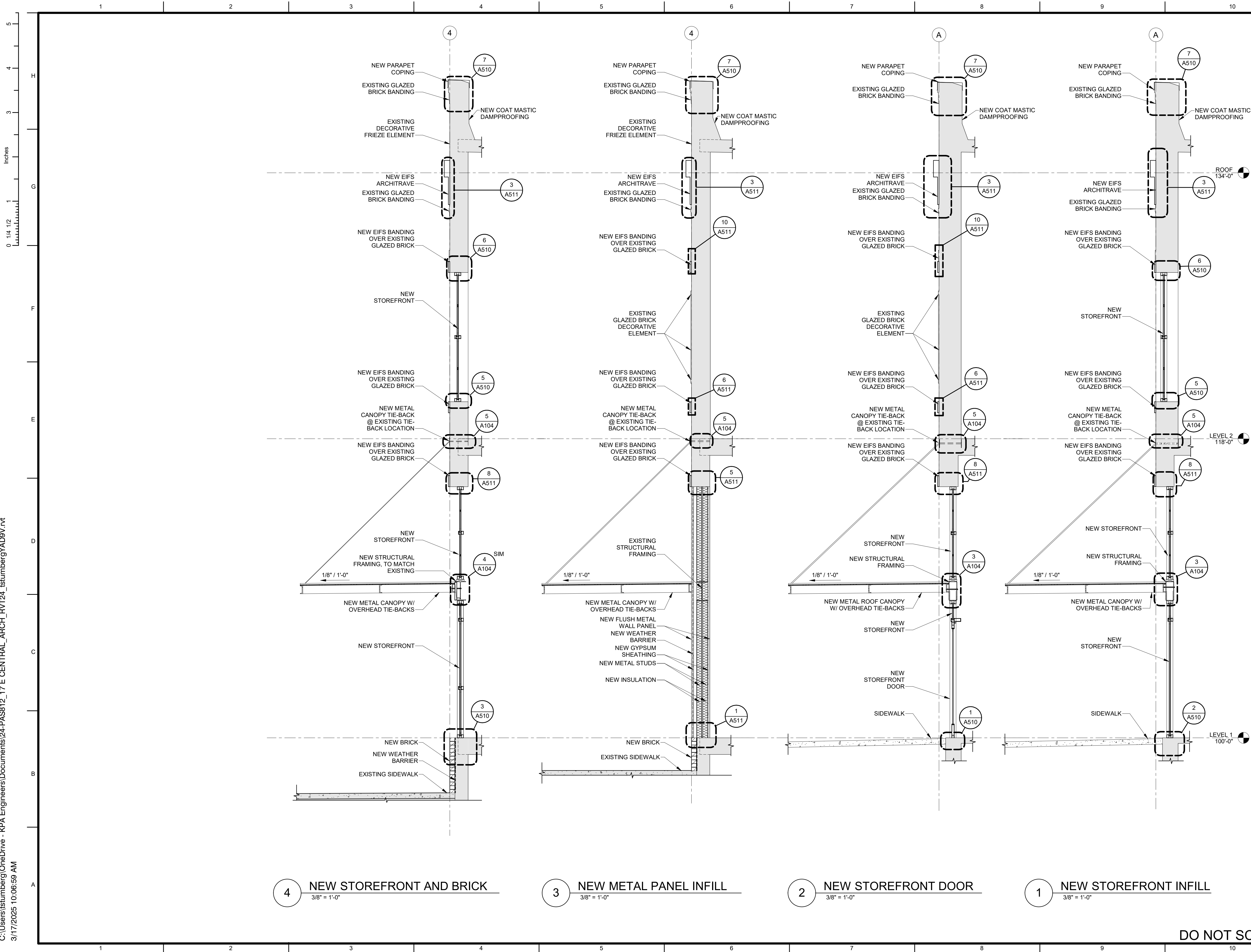
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**EXTERIOR
ELEVATIONS**

SHEET NUMBER

A201

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DESIGN TEAM
ARCHITECTURE



PILLAR
ARCHITECTURE STUDIO

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CONSULTANTS



PROJECT TITLE

FACADE RENOVATIONS
17 EAST CENTRAL



ISSUE FOR PERMIT

MARCH 14, 2025
PROJECT# | 24-PAS812

REV.	DATE	DESCRIPTION

DRAWING TITLE

WALL SECTIONS

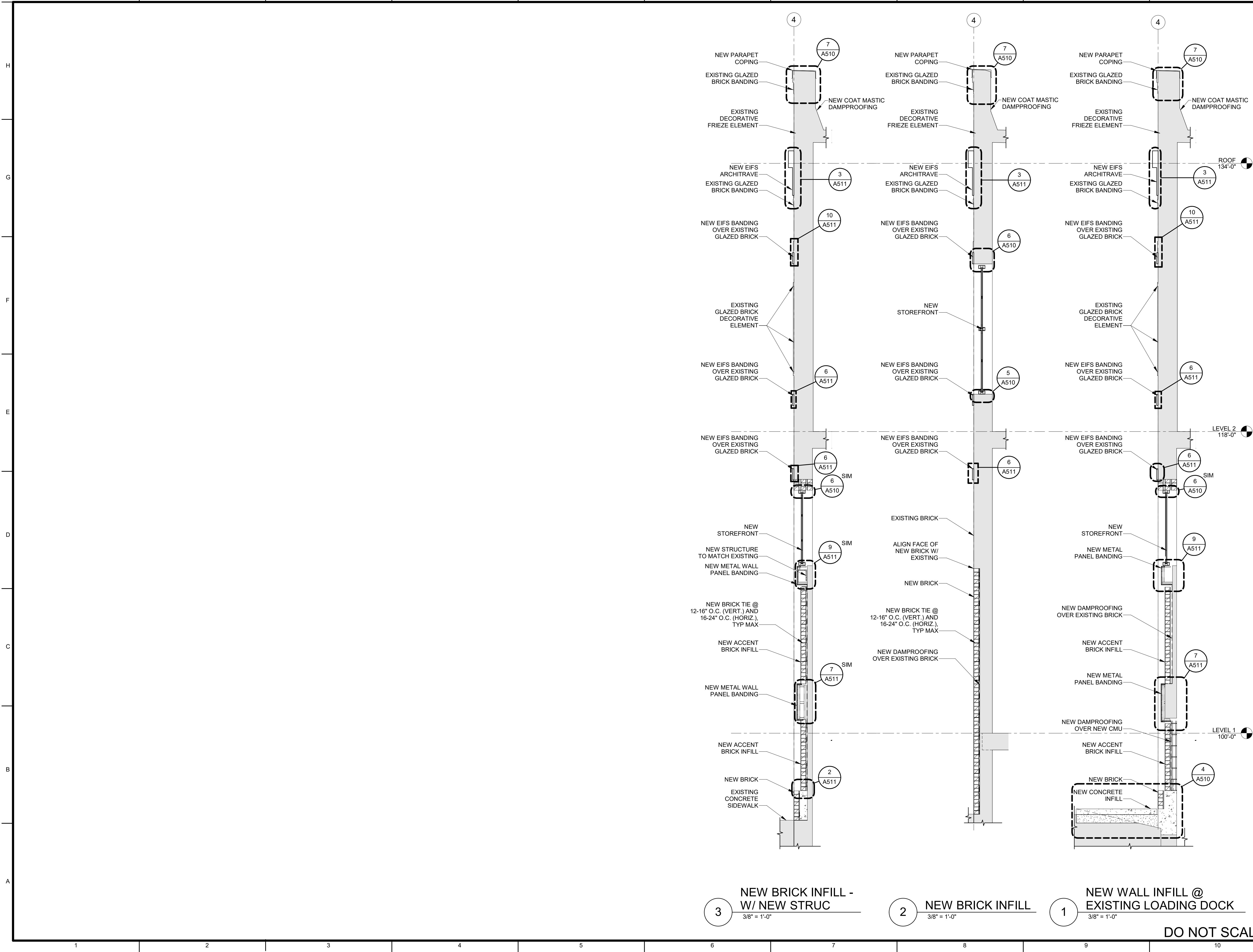
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A320

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0 1/4 1/2 1 3 4 5
Inches



DESIGN TEAM
ARCHITECTURE



PILLAR
ARCHITECTURE STUDIO

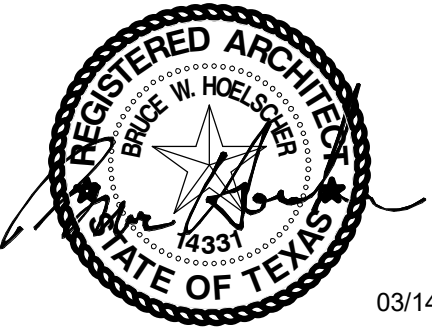
800 S AUSTIN AVE, GEORGETOWN, TX 78626

CONSULTANTS



PROJECT TITLE

FACADE RENOVATIONS
17 EAST CENTRAL



ISSUE FOR PERMIT

MARCH 14, 2025
PROJECT# | 24-PAS812

REV.	DATE	DESCRIPTION

DRAWING TITLE

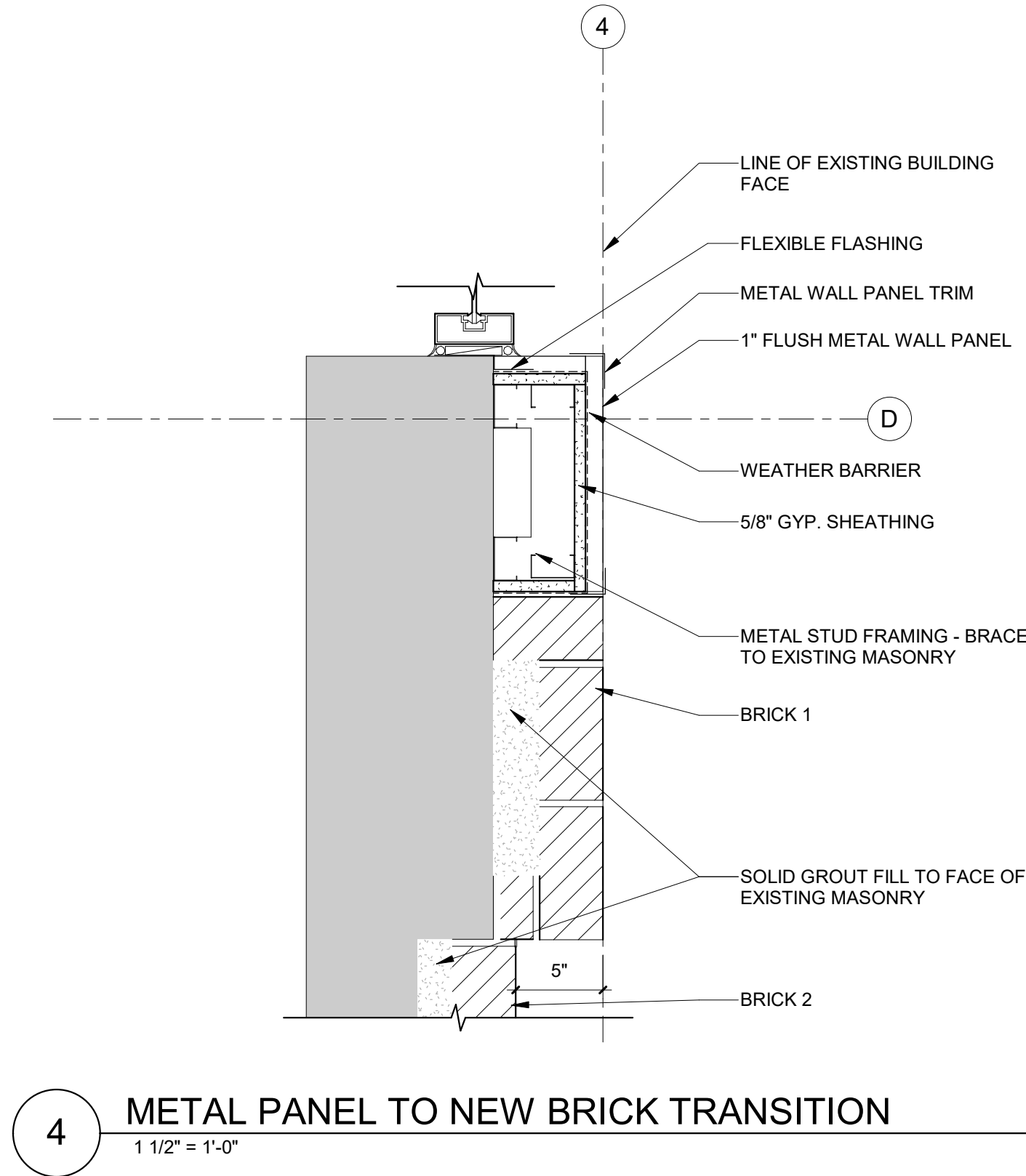
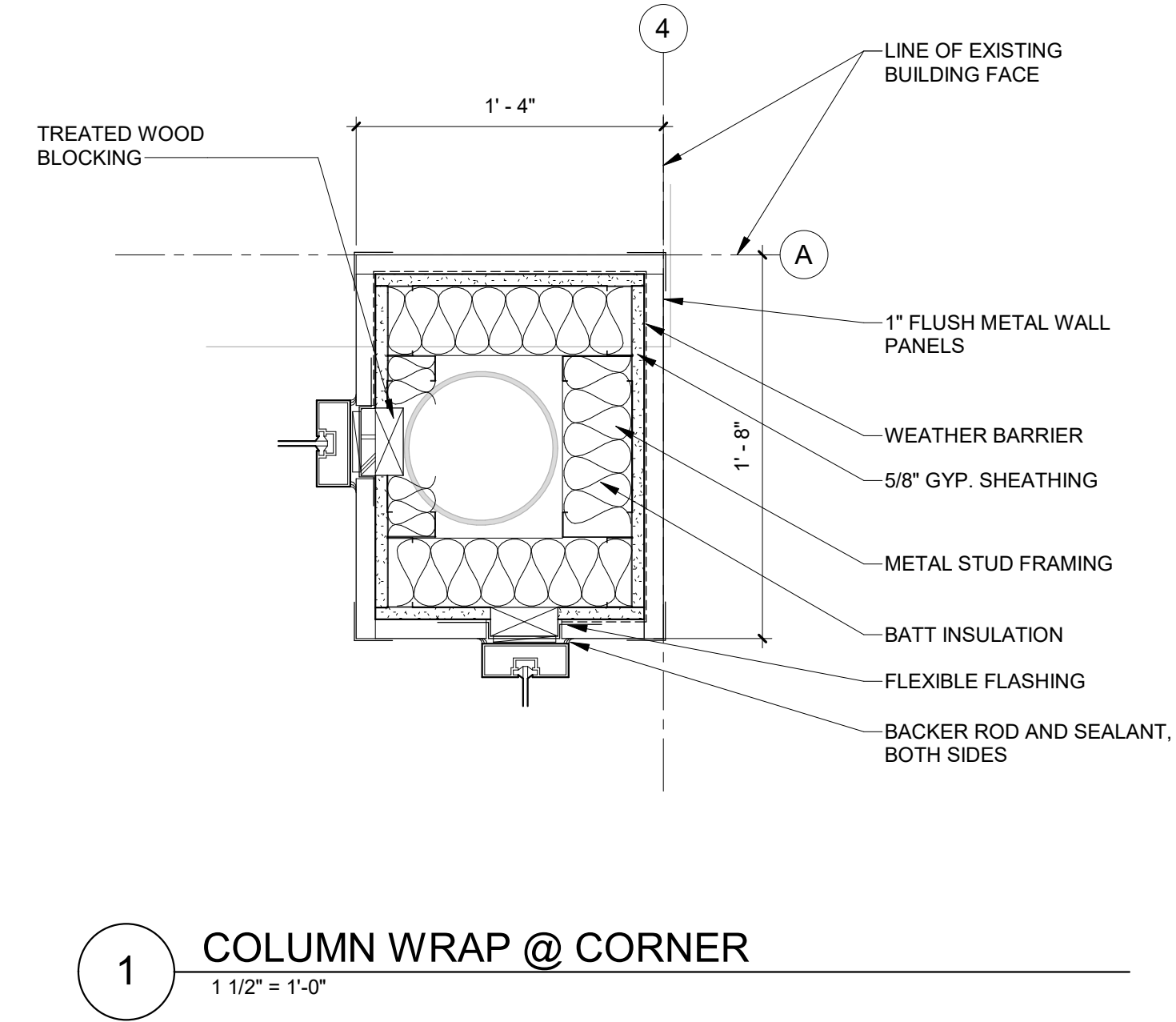
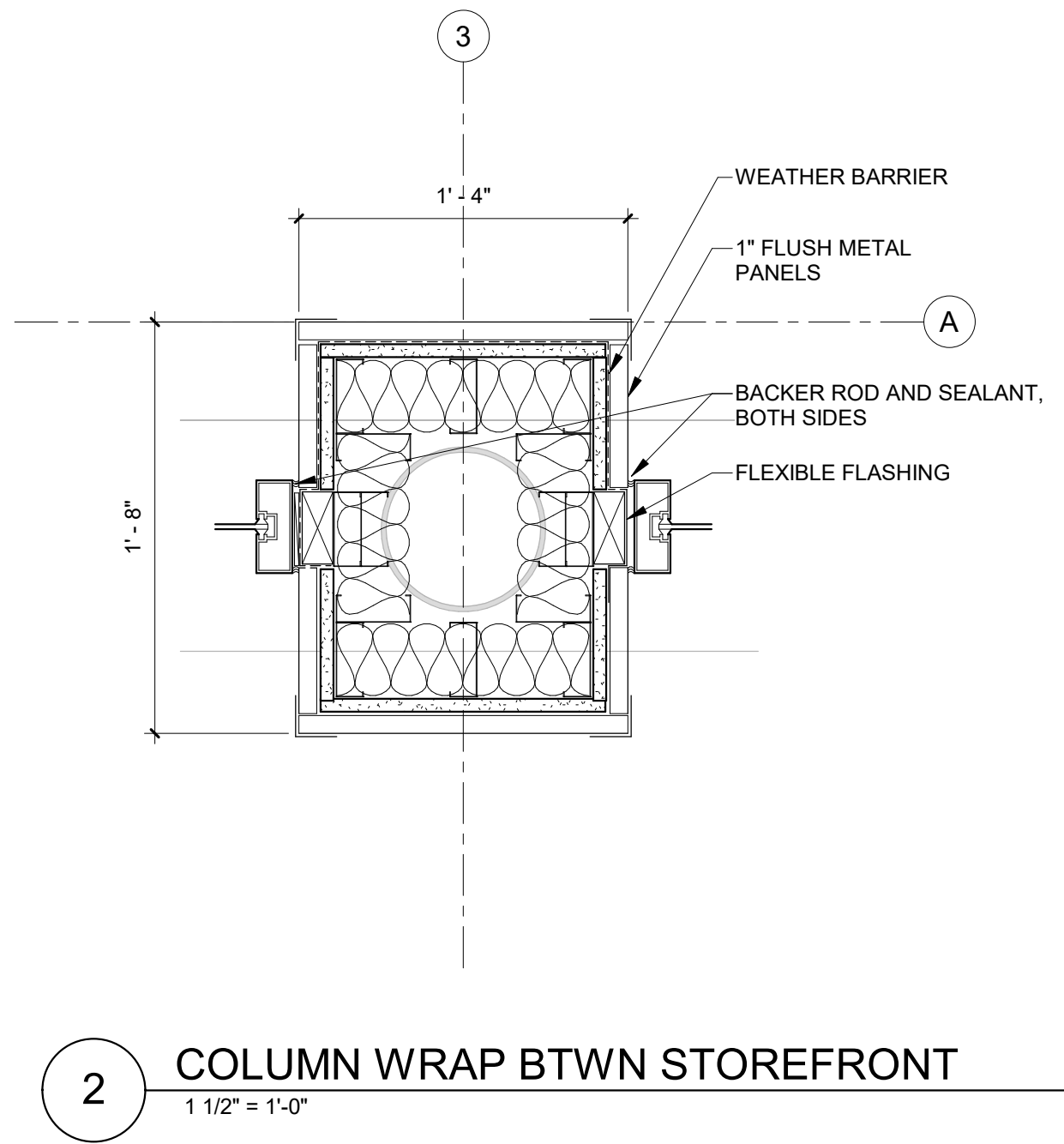
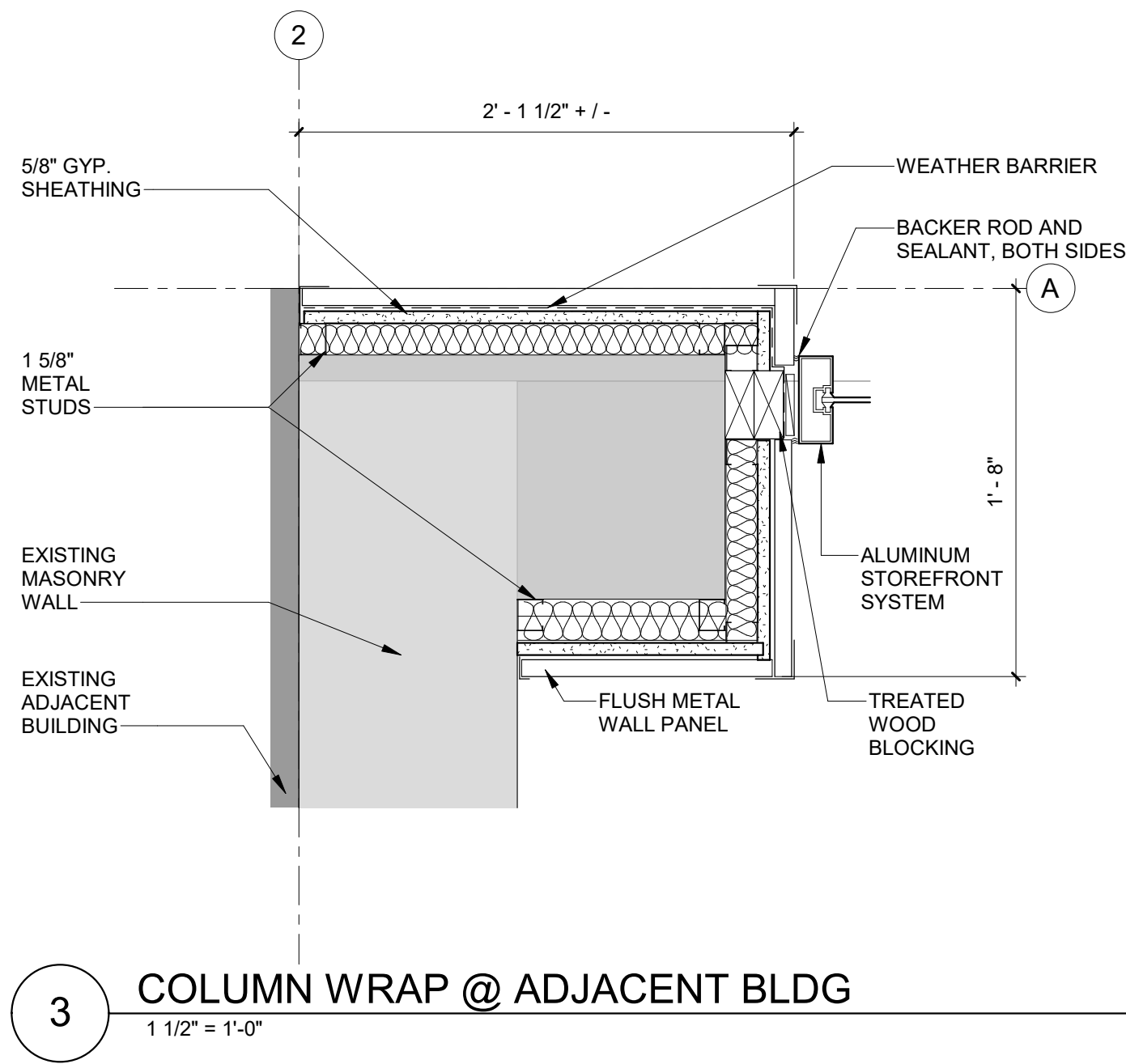
WALL SECTIONS

SHEET NUMBER

A321

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Inches



DO NOT SCALE

DESIGN TEAM
ARCHITECTURE



PILLAR
ARCHITECTURE STUDIO

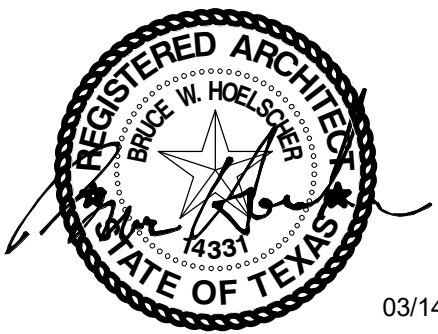
800 S AUSTIN AVE, GEORGETOWN, TX 78626

CONSULTANTS



PROJECT TITLE

FACADE RENOVATIONS
17 EAST CENTRAL



03/14/2025

ISSUE FOR PERMIT

MARCH 14, 2025
PROJECT# | 24-PAS812

REV.	DATE	DESCRIPTION

DRAWING TITLE

PLAN DETAILS

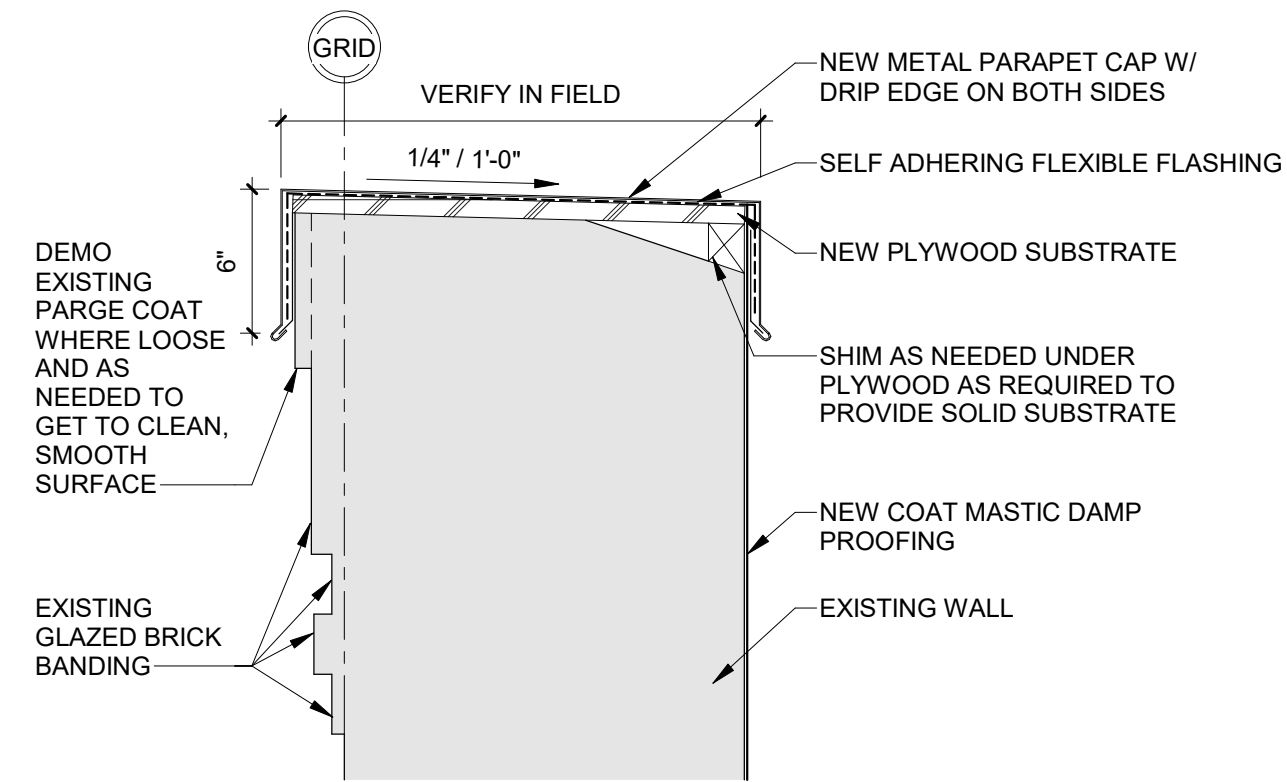
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A501

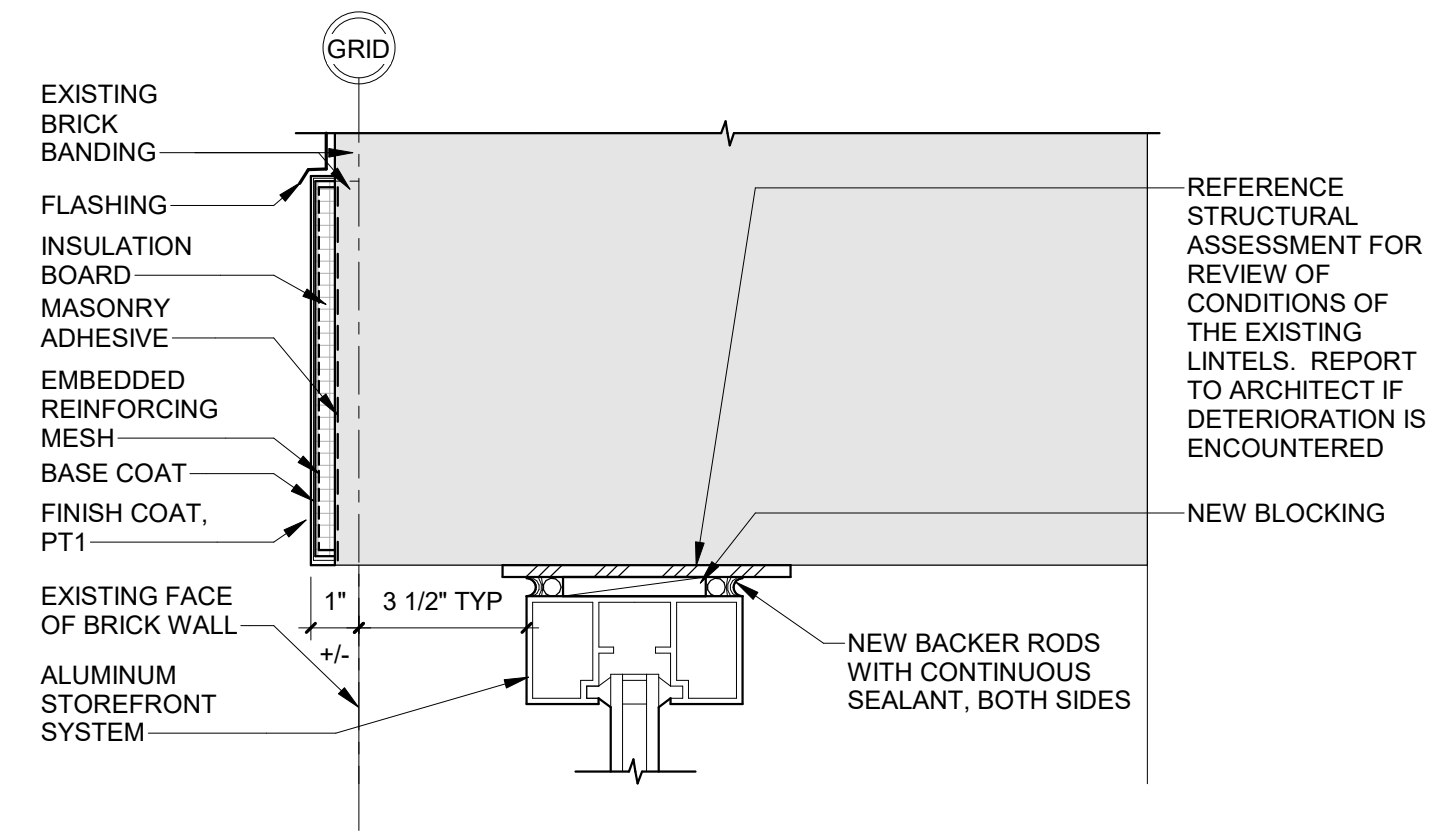
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Inches

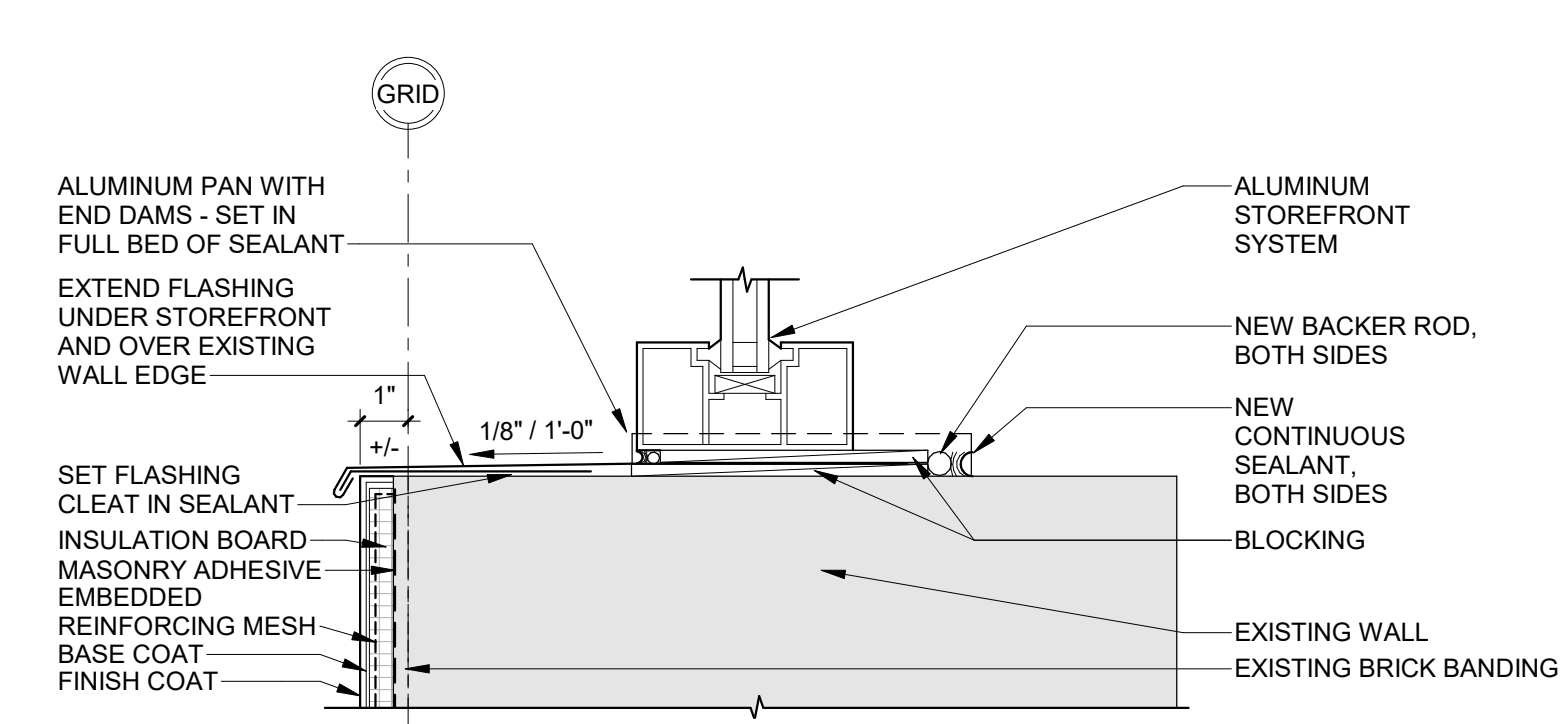
H
G
F
E
D
C
B
A



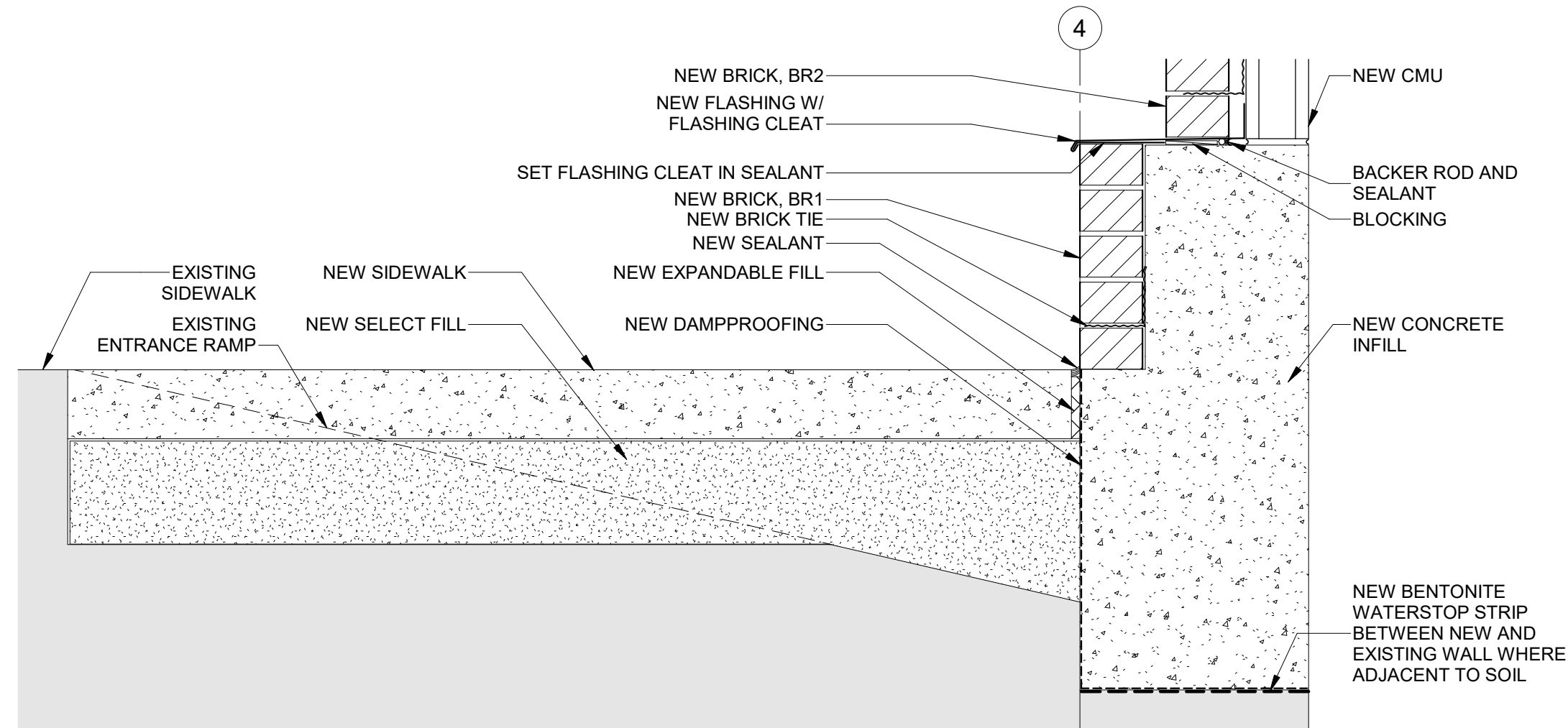
7 TYP PARAPET COPING
1 1/2" = 1'-0"



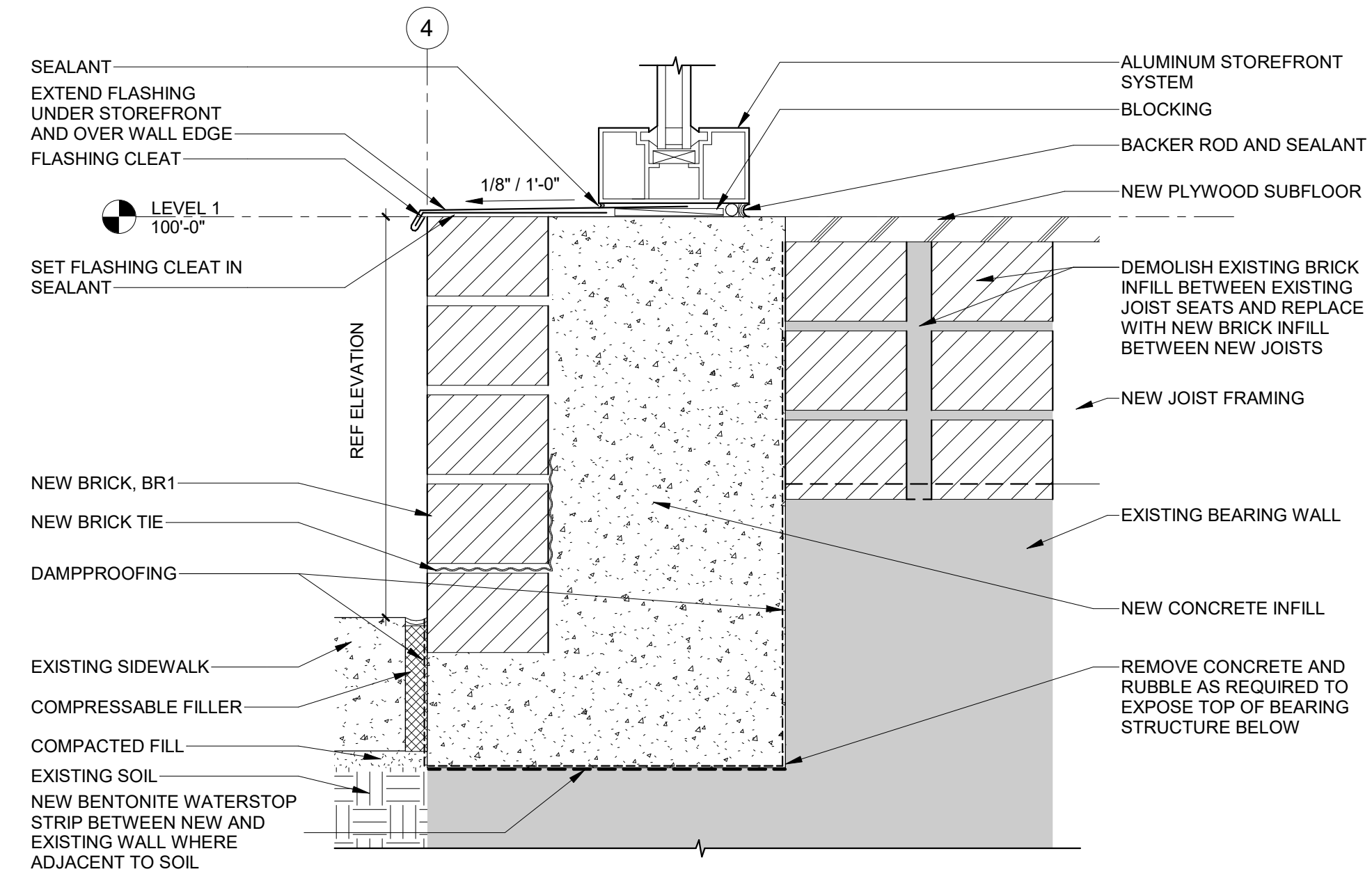
6 TYP STOREFRONT HEAD
3" = 1'-0"
@ SIM DETAIL: NO BANDING ALIGNED W/ T.O. WINDOW



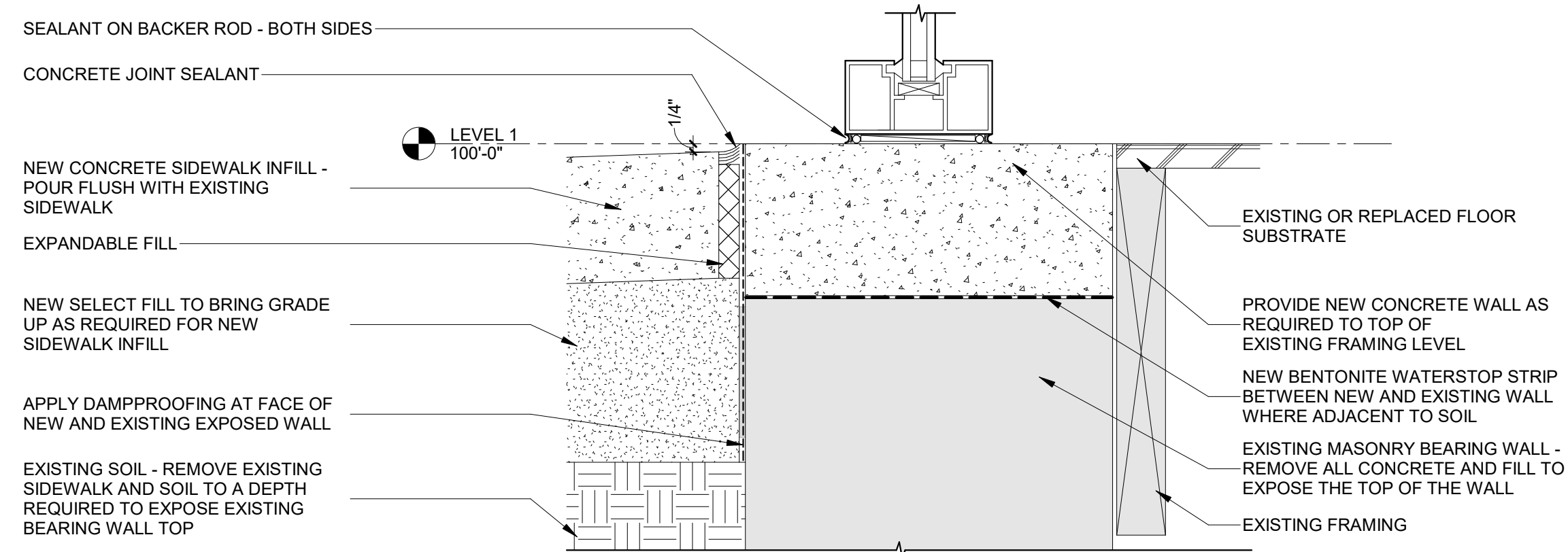
5 TYP STOREFRONT SILL
3" = 1'-0"



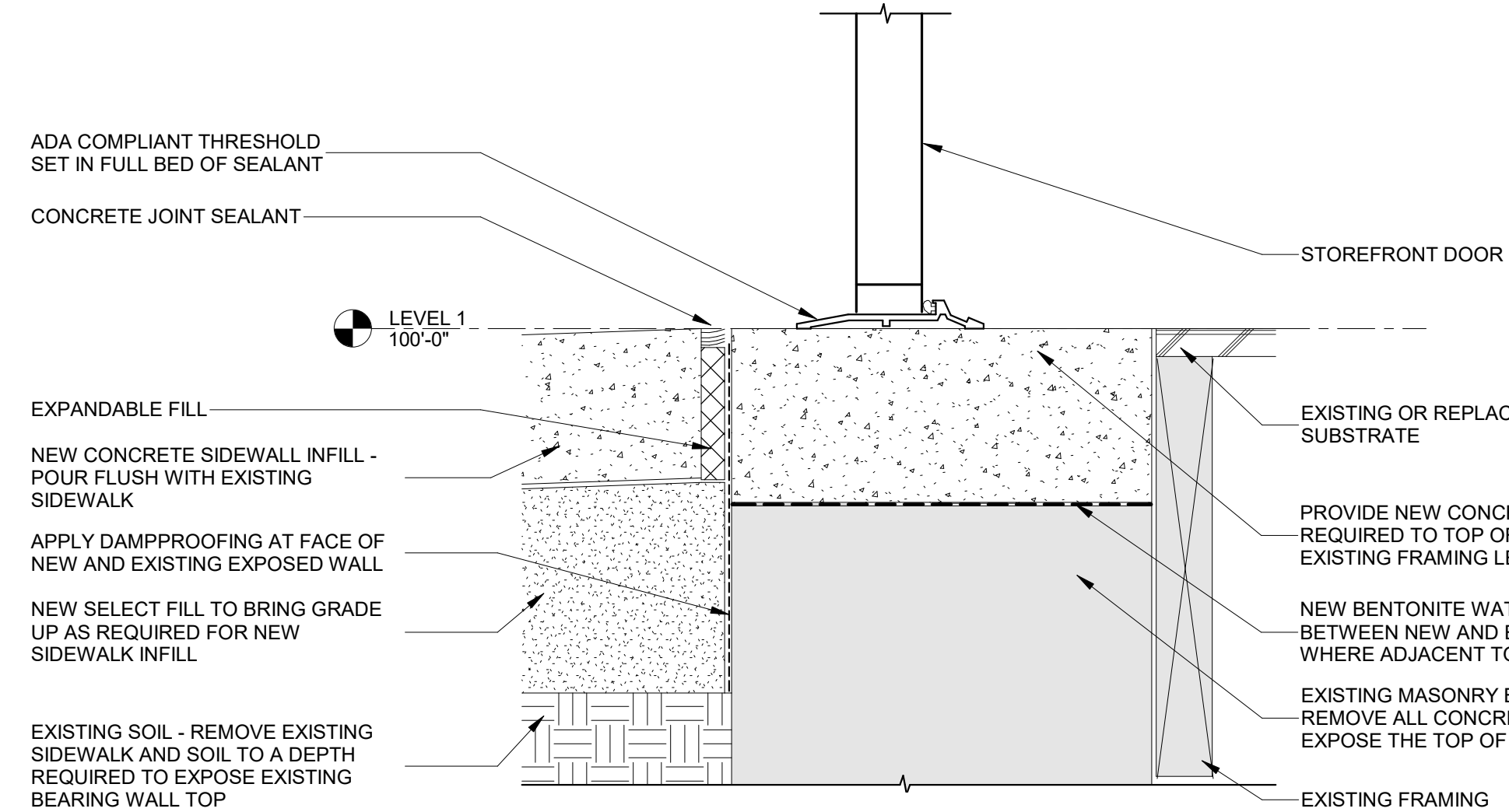
4 ENTRANCE RAMP INFILL
1 1/2" = 1'-0"



3 TYP SILL DETAIL @ GRID 4
3" = 1'-0"



2 NEW WATERPROOFING @ B.O. WALL
3" = 1'-0"



1 TYP STOREFRONT DOOR THRESHOLD
3" = 1'-0"

DO NOT SCALE

DESIGN TEAM
ARCHITECTURE



PILLAR
ARCHITECTURE STUDIO

800 S AUSTIN AVE, GEORGETOWN, TX 78626

CONSULTANTS



PROJECT TITLE

FACADE RENOVATIONS
17 EAST CENTRAL



03/14/2025

ISSUE FOR PERMIT

MARCH 14, 2025
PROJECT# | 24-PAS812

REV.	DATE	DESCRIPTION

DRAWING TITLE

SECTION DETAILS

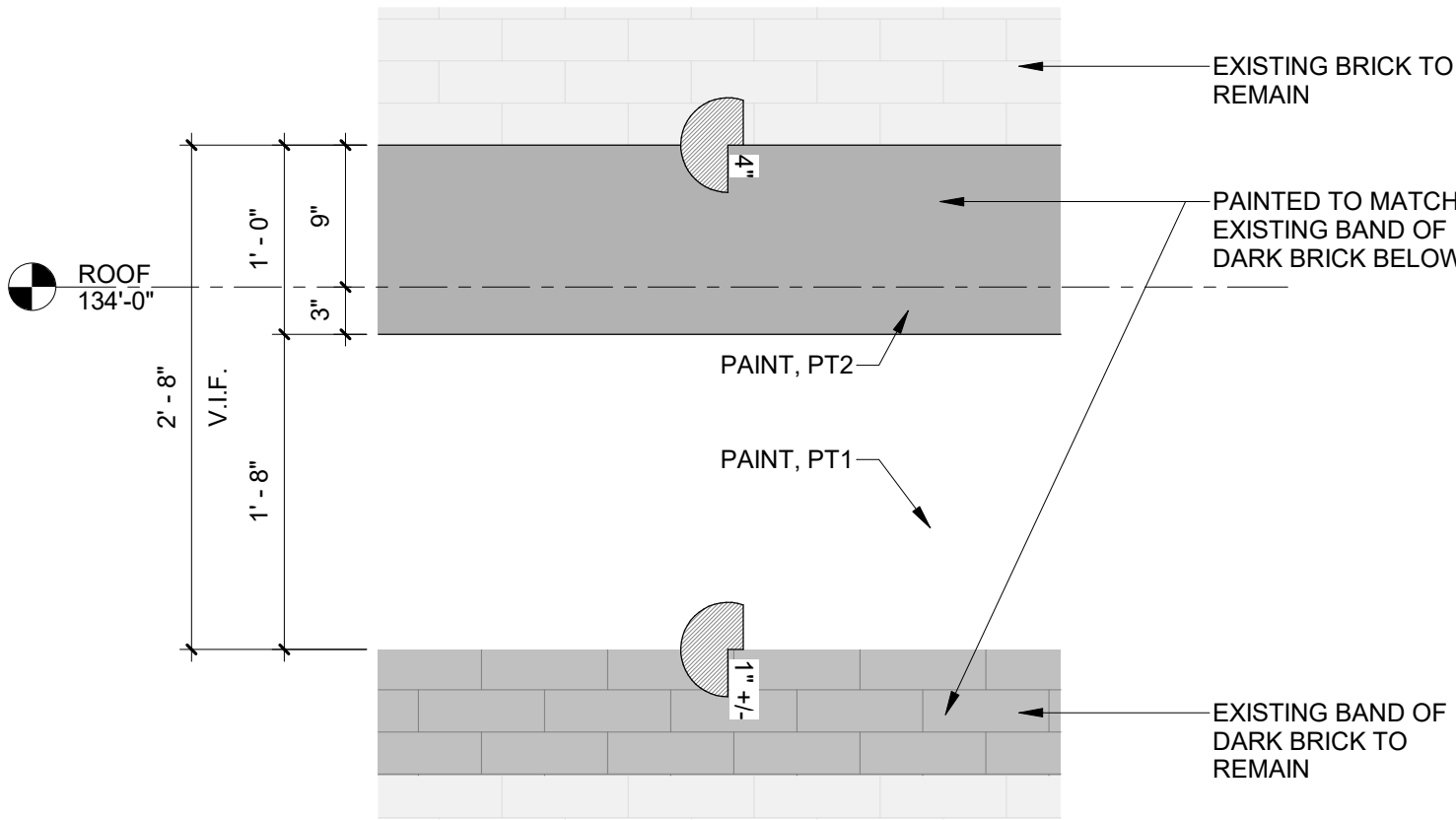
SHEET NUMBER

A510

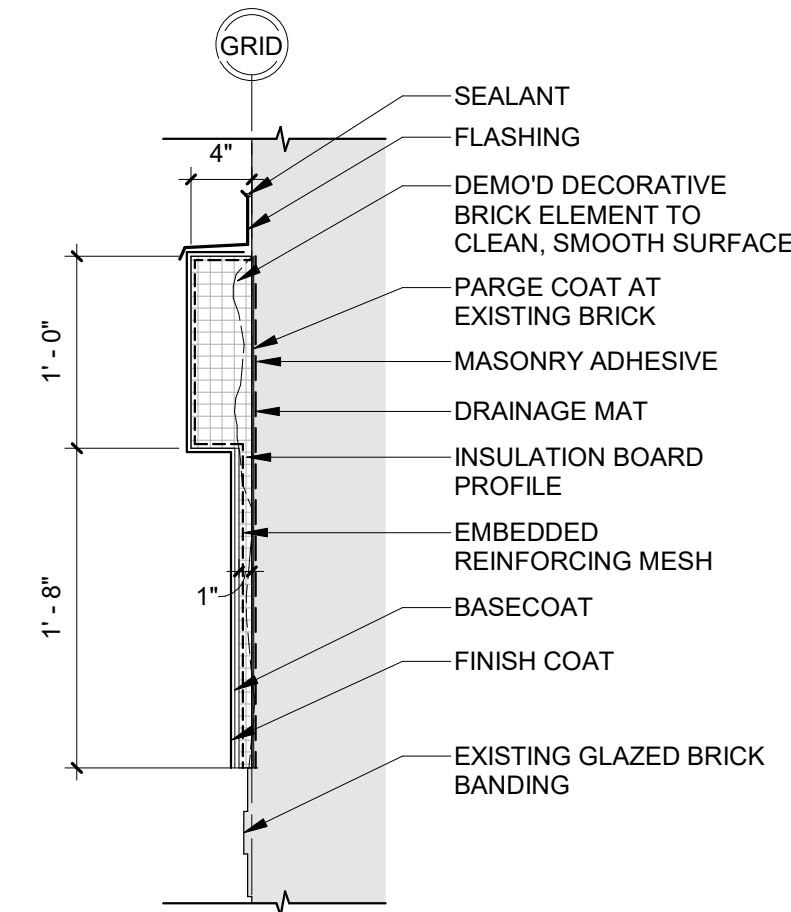
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Inches

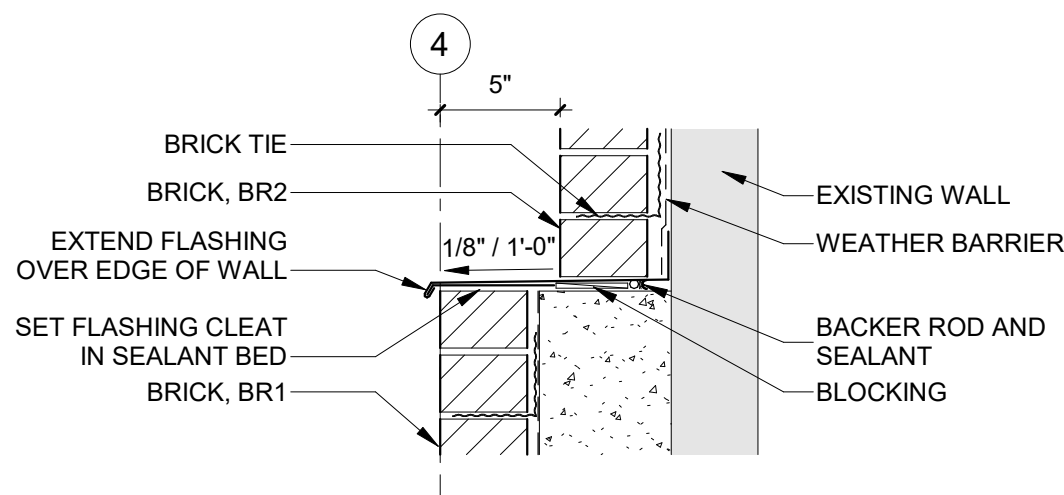
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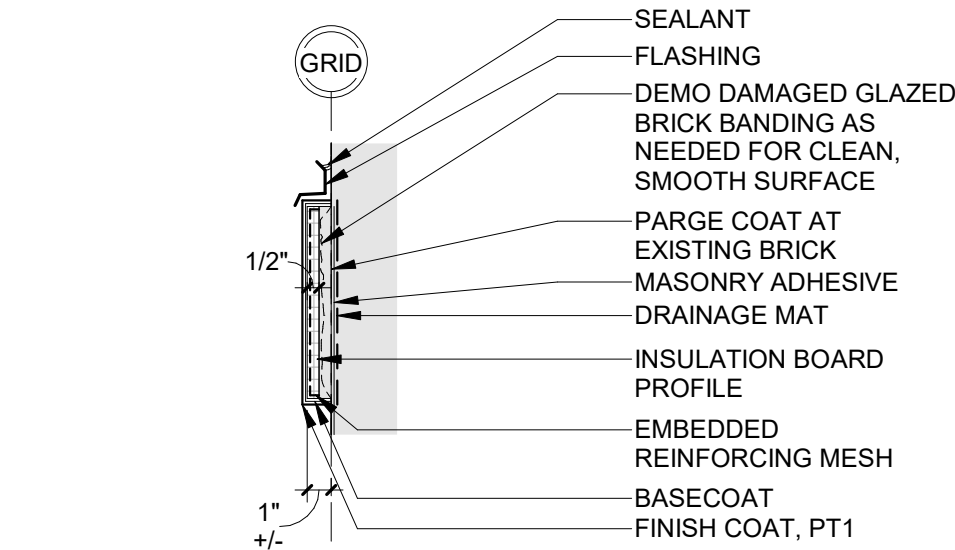
4 EIFS ARCHITRAVE PROFILE - ELEVATION
1" = 1'-0"



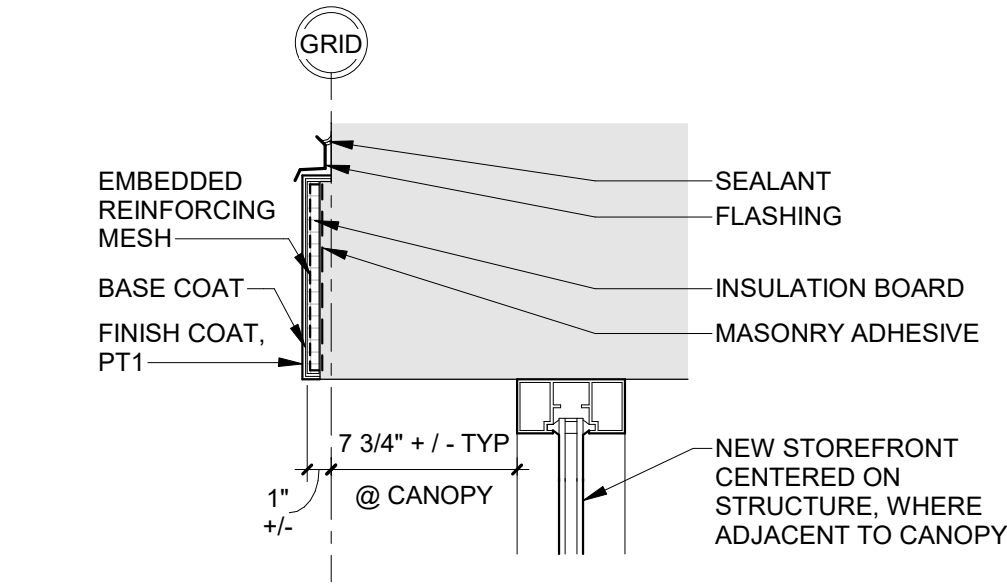
3 EIFS ARCHITRAVE PROFILE - SECTION
1" = 1'-0"



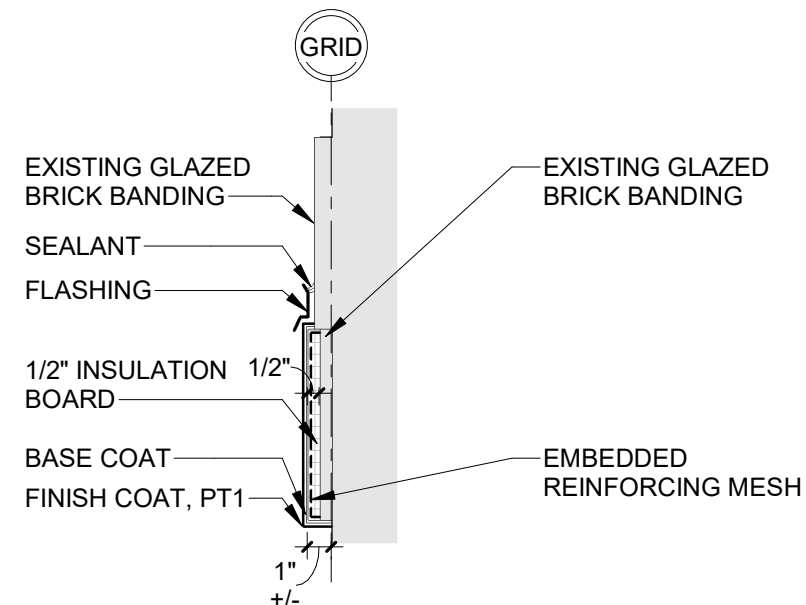
2 TYP BRICK TRANSITION
1 1/2" = 1'-0"



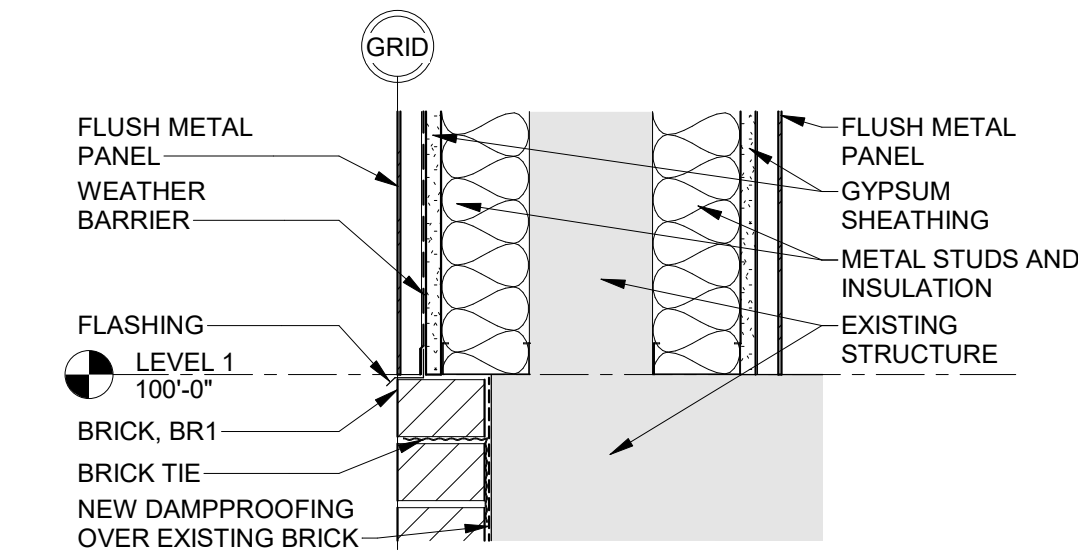
6 EIFS OVER GLAZED BRICK BANDING
1 1/2" = 1'-0"



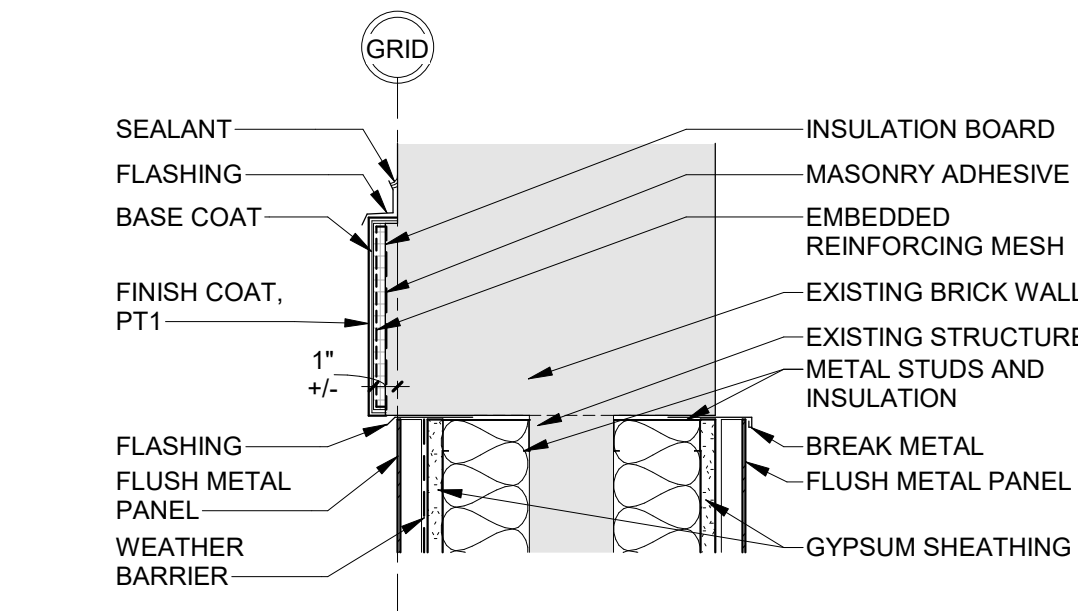
8 TYP STOREFRONT HEAD OVER CANOPY W/ EIFS BANDING
1 1/2" = 1'-0"



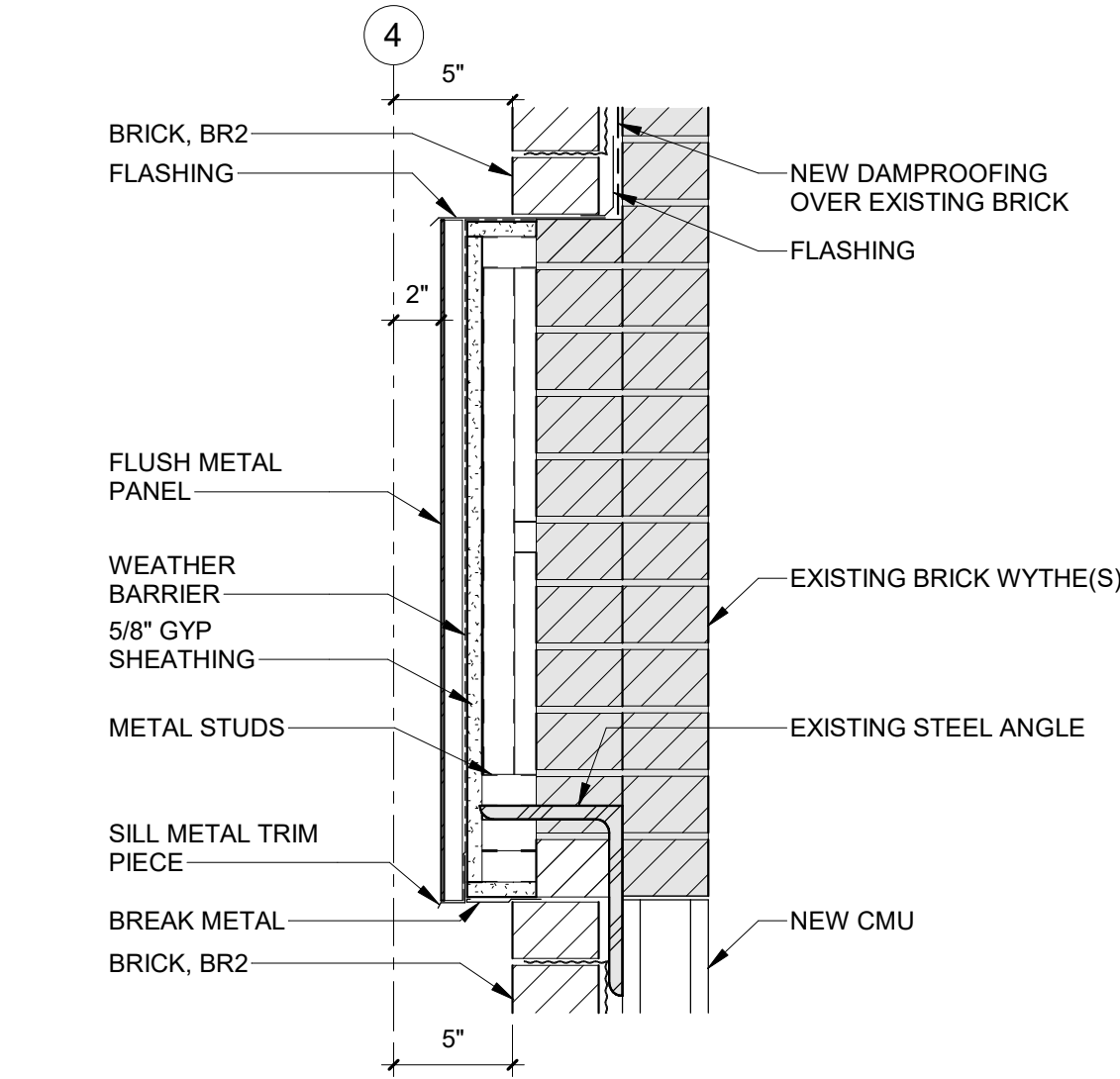
10 EIFS BANDING W/ EXISTING BRICK BANDING ABOVE
1 1/2" = 1'-0"



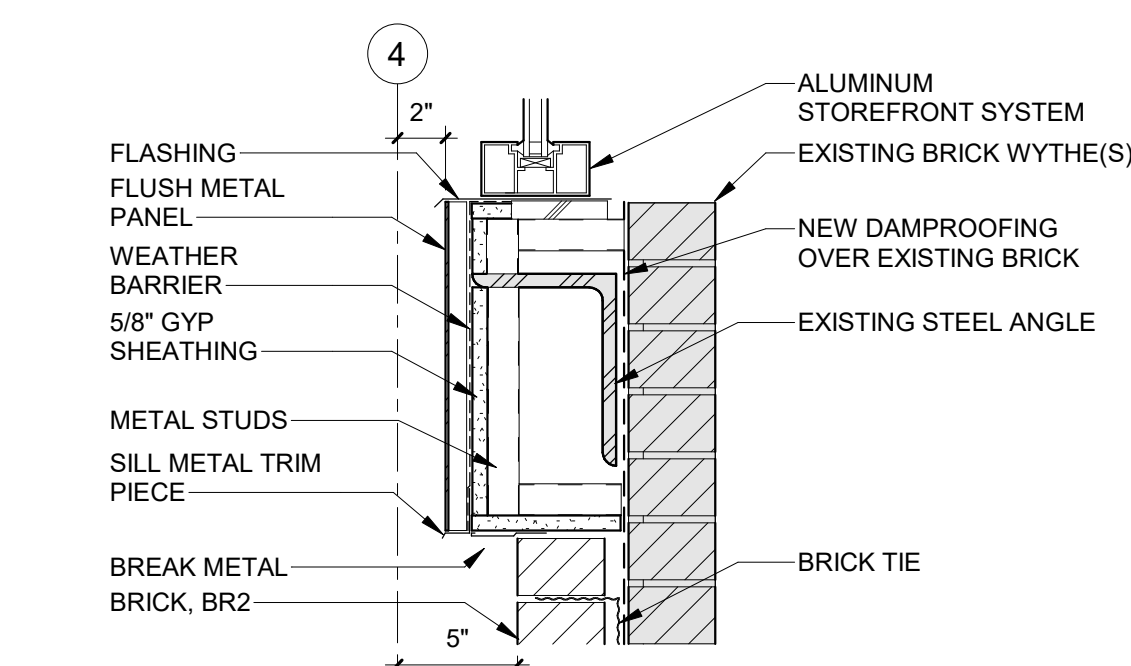
1 METAL PANEL SILL TO NEW BRICK TRANSITION DETAIL
1 1/2" = 1'-0"



5 METAL PANEL TO EIFS BANDING TRANSITION
1 1/2" = 1'-0"

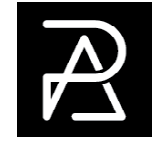


7 METAL PANEL BANDING - LARGE
1 1/2" = 1'-0"
@ SIM DETAIL: EXTEND METAL STUD FRAMING TO EXISTING BRICK WYTHER.



9 METAL PANEL BANDING - SMALL
1 1/2" = 1'-0"
@ SIM DETAIL: NEW STEEL ANGLE TO MATCH EXISTING.

DESIGN TEAM
ARCHITECTURE



PILLAR
ARCHITECTURE STUDIO

800 S AUSTIN AVE, GEORGETOWN, TX 78626

CONSULTANTS



PROJECT TITLE

FACADE RENOVATIONS

17 EAST CENTRAL



03/14/2025

ISSUE FOR PERMIT

MARCH 14, 2025
PROJECT# | 24-PAS812

REV.	DATE	DESCRIPTION

DRAWING TITLE

SECTION DETAILS

SHEET NUMBER

A511

DO NOT SCALE

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0 1/4 1/2 1 2 3 4 5
Inches

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G
F
E
D
C
B
A

DOOR, FRAME AND HARDWARE SCHEDULE

DOOR, FRAME AND HARDWARE SCHEDULE											
DOOR NUMBER	DOOR						FRAME			FIRE RATING	HARDWARE
	SIZE			TYPE	MTL	GLAZE	TYPE	MTL	NOTES		NOTES
	W	H	T								
101	6'-0"	7'-0"		1	AL	IN	SF11 STOREFRONT	AL			
102	6'-0"	7'-0"		1	AL	IN	SF11 STOREFRONT	AL			

DOOR HARDWARE

ABBREVIATIONS

AL ALUMINUM
HM HOLLOW METAL
IN 1" INSULATED TEMPERED GLAZING
T 1/4" TEMPERED GLAZING
WD WOOD
CLAD ALUMINUM CLAD WOOD

DOOR NOTES

1. NOT USED

FRAME NOTES

1. NOT USED

THRESHOLDS

1. NOT USED

HINGES

1. NOT USED

LOCKS

1. NOT USED

PUSH/PULLS

1. NOT USED

CLOSERS

1. NOT USED

STOPS/HOLDS

1. NOT USED

MISCELLANEOUS

1. NOT USED

WEATHERSTRIPPING

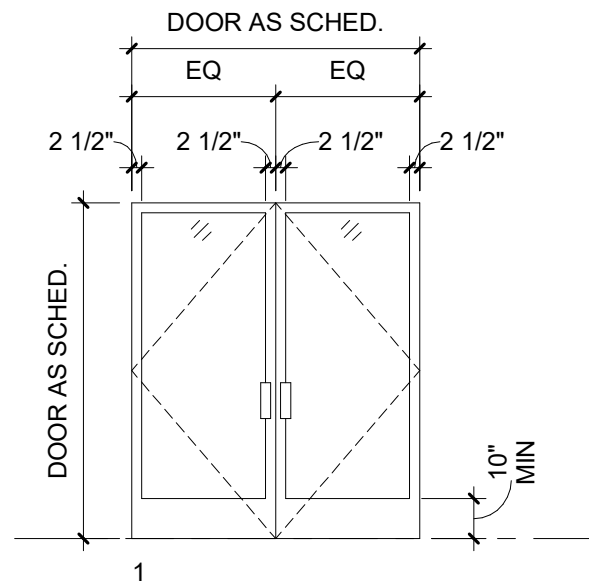
1. NOT USED

HARDWARE NOTES

1. NOT USED

GENERAL NOTES

1. NOT USED



DOOR ELEVATIONS

1/4" = 1'-0"

MATERIALS LIST

NOTE: PROVIDE SAMPLES FOR APPROVAL. TYPICAL REQ'D FINISHES ARE INDICATED HERE AS THE BASIS OF DESIGN IN REGARD TO VISUAL APPEARANCE WHICH SHALL INCLUDE COLOR, TEXTURE, SHEEN AND OTHER VISUAL QUALITIES. REFER TO THE SPECIFICATIONS FOR PREFORMANCE REQUIREMENTS. ALTHOUGH THE SPECIFICATION MAY LIST ADDITIONAL ACCEPTABLE MANUFACTURERS, THE FINISH IS TO MATCH THOSE INDICATED ON THIS SHEET. THE ARCHITECT SHALL BE JUDGE OF VISUAL MATCH.

MATERIALS LIST

ITEM NO	PRODUCT TYPE	MANUFACTURER	DESCRIPTION	COLOR	SIZE	LOCATION	NOTES
DIV 04							
BR1	BRICK	ACME	MODULAR BRICK	TBD	3 5/8" x 2 1/4" x 7 5/8"	REF EXTERIOR ELEVATIONS	FIELD BRICK
BR2	BRICK	ACME	MODULAR BRICK	TBD	3 5/8" x 2 1/4" x 7 5/8"	REF EXTERIOR ELEVATIONS	ACCENT BRICK @ RECESSED AREAS
CMU1	CONCRETE MASONRY UNITS		REGULAR BLOCK	N/A	4" x 8" x 16"	REF WALL SECTIONS	
DIV 05							
MWP1	FLUSH METAL WALL PANEL	PAC-CLAD	SMOOTH	BLACK, TBD	12"	REF EXTERIOR ELEVATIONS	
RF1	STANDING SEAM METAL ROOF	MBCI	LOKSEAM	BLACK, TBD	12"	CANOPY	
DIV 07							
EIFS1	EXTERIOR INSULATION FINISHING SYSTEM			REF DETAILS	REF DETAILS	REF EXTERIOR ELEVATIONS	
DIV 09							
PT1	EXTERIOR PAINT			WHITE, TBD		REF EIFS AND EXTERIOR ELEVATIONS	COLOR TO MATCH EXISTING WHITE GLAZED BRICK
PT2	EXTERIOR PAINT			CHARCOAL, TBD		REF EIFS ELEVATION	COLOR TO MATCH EXISTING DARK GLAZED BRICK

DOOR MATERIAL LEGEND

AFE ALUMINUM FRAMED ENTERANCE
AL ALUMINUM
HM HOLLOW METAL
HMI HOLLOW METAL (INSULATED)
IN 1" INSULATED TEMPERED GLAZING
TG 1/4" TEMPERED GLAZING

DESIGN TEAM
ARCHITECTURE



PILLAR
ARCHITECTURE STUDIO

800 S AUSTIN AVE, GEORGETOWN, TX 78626

CONSULTANTS



PROJECT TITLE

FACADE RENOVATIONS
17 EAST CENTRAL



03/14/2025

ISSUE FOR PERMIT

MARCH 14, 2025
PROJECT# | 24-PAS812

REV.	DATE	DESCRIPTION

DRAWING TITLE

MATERIALS LIST &
DOOR SCHEDULE

SHEET NUMBER

A601

DO NOT SCALE

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Inches

H

G

F

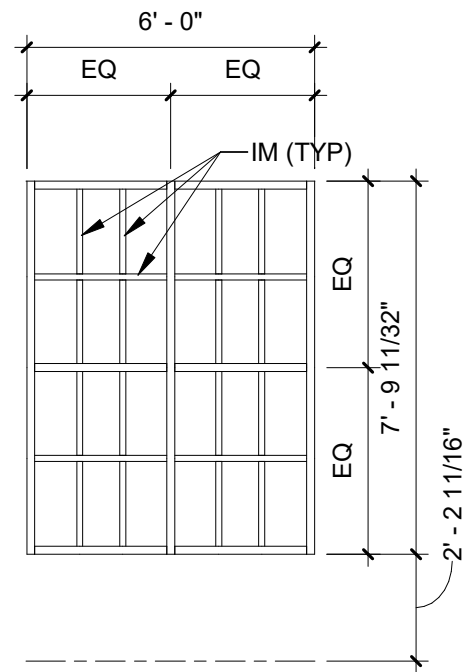
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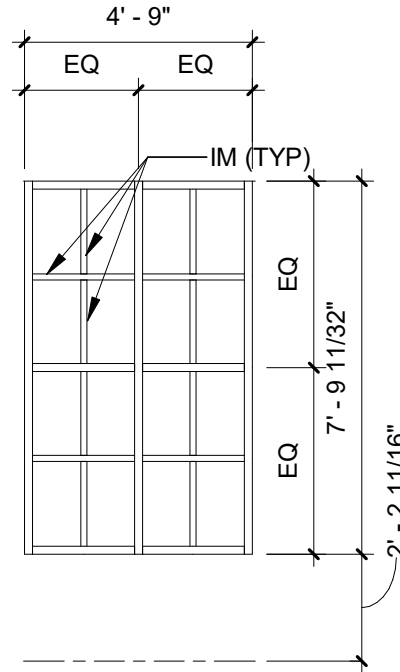
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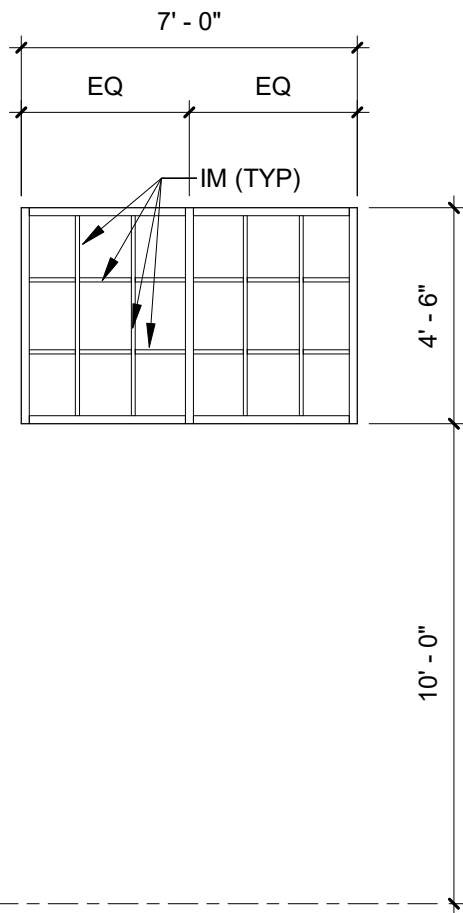
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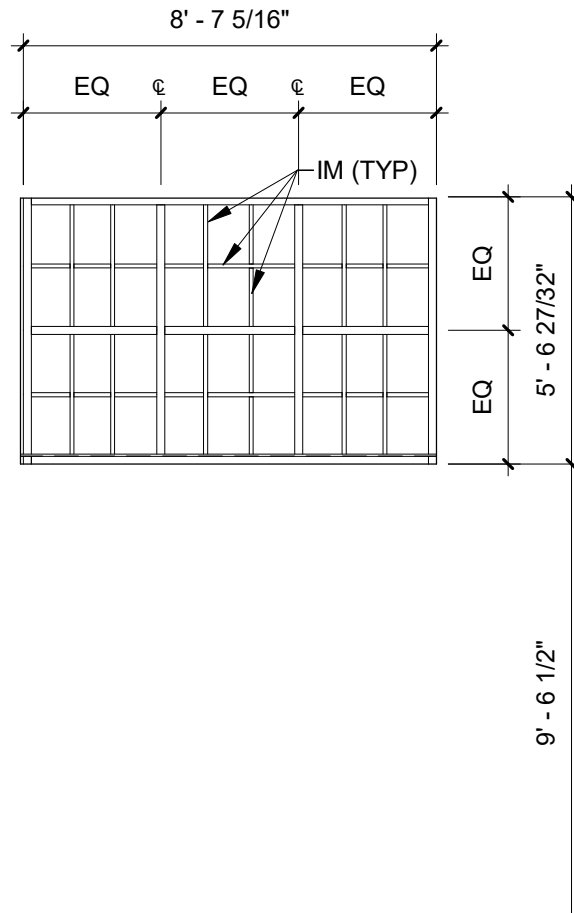
1 SF1 STOREFRONT ELEVATION
1/4" = 1'-0"



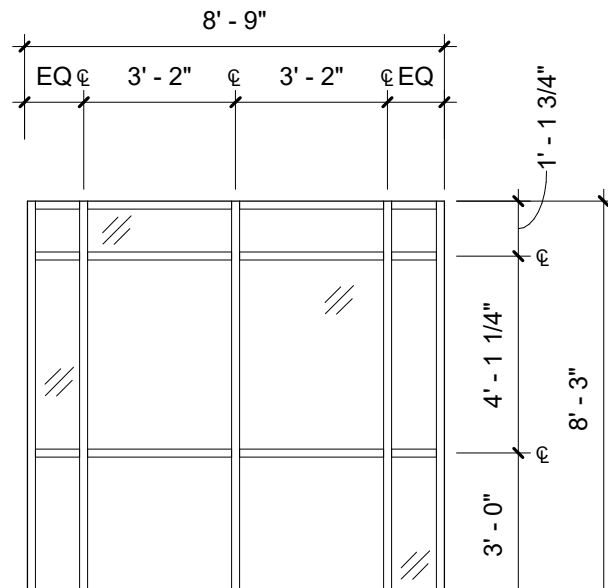
2 SF2 STOREFRONT ELEVATION
1/4" = 1'-0"



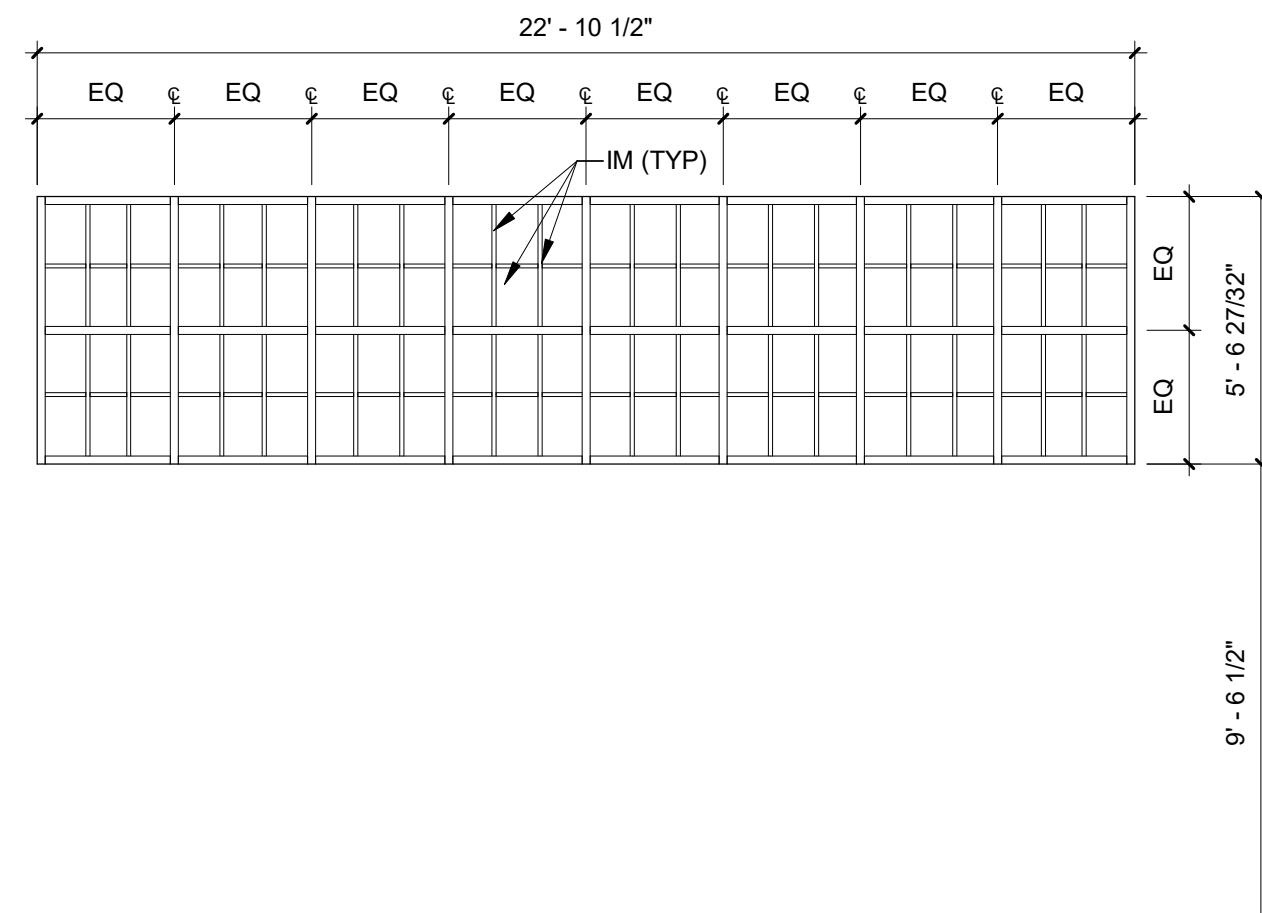
3 SF3 STOREFRONT ELEVATION
1/4" = 1'-0"



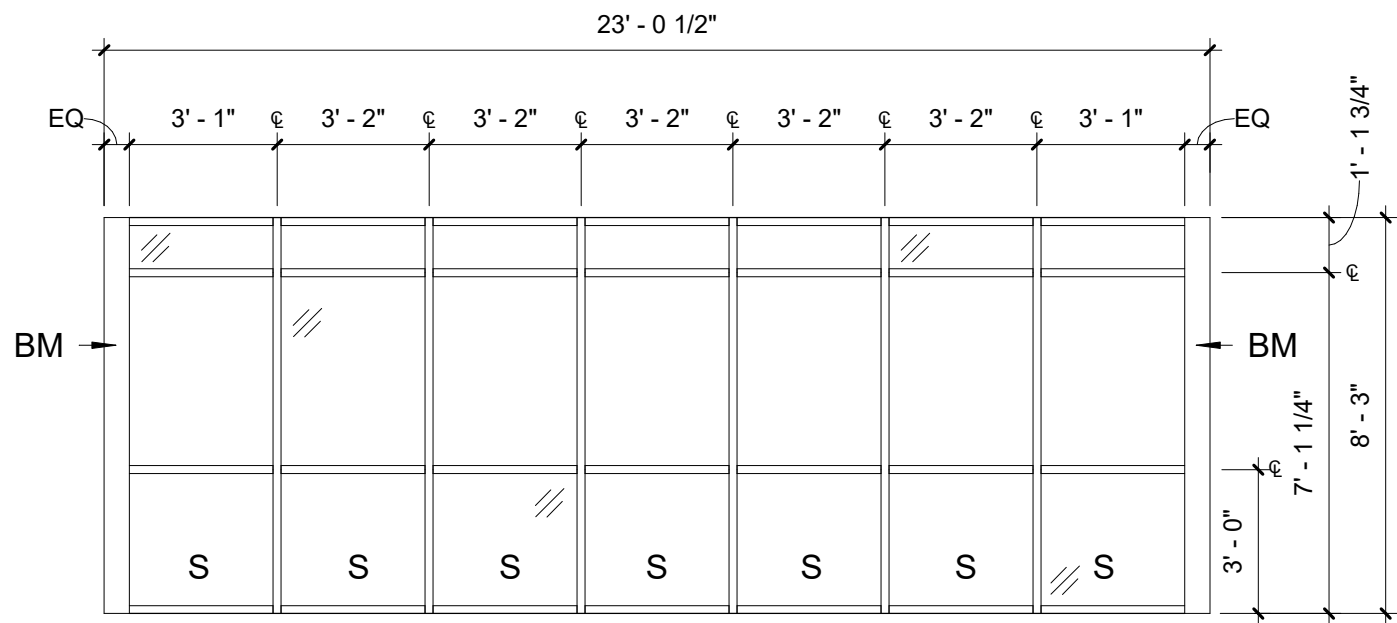
4 SF4 STOREFRONT ELEVATION
1/4" = 1'-0"



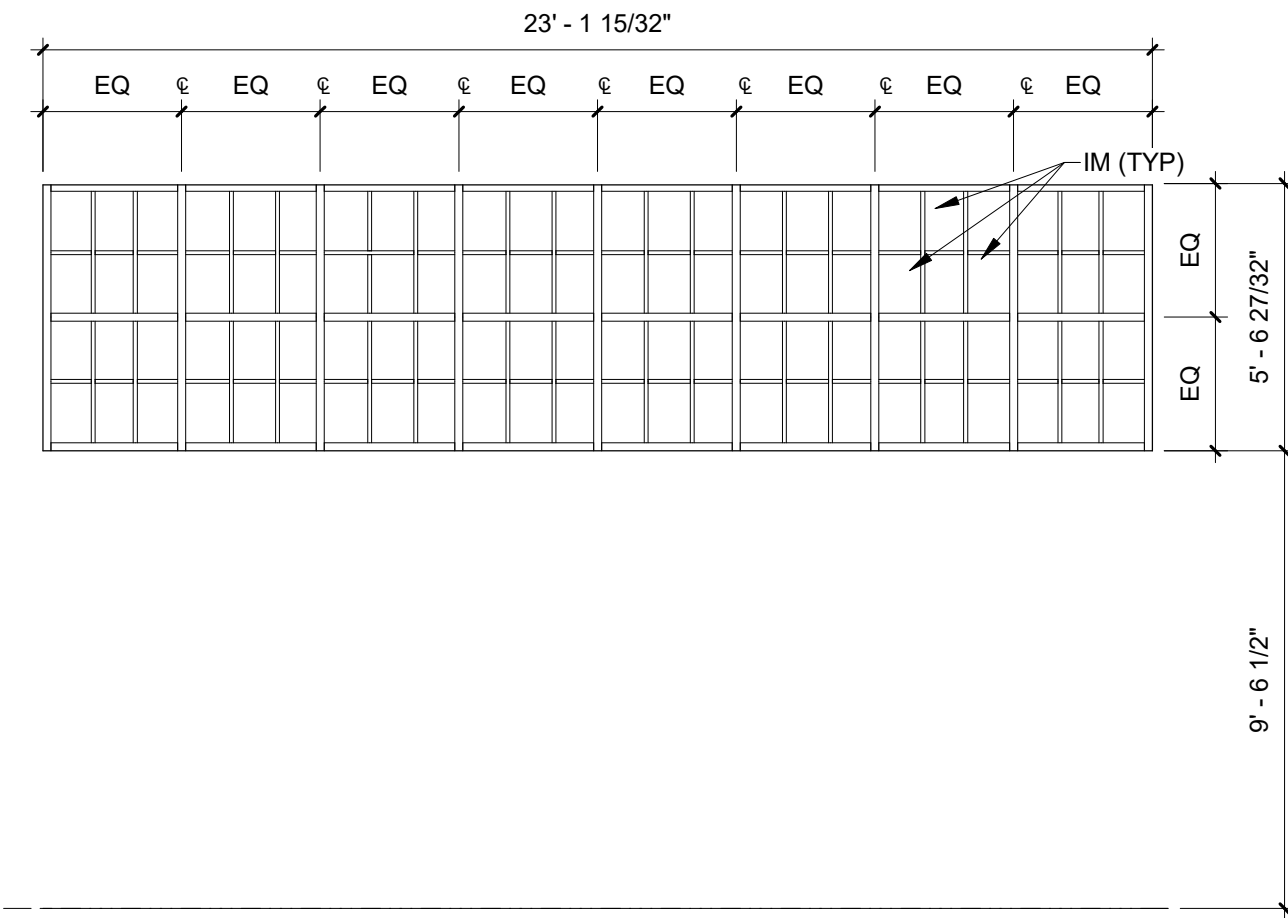
5 SF5 STOREFRONT ELEVATION
1/4" = 1'-0"



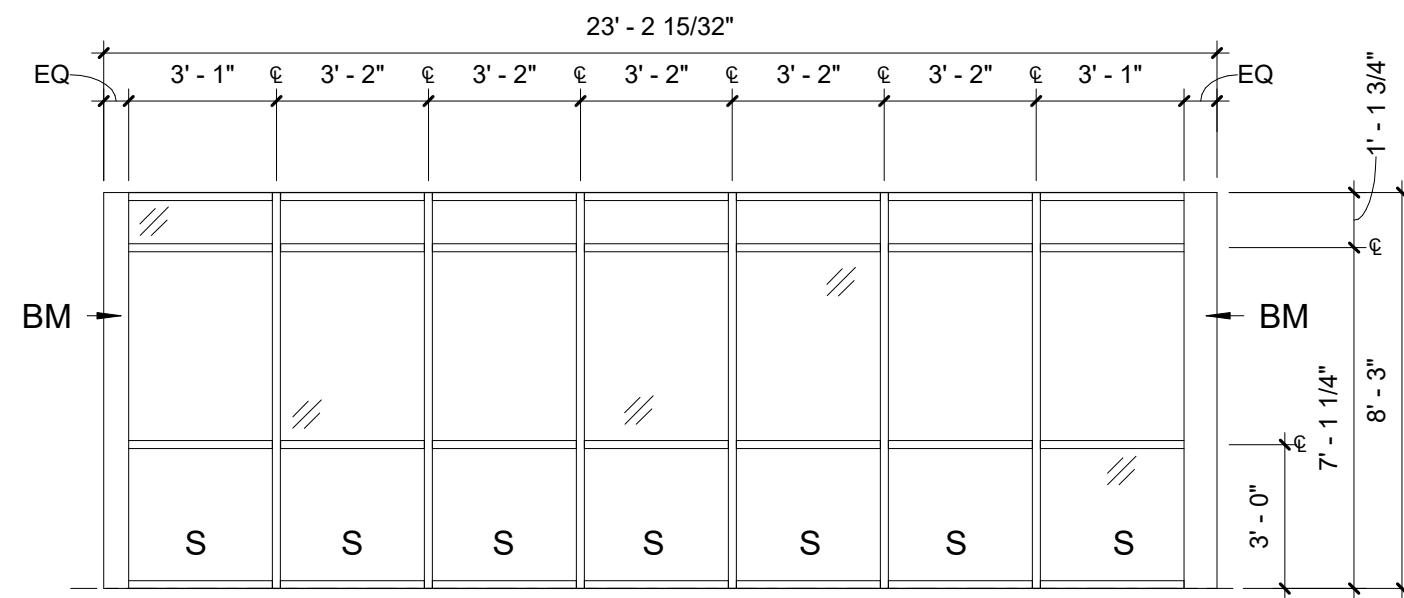
6 SF6 STOREFRONT ELEVATION
1/4" = 1'-0"



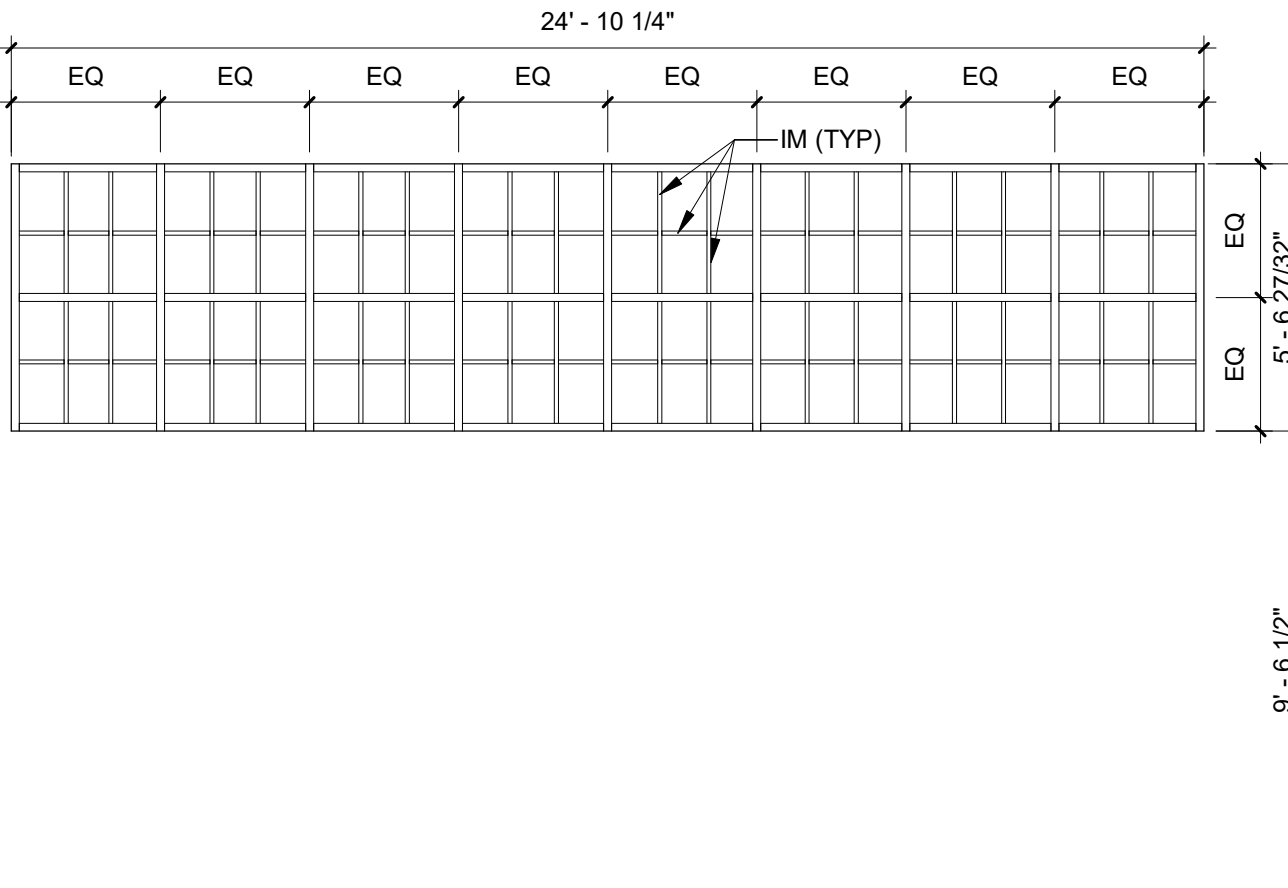
7 SF7 STOREFRONT ELEVATION
1/4" = 1'-0"



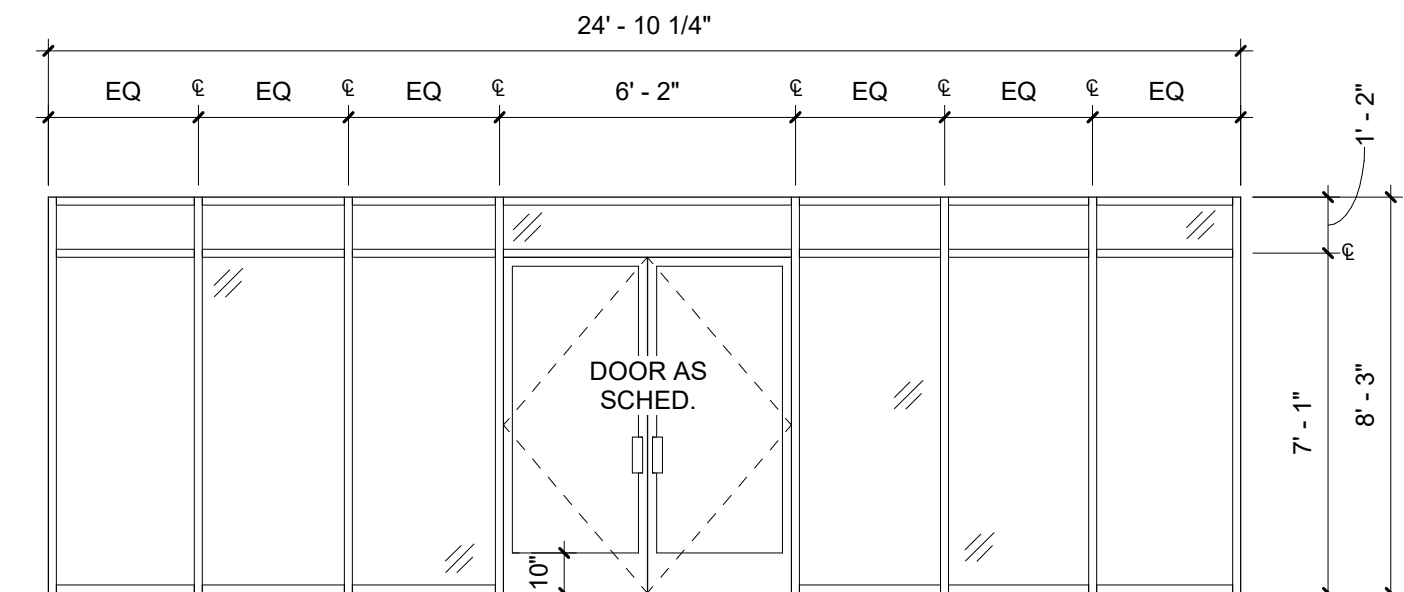
8 SF8 STOREFRONT ELEVATION
1/4" = 1'-0"



9 SF9 STOREFRONT ELEVATION
1/4" = 1'-0"



10 SF10 STOREFRONT ELEVATION
1/4" = 1'-0"



11 SF11 STOREFRONT ELEVATION
1/4" = 1'-0"

LEGEND

'S' ON ELEVATIONS INDICATES SPANDREL GLASS OUTBOARD LITE
'IM' ON ELEVATIONS INDICATES INTERNAL MULLION
'BM' ON ELEVATIONS INDICATES BREAK METAL WRAP

NOTE:

ALL GLAZING TO BE 1" INSULATING GLASS UNITS MEETING THE FOLLOWING CRITERIA:

- ALL STOREFRONT DIMENSIONS TO BE FIELD VERIFIED.
- SPACE FILLED WITH AIR
- OUTBOARD LITE: ANNEALED FLOAT GLASS 1/4" THICK
 - TINT: SOLARBAN 60 (2) SOLARGRAY + CLEAR GLASS INSULATING UNIT
 - COATING LOW-E (PASSIVE TYPE), ON #2 SURFACE
- INBOARD LITE: ANNEALED FLOAT GLASS 1/4" THICK - CLEAR
- TOTAL THICKNESS: 1 INCH
- VISIBLE LIGHT TRANSMITTANCE (VLT) 50 PERCENT NOMINAL
- SOLAR HEAT GAIN COEFFICIENT: (SHGC) 0.30, NOMINAL

ALL MULLION SPACING BASED ON ASSUMED 2" PROFILE; UPDATE SPACING TO ACCOMMODATE 3'-0" CLEAR BETWEEN MULLIONS (FOR POTENTIAL LATER ENTRANCE DOOR INFILL) AT SF5, SF7 AND SF9

DESIGN TEAM
ARCHITECTURE



PILLAR
ARCHITECTURE STUDIO

800 S AUSTIN AVE, GEORGETOWN, TX 78626

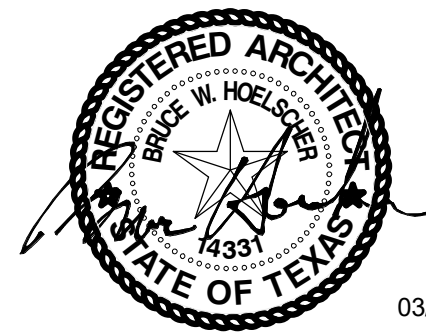
CONSULTANTS



PROJECT TITLE

FACADE RENOVATIONS

17 EAST CENTRAL



03/14/2025

ISSUE FOR PERMIT

MARCH 14, 2025
PROJECT# | 24-PAS812

REV.	DATE	DESCRIPTION

DRAWING TITLE
**WINDOW
SCHEDULES &
DETAILS**

SHEET NUMBER
A611

DO NOT SCALE

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Inches

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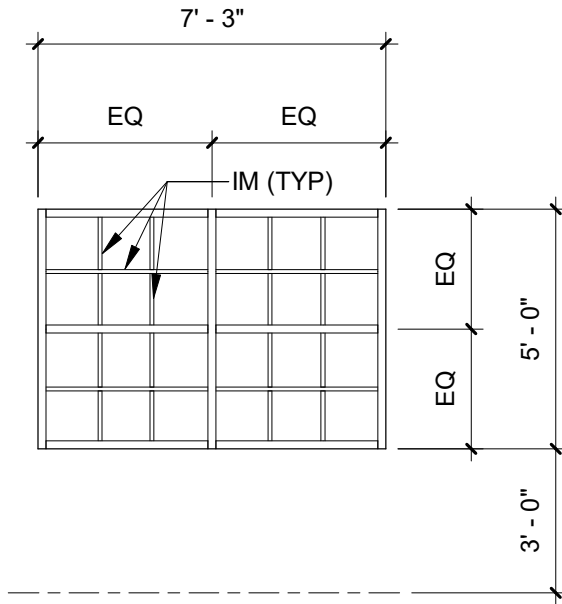
LEGEND

'S' ON ELEVATIONS INDICATES SPANDREL GLASS OUTBOARD LITE
'IM' ON ELEVATIONS INDICATES INTERNAL MULLION

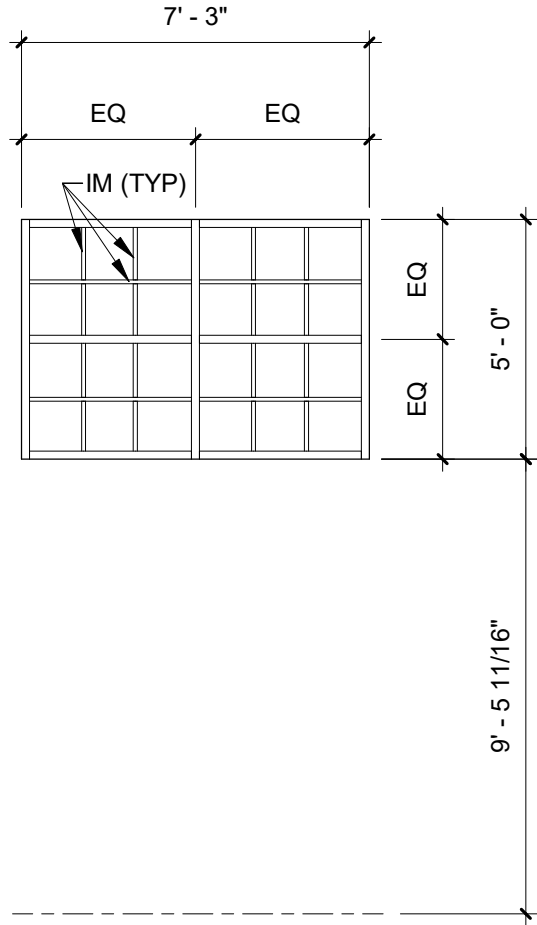
NOTE:

ALL GLAZING TO BE 1" INSULATING GLASS UNITS MEETING THE FOLLOWING CRITERIA:

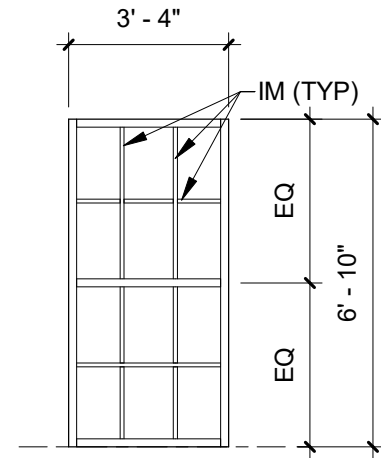
- ALL STOREFRONT DIMENSIONS TO BE FIELD VERIFIED.
- SPACE FILLED WITH AIR
- OUTBOARD LITE: ANNEALED FLOAT GLASS 1/4" THICK
 - TINT: SOLARBAN 60 (2) SOLARGRAY + CLEAR GLASS INSULATING UNIT
 - COATING LOW-E (PASSIVE TYPE), ON #2 SURFACE
- INBOARD LITE: ANNEALED FLOAT GLASS 1/4" THICK - CLEAR
- TOTAL THICKNESS: 1 INCH
- VISIBLE LIGHT TRANSMITTANCE (VLT) 50 PERCENT NOMINAL
- SOLAR HEAT GAIN COEFFICIENT: (SHGC) 0.30, NOMINAL



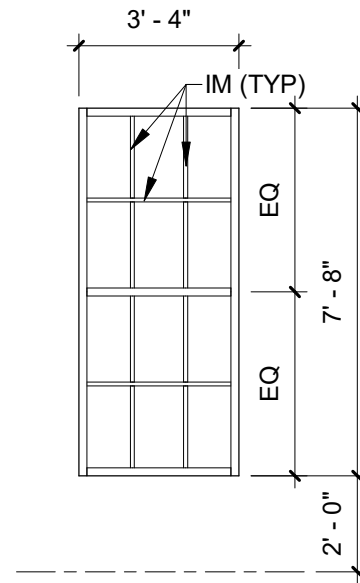
1 SF12a STOREFRONT ELEVATION
1/4" = 1'-0"



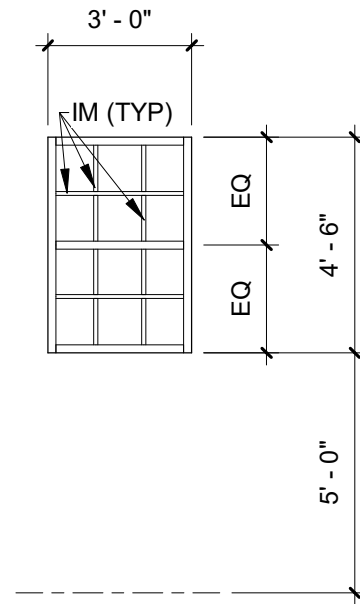
2 SF12a STOREFRONT ELEVATION
1/4" = 1'-0"



3 SF13 STOREFRONT ELEVATION
1/4" = 1'-0"



4 SF14 STOREFRONT ELEVATION
1/4" = 1'-0"



5 SF15 STOREFRONT ELEVATION
1/4" = 1'-0"

DESIGN TEAM
ARCHITECTURE



PILLAR
ARCHITECTURE STUDIO

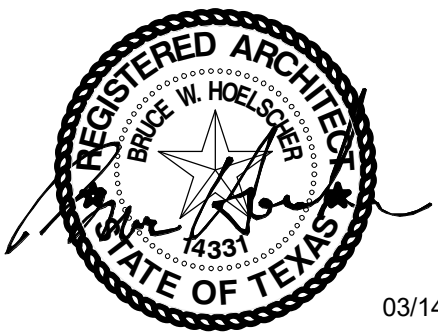
800 S AUSTIN AVE, GEORGETOWN, TX 78626

CONSULTANTS



PROJECT TITLE

FACADE RENOVATIONS
17 EAST CENTRAL



ISSUE FOR PERMIT

MARCH 14, 2025
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REV.	DATE	DESCRIPTION

DRAWING TITLE
WINDOW
SCHEDULES &
DETAILS

SHEET NUMBER
A612

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