

Lake Area Suites

312 11th St NE
Watertown, SD 57201

APPLICANT _____ SOCIAL SECURITY # _____

BIRTHDATE _____ PHONE NUMBER _____

SEX (*Circle One*): Male Female EMAIL ADDRESS _____

ADDRESS CITY STATE ZIP

PRESENT LANDLORD _____ LL PHONE # _____

LENGTH OF OCCUPANCY: FROM: _____ TO: _____

Are you a registered student at Lake Area Technical Institute or Mount Marty College? (*Circle One*) YES NO

If yes, indicate which you are enrolled at (*Circle One*): LAKE AREA TECH MOUNT MARTY COLLEGE

Have you been involved with any of the following crimes? Violence, firearm violations, illegal drugs, theft, vandalism, disorderly conduct, disturbing the peace, assaults, or stalking (do not include traffic violations)? (*Circle One*) YES NO

If yes, explain: _____

Are you a convicted sex offender? (*Circle One*) YES NO

APPLICANT SIGNATURE DATE

My above signature gives my consent to any verification of information of the references I have listed including credit, criminal and landlord checks.

Please list the names of all who will occupy the apartment if you have a preference (including yourself): Occupancy Guidelines are ONE PERSON per BEDROOM.

1. _____ 2. _____
1. _____ 4. _____

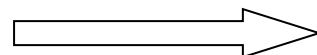
Each person MUST complete an application. If there are multiple people applying to live in the same apartment, please staple applications together.

If you are not applying with other applicants, Lake Area Suites will assign roommate(s), based on a short questionnaire.

Please see the CRIME FREE LEASE ADDENDUM on the second page of this application.

Each Applicant will need to sign and date that section of the application stating that they understand that the attached Lease Addendum will be incorporated into the lease that is executed or renewed between the Owner and Resident.

PLEASE CONTINUE TO NEXT PAGE



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CRIME FREE LEASE ADDENDUM

In consideration of the execution or removal of a lease of the dwelling unit identified in the lease, Owner and Resident agree as follows:

1. Resident, any members of the resident's household or a guest or other person under the resident's control shall not engage in criminal activity, including drug-related criminal activity, on or near said premises. "Drug-related criminal activity" means the illegal manufacture, sale, distribution, use, or possession with intent to manufacture, sell, distribute, or use of a controlled substance (as defined in Section 102 of the Controlled Substance Act (21 U.S.C. 802)).
2. Resident, any member of the resident's household or a guest or other person under the resident's control shall not engage in any Act intended to facilitate criminal activity, including drug-related activity, on or near the said premises.
3. Resident or members of the resident's household will not permit the dwelling unit to be used for, or to facilitate criminal activity, including drug-related criminal activity, regardless of whether the individual engaging in such activity is a member of the household or a guest.
4. Resident, any member of the resident's household or a guest, or another person under the resident's control shall not engage in the Unlawful manufacturing, selling, using, storing, keeping, or giving of a controlled substance or marijuana as defined in SDCL 22-42, at any locations, whether on or near the dwelling unit premises or otherwise.
5. Resident, any member of the resident's household, or a guest or other person under the resident's control shall not engage in any illegal activity including prostitution as defined in SDCL 22-23-1 criminal street gang activity as defined in SDCL 22-10-14, threatening, intimidating or stalking as prohibited in SDCL 22-19A, assault as prohibited in SDCL 22-18 or the unlawful discharge of firearms, as determined in SDCL 22-14-7, on or near the dwelling unit premises, or breach of the lease agreement that otherwise jeopardizes the health, safety and welfare of the landlord, his agent or other tenant or involving imminent or actual serious property damage, as defined in SDCL 22-34.
6. VIOLATION OF THE ABOVE PROVISIONS SHALL BE A MATERIAL AND IRREPARABLE VIOLATION OF THE LEASE AND GOOD CAUSE FOR IMMEDIATE TERMINATION OF TENANCY. A single violation of any of the provisions of this added addendum shall be deemed a serious violation and a material and irreparable non-compliance. It is understood that a single violation shall be good cause for immediate termination of the lease under SDCL 43-32. Unless otherwise provided by law, proof of violation shall not require criminal conviction, but shall be substantial evidence of the type reasonable relied upon by property managers in the usual and regular course of business.
7. In case of conflict between the provisions of the addendum and any other provisions of the lease, the provisions of the addendum shall govern.
8. I understand the LEASE ADDENDUM will be incorporated into the lease executed or renewed between Owner and Resident.

APPLICANT SIGNATURE

DATE

This is a preliminary application and conveys no leasing or rental rights. Additional information may be requested as necessary to complete this application process. Any signatures are my consent to any verification of information from the references I have listed including credit, criminal and landlord checks.

**All agents of Lake Area Suites represent the owner in this and any other transaction.
Kate Jurens, manager, is representing the owner in this transaction.**

Please Return Completed Application to:

**Lake Area Suites
312 11th St NE
Watertown, SD 57201**

Call us at 605-880-6225 or visit us online at www.lakeareasuites.com