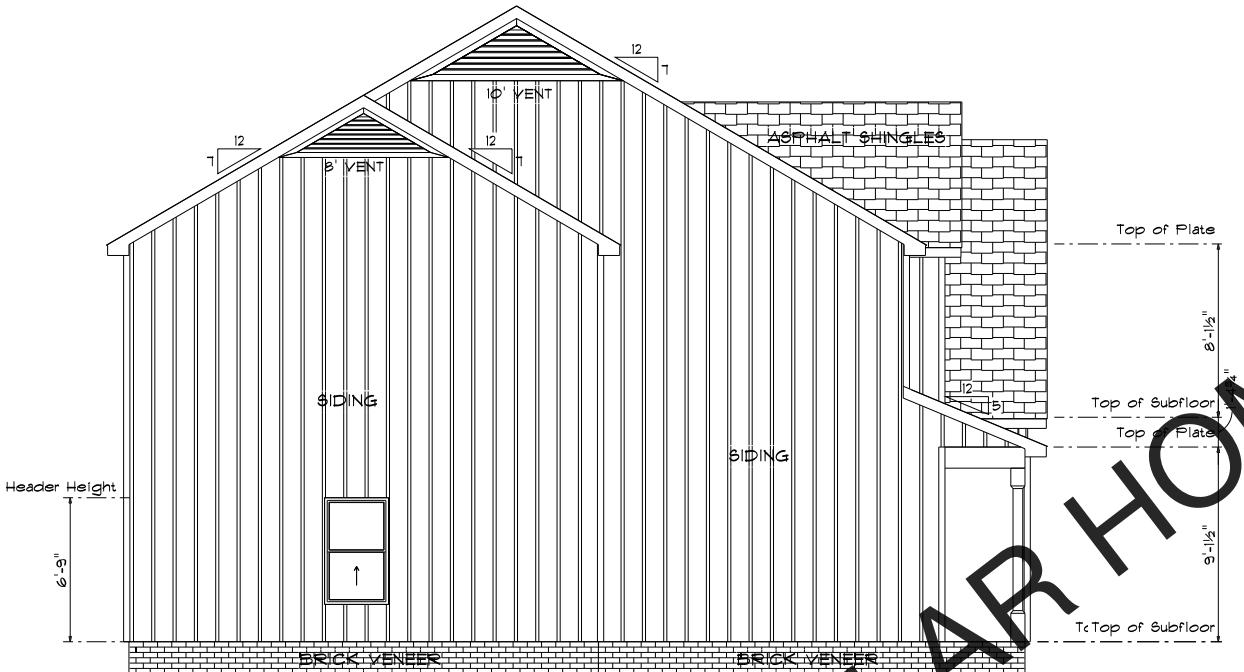


FRONT / REAR ELEVATIONS A-3	
PAGE:	3
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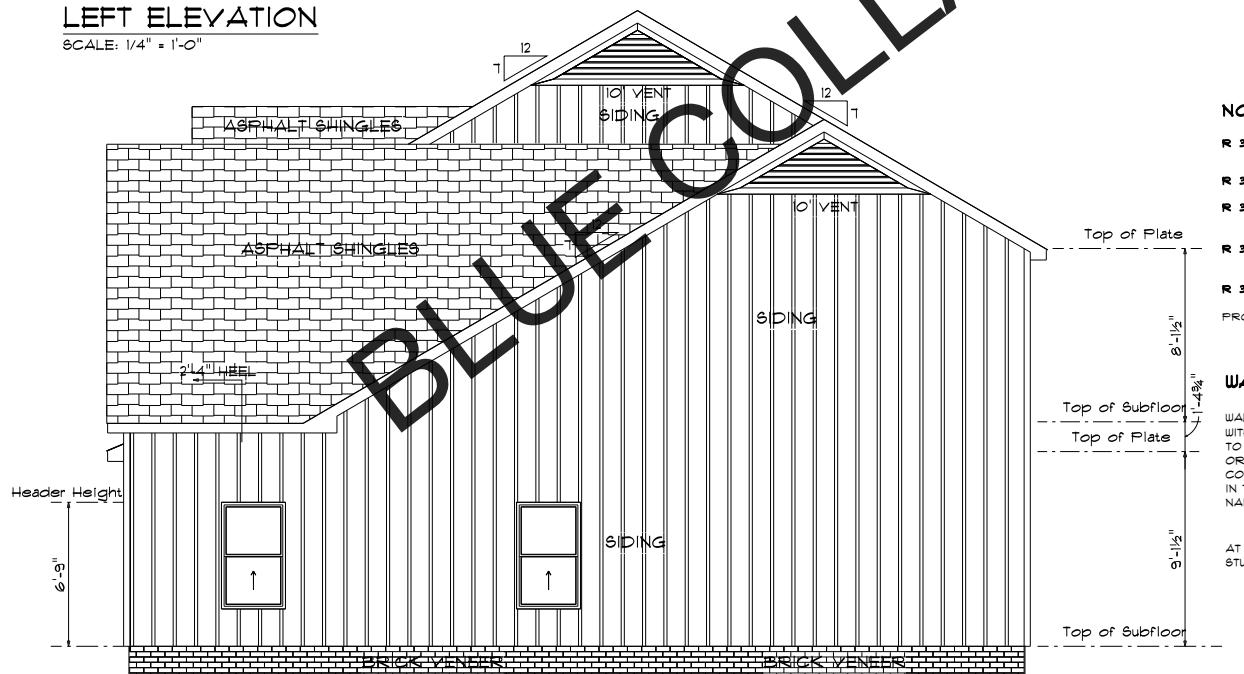
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**LEFT ELEVATION**

SCALE: 1/4" = 1'-0"



**RIGHT ELEVATION**

SCALE: 1/4" = 1'-0"

**ELEVATION NOTES**

- PROVIDE CORROSION RESISTANT FLASHING AT ALL EXTERIOR LOCATIONS. I.E. WINDOW HEADS, BAND CAP TO WALL INTERSECTIONS, CHIMNEY TOPS, WOOD DECKING TO HOUSE, BAND CAP TO HOUSE, ETC.
- PROVIDE SOFFIT VENTS, RIDGE VENTS, GABLE LOUVERS, POWER VENTS, ETC. TO ALLOW FOR PROPER VENTILATION OF ATTIC SPACE AS REQUIRED BY CODE.
- DO NOT SCALE DIMENSIONS FROM PRINTS/PLANS AND DETAILS ARE NOT ALWAYS DRAWN TO SCALE OR PRINTED TO SCALE. USE DIMENSIONS GIVEN OR CONSULT DESIGNER FOR FURTHER CLARIFICATION.
- GRADE ELEVATIONS DRAWN WILL VARY DUE TO FOUNDATION AND OTHER SITE CONSIDERATIONS.
- SHINGLED ROOF PITCHES FROM 2:12 TO 4:12 MUST HAVE 2 LAYERS OF UNDERLayment APPLIED AND OVERLAPPED PER SECTION R 905.2.1
- R-103.11.3 WHERE PROPERTY LINE IS LESS THAN 10' FROM THE BUILDING FACE AND THE SOFFIT MATERIAL IS VINYL OR ALUMINUM, THE SOFFIT MATERIAL SHALL BE SECURELY ATTACHED TO THE FRAMING MEMBERS AND SHALL USE UNDERLayment MATERIAL OR EITHER FIRE RETARDANT WOOD, 2/32 WOOD SHEATHING OR 5/8" TYPE X GYPSUM BOARD. VENTING REQUIREMENTS SHALL APPLY TO BOTH SOFFIT AND UNDERLayment AS PER SECTION R 806.

**NOTES FOR RAILING FLOOR PLANS**

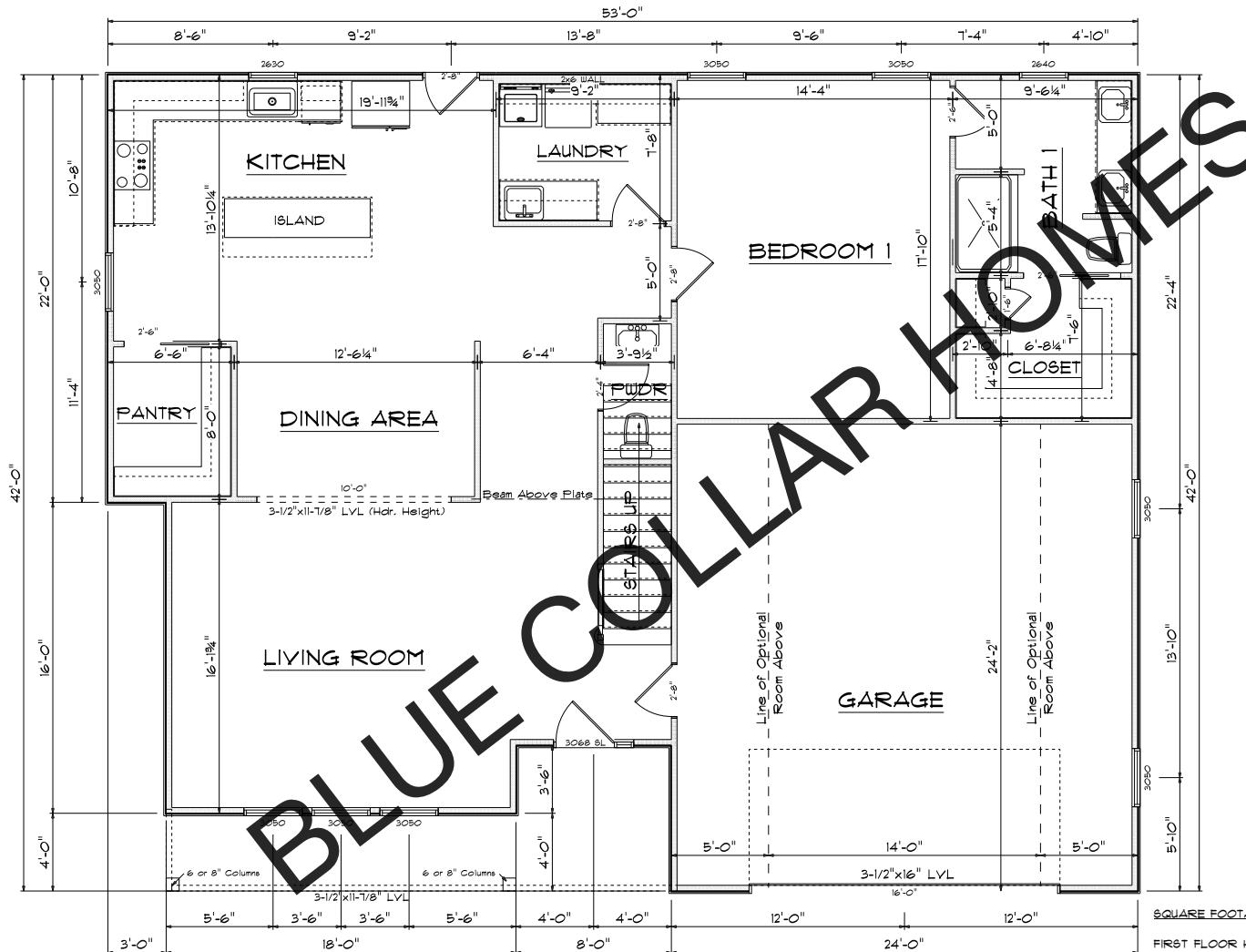
- R 311.7.1 HANDRAIL HEIGHT, MEASURED VERTICALLY FROM THE SLOPED PLANE ADJOINING THE TREAD NOBING, SHALL NOT BE LESS THAN 34" AND NOT MORE THAN 38".
- R 312.2 GUARDRAIL HEIGHT NOT LESS THAN 36" MEASURED VERTICALLY ABOVE THE ADJACENT WALKING SURFACE.
- R 312.3 REQUIRED GUARDRAILS SHALL NOT HAVE OPENINGS FROM THE WALKING SURFACE TO THE REQUIRED GUARDRAIL HEIGHT WHICH ALLOWS A PASSAGE OF A 4" SPHERE.
- R 302.6 PROVIDE MINIMUM 5/8" TYPE "X" GYPSUM ON THE CEILING BETWEEN THE GARAGE AND HABITABLE SPACE ABOVE, AND MINIMUM 1/2" GYPSUM BOARD ON ALL OF THE GARAGE WALLS.
- R 302.5 PROVIDE MINIMUM 20 MINUTE FIRE RATED DOOR.

PROVIDE 6 MIL. POLY VAPOR BARRIER ON 100% OF CRAWL AREA

**WALL BRACING NOTE:**

WALL BRACING IN ACCORDANCE WITH SECTION R 602.10.4. DESIGNED TO BE MINIMUM 1/8" OSB OR PLYWOOD. PANELS MAY BE INSTALLED HORIZONTAL OR VERTICAL. NAIL PANELS WITH 6D COMMON NAILS (0.13" X 2 1/2" LONG) OR 8D COMMON NAILS (0.13" X 2 1/2" LONG) AT 6" O.C. ALONG PANEL EDGES AND 12" O.C. IN THE FIELD. HORIZONTAL EDGES BETWEEN STUDS DO NOT REQUIRE BLOCKING OR NAILING UNLESS SPECIFICALLY ON THE FIELD OF THE DRAWING.

AT THE GARAGE PORTAL ADD BLOCKING AT ANY HORIZONTAL SHEETING JOINTS BETWEEN STUDS. REDUCE NAIL SPACING TO 4" O.C. AT ALL LOCATIONS. NO STRAPS REQUIRED.



**SQUARE FOOTAGE**

FIRST FLOOR HEATED	1482
SECOND FLOOR	1488
<b>TOTAL (HTD)</b>	2970
<b>BONUS (OPTIONAL)</b>	360
<b>GARAGE</b>	589
<b>PORCH (COVERED)</b>	132
<b>TOTAL FTG.</b>	4051

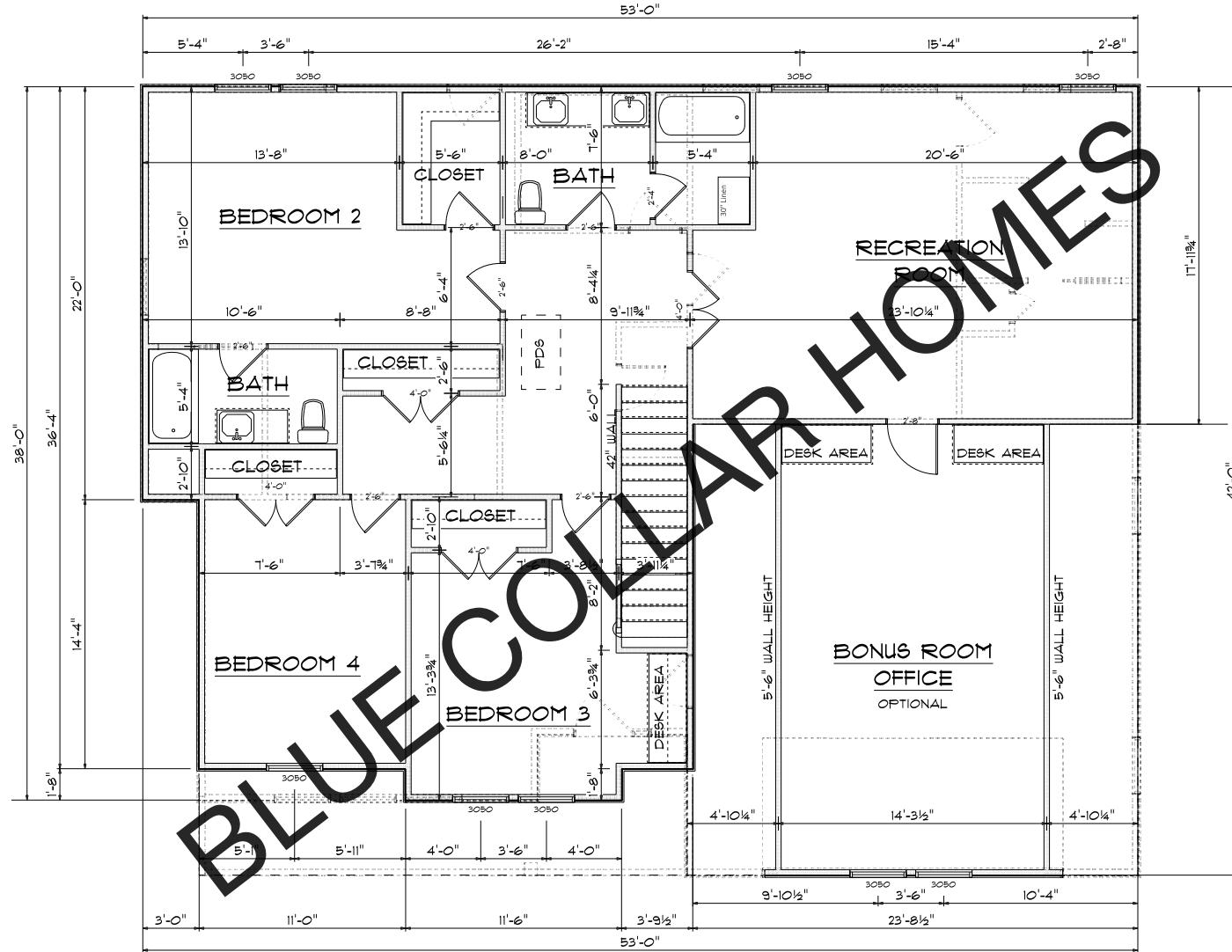
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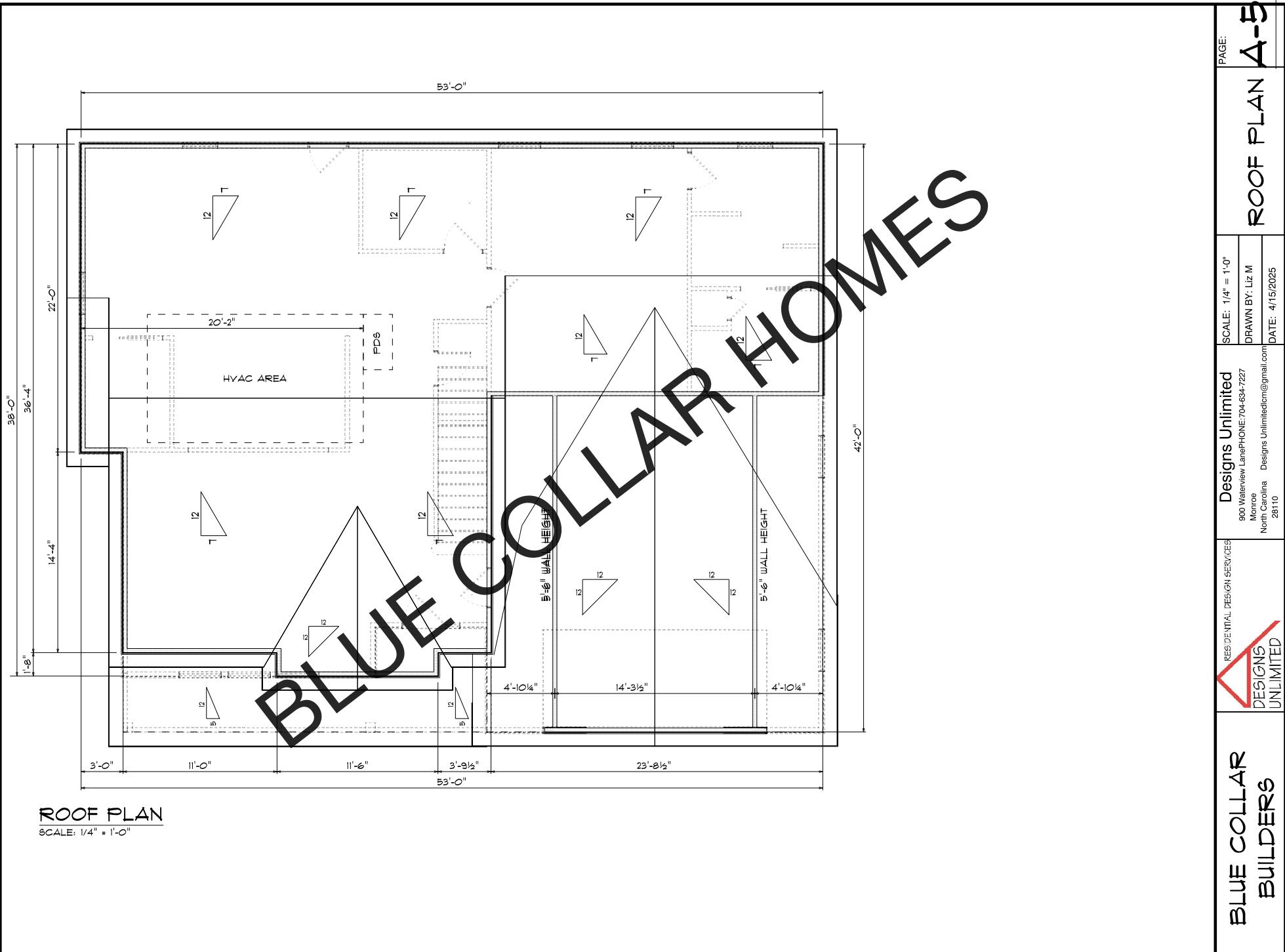
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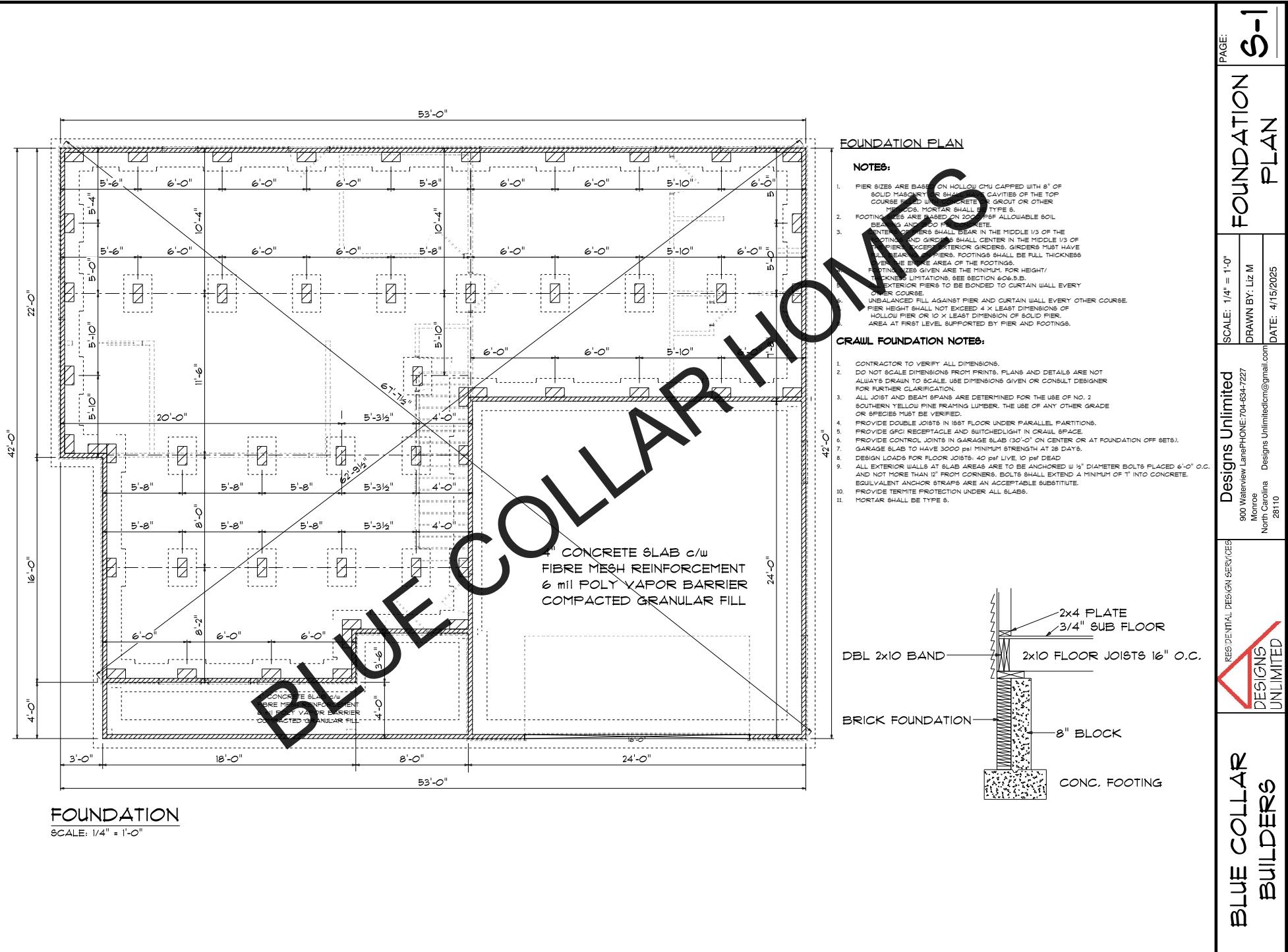
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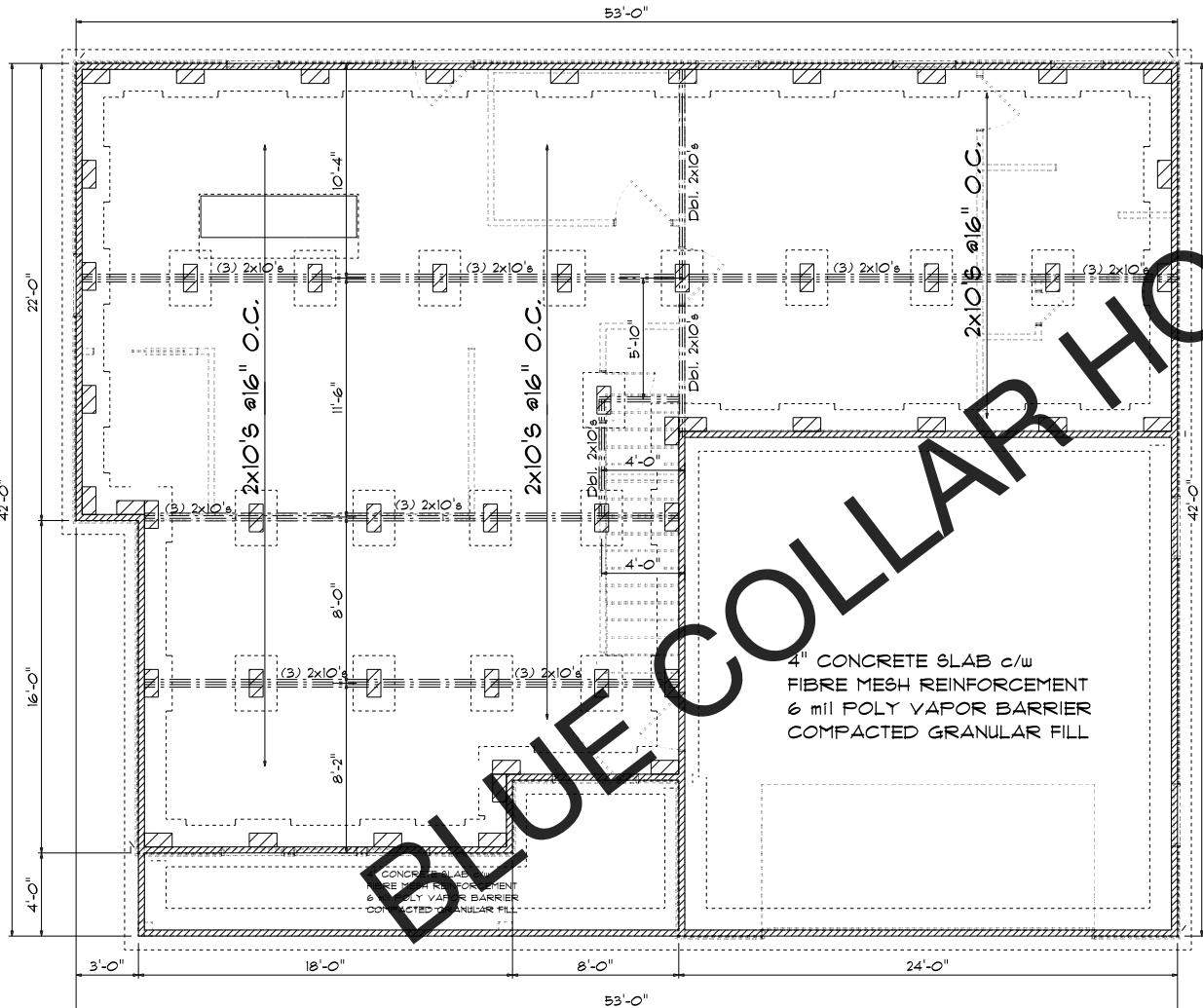
**MAIN FLOOR  
PLAN**

PAGE:  
**A-1**









#### GENERAL NOTES FOR FIRST FLOOR PLAN:

1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH 2018 NORTH CAROLINA RESIDENTIAL CODE AND LOCAL BUILDING CODES. CONSTRUCTION PROJECTS IN SC SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE LOCAL BUILDING CODE.
2. CONTRACTOR IS RESPONSIBLE FOR DIMENSIONS AND REVIEW FOR CODE COMPLIANCE BEFORE CONSTRUCTION.
3. REFERENCED STRUCTURAL ENGINEER'S DRAWINGS FOR ALL STRUCTURAL LUMBER, HEADER AND GIRDER DETAILS.
4. DO NOT USE DIMENSIONS FROM PROJECT DRAWINGS. PLANS AND DETAILS ARE NOT ALWAYS DRAWN TO SCALE. USE DIMENSIONS GIVEN OR CONSULT DESIGNER FOR FURTHER CLARIFICATION.
5. ALL JOIST SPANS ARE NOT DRAWN TO SCALE. PLANS AND DETAILS ARE NOT ALWAYS DRAWN TO SCALE. USE DIMENSIONS GIVEN OR CONSULT DESIGNER FOR FURTHER CLARIFICATION.

#### HEADER NOTES FIRST FLOOR:

1. ALL EXTERIOR HEADERS SHALL BE 2x4 10' O.C. SOUTHERN YELLOW PINE OR BETTER, UNLESS OTHERWISE NOTED.
2. ALL EXTERIOR LOAD BEARING HEADERS SHALL BE 2x4 10' O.C. SOUTHERN YELLOW PINE UNLESS OTHERWISE NOTED.
3. ALL INTERIOR NON-LOAD BEARING HEADERS SHALL BE 2x4 10' O.C. SOUTHERN YELLOW PINE OR BETTER, UNLESS OTHERWISE NOTED.
4. ANY HEADER, RAFT, JOIST, COLUMN SIZES USING DIMENSIONAL LUMBER OR TIMBER NOTED ON THE DRAWING SHALL BE #2 SOUTHERN YELLOW PINE.
5. NO SPACED JACK STUDS ARE PERMITTED. ONE JACK STUD SHOULD BE PLACED BENEATH ALL EXTERIOR AND LOAD BEARING EXTERIOR AND LOAD BEARING INTERIOR HEADERS. ALSO, A MINIMUM OF ONE JACK STUD SHOULD BE PLACED BENEATH NON-LOAD BEARING EXTERIOR AND INTERIOR HEADERS WITH SPANS EQUAL TO OR GREATER THAN 4'-0".
6. ALL FLOOR JOIST AND BEAM SIZES ARE DETERMINED FOR THE USE OF #2 SOUTHERN YELLOW PINE. RAFTER AND CEILING JOIST SIZES ARE DETERMINED FOR THE USE OF #2 SPRUCE/FINE FIR. THE USE OF ANY OTHER SPECIES MUST BE APPROVED.
7. ALL INTERIOR WALLS AND ALL EXTERIOR WALLS SHALL BE CONSTRUCTED USING 2x4 SPRUCE/FINE FIR #3 STANDARD STUD GRADE OR BETTER AT A MINIMUM SPACING OF 16" O.C. UNLESS OTHERWISE NOTED.
8. ALL INTERIOR WALLS THAT ARE NON-LOAD BEARING AND/OR DO NOT SUPPORT FLOORS MAY BE 2x4 SPRUCE/FINE FIR #3 UTILITY GRADE LUMBER OR BETTER, PROVIDED THE STUDS ARE SPACED A MAXIMUM OF 16" O.C. AND DO NOT EXCEED A LATERALLY UNSUPPORTED STUD HEIGHT OF 10 FEET, UNLESS OTHERWISE NOTED.
9. WHERE JOISTS, TRUSSES, OR RAFTERS ARE SPACED MORE THAN 16" O.C. AND THE BEARING STUDS BELOW ARE SPACED 24" O.C., SUCH MEMBERS SHALL BEAR WITHIN 5" OF THE STUDS BENEATH. ALTERNATIVES INCLUDE THE WALL STUDS AND TOP PLATES ARE 2x6 WITH THE PROPER TYPE AND GRADE. A THIRD TOP PLATE IS INSTALLED OR SOLID BLOCKING EQUAL IN SIZE TO THE STUDS IS INSTALLED TO REINFORCE THE DOUBLE TOP PLATE.

#### DESIGN LOADS

1. FIRST FLOOR TRUSS SPANS DETERMINED BY: 40 psf. LIVE, 10 psf. DEAD, 2 x 4 SPRUCE/FINE FIR #3 UTILITY GRADE LUMBER OR BETTER, PROVIDED THE STUDS ARE SPACED A MAXIMUM OF 16" O.C. AND DO NOT EXCEED A LATERALLY UNSUPPORTED STUD HEIGHT OF 10 FEET, UNLESS OTHERWISE NOTED.
2. RAFTERS: 20 psf. LIVE, 10 psf. DEAD
3. ROOF TRUSSES: TOP CHORD: 20 psf. LIVE, 10 psf. DEAD, BOTTOM CHORD: 10 psf. LIVE, 10 psf. DEAD
4. MULTIPLE LVL BEAMS (3 MEMBERS OR MORE) SHALL BE CONNECTED TOGETHER WITH 1/2" DIAMETER BOLTS IN 2 ROWS STAGGERED AND SPACED AT 12" O.C. IN ACCORDANCE WITH THE MFG. SPECIFICATIONS.
5. BUILT-UP BEAMS AND WALL STUDS SHALL BE CONSTRUCTED WITH CONTINUOUS MEMBERS (NO BUTT JOINTS) WITHIN BUILT-UP MEMBER.
6. FLOOR JOIST DESIGN SHALL USE L/480 MAXIMUM DEFLECTION.
7. VERIFY DOORS MEET EGRESS REQUIREMENTS PER IBC 2018.
8. VERIFY DOORS MEET EGRESS REQUIREMENTS PER IBC 2018.
9. VERIFY DOORS MEET EGRESS REQUIREMENTS PER IBC 2018.
10. 1/2" OSB EXTERIOR SHEATHING ON ENTIRE STRUCTURE.

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**FIRST FLOOR  
FRAMING PLAN S-2**

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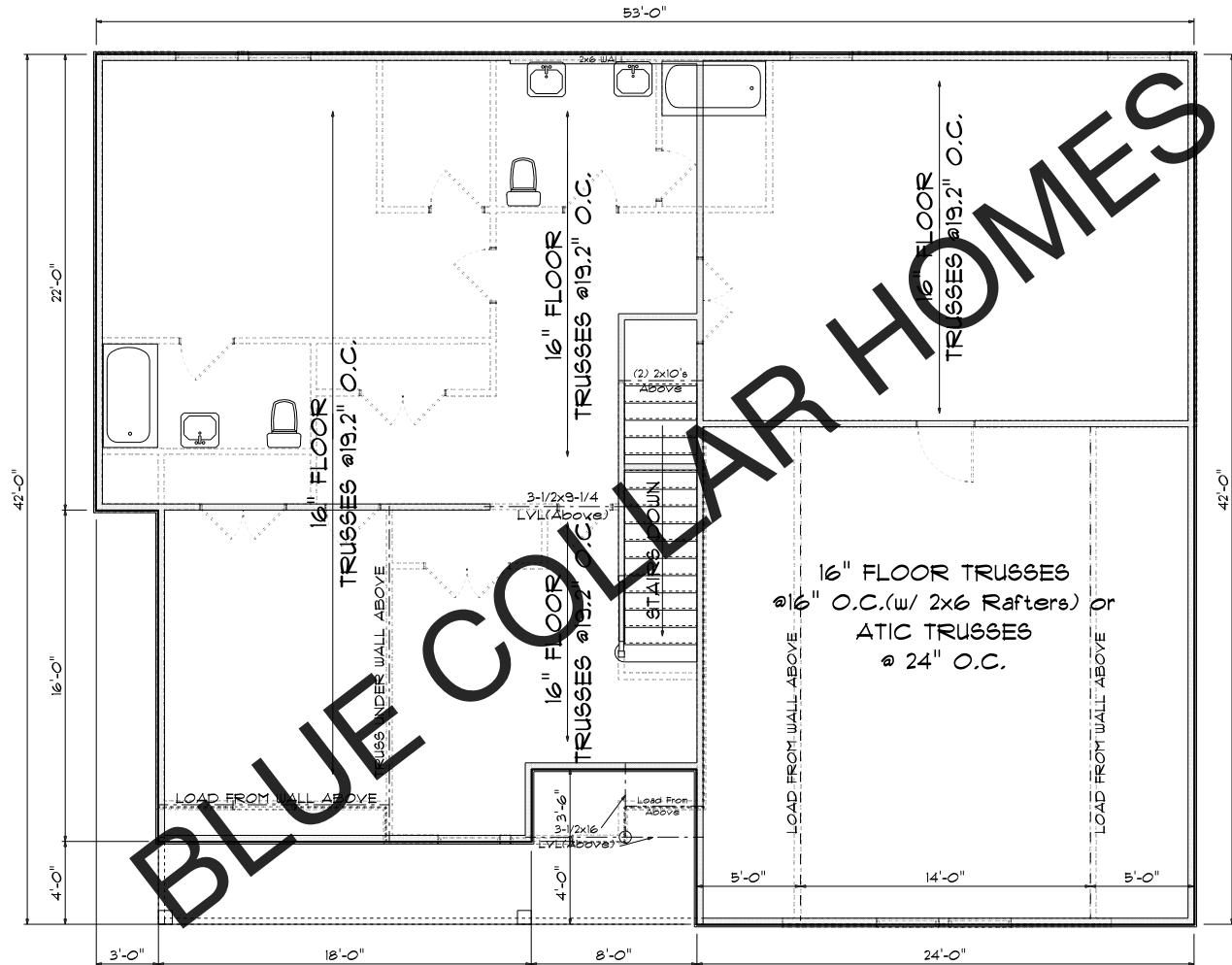
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SECOND FLOOR FRAMING PLAN

SCALE: 1/4" = 1'-0"

**BLUE COLLAR  
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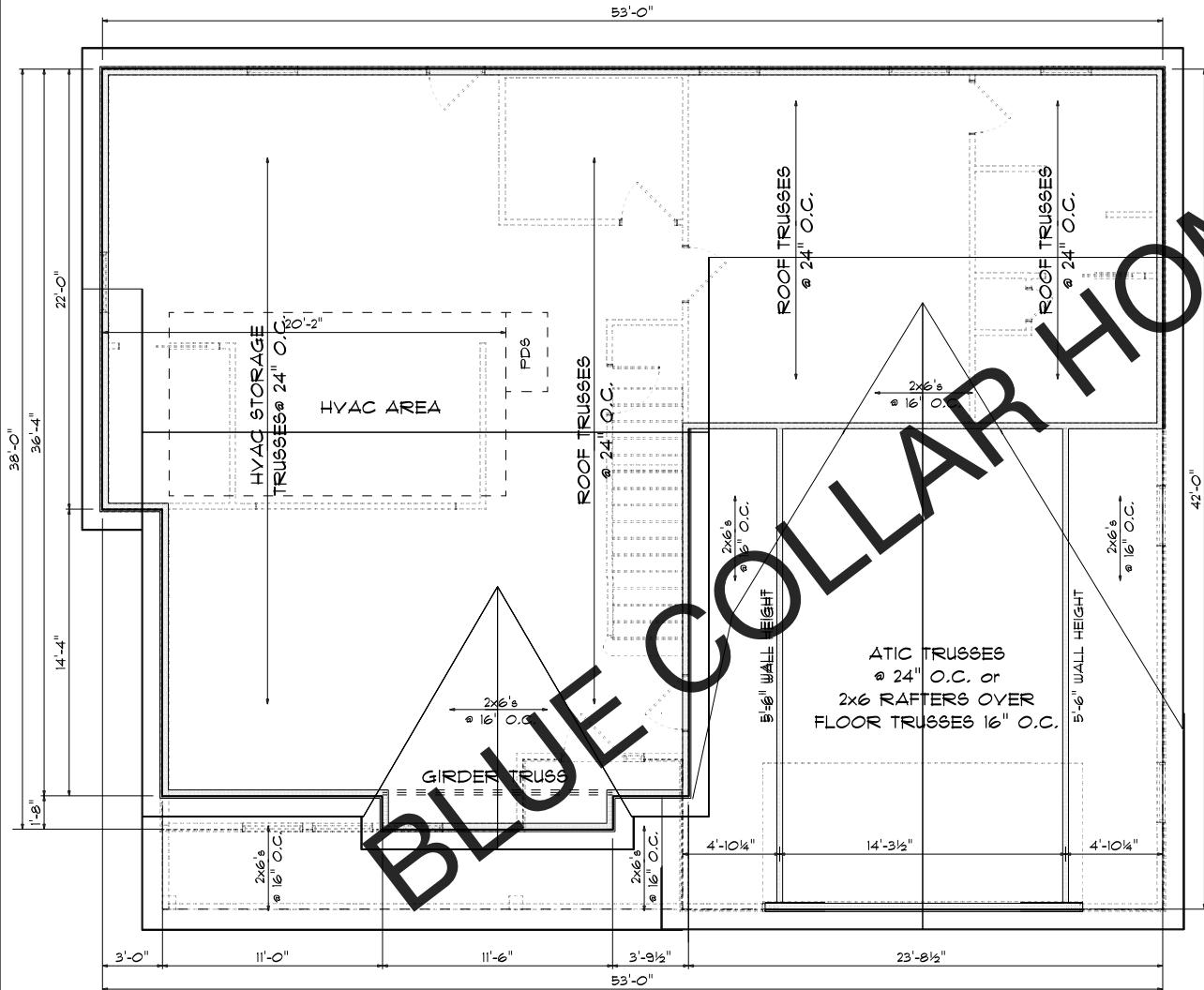
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**SECOND FLOOR  
FRAMING PLAN 3**

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3



## ROOF FRAMING PLAN

SCALE: 1/4" = 1'-0"

# BLUE COLLAR BUILDERS

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**ROOF FRAMING PLAN**

1