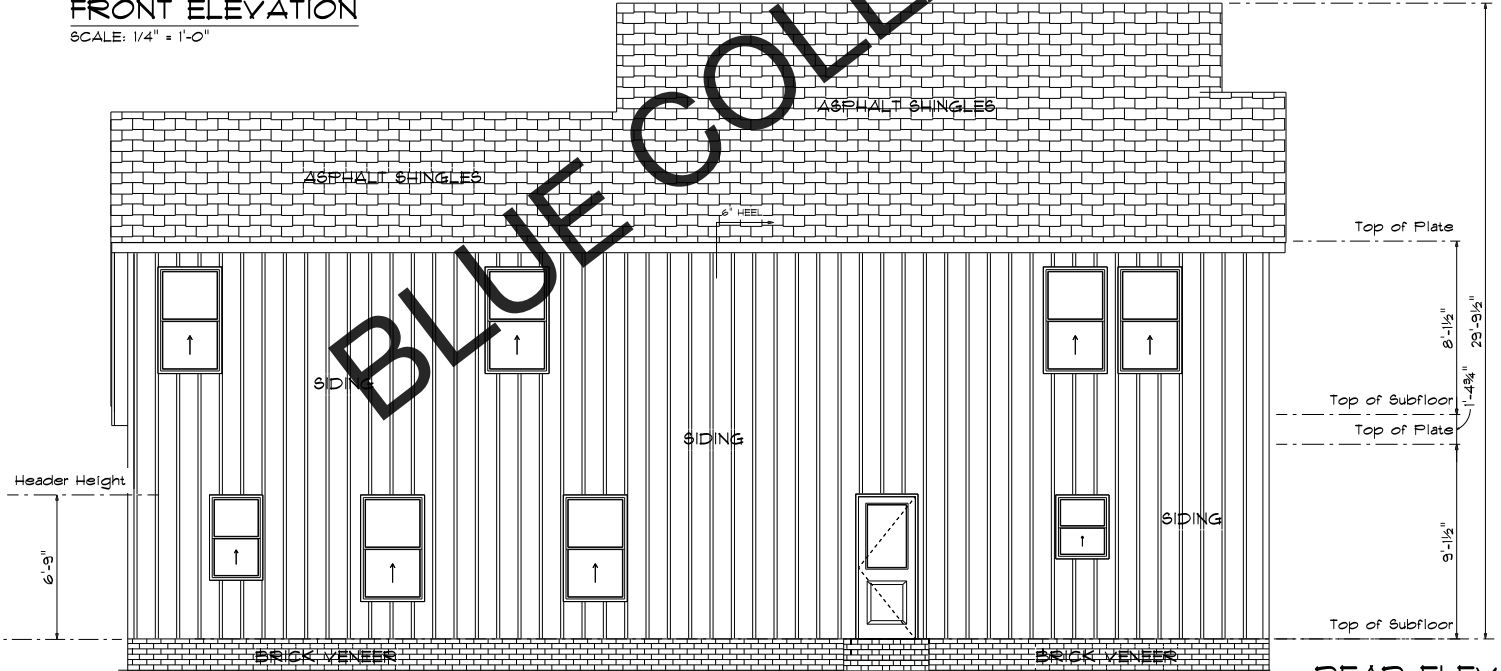


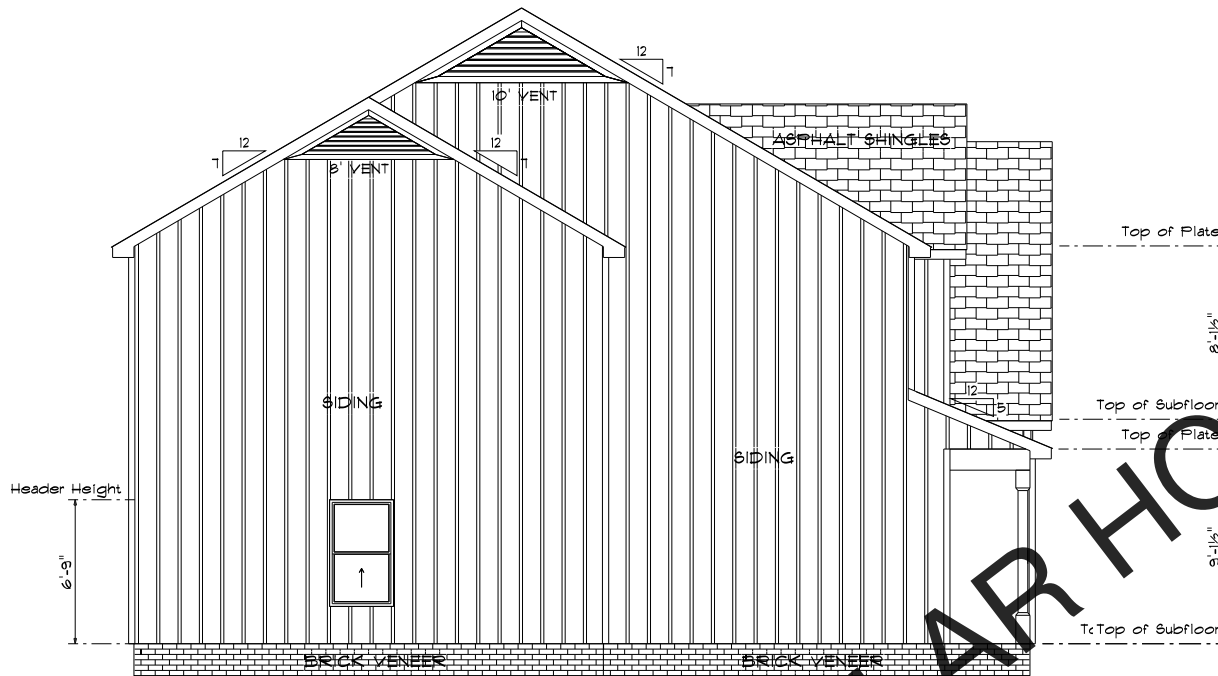


**FRONT ELEVATION**  
SCALE: 1/4" = 1'-0"



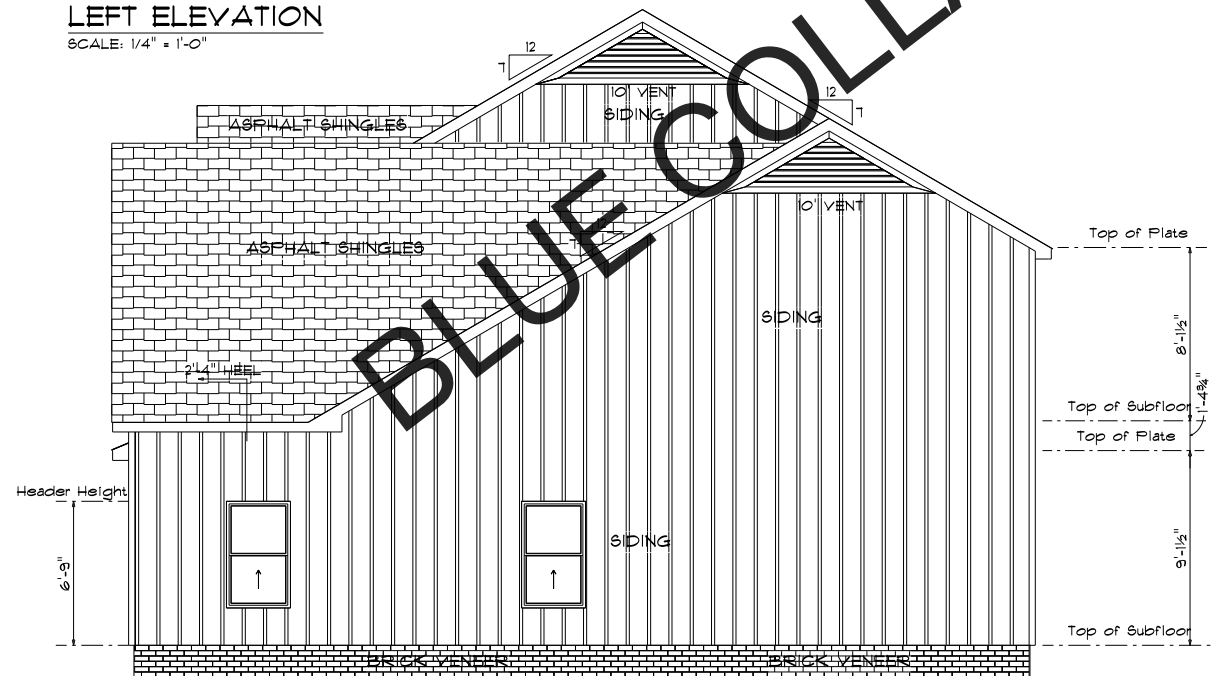
**REAR ELEVATION**  
SCALE: 1/4" = 1'-0"

BLUE COLLAR HOMES



**LEFT ELEVATION**

SCALE: 1/4" = 1'-0"



**RIGHT ELEVATION**

SCALE: 1/4" = 1'-0"

**ELEVATION NOTES**

- PROVIDE CORROSION RESISTANT FLASHING AT ALL EXTERIOR LOCATIONS, i.e. WINDOW HEADS, ROOF TO WALL INTERSECTIONS, CHIMNEY TOPS, WOOD DECKING TO HOUSE, BARN DOOR TO HOUSE, ETC.
- PROVIDE SOFFIT VENTS, RIDGE VENTS, GABLE LOUVERS, POWER VENTS, ETC. TO ALLOW FOR PROPER VENTILATION OF ATTIC SPACE AS REQUIRED BY CODE.
- DO NOT SCALE DIMENSIONS FROM PRINTS-PLANS AND DETAILS ARE NOT ALWAYS DRAWN TO SCALE OR PRINTED TO SCALE. USE DIMENSIONS GIVEN OR CONSULT DESIGNER FOR FURTHER CLARIFICATION.
- GRADE ELEVATIONS DRAWN WILL VARY DUE TO FOUNDATION AND OTHER SITE CONSIDERATIONS.
- SHINGLED ROOF PITCHES FROM 2:12 TO 4:12 MUST HAVE 2 LAYERS OF UNDERLAYMENT APPLIED AND OVERLAPPED PER SECTION R 905.2.1
- R-103.11.3 WHERE PROPERTY LINE IS LESS THAN 10' FROM THE BUILDING FACE AND THE SOFFIT MATERIAL IS VINYL OR ALUMINUM, THE SOFFIT MATERIAL SHALL BE SECURELY ATTACHED TO THE FRAMING MEMBERS AND SHALL USE UNDERLAYMENT MATERIAL OR EITHER FIRE RETARDANT WOOD, 27/32 WOOD SHEATHING OR 5/8" TYPE X GYPSUM BOARD. VENTING REQUIREMENTS SHALL APPLY TO BOTH SOFFIT AND UNDERLAYMENT AS PER SECTION R 906.

**NOTES FOR RAILING FLOOR PLANS**

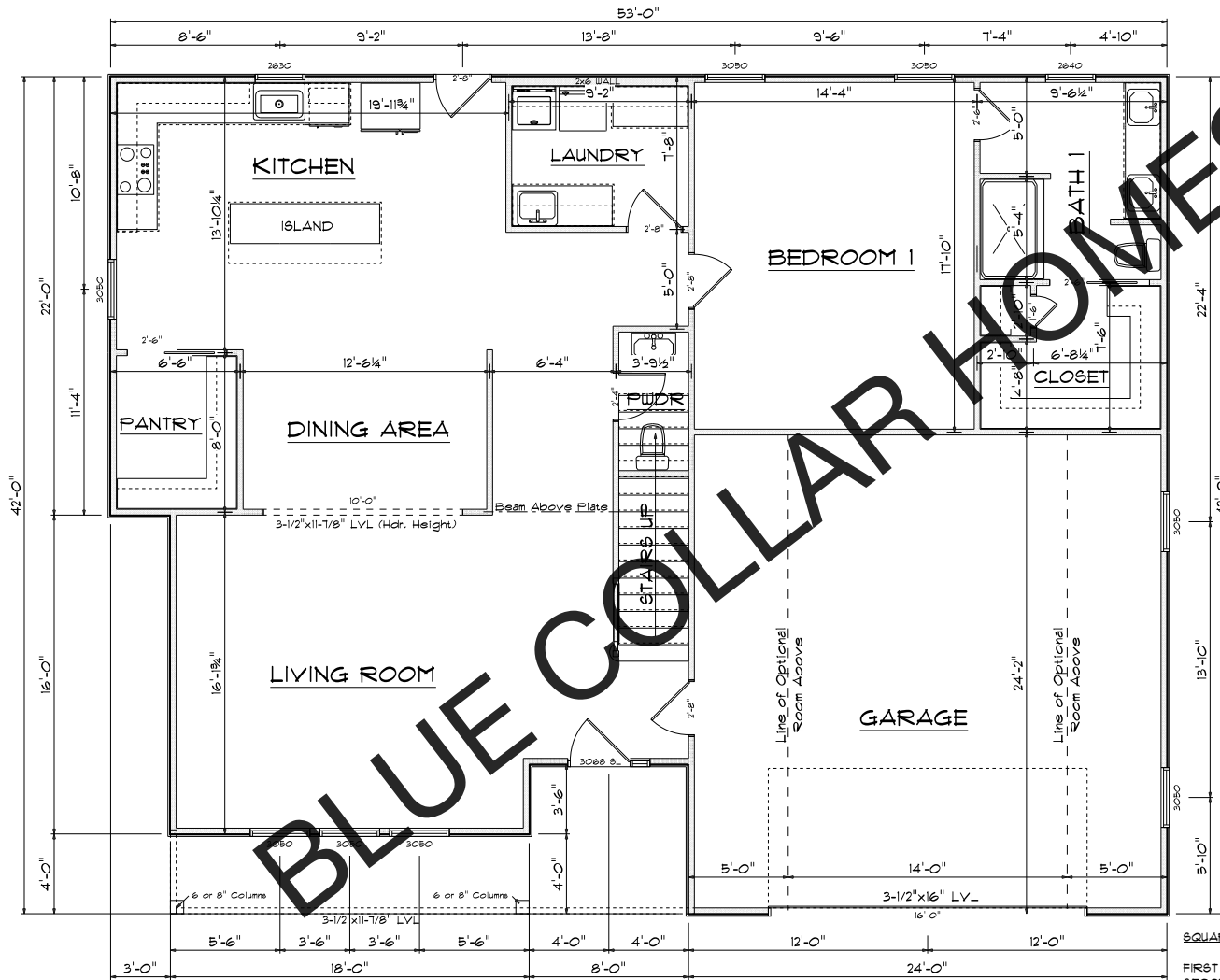
- R 311.7.1.1** HANDRAIL HEIGHT, MEASURED VERTICALLY FROM THE SLOPED PLANE ADJOINING THE TREAD NOSING, SHALL NOT BE LESS THAN 34" AND NOT MORE THAN 38".
- R 312.2** GUARDRAIL HEIGHT NOT LESS THAN 36" MEASURED VERTICALLY ABOVE THE ADJACENT WALKING SURFACE.
- R 312.3** -REQUIRED GUARDRAILS SHALL NOT HAVE OPENINGS FROM THE WALKING SURFACE TO THE REQUIRED GUARDRAIL HEIGHT WHICH ALLOWS A PASSAGE OF A 4" SPHERE.
- R 302.6** PROVIDE MINIMUM 5/8" TYPE 'X' GYPSUM ON THE CEILING BETWEEN THE GARAGE AND HABITABLE SPACE ABOVE, AND MINIMUM 1/2" GYPSUM BOARD ON ALL OF THE GARAGE WALLS.
- R 302.5** PROVIDE MINIMUM 20 MINUTE FIRE RATED DOOR.

PROVIDE 6 MIL. POLY VAPOR BARRIER ON 100% OF CRAWL AREA

**WALL BRACING NOTE:**

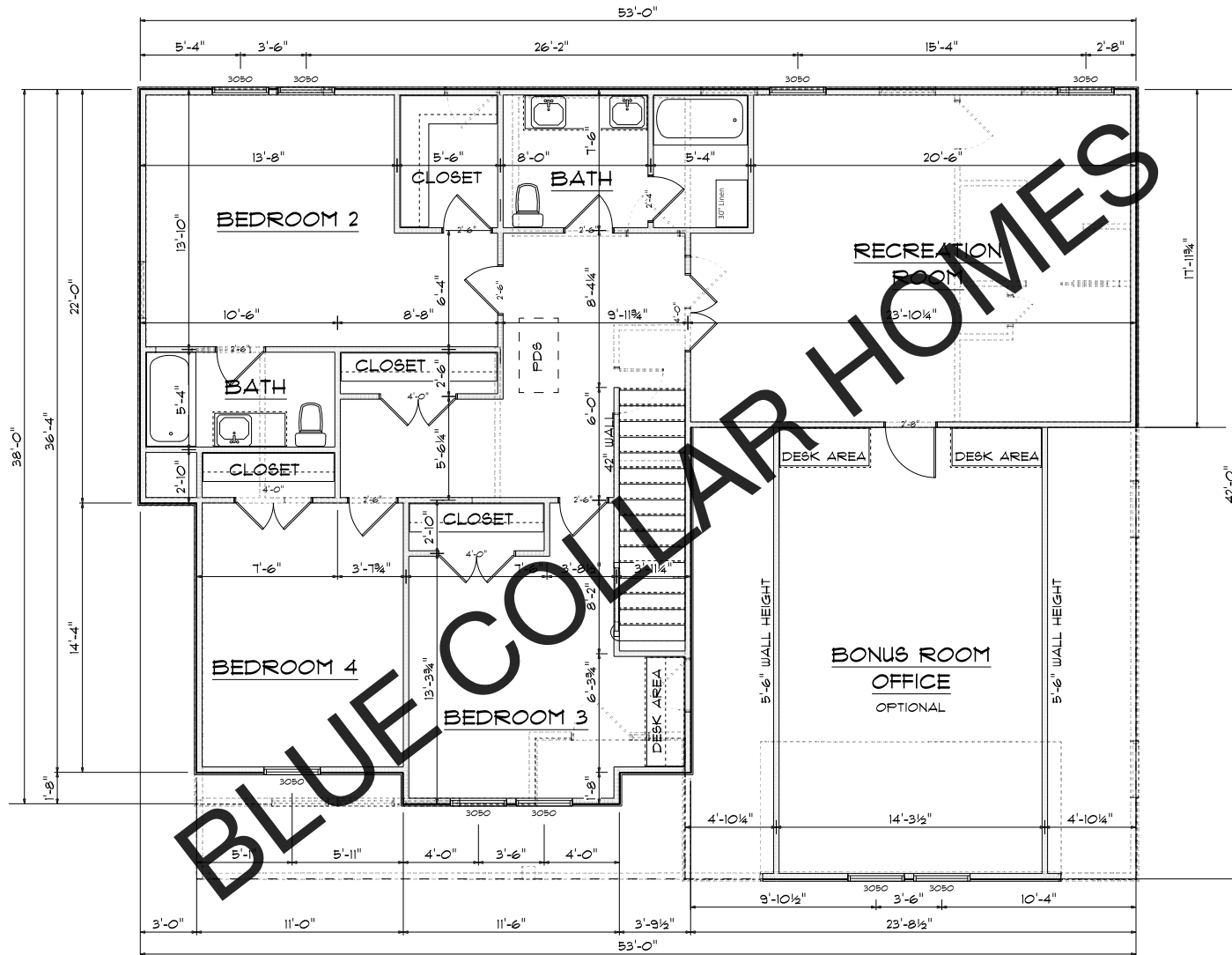
WALL BRACING IN ACCORDANCE WITH SECTION R 602.10.4. DESIGNED WITH WOOD STRUCTURAL PANELS OVER THE ENTIRE EXTERIOR. WSB THICKNESS TO BE MINIMUM 1/16" OSB OR PLYWOOD. PANELS MAY BE INSTALLED HORIZONTAL OR VERTICAL. NAIL PANELS WITH 6D COMMON NAILS (0.131" X 2 1/2" LONG) OR 8D COMMON NAILS (0.131" X 2 1/2" LONG) AT 6" O.C. ALONG PANEL EDGES AND 12" O.C. IN THE FIELD. HORIZONTAL EDGES BETWEEN STUDS DO NOT REQUIRE BLOCKING OR NAILING UNLESS SPECIFICALLY ON THE FIELD OF THE DRAWING.

AT THE GARAGE PORTAL ADD BLOCKING AT ANY HORIZONTAL SHEETING JOINTS BETWEEN STUDS. REDUCE NAIL SPACING TO 4" O.C. AT ALL LOCATIONS. NO STRAPS REQUIRED.



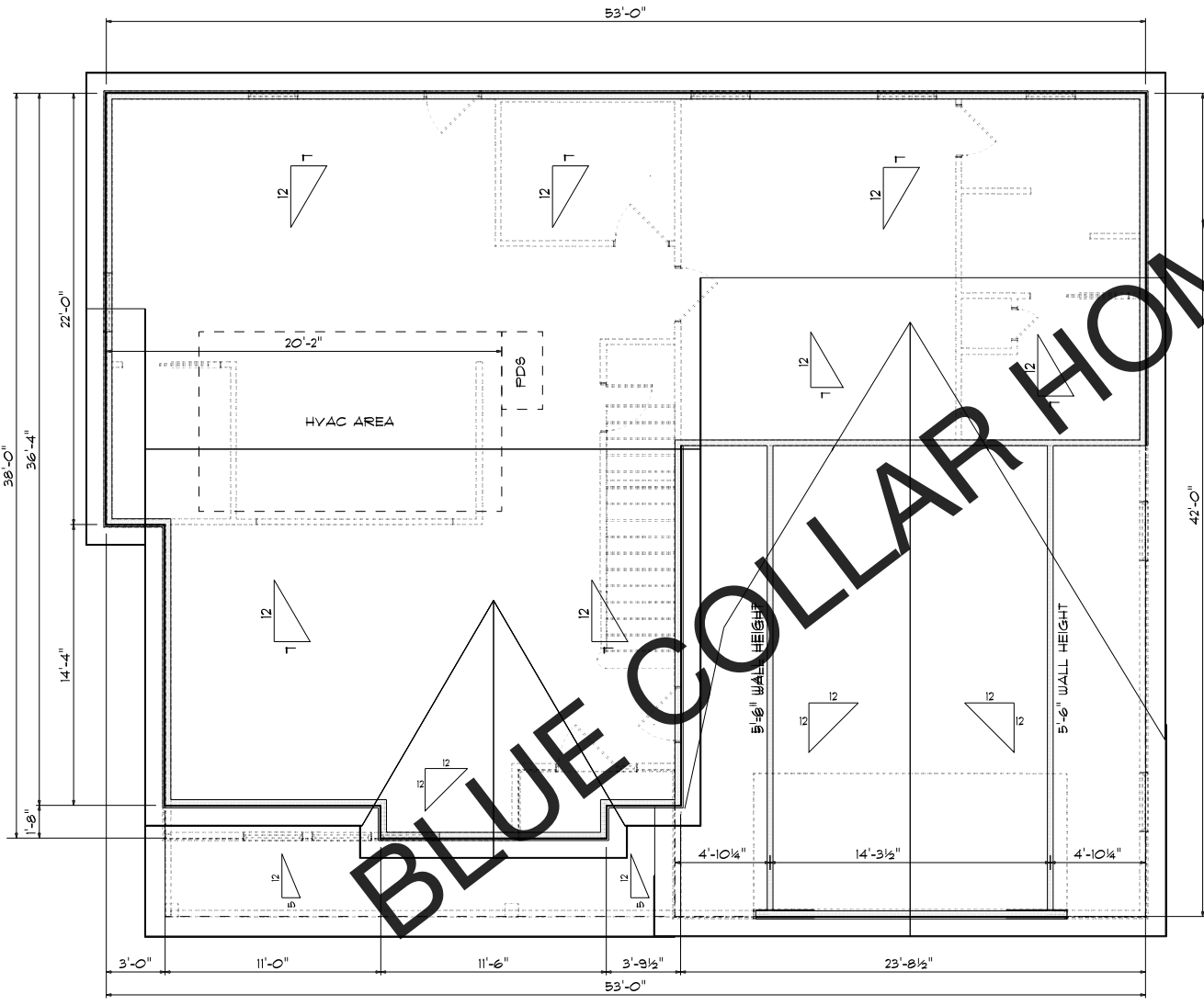
**MAIN FLOOR**  
SCALE: 1/4" = 1'-0"

SQUARE FOOTAGE	
FIRST FLOOR HEATED	1482
SECOND FLOOR	1488
TOTAL (HTD)	2970
BONUS (OPTIONAL)	360
GARAGE	583
PORCH (COVERED)	132
TOTAL FTG.	4051

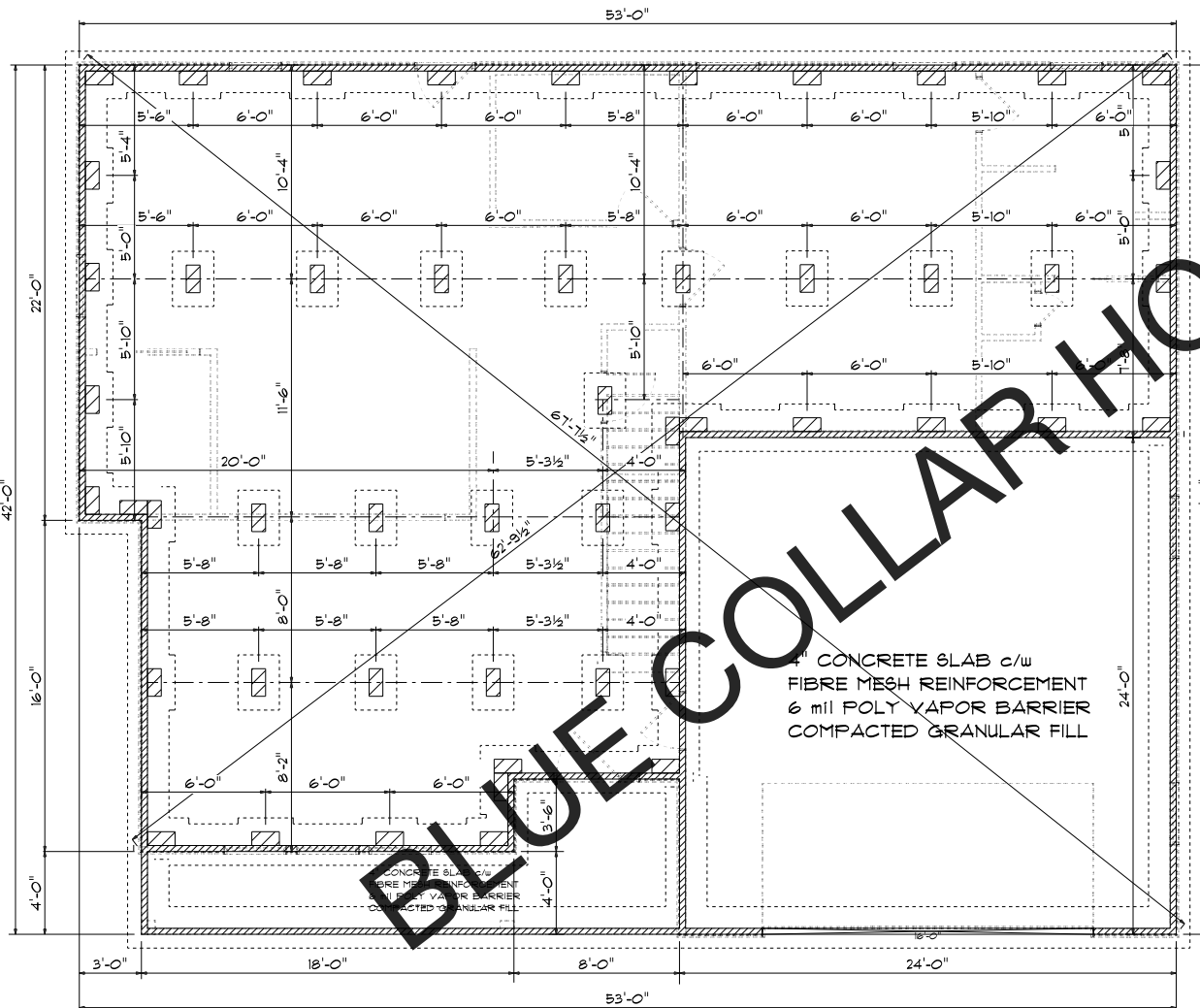


## SECOND FLOOR

SCALE: 1/4" = 1'-0"



ROOF PLAN  
SCALE: 1/4" = 1'-0"



**FOUNDATION**  
SCALE: 1/4" = 1'-0"

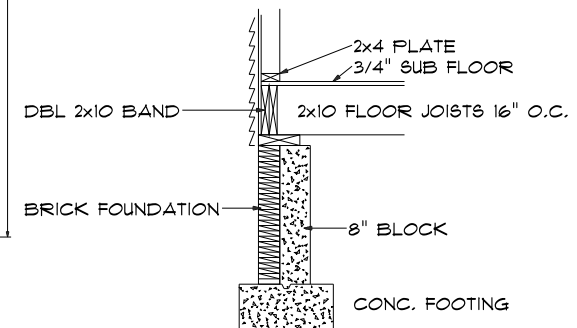
### FOUNDATION PLAN

#### NOTES:

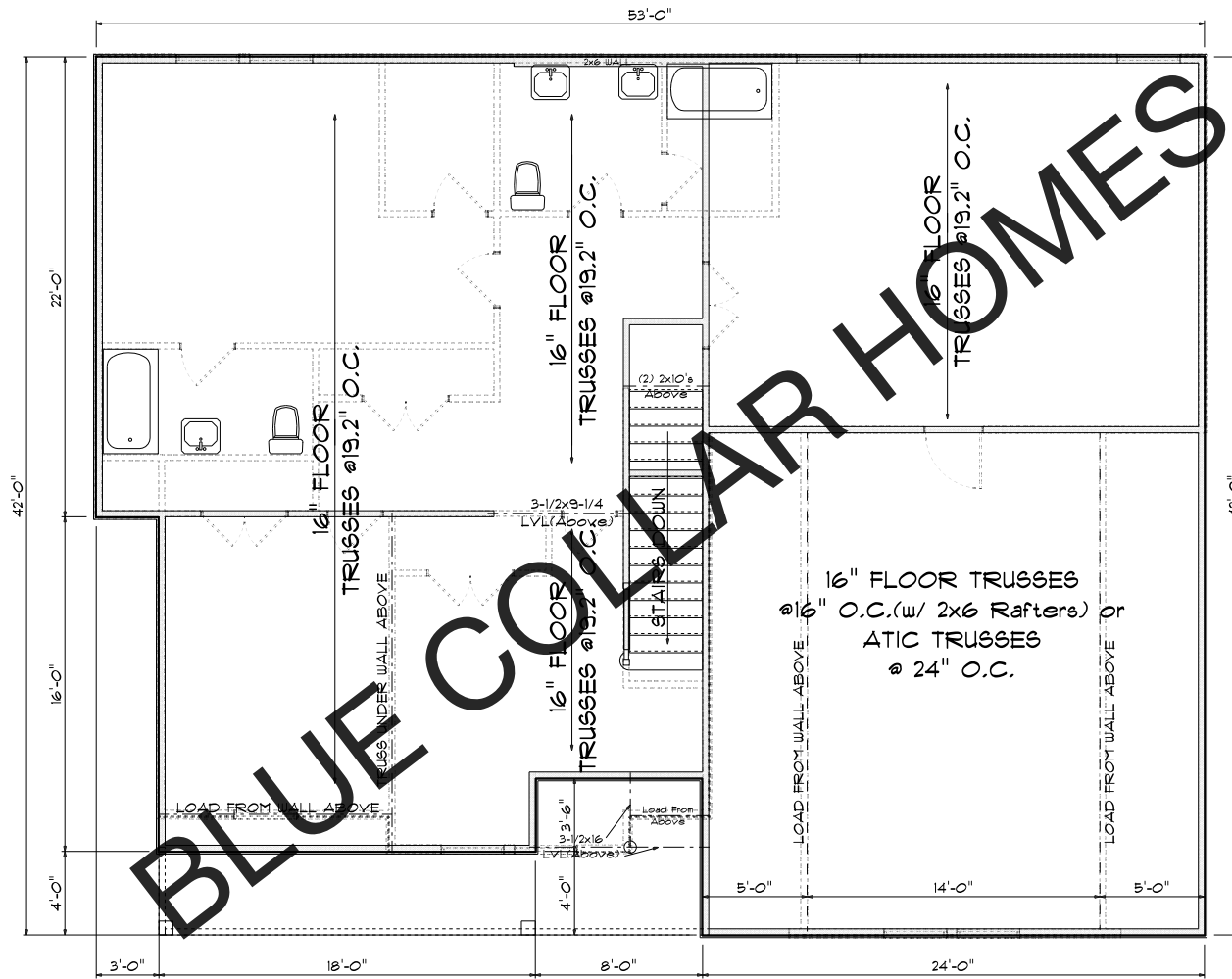
1. PIER SIZES ARE BASED ON HOLLOW CMU CAPPED WITH 8" OF SOLID MASONRY OR SHOWN IN CAVITIES OF THE TOP COURSE FILL WITH CONCRETE OR GROUT OR OTHER METHODS. MORTAR SHALL BE TYPE S.
2. FOOTING SIZES ARE BASED ON 2000 PSI ALLOWABLE SOIL BEARING AND 2000 PSI CONCRETE.
3. CENTER PIER SIZES SHALL BEAR IN THE MIDDLE 1/3 OF THE FOOTING AND GIRDERS SHALL CENTER IN THE MIDDLE 1/3 OF THE PIER. EXTERIOR GIRDERS, GIRDERS MUST HAVE 1/2" CLEARANCE FROM PIER. FOOTINGS SHALL BE FULL THICKNESS OVER THE ENTIRE AREA OF THE FOOTINGS.
4. FOOTING SIZES GIVEN ARE THE MINIMUM. FOR HEIGHT/STRENGTH LIMITATIONS, SEE SECTION 606.5.B.
5. EXTERIOR PIERS TO BE BONDED TO CURTAIN WALL EVERY OTHER COURSE.
6. UNBALANCED FILL AGAINST PIER AND CURTAIN WALL EVERY OTHER COURSE.
7. PIER HEIGHT SHALL NOT EXCEED 4 X LEAST DIMENSIONS OF HOLLOW PIER OR 10 X LEAST DIMENSION OF SOLID PIER. AREA AT FIRST LEVEL SUPPORTED BY PIER AND FOOTINGS.

#### CRAWL FOUNDATION NOTES:

1. CONTRACTOR TO VERIFY ALL DIMENSIONS.
2. DO NOT SCALE DIMENSIONS FROM PRINTS. PLANS AND DETAILS ARE NOT ALWAYS DRAWN TO SCALE. USE DIMENSIONS GIVEN OR CONSULT DESIGNER FOR FURTHER CLARIFICATION.
3. ALL JOIST AND BEAM SPANS ARE DETERMINED FOR THE USE OF NO. 2 SOUTHERN YELLOW FINE FRAMING LUMBER. THE USE OF ANY OTHER GRADE OR SPECIES MUST BE VERIFIED.
4. PROVIDE DOUBLE JOISTS IN 1867 FLOOR UNDER PARALLEL PARTITIONS.
5. PROVIDE GFCI RECEPTACLE AND SWITCHED LIGHT IN CRAWL SPACE.
6. PROVIDE CONTROL JOINTS IN GARAGE SLAB (30'-0" ON CENTER OR AT FOUNDATION OFF SETS).
7. GARAGE SLAB TO HAVE 3000 PSI MINIMUM STRENGTH AT 28 DAYS.
8. DESIGN LOADS FOR FLOOR JOISTS: 40 PSF LIVE, 10 PSF DEAD.
9. ALL EXTERIOR WALLS AT SLAB AREAS ARE TO BE ANCHORED W/ 1/2" DIAMETER BOLTS PLACED 6'-0" O.C. AND NOT MORE THAN 12" FROM CORNERS. BOLTS SHALL EXTEND A MINIMUM OF 1" INTO CONCRETE. EQUIVALENT ANCHOR STRAPS ARE AN ACCEPTABLE SUBSTITUTE.
10. PROVIDE TERMITES PROTECTION UNDER ALL SLABS.
11. MORTAR SHALL BE TYPE S.



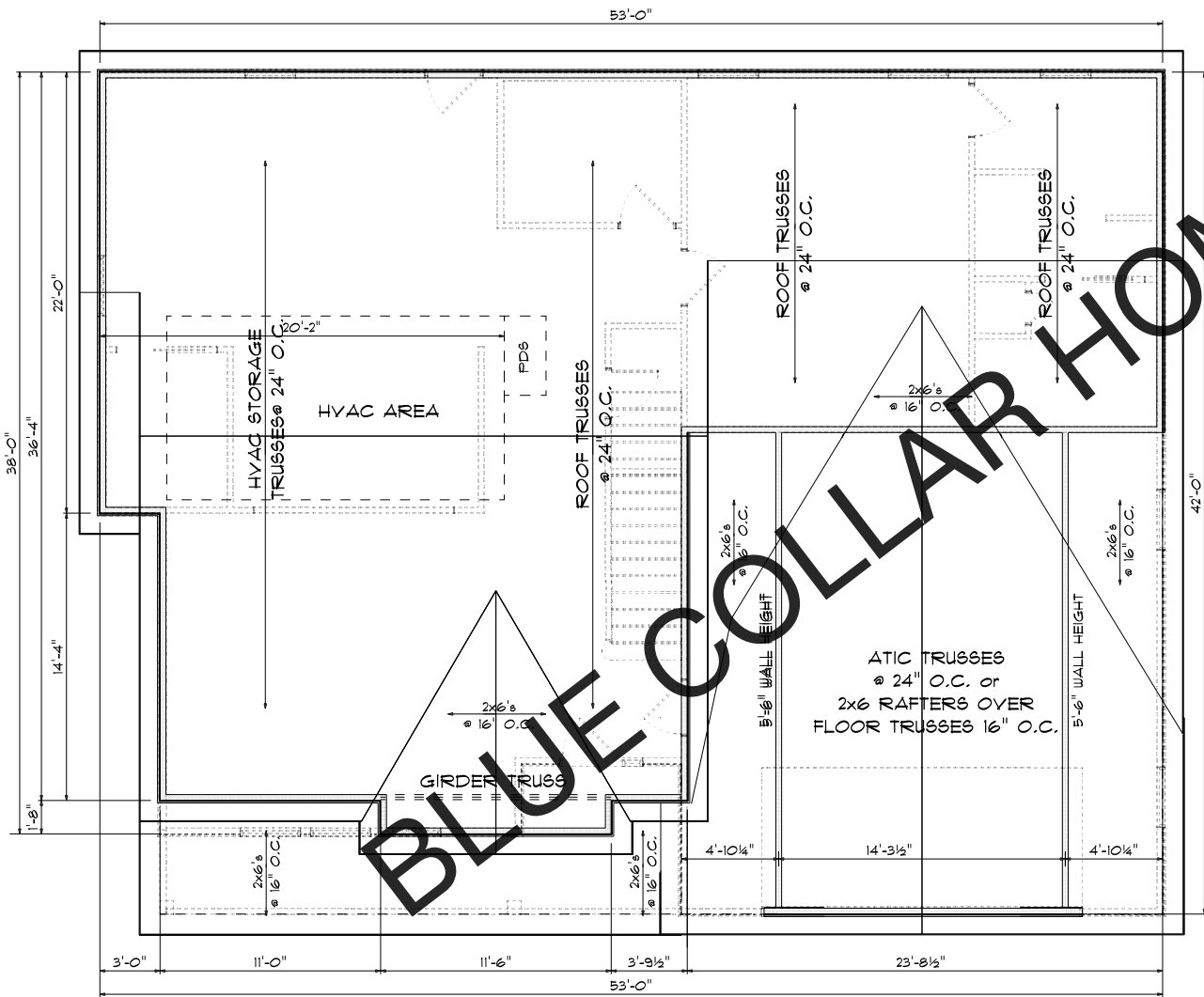




## SECOND FLOOR FRAMING PLAN

SCALE: 1/4" = 1'-0"





**ROOF FRAMING PLAN**  
SCALE: 1/4" = 1'-0"