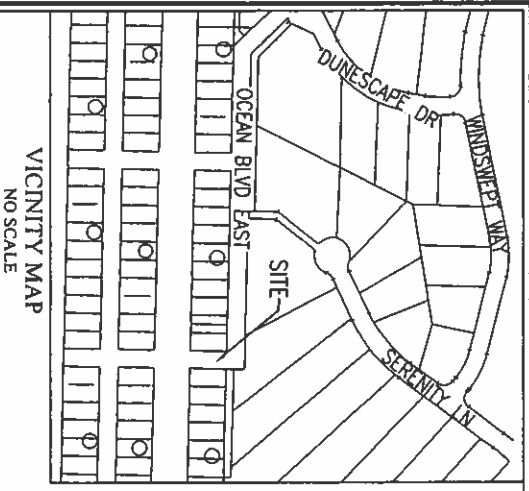


Ave E



THE 2020 ANNE AUNSUCKER
MOORE LIV TRUST
DEED BOOK 4396, PAGE 84
PARCEL #232WP019

SMAGO LLC
DEED BOOK 4601, PAGE 931
PARCEL #232WP020

GRID LINE:
FROM MONUMENT HB-5 (NC GRID COORDINATES:
N=8007433 FEET, E=228046.15 FEET)
TO NS 'X', 588'21.53'E, 2551.13'

NC GRID NORTH
NAD 83-2011



I CERTIFY THAT THIS MAP WAS DRAWN UNDER MY SUPERVISION FROM AN ACTUAL SURVEY MADE UNDER MY SUPERVISION (DEED DESCRIPTION RECORDED IN BOOK 4396, PAGE 84). THE BOUNDARIES NOT SURVEYED ARE INDICATED AS APPROXIMATE FROM INFORMATION IN RECORDS. THE POSITION OF ANY POINTS OF INTEREST IS SHOWN BY A DOTTED LINE. THE POSITION OF ANY POINTS OF INTEREST IS SHOWN BY A DOTTED LINE. THE POSITION OF ANY POINTS OF INTEREST IS SHOWN BY A DOTTED LINE. THE POSITION OF ANY POINTS OF INTEREST IS SHOWN BY A DOTTED LINE.

CLASS OF SURVEY: A
POSITIONAL ACCURACY: 0.029 METERS
TYPE OF GPS FIELD PROCEDURE: RIN
DATE OF SURVEY: 04-03-2023
DATE OF SURVEY: NAD 83-2011
PUBLISHED / FIXED CONTROL: RIN
GSD MODEL: 188
COMBINED GSD FACTOR: 1,0001/75
UNITS: US FEET
MONUMENT: HB-5

AND THAT THIS MAP MEETS THE REQUIREMENTS OF THE STANDARDS OF PRACTICE FOR LAND SURVEYING IN NORTH CAROLINA (21 N.C.A.C. 56.1600), THIS 28th DAY OF MAY, 2023.

PROFESSIONAL LAND SURVEYOR
NC L-3387

M A GODFREY INVESTMENTS OF
THE CAROLINAS LLC
DEED BOOK 4702, PAGE 135
PARCEL #233PA015
LOT 8 & 9

BENJAMIN & JACKIE GRIFFIN
DEED BOOK 1454, PAGE 636
PARCEL #233PA016
LOT 10 & 1 / 2 PF LOT 9
#337 OCEAN BLVD E

KEENER MILTON
DEED BOOK 236, PAGE 164
PARCEL #233PB002
#341 OCEAN BLVD E
LOT 1

DONALD P. &
ELAINE B. SCARBOROUGH
DEED BOOK 948, PAGE 764
PARCEL #233PB003
LOT 2

- GENERAL NOTES:
1. ADJOINING DEED REFERENCES BASED ON CURRENT INFORMATION FOUND IN THE BRUNSWICK COUNTY TAX OFFICE.
 2. ACCORDING TO CURRENT FEMA FLOOD MAP # 3702020800K, THIS PARCEL APPEARS TO BE LOCATED IN THE FOLLOWING ZONES: AE, BASE FLOOD ELEVATION 12.0' AND VE, BASE FLOOD ELEVATION 13.0'.
 3. THIS PROPERTY IS SUBJECT TO ANY AND ALL EASEMENTS, COVENANTS, RESTRICTIONS, RIGHTS OF RECORD, GOVERNMENTAL ORDINANCES AND/OR REQUIREMENTS WHICH MAY LIMIT THE USE OF THIS PROPERTY, WHETHER SHOWN OR NOT SHOWN ON THIS SURVEY MAP.
 4. THIS SURVEY PERFORMED AND MAP PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT AND IS THEREBY SUBJECT TO ANY FACTS WHICH MAY BE DISCLOSED BY A TITLE AND ACQUISITION TITLE SEARCH. USERS OF THIS PLAN SHOULD OBTAIN AN ACCURATE LEGAL OPINION AS TO OWNERSHIP WITHIN THE BOUNDARIES OF THIS PLAN.
 5. ALL BEARINGS ARE BASED ON NC GRID NORTH (NAD83-2011). ALL DISTANCES ARE HORIZONTAL GROUND DISTANCES US SURVEY FEET.
 6. ALL ELEVATIONS OBTAINED BY GPS UTILIZING THE NC REAL TIME NETWORK AND ARE REFERENCED TO NAD 89 DATUM.
 7. ONE FOOT CONTOUR INTERVALS.
 8. MEAN HIGH WATER LINE LOCATION BASED ON ELEVATION 2.01' NAD 89 AS PROVIDED BY NOAA TIDAL BENCHMARK.
 9. AREA BY COORDINATE METHOD.
 10. TAX PARCEL NUMBER: NONE
 11. CURRENT ZONING PER TOWN OF HOLDEN BEACH, R1

LEGEND

| LABEL | SYMBOL | DESCRIPTION |
|-------|--------|---|
| PE/RF | ● | IRON PIPE / ROD FOUND |
| RS | ○ | 1/2" REBAR SET |
| LN | △ | LAG NAIL FOUND |
| MS | ▲ | LAG NAIL SET |
| CM | ■ | CONC. MARK FOUND |
| NCS | ⊙ | GEODETIC MONUMENT |
| RS/PK | ⊕ | RAILROAD SPIKE |
| CS/PK | ⊗ | COTTON SPIKE |
| LP | ✱ | LIGHT POLE |
| WF | ✱ | WETLAND FLAG |
| US | ✱ | SPOT ELEVATION |
| BSL | ✱ | BUILDING SETBACK LINE |
| CAVA | ✱ | COASTAL AREA MANAGEMENT AGENCY RIGHT OF WAY |
| B/W | ✱ | |

4300.33
05-23-2023
LOCKWOOD FLY
BRUNSWICK
NC
1"=20'
CT/CS
CDS



COASTALGEOMATICS
LAND SURVEYING • MAPPING • PLANNING

Physical Address: 5041-3 Main Street, Shalotte, NC 28470
Mailing Address: Post Office Box 1560, Shalotte, NC 28459
Telephone: 910-356-1800 ~ www.coastalgeomatics.com

Firm License #
P-2248

TOWN OF HOLDEN BEACH, NC

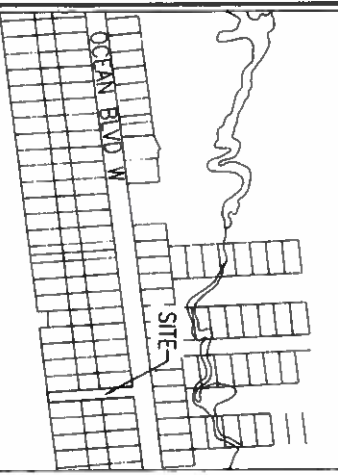
A PORTION OF AVENUE E, HOLDEN BEACH, NC
NO DEED REFERENCE FOUND

Revisions:

CAMA SITE PLAN FOR:

ALL dimensions in

200 Ft



VICINITY MAP
NO SCALE

I CERTIFY THAT THIS MAP WAS DRAWN UNDER MY SUPERVISION FROM AN ACTUAL SURVEY MADE UNDER MY SUPERVISION (DEED DESCRIPTION RECORDED IN BOOK PAGE THAT THE BOUNDARIES NOT SHOWN ARE INDICATED AS DRAWN FROM INFORMATION IN BOOK PAGE THAT THE RATIO OF PRECISION IS 1:10,000; AND THAT THIS SURVEY IS OF AN EXISTING PARCEL OF LAND AND THAT THIS MAP MEETS THE REQUIREMENTS OF THE STANDARDS OF PRACTICE FOR LAND SURVEYING IN NORTH CAROLINA (21 NCAC 56.1600) THIS 12TH DAY OF APRIL 2023.

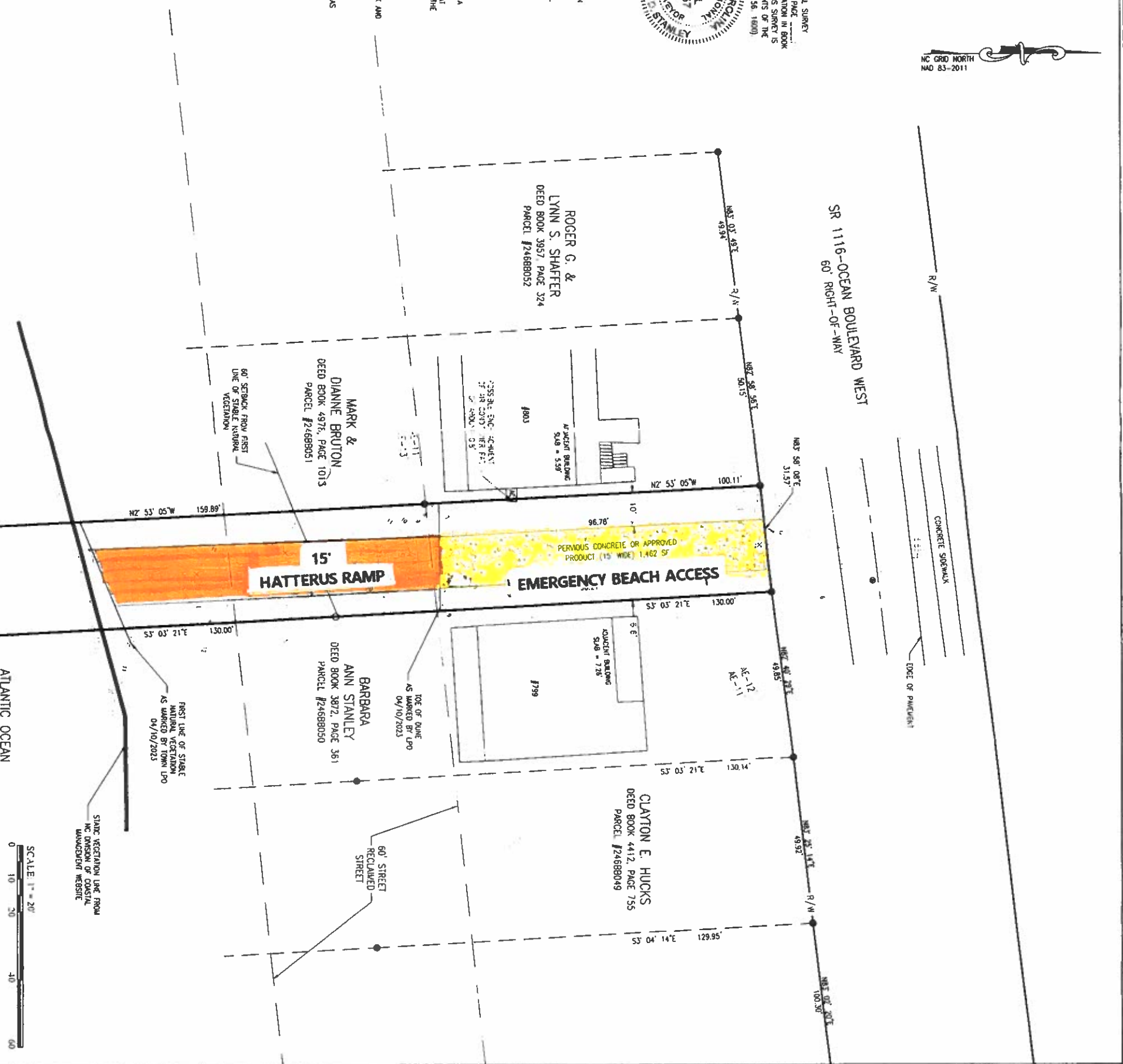
[Signature]
PROFESSIONAL LAND SURVEYOR



GENERAL NOTES:

1. ADJOINING DEED REFERENCES BASED ON CURRENT INFORMATION FOUND IN THE BRUNSWICK COUNTY TAX OFFICE
2. ACCORDING TO CURRENT FEMA FLOOD MAP # 3702000500K, THIS PARCEL APPEARS TO BE LOCATED IN THE FOLLOWING ZONES: AE, BASE FLOOD ELEVATION 12.0' AND BASE FLOOD ELEVATION 11.0' AND VE, BASE FLOOD ELEVATION 13.0'
3. THIS PROPERTY IS SUBJECT TO ANY AND ALL EASEMENTS, CONVEYANCES, RESTRICTIONS, RIGHTS-OF-WAY OR RECORDS, COMMERCIAL OPPORTUNITIES AND/OR REQUIREMENTS WHICH MAY LIMIT THE USE OF THIS PROPERTY; WHETHER SHOWN OR NOT SHOWN ON THIS SURVEY MAP.
4. THIS SURVEY PERFORMED AND MAP PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT AND IS THEREBY SUBJECT TO ANY FACTS WHICH MAY BE DISCLOSED BY A FULL AND ACCURATE TITLE SEARCH, USERS OF THIS PLAN SHOULD OBTAIN AN ACCURATE LEGAL OPINION AS TO OWNERSHIP WITHIN THE BOUNDARIES OF THIS PLAN.
5. ALL BEARINGS ARE BASED ON NC GRID NORTH (NAD83-NRS 2011). ALL DISTANCES ARE HORIZONTAL GROUND DISTANCES. US SURVEY FEET.
6. ALL ELEVATIONS OBTAINED BY GPS UTILIZING THE NC REAL TIME NETWORK AND ARE REFERENCED TO MVD 88 DATUM.
7. ONE FOOT CONTAINS METERS.
8. MEAN HIGH WATER LINE LOCATION BASED ON ELEVATION 2.01' (MVD 88) AS PROVIDED BY NOAA TIDAL BENCHMARK.
9. AREA BY COORDINATE METHOD.
10. TAX PARCEL NUMBER: NONE
11. CURRENT ZONING PER TOWN OF HOLDEN BEACH: R1

| LEGEND | |
|--------|-------------------------|
| LABEL | SYMB. DESCRIPTION |
| IPF/RR | ● IRON PIPE / ROD FOUND |
| RS | ○ 1/2" REBAR SET |
| URF | ▲ URG MAIL FOUND |
| URS | ▲ URG MAIL SET |
| CUF | ■ CONC. URM FOUND |
| RSFK | ■ RAILROAD SPK |
| CSFK | ⊗ COTTON SPK |
| FTE | ⊕ FINISHED FLOOR ELEV. |
| CAV | ⊕ CABLE TV PEDestal |
| TPED | ⊕ TELEPHONE PEDestal |
| PE | ○ POWER POLE |
| EB | ■ ELEC. BOX |
| SS | ■ SPOT ELEVATION |
| CS | ✕ CONSTRUCTION AREA |
| CAVA | ■ MANAGEMENT AGENCY |
| R/W | — RIGHT OF WAY |



SR 1116-OCEAN BOULEVARD WEST
60' RIGHT-OF-WAY

ATLANTIC OCEAN



PREVIOUS SITE PLAN FOR:

TOWN OF HOLDEN BEACH, NC

801 OCEAN BOULEVARD WEST ACCESS

Revisions:

COASTALGEOMATICS
LAND SURVEYING • MAPPING • PLANNING

Physical Address: 5041-3 Main Street, Shallotte, NC 28470
Mailing Address: Post Office Box 1560, Shallotte, NC 28459
Telephone: 910-356-1800 ~ www.coastalgeomatics.com

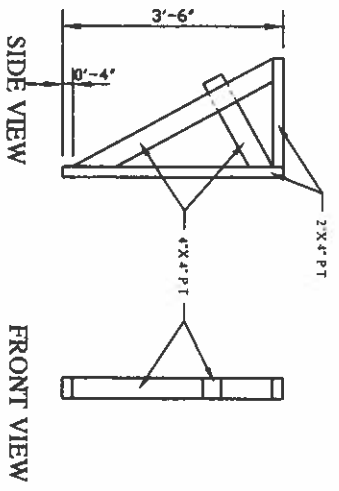
Firm License # P-2248

| | |
|-----------|--------------|
| PROJECT#: | 4300.34 |
| DATE: | 04-12-2023 |
| TOWNSHIP: | LOCKWOOD FLY |
| COUNTY: | BRUNSWICK |
| STATE: | NC |
| SCALE: | 1"=20' |
| CREW: | CT |
| FB/PG: | FILE |
| TAX PID: | N/A |
| DRAWN BY: | CRT |

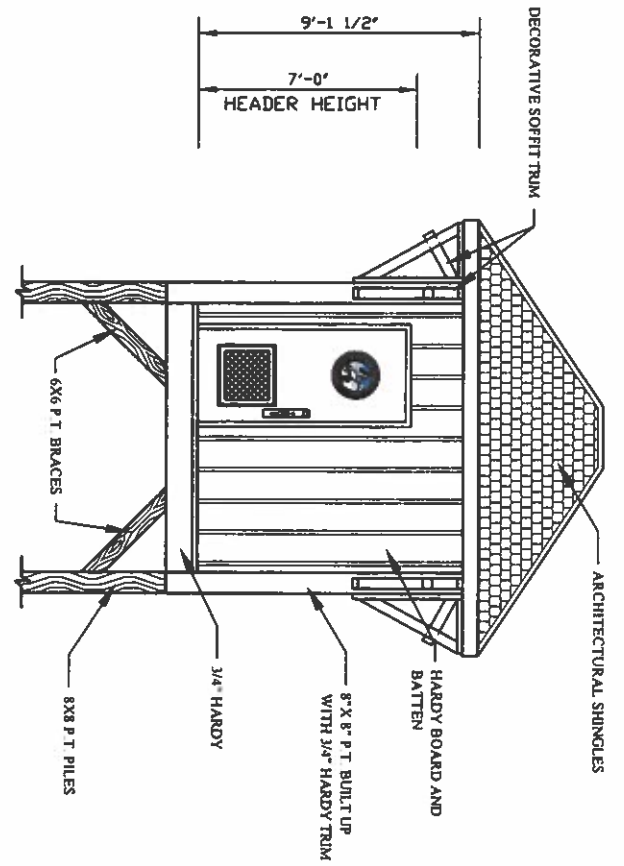
Attachment 1B

801 08W

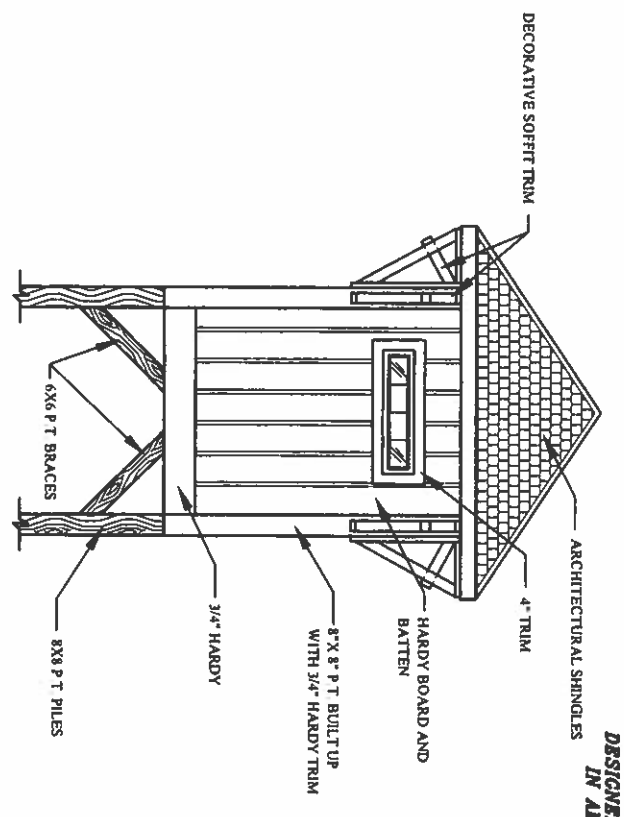
Attachment 2a



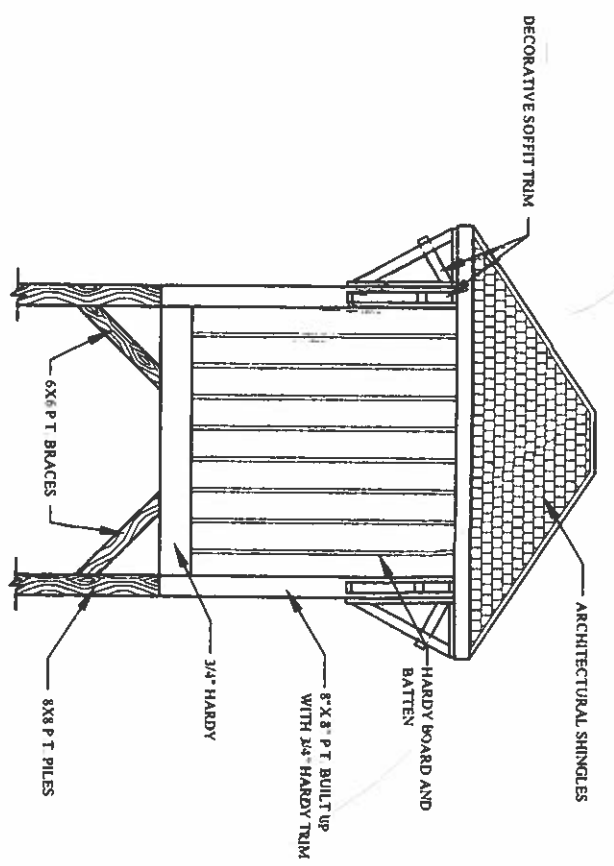
DECORATIVE BRACKET
SCALE: 1/4" = 1'-0"



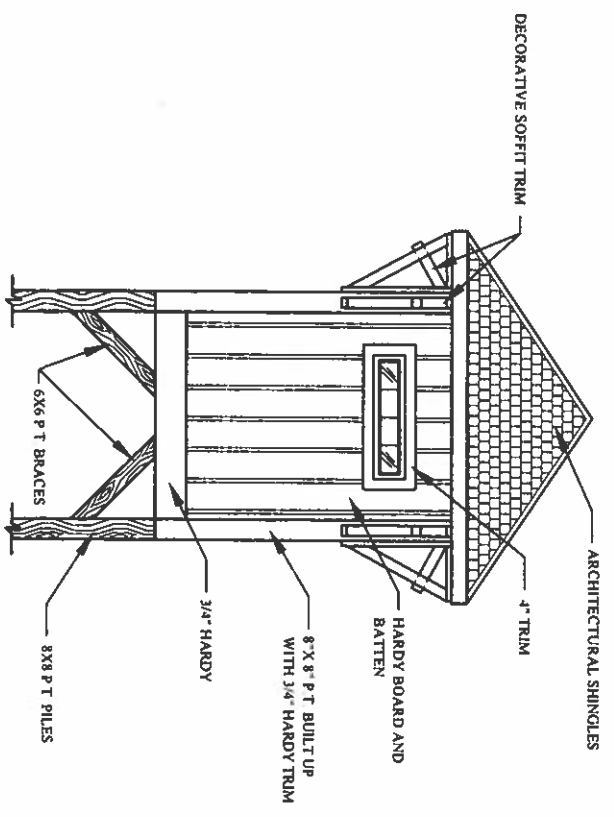
FRONT ELEVATION
SCALE: 1/4" = 1'-0"



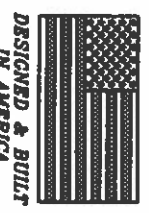
RIGHT SIDE ELEVATION
SCALE: 1/4" = 1'-0"



REAR ELEVATION
SCALE: 1/4" = 1'-0"



LEFT SIDE ELEVATION
SCALE: 1/4" = 1'-0"



NOTE: 11 X 17 COPIES ARE NOT TO SCALE.

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| | |
|--|-------------------------|
| TOWN OF HOLDEN BEACH 114 OBE BLVD. NORTH CAROLINA | |
| SCALE: AS NOTED | DRAWN BY: DAVID A. WOOD |
| DATE: 9/18/23 | PLAN #: 2023 000 |
| SIZE: 10'-0" X 8'-0" | ELEVATIONS |

**BEACH ACCESS
RESTROOM
DESIGN**

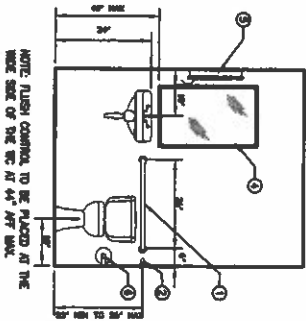
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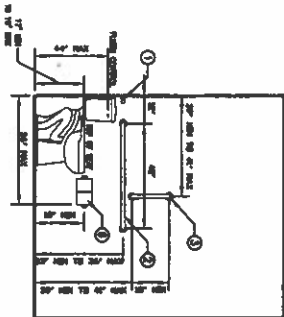
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**DAVID WOOD INC.
HOME DESIGNS**

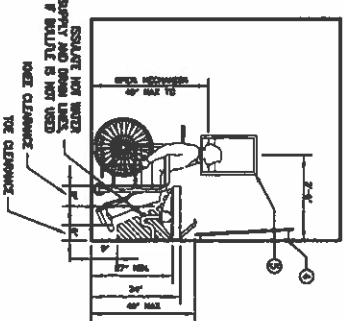
SHEET #
1 OF 3



FRONT VIEW - TYP
SCALE: = N.T.S.



SIDE VIEW - TYP
SCALE: = N.T.S.



SIDE VIEW - TYP
SCALE: = N.T.S.

| ITEM # | ITEM | MOUNTING HEIGHT |
|--------|---|---------------------------------------|
| 1 | 36" LG. GRAB BAR | 33" TO 36" AFF TO CL. OF BAR |
| 2 | 42" LG. GRAB BAR | 33" TO 36" AFF TO CL. OF BAR |
| 3 | 18" MIN - VERTICAL GRAB BAR | SEE DETAIL |
| 4 | 18"x24" MIRROR W/ STAINLESS STEEL FRAME | 40" MAX AFF TO BOTTOM OF MIRROR |
| 5 | PAPER TOWEL DISPENSER | 48" MAX AFF TO CL. OF DISP. MECHANISM |
| 6 | TOILET TISSUE DISPENSER | 9" MIN AFF TO CL. OF DISPENSER |

TOILET ACCESSORY SCHEDULE (PER ANSI A117.1)

APPROVED EQUALS:

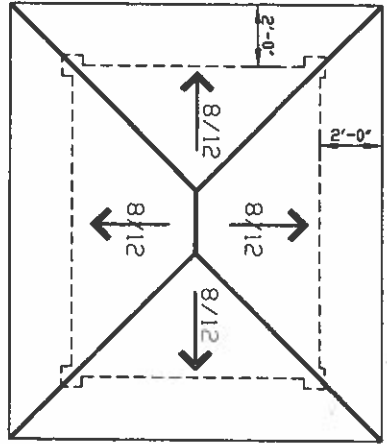
THE CONTRACTOR IS RESPONSIBLE FOR PROVING THE MODELS WHICH MOST CLOSELY MATCHES THE SPECIFIED PRODUCT. FINISH PRODUCTS MADE BY THE MANUFACTURERS LISTED

| DISCRETION | MADE | MODEL | COMMENTS |
|---|---|------------------------|---|
| 1 | COMMERCIAL SOAP DISPENSER | BOBROCK B-306 | RECESSED MOUNTED MANUAL PUSH STAINLESS STEEL 45OZ |
| 2 | TOILET PAPER HOLDER | BOBROCK B-307 | 9" DOUBLE ROLL TRANSLUCENT BLACK COVER |
| 3 | RECESSED SEAT-COVER DISPENSER | BOBROCK B-308 | RECESSED MOUNTED STAINLESS STEEL |
| 4 | PAPER TOWEL DISPENSER & WASTE DISPENSER | BOBROCK B-342 | STAINLESS MOUNTED STAINLESS STEEL |
| 5 | SOAP DISPENSER | BOBROCK B-342 | STAINLESS MOUNTED STAINLESS STEEL |
| 6 | BABY CHANGING STATION | BOBROCK B-342 | STAINLESS MOUNTED STAINLESS STEEL |
| 7 | WALL MOUNTED MIRROR | BOBROCK B-342 | STAINLESS MOUNTED STAINLESS STEEL |
| 8 | ADA CABINET WITH SINK - WALL MOUNTED | BOBROCK B-342 | STAINLESS MOUNTED STAINLESS STEEL |
| 9 | ELECTRIC TANKLESS WATER HEATER | BOBROCK B-342 | STAINLESS MOUNTED STAINLESS STEEL |
| 10 | ELONGATED TOILET | BOBROCK B-342 | STAINLESS MOUNTED STAINLESS STEEL |
| 11 | METERING FAUCET | BOBROCK B-342 | STAINLESS MOUNTED STAINLESS STEEL |
| 12 | HOSE BIBB | BOBROCK B-342 | STAINLESS MOUNTED STAINLESS STEEL |
| DOOR | | | |
| DOOR 1/2 LITE LOWER SMOOTH FIBERGLASS SINGLE DOOR | | N-005900-PVC2424-WBD-1 | WHITE / S HINGES |
| DOOR HANDLE | | ADA COMPLIANT | LEVER HANDLE |
| DOOR COMMERCIAL DOOR CLOSER | | ADA COMPLIANT | |

NOTE: PROVIDE MANUFACTURERS AS LISTED ABOVE OR EQUAL

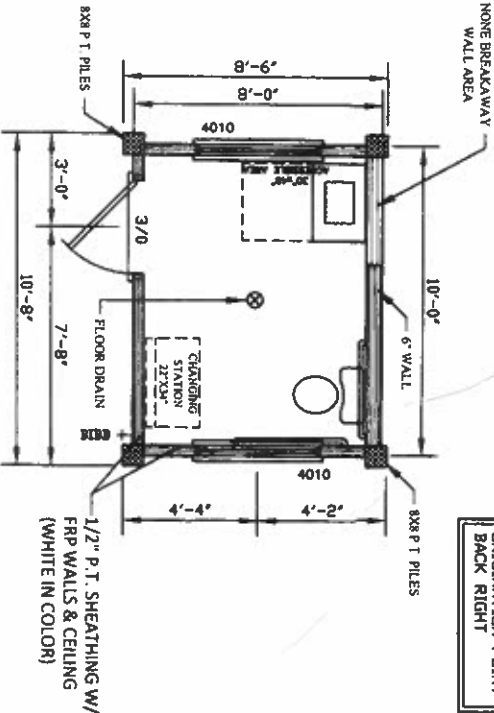
NOTE: ALL STAIRS, RAILING & HANDRAILS SHALL COMPLY WITH STATE & LOCAL CODE.

NOTE: ATTIC VENTILATION PER LOCAL CODES AND REQUIREMENTS.



ROOF PLAN
SCALE: 1/4" = 1'-0"

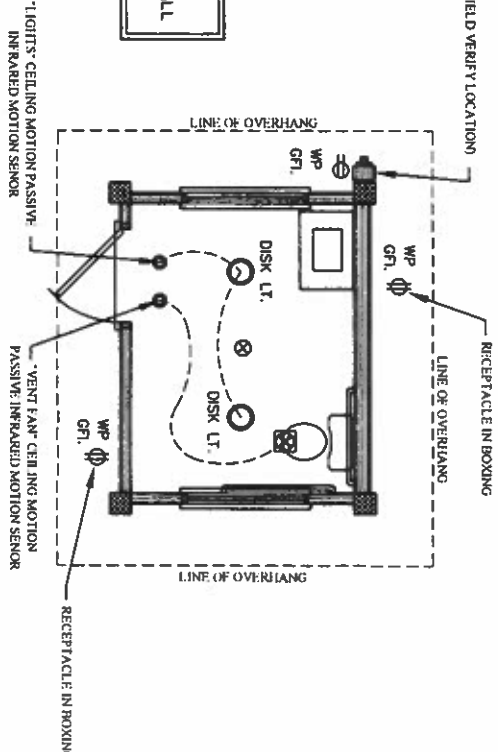
- GENERAL NOTE:**
- ALL FLOORING AND WALL FRAMING TO BE P.T.
 - ALL WALL SHEATHING (INSIDE & OUTSIDE) TO BE P.T.
 - ALL NAILS & SCREWS ARE TO BE 316 SS
 - ALL BOLTS ARE TO BE HOT DIPPED GALVANIZED
 - ALL FINISHED WALLS & CEILINGS ARE TO BE FINISHED WITH WHITE FRP (FIBERGLASS REINFORCED PLASTIC)
 - ALL PAINT COLORS TO BE APPROVED BY THE TOWN OF HOLDEN BEACH
- FLOOR FINISHES:**
- SCHLUTER SYSTEM ON ENTIRE FLOOR FOR WATERPROOFING.
 - TILE FLOORING (SELECTED BY THE TOWN OF HOLDEN BEACH)
- ROOFING:**
- ARCHITECTURAL SHINGLES
 - ENTIRE ROOF TO HAVE PEEL & STICK MEMBRANE
 - 3/8 S.S. NAILS
 - ALL VENT BOOTS TO BE LEAD



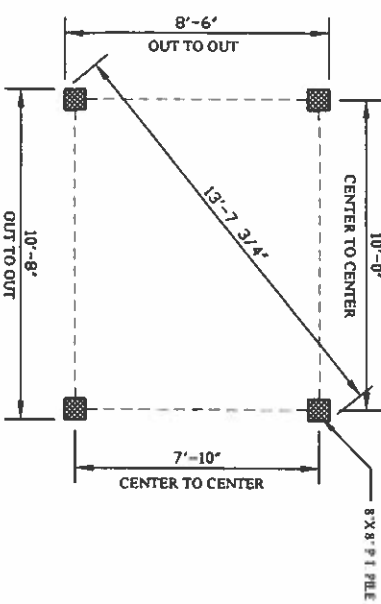
FIRST FLOOR
SCALE: 1/4" = 1'-0"

FLOOR - ELECTRICAL

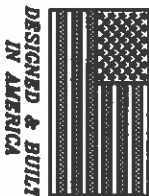
SCALE: 1/4" = 1'-0"



NOTE: HAZARDOUS GLAZING LOCATION SHALL COMPLY WITH STATE & LOCAL CODE.



PILE LOCATION - ENGINEERING
SCALE: 1/4" = 1'-0"



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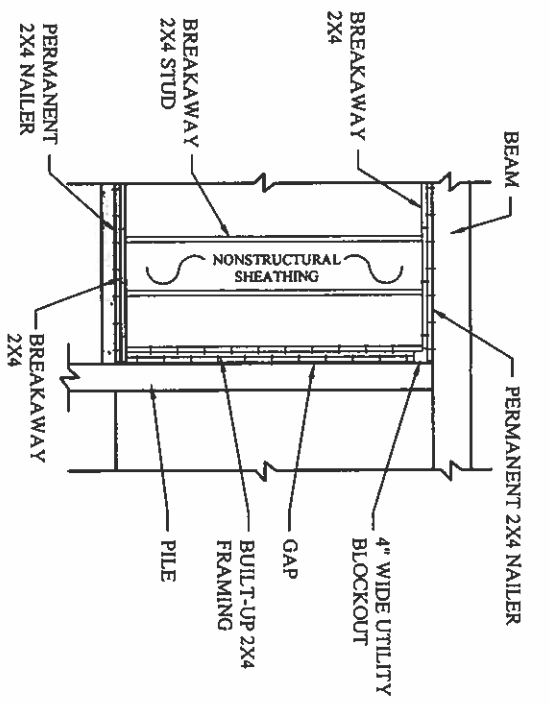
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BEACH ACCESS RESTROOM DESIGN

TOWN OF HOLDEN BEACH
114 OBE BLVD. NORTH CAROLINA

| | |
|----------------------|-------------------------|
| SCALE: AS NOTED | DRAWN BY: DAVID A. WOOD |
| DATE: 9/18/23 | PLAN #: 2023 000 |
| SIZE: 10'-0" X 8'-0" | ELEVATIONS |

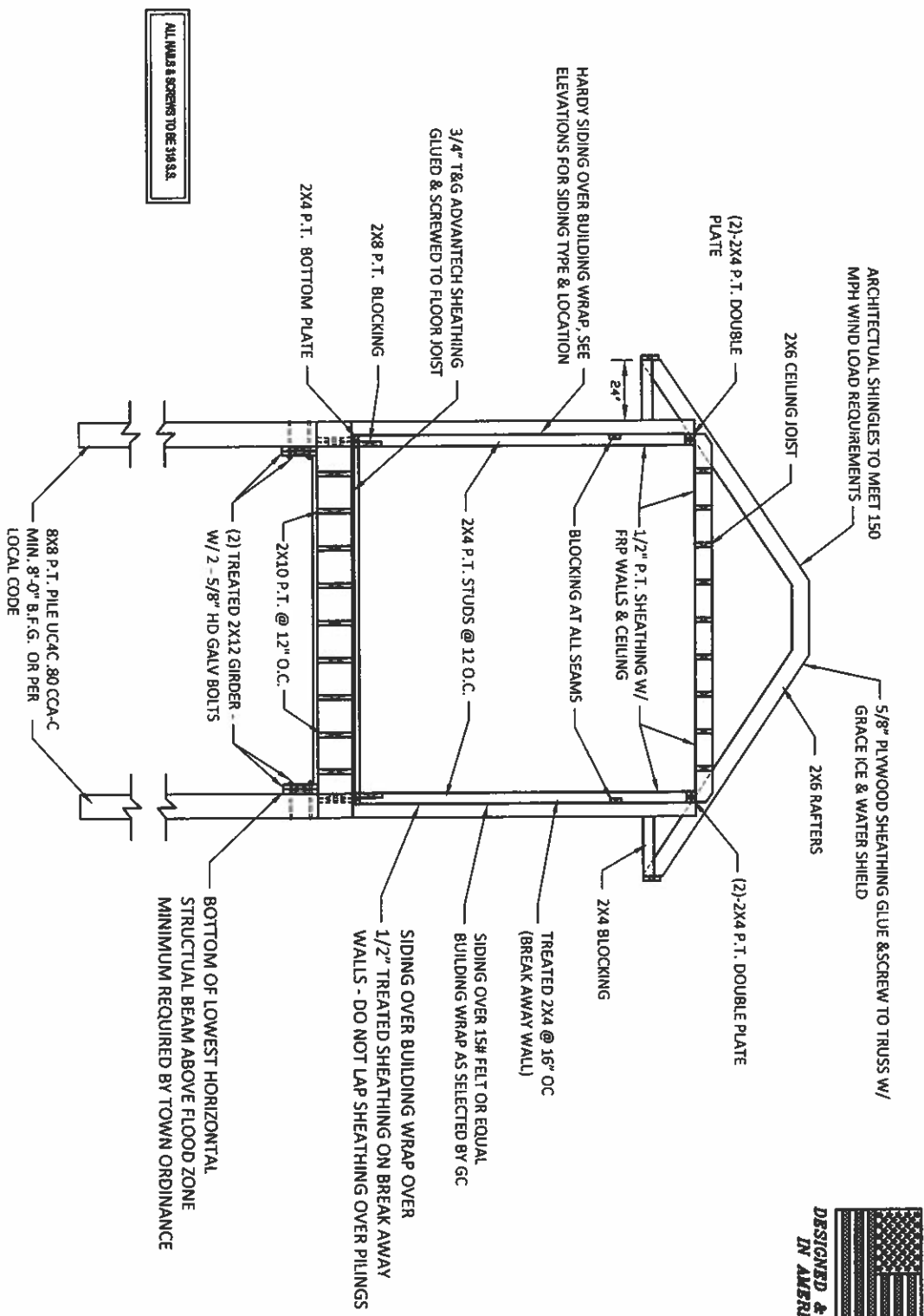
SHEET #
2 OF 3



BREAKAWAY WALL DETAIL

SCALE: = N.T.S.

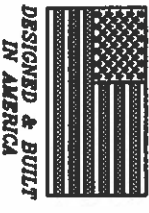
- GENERAL NOTE:**
- ALL FLOORING AND WALL FRAMING TO BE P.T.
 - ALL WALL SHEATHING (INSIDE & OUTSIDE) TO BE P.T.
 - ALL NAILS & SCREWS ARE TO BE 316 SS.
 - ALL BOLTS ARE TO BE HOT DIPPED GALVANIZED
 - ALL FINISHED WALLS & CEILINGS ARE TO BE FINISHED WITH "WHITE" FRP (FIBERGLASS REINFORCED PLASTIC)
 - ALL PAINT COLORS TO BE APPROVED BY THE TOWN OF HOLDEN BEACH
- FLOOR FINISHES:**
- SCHLUTER SYSTEM ON ENTIRE FLOOR FOR WATERPROOFING.
 - TILE FLOORING (SELECTED BY THE TOWN OF HOLDEN BEACH)
- ROOFING:**
- ARCHITECTURAL SHINGLES
 - ENTIRE ROOF TO HAVE PEEEL & STICK MEMBRANE
 - 316 S.S. NAILS
 - ALL VENT BOOTS TO BE LEAD



TYPICAL WALL SECTION

SCALE: = N.T.S.

ALL WALLS & SCREWS TO BE 316 SS.



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SHEET #
3 OF 3

TOWN OF HOLDEN BEACH
114 OBE BLVD. NORTH CAROLINA

| | |
|----------------------|-------------------------|
| SCALE: AS NOTED | DRAWN BY: DAVID A. WOOD |
| DATE: 9/18/23 | PLAN #: 2023 000 |
| SIZE: 10'-0" X 8'-0" | FIRST FLOOR PLAN |

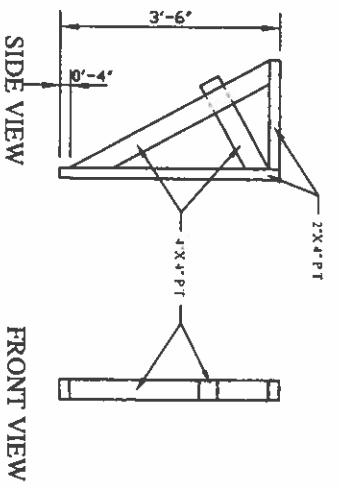
BEACH ACCESS RESTROOM TWIN DESIGN

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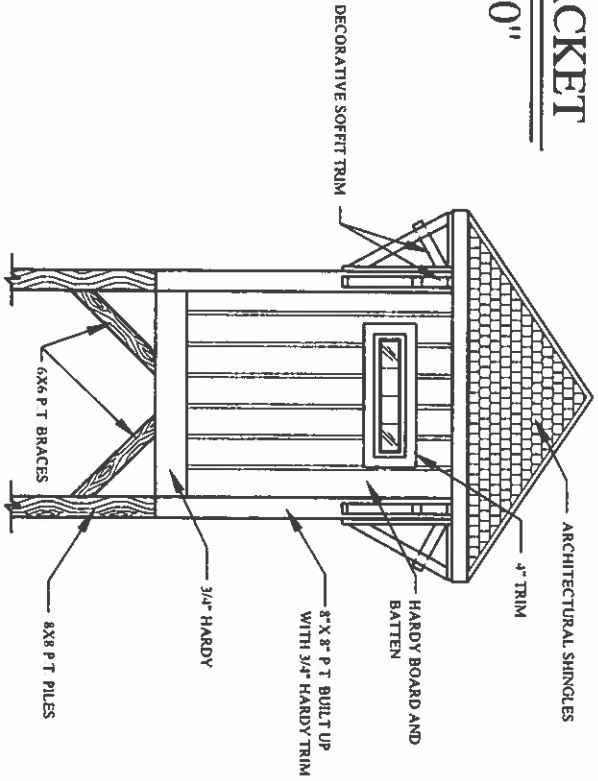
DAVID A. WOOD INC. HOME DESIGNS

MONROE, NORTH CAROLINA
704-363-2587
WWW.DavidWoodHomeDesigns.COM



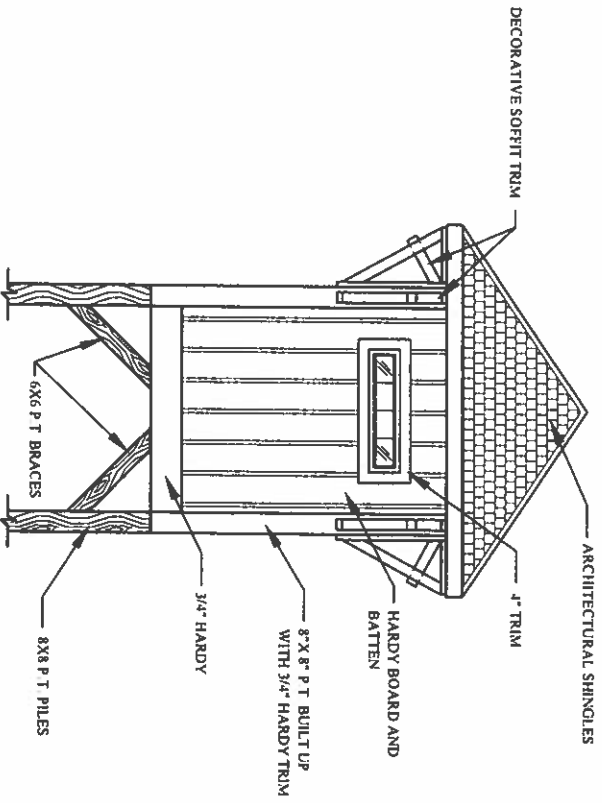
DECORATIVE BRACKET

SCALE: 1/4" = 1'-0"



RIGHT SIDE ELEVATION

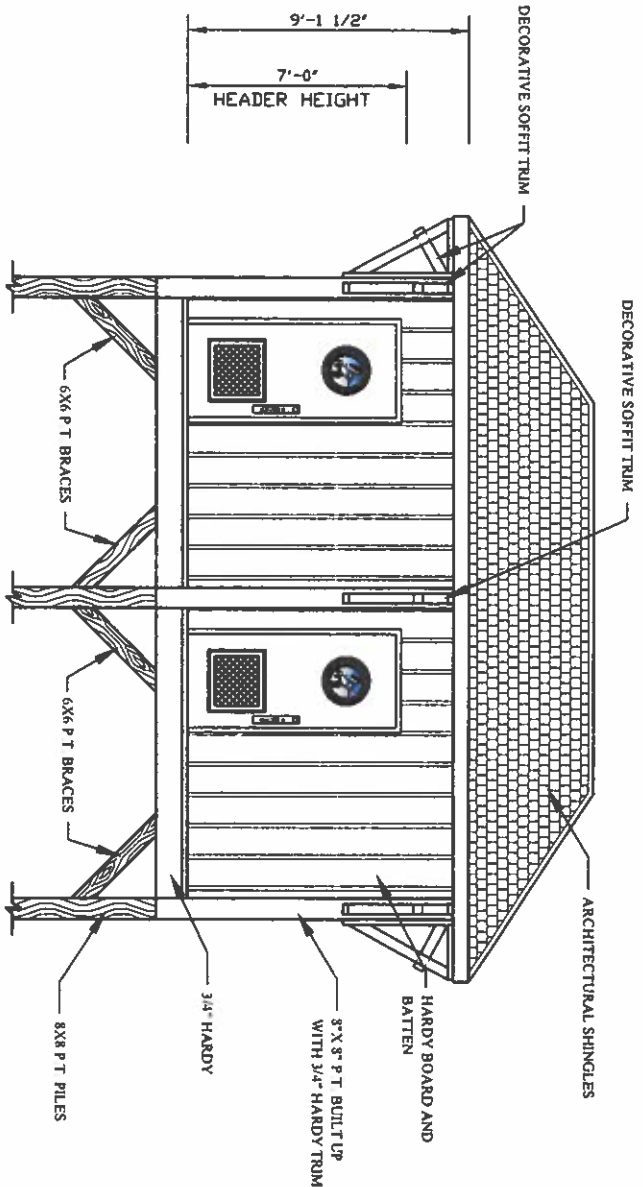
SCALE: 1/4" = 1'-0"



LEFT SIDE ELEVATION

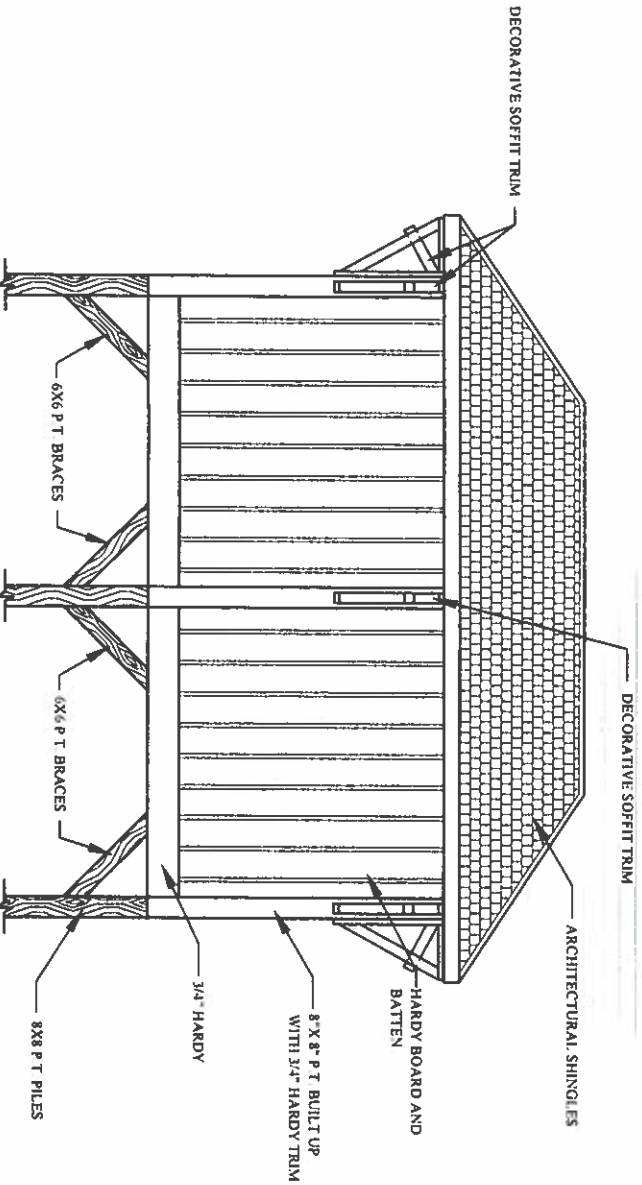
SCALE: 1/4" = 1'-0"

Attachment 2b



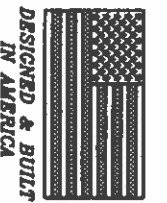
FRONT ELEVATION

SCALE: 1/4" = 1'-0"



REAR ELEVATION

SCALE: 1/4" = 1'-0"



NOTE: 11 X 17 COPIES ARE NOT TO SCALE.

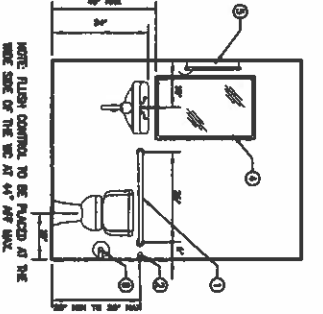
TOWN OF HOLDEN BEACH
114 OBE BLVD, NORTH CAROLINA
SCALE: AS NOTED DRAWN BY: DAVID A. WOOD
DATE: 9/18/23 PLAN #: 2023 000
SIZE: 10'-0" X 8'-0" ELEVATIONS

BEACH ACCESS RESTROOM TWIN DESIGN

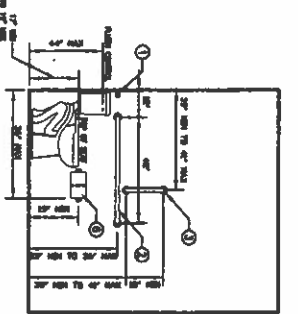
Designer Liability Limits
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David A Wood, inc. is not liable for any human error or for any change made to the plan. David A Wood, inc. accepts no responsibility or liability related to engineering notations, steel and/or beam sizes, foundation engineering, etc. denoted on this plan. Any engineering provided and shown herein is the sole responsibility of the owner/engineer. Local, state and federal building codes take precedence over this plan.



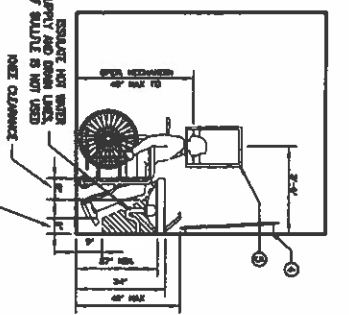
SHEET #
1 OF 3



FRONT VIEW - TYP
SCALE: = N.T.S.



SIDE VIEW - TYP
SCALE: = N.T.S.



SIDE VIEW - TYP
SCALE: = N.T.S.

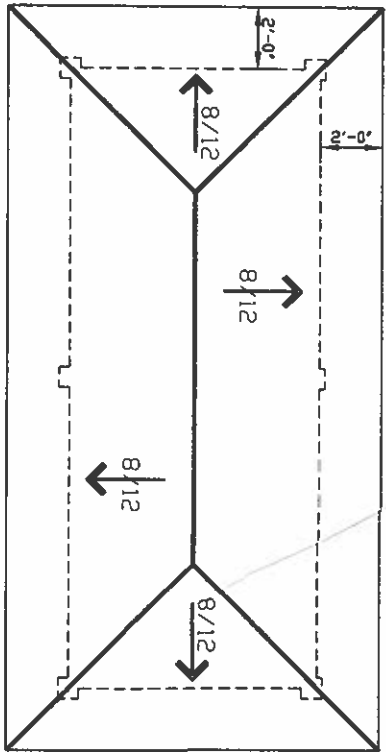
TOILET ACCESSORY SCHEDULE (PER ANSI A117.1)

| ITEM # | ITEM | MOUNTING HEIGHT |
|--------|---|---|
| 1 | 36" LG. GRAB BAR | 33" TO 36" AFF TO C.L. OF BAR |
| 2 | 42" LG. GRAB BAR | 33" TO 36" AFF TO C.L. OF BAR |
| 3 | 18" MIN. - VERTICAL GRAB BAR | SEE DETAIL |
| 4 | 18"x24" MIRROR W/ STAINLESS STEEL FRAME | 40" MAX. AFF TO BOTTOM OF MIRROR |
| 5 | PAPER TOWEL DISPENSER | 48" MAX. AFF TO C.L. OF DISP. MECHANISM |
| 6 | TOILET TISSUE DISPENSER | 19" MIN. AFF TO C.L. OF DISPENSER |

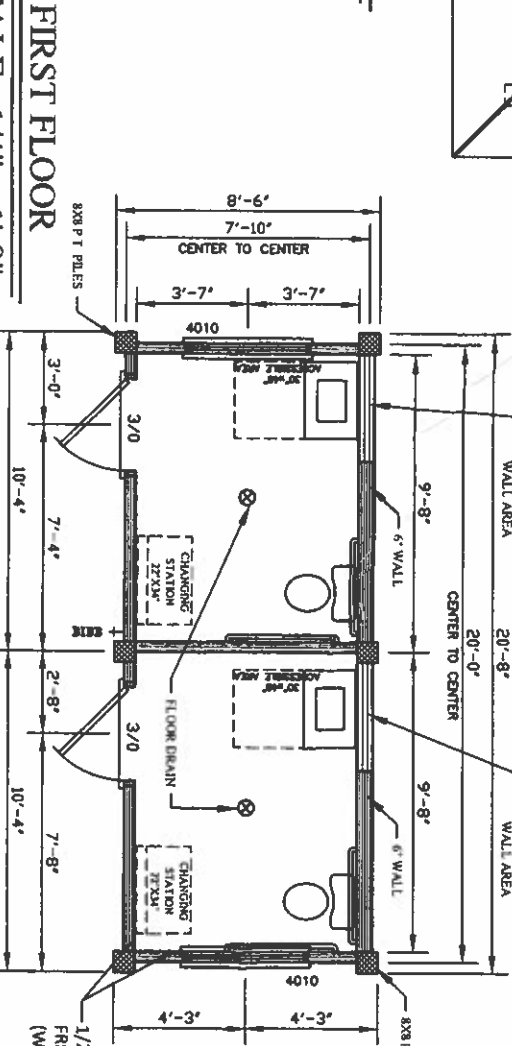
| ITEM # | DESCRIPTION | MAKE | MODEL | COMMENTS |
|--------|---|---------|--------------------------|---|
| 1 | COMMERCIAL SOAP DISPENSER | BOBRICK | B-306 | RECESSED MOUNTED, MANUAL PUSH, STAINLESS STEEL, 400Z |
| 2 | TOILET PAPER HOLDER | BOBRICK | A027BK | 9" DOUBBLE ROLL, TRANSLUCENT BLOCK COVER |
| 3 | RECESSED SEAT COVER DISPENSER | BOBRICK | B-301 | RECESSED MOUNTED - STAINLESS STEEL |
| 4 | PAPER TOWEL DISPENSER & WASTE DISPENSER | BOBRICK | B-384Z | SEMI-RECESSED MOUNTED, STAINLESS STEEL |
| 5 | FRUIT CHANGING STATION | BOBRICK | 781848 | HORIZONTAL STATION |
| 6 | AIRCONE VENTILATION FAN | BOBRICK | BR001N10NE | F10 CFM BATHROOM EXHAUST FAN WITH LED LIGHTED |
| 7 | WALL MOUNTED MIRROR - WALL MOUNTED | BOBRICK | B-185-1824 | 18" X 24" - STAINLESS STEEL CHANNEL FRAME |
| 8 | HOLD OPEN WITH SPRING - WALL MOUNTED | BOBRICK | W0301NE MEDICAL SWU 18.1 | www.eyemaster.com - CABINET COLOR - Oiled Cherry/Countertop - ESTELLA |
| 9 | ELECTRIC HEATED TOWEL RACK | DELTA | DELTA | 20" WIDE, 15" DEEP |
| 10 | ELECTRIC HEATED TOWEL RACK | DELTA | DELTA | ADA COMPLIANT CSA Certified - 24" wide |
| 11 | HOSE BIBB | DELTA | DELTA | NON-FREEZE, ANTI-SIPHON AUTO-DRAINING EXPOSED WALL MOUNT |
| | DOOR | | | WHITE / S S HINGES |
| | DOOR HANDLE | | | LEVER HANDLE |
| | DOOR COMMERCIAL DOOR CLOSER | | | ADA COMPLIANT |

NOTE: PROVIDE MANUFACTURERS AS LISTED ABOVE OR EQUAL.

APPROVED EQUALS:
THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING THE MODEL, WHICH MUST CLOSELY MATCHES THE SPECIFIED PRODUCT. PROVIDE PRODUCTS MADE BY THE MANUFACTURERS LISTED.



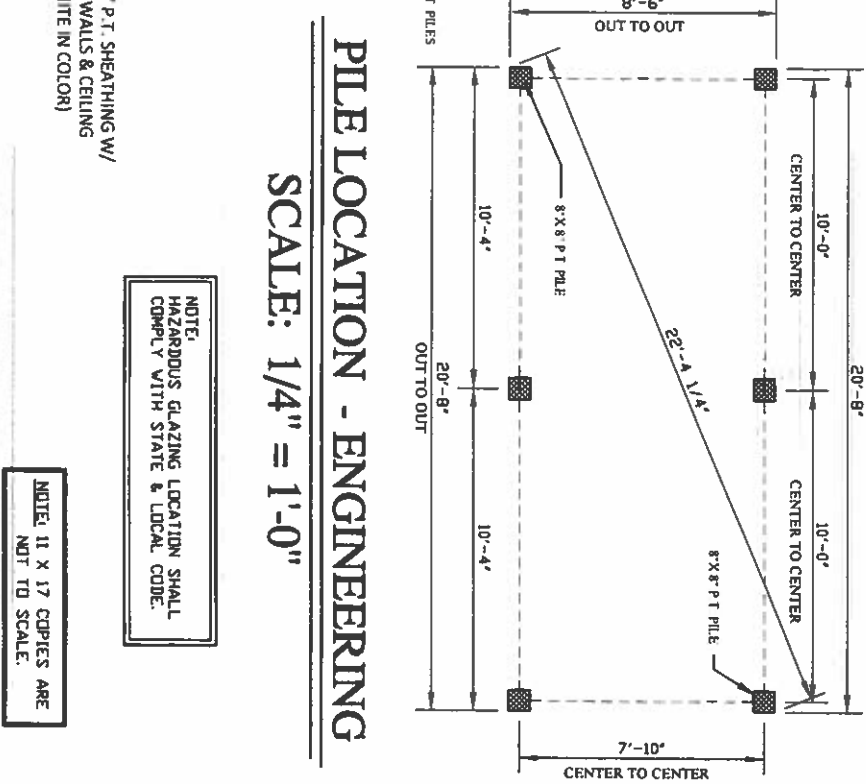
ROOF PLAN
SCALE: 1/4" = 1'-0"



FIRST FLOOR
SCALE: 1/4" = 1'-0"

NOTE: ATTIC VENTILATION PER LOCAL CODES AND REQUIREMENTS.

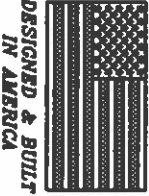
ORIENTATION POINT BACK RIGHT



FLOOR - ELECTRICAL
SCALE: 1/4" = 1'-0"

PILE LOCATION - ENGINEERING
SCALE: 1/4" = 1'-0"

- GENERAL NOTE:**
- ALL FLOORING AND WALL FRAMING TO BE P.T.
 - ALL WALL SHEATHING (INSIDE & OUTSIDE) TO BE P.T.
 - ALL NAILS & SCREWS ARE TO BE 316 SS
 - ALL BOLTS ARE TO BE HOT DIPPED GALVANIZED
 - ALL FINISHED WALLS & CEILINGS ARE TO BE FINISHED WITH WHITE FRP (FIBERGLASS REINFORCED PLASTIC)
 - ALL PAINT COLORS TO BE APPROVED BY THE TOWN OF HOLDEN BEACH
- FLOOR FINISHES:**
- TILE FLOORING (SELECTED BY THE TOWN OF HOLDEN BEACH)
- ROOFING:**
- ARCHITECTURAL SHINGLES
 - ENTIRE ROOF TO HAVE PEEL & STICK MEMBRANE
 - 316 S S NAILS
 - ALL VENT BOOTS TO BE LEAD



| | | | | |
|---------------------------|---|---|--|--|
| <p>SHEET # 2 OF 3</p> | <p>TOWN OF HOLDEN BEACH 114 OBE BLVD. NORTH CAROLINA</p> | <p>BEACH ACCESS RESTROOM TWIN DESIGN</p> | <p>Designer Liability Limits: David A. Wood, Inc. assumes no liability for any home construction from this plan. It is the responsibility of the purchaser of the plan to have the builder/contractor verify all dimensions prior to the beginning of any construction. The contractor must verify compliance with all local building codes. Every attempt has been made in the preparation of this drawing to avoid errors. Any discrepancy, error and/or omission, if found, is to be brought to our attention prior to construction for revision. The owner/contractor agrees to indemnify, save and hold David A. Wood, Inc. its employees, agents and owners from any damage or damages claim made against it in connection with the drawings associated with this project. David A. Wood, Inc. is not liable for any human error or for any change made to the plan. David A. Wood, Inc. accepts no responsibility or liability related to engineering notations, steel end/or beam size, foundation engineering, etc. denoted on this plan. Any engineering provided and shown herein is the sole responsibility of the owner/engineer. Local, state and federal building codes take precedence over this plan.</p> | <p>DAVID WOOD INC. HOME DESIGNS</p> |
| | <p>SCALE: AS NOTED DRAWN BY: DAVID A. WOOD DATE: 9/18/23 PLAN #: 2023 000 SIZE: 10'-0" X 8'-0" ELEVATIONS</p> | | | |