

Hamlet Home Inspections Inc.

Bay Shore, NY 11706

(347) 569-1740

hamlethomeinspections@gmail.com

Inspected By: Wilfred Hamlet



Residential Inspection Report

Prepared For:

Susan Jones

Property Address:

1 Smith Street, Long Island, NY

Inspected on Thu, Oct 21 2021 at 1:31 PM

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Thank you for the opportunity to conduct your residential home inspection of the property listed above. We understand that the function of this report is to assist you in understanding the condition of the property and to assist you in making an informed purchase decision.

The report contains a review of components in the following basic categories: site, exterior, roofing, structure, electrical, HVAC, plumbing, and interior. Additional categories may or may not be included. The report is designed to be easy to read and comprehend however it is important to read the entire report to obtain a full understanding of the scope, limitations and exclusions of the inspection.

In addition to the checklist items of the report there are several comments which are meant to help you further understand certain conditions observed. These are easy to find by looking for their icons along the left side margin. Comments with the blue icon are primarily informational and comments with the orange icon are also displayed on the summary. Please read them all.

DEFINITION OF CONDITION TERMS

Satisfactory: At the time of inspection the component is functional without observed signs of a substantial defect.

Marginal: At the time of inspection the component is functioning but is estimated to be nearing end of useful life. Operational maintenance recommended. Replacement anticipated.

Repair or Replace: At the time of inspection the component does not function as intended or presents a Safety Hazard. Repair or replacement is recommended.

Further Evaluation: The component requires further technical or invasive evaluation by qualified professional tradesman or service technician to determine the nature of any potential defect, the corrective action and any associated cost.

Safety Hazard: At the time of inspection, the component being referenced is something that could cause a person or animal to be severely injured or killed. Immediate action should be taken to remedy the defect and in some cases prior to moving into the structure.

Money: The component(s) being referenced may exceed \$1500.00 to remedy if done by a qualified and licensed contractor.

RESIDENTIAL INSPECTION AGREEMENT

NOTE THIS IS A LEGAL CONTRACT THAT DETAILS THE RIGHTS AND OBLIGATIONS OF THE PARTIES. PLEASE READ ALL PAGES CAREFULLY

SCOPE OF SERVICES PROVIDED

SCOPE OF THE INSPECTION: A home inspection is a noninvasive, visual observation and operation of the accessible systems and components of real property, including buildings and other improvements. Its purpose is a) to identify conditions that, in the professional opinion of the Inspector, are significantly deficient or b) to identify systems and components that are at the end of their service lives.

The Inspection is strictly limited to the examination of readily accessible, installed systems and components of homes by using normal operating controls and opening readily operable access panels, where applicable, of the following components of the Property: structure, foundation, exterior, roof, attic, major mechanical systems (heating, air conditioning, electrical, and plumbing), built-in appliances, and interior (floors, ceilings, walls, windows, and doors). All components will be inspected pursuant to the Standards of Practice set forth for Home Inspectors by the New York State Department of Licensing Services as contained in the Title 19, Section 197-5.1 through 197-5.16. Where multiple instances of the same component exist, a representative number shall be inspected. The observations of conditions are limited to those areas of the home which can be reached, entered, or viewed without difficulty, moving obstructions, or requiring any action which may result in damage to the Property or personal injury to the Inspector. Any additional services outside the list of components in this contract or in those rules must be specifically agreed to in writing between the Inspector and the Client.

The Inspector will prepare and provide the Client with a written report for the sole use and benefit of the Client. The written report shall document any deficiencies discovered in the Property's systems and components. A deficiency is a condition that, in the reasonable judgement of the Inspector, is not functioning properly or is unsafe. In addition, the written report will comment on the normal service life of a

system or component. However, the fact that a system or component is near, at, or beyond the end of its normal service life is not, in itself, a deficiency in the system or component.

Nothing in the report and no opinion of the Inspector should be construed as advice to the Client to purchase, or not to purchase, the Property, or serve as a prediction of future conditions or the value of the Property. Further, any descriptions of deficiencies of the Property should not be interpreted as estimates for the costs of repairs to any system or component of the Property.

CLIENT'S DUTY: The Client understands and accepts that the Inspection and report, in accordance with this Agreement, are intended to reduce, but cannot eliminate, uncertainty regarding the condition of the Property. The Client is responsible for reviewing the permit history and for researching any legal actions or insurance claims involving the Property.

The Client agrees to read the entire written report when it is received and to promptly contact the Inspector with any questions or concerns regarding the Inspection or written report. The written report shall be the exclusive findings of the Inspector. Verbal representations not recorded within the Inspection report are not part of the Inspection.

The Client acknowledges that the Inspector is a generalist and that further investigation of a reported condition by an appropriate specialist may provide additional information on the condition of the Property. Should the Inspector's report reveal any additional conditions that require further investigation or repair, the Client agrees that any further evaluation, inspection, and repair work needs to be provided by competent and qualified professionals who are licensed and/or certified to perform the work.

In the event the Client becomes aware of a reportable condition not contained in the written inspection report, the Client agrees to promptly notify the Inspector and allow the Inspector and/or the Inspector's designated representative(s) to inspect said condition(s) prior to making any repair, alteration, or replacement. If the Client fails to so notify the Inspector and fails to allow an additional inspection, then any costs of such repairs, alterations or replacements will be entirely at the Client's cost

without recourse against the Inspector.

LATENT DEFECTS: The Client agrees that the Inspection is not a technically exhaustive investigation or evaluation of every aspect of the Property. The Client acknowledges and agrees that the Inspection and the written report will not reveal every existing deficiency and future condition affecting the Property. The Inspector is not responsible for the non-discovery of any latent defects of the Property or any problems that may occur or become evident after the date of the Inspection. Latent defects of the Property include, but are not limited to: cracking, leaking, surface dislocations, or landslides resulting from, without limitation to, water leaks, land subsidence, or other geological problems. The Inspector is not responsible for any defects that may manifest themselves in the future, any structural failures that may occur in the future, or damages that result from future repairs.

COMPLIANCE WITH BUILDING CODES: Consistent with the scope of the Inspection, as provided in this Agreement, the Inspector will identify items that may present a health or safety issue. However, the Inspector will not provide an opinion on compliance with any particular building code.

INSURABILITY: The Client understands that the Inspection will not determine the insurability of the Property. Insurance companies have different underwriting criteria, and the Inspector cannot be expected to determine how a particular system or component may affect insurability.

ENVIRONMENTAL AND HEALTH CONDITIONS: The Client agrees that the Inspection is not intended to detect, identify, or disclose any health or environmental conditions regarding the Property, including, but not limited to the presence of: asbestos, radon, lead, or urea-formaldehyde; wood destroying organisms, fungi, molds, mildew, feces, urine, vermin, pests, or any animal or insect; drywall that may have been manufactured with contaminated materials (including carbon disulfide, carbonyl sulfide and hydrogen sulfide), polychlorinated biphenyls (PCBs), or other toxic, reactive, combustible, or corrosive contaminants, materials; or substances in the water, air, soil, or building materials. The Inspector is not liable for injury, health risks, or damage caused or contributed to by these conditions.

If the Client wishes to have an inspection for any specific health or environmental

condition, that must be covered by a separate addendum to this Agreement.

In addition to the above limitations on the scope of services, the Inspection will not include any engineering or architectural analysis. The report will not offer any opinion about the adequacy of the structural systems and components of the Property.

RE-INSPECTION OF COMPONENTS: In the event that the Inspector is asked by the Client to re-inspect a component or condition that has been repaired, the Inspector's scope of re-inspection will be limited to the components or conditions identified. The Inspector will not be responsible for any changed conditions in other components or conditions since the date of the original Inspection. Any re-inspection of repaired components or conditions will not determine if the repair is adequate, proper, or compliant with current building codes. Any re-inspection will only determine if visually identifiable deficiencies still exist.

LIMITATION OF LIABILITY

THE FOLLOWING CLAUSE LIMITS THE LIABILITY OF THE INSPECTOR PLEASE READ CAREFULLY

THE CLIENT AGREES AND UNDERSTANDS THAT THE INSPECTOR IS NOT AN INSURER AND IS NOT WARRANTING OR GUARANTEEING THE ADEQUACY, PERFORMANCE, OR LIFE EXPECTANCY OF ANY STRUCTURE, ITEM, COMPONENT, OR SYSTEM OF THE PROPERTY. THE CLIENT FURTHER AGREES THAT, IF THE INSPECTOR OR ANY OF THE INSPECTOR'S AGENTS, EMPLOYEES, SUBCONTRACTORS, OFFICERS, OR SHAREHOLDERS ARE FOUND LIABLE FOR ANY LOSS OR DAMAGE DUE TO NEGLIGENCE OR THE FAILURE TO PERFORM THE INSPECTOR'S OBLIGATIONS IN THIS AGREEMENT, INCLUDING THE IMPROPER OR NEGLIGENT PERFORMANCE OF THE INSPECTION OR THE IMPROPER OR NEGLIGENT REPORTING OF CONDITIONS OF THE PROPERTY, THE INSPECTOR'S MAXIMUM LIABILITY SHALL BE LIMITED TO TWICE THE AMOUNT OF THE PAID INSPECTION FEE. THIS LIMITATION SHALL NOT APPLY TO ANY DAMAGES SPECIFICALLY ALLOWED BY STATUTE.

THIS LIMITATION OF LIABILITY SPECIFICALLY COVERS LIABILITY FOR: DAMAGED

PROPERTY, LOSS OF USE OF THE PROPERTY, LOST PROFITS, CONSEQUENTIAL DAMAGES, SPECIAL DAMAGES, INCIDENTAL DAMAGES, GOVERNMENTAL FINES AND CHARGES, PUNITIVE DAMAGES, ATTORNEY'S FEES, AND COURT COSTS.

AT THE CLIENT'S OPTION, A COMPREHENSIVE INSPECTION WITHOUT LIMITATION OF LIABILITY IS AVAILABLE. A COMPREHENSIVE INSPECTION INCLUDES A CONTRACTOR, ENGINEER, AND ARCHITECT REVIEWING THE PROPERTY FOR A MINIMUM FEE OF \$2,500 (REQUIRES QUOTE). A COMPREHENSIVE INSPECTION REQUIRES A SEPARATE CONTRACT.

THIS LIMITATION OF LIABILITY SHALL NOT APPLY TO ANY DAMAGES CAUSED BY THE GROSS NEGLIGENCE OF THE INSPECTOR IN THE PERFORMANCE OF THE INSPECTOR'S OBLIGATIONS IN THIS AGREEMENT.

RESOLUTION OF DISPUTES

Any controversy or claim arising out of or relating to this Agreement shall be resolved through Small Claims Court (or similar court of limited monetary jurisdiction) in the jurisdiction applicable to this Agreement. In the event that the amount in dispute exceeds the jurisdiction of the applicable Small Claims Court, the dispute shall be settled by binding arbitration administered by Construction Dispute Resolution Services, or if unavailable, Resolute Systems, before a single arbitrator using its Commercial Arbitration Rules. The arbitrator shall have at least three years of knowledge and experience in the home inspection industry or similar knowledge and experience in construction. Each party agrees to pay its own costs of arbitration.

Any legal action or proceeding shall be brought in the County in which the Property is located.

ENFORCEMENT FEES AND COSTS

Any party failing to follow the RESOLUTION OF DISPUTES process identified above, shall be liable for all fees and costs associated with compelling or enforcing compliance with the RESOLUTION OF DISPUTES process.

TIME TO INITIATE ACTION

Any action regarding or arising from the condition of the Property and the Inspection and/or the written report must be filed and initiated by the Client no later than two (2) years following the date of the Inspection. Otherwise, the claim will be barred. If the matter is in arbitration, the arbitrator will be bound by the terms of this paragraph as a limitation on the arbitrator's ability to render an award in favor of the Client.

NO WARRANTIES OR GUARANTEES

The Inspection and the written report are not intended, nor shall they be used or treated by the Client or anyone else, as a guarantee or warranty expressed or implied, regarding the adequacy, performance, or condition of any aspect of the Property. The Client acknowledges and agrees that the Inspector is not an insurer of any inspected or non-inspected conditions of the Property.

RELIANCE BY THIRD PARTIES

The Client agrees and understands that the Inspection report provided to the Client under this Agreement is solely for the Client's exclusive use in evaluating the physical condition of the property. No representation is made by the Inspector as to the value of the Property.

If anyone other than the Client relies upon the inspection report, that person agrees to be bound by all of the terms and conditions in this Agreement.

ENTIRE AGREEMENT AND SEVERABILITY OF PROVISIONS

This Agreement contains the entire Agreement between the Client and the Inspector. This document supersedes any and all representations, both oral and written, among the parties. This Agreement may be modified, altered, or amended only in writing and having been signed by both the parties. Any provision of this Agreement which proves to be invalid, void, or illegal shall in no way affect, impair, or invalidate any other provision of this Agreement, and all such other provisions shall remain in full force and effect.

You may not assign this Agreement. If there is more than one Client, you are signing on behalf of all of them and you represent that you are authorized to do so for all Clients and/or intended beneficiaries. The provisions of this Agreement will be binding upon any party that takes title to the Property with the Client or claims title to the Property through the Client.

Inspector: Wilfred L. Hamlet, Sr.

State License No.: 16000116629_____

License Expiration Date: 08/22/2023_____

Page 2

I Agree To Contract :

Susan Jones

Property Type:	Single Family
SF:	Two
Approximate Age:	1973
Age Based On:	Sellers Disclosure
Bedrooms/Baths:	3/ 2-1/2
Furnished:	Yes
Occupied:	Yes
Weather:	Sunny
Temperature:	Warm
Soil Condition:	Dry

(General continued)

Utilities On During Inspection:

Electric Service, Gas Service, Water Service



People Present:

Owner

Site

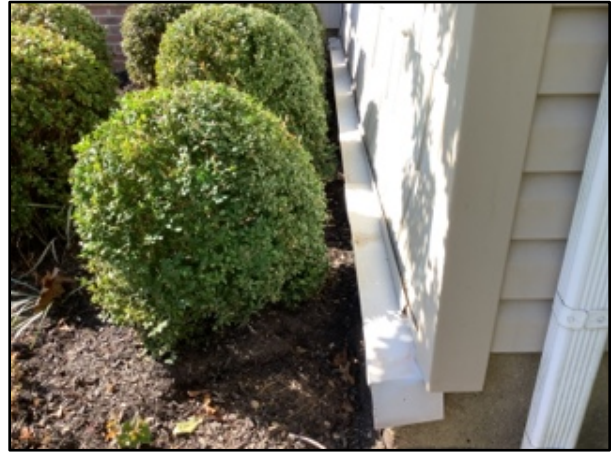
The condition of the vegetation, grading, surface drainage and retaining walls that are likely to adversely affect the building is inspected visually as well as adjacent walkways, patios and driveways.

Site Grading:

Sloped Away From Structure, Sloped Toward Structure
Condition: Repair or Replace

Vegetation:

Not Growing Against Structure, Generally Maintained
Condition: Repair or Replace



Driveway:

Asphalt
Condition: Repair or Replace



(Site continued)



Comment 1:

Asphalt will naturally start to crack over time, seal coat and repair as needed.

Walkways:

Brick, Pavers

Condition: Satisfactory

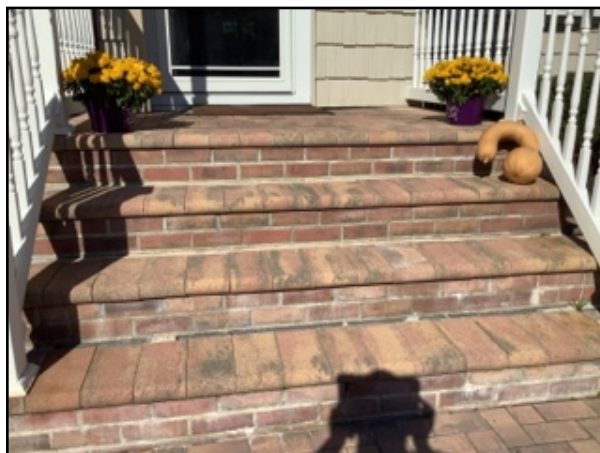


(Site continued)

Steps:

Brick, Pavers

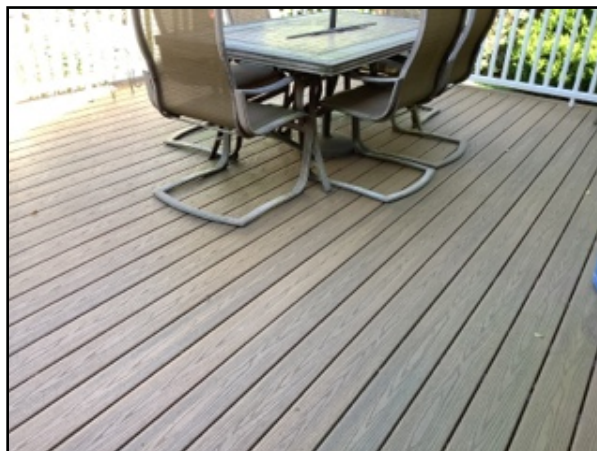
Condition: Satisfactory



Decks:

Composite

Condition: Satisfactory



(Site continued)



Comment 2:

Wooden posts for deck are in contact with soil, they are consisted of treated lumber and should be monitored .

Patios:

Pavers, Brick

Condition: Repair or Replace



Comment 3:

Both patios are not draining well and patio on west side of home has a noticeable dip with accumulated run off from rain. These areas should be graded to prevent further damage



Comment 4:



Figure 4-1



Figure 4-2



Figure 4-3



Comment 5:

Termite stations, no visible activity at time of inspection .
Gutter in front of home missing extension .



Figure 5-1



Figure 5-2



Figure 5-3



Figure 5-4



Figure 5-5



Figure 5-6



Comment 6:

East facing foundation wall showing signs of excessive moisture, splash block drains towards home and the grounds grading is allowing water run towards house in this area.

Where splash block is located there is pooling water in interior in crawlspace .



Figure 6-1



Comment 7:

Area below right post of Front gate has sunk ,water will pool here.



Figure 7-1



Comment 8:

There should be a 2% grade sloped away from home in all directions for a minimum of 10 feet. This is intended to prevent water from collecting alongside and under house

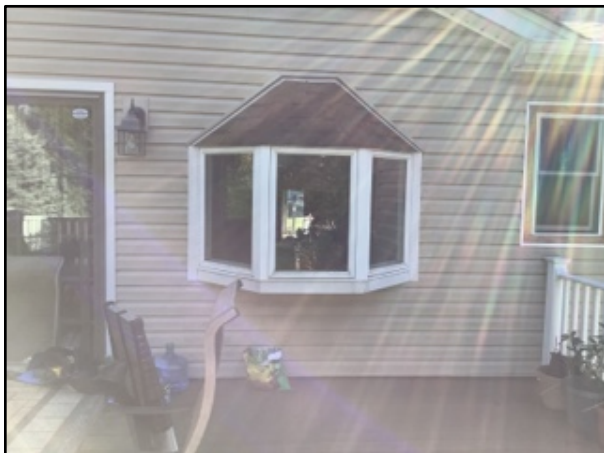
Exterior

The visible condition of exterior coverings, trim and entrances are inspected with respect to their effect on the condition of the building.

Exterior Covering: Vinyl Siding
Condition: Repair or Replace

Exterior Trim Material: Vinyl
Condition: Satisfactory

Windows: Vinyl, Aluminum
Condition: Satisfactory



Entry Doors: Wood, Steel
Condition: Satisfactory



Comment 9:



Figure 9-1



Comment 10:



Figure 10-1



Figure 10-2



Comment 11:
Loose and missing siding on east side of home.



Figure 11-1



Figure 11-2



Comment 12:
There are a few settling cracks noticed , recommend tuck pointing and monitor to see if it continues . This crack at exterior of Home is up to 1/2 inch wide and there are signs of excessive moisture



Figure 12-1



Comment 13:

All points were the whole match the brick should be sealed with a proper caulking.



Figure 13-1



Figure 13-2

Roofing

The visible condition of the roof covering, flashings, skylights, chimneys and roof penetrations are inspected. The purpose of the inspection is to determine general condition, NOT to determine life expectancy.

Inspection Method:	Walked Roof/Arms Length
Roof Design:	Modified Gable
Roof Covering:	Architectural
	Condition: Satisfactory
Approximate Roof Age:	10 Years
Ventilation Present:	Power Ventilator, Ridge Vents
	Condition: Satisfactory



Vent Stacks:	Metal, Plastic
	Condition: Satisfactory

(Roofing continued)



Chimney :

Brick

Condition: Repair or Replace





Comment 14:
Chimney cap cracking, spalling in many places, tuck pointing recommend .

Flashings:

Metal

Condition: Satisfactory

Soffit and Fascia:

Vinyl

Condition: Satisfactory

(Roofing continued)

Gutters & Downspouts:

Metal

Condition: Repair or Replace





Comment 15:

Down spout for gutters are either missing or and draining to close to home. Gutter extensions recommended



Comment 16:

North facing side of skylight roof is raised and there is fungi mold growth indicating excessive moisture retention.



Figure 16-1



Figure 16-2



Figure 16-3



Figure 16-4



Comment 17:

Area of roof accepting a lot of run off, sediment and tile discoloration present, dry at time of inspection, interior should be monitored.



Figure 17-1



Comment 18:

Ridge tile missing, water can get behind and into structure .



Figure 18-1



Comment 19:



Figure 19-1




Figure 19-2

Foundation

The visible condition of the structural components is inspected. The determination of adequacy of structural components is beyond the scope of a home inspection.

Foundation Types:	Basement, Crawl Space
Foundation Material:	Poured Concrete
	Condition: Satisfactory
Signs of Water Penetration:	Efflorescence
	Condition: Satisfactory
Prior Waterproofing:	Not Present
Floor Structure:	Not Inspected
Wall Structure:	Wood Frame
	Condition: Satisfactory

 **Comment 20:**
Portions of the foundation were not inspected. Foundation floor carpeted


 **Comment 21:**



Figure 21-1



Figure 21-2



Comment 22:

Moisture intrusion in crawlspace at point where splash block is sloped towards home.



Figure 22-1

Attic

Attic Entry:	Hallway
Accessible Area:	Full Flooring
Roof Framing Type:	Joist and Rafters
	Condition: Satisfactory
Roof Deck Material:	Plywood, Solid Wood Plank
	Condition: Satisfactory
Vent Risers:	Not Present
Insulation:	Not Present



Comment 23:

Collar ties should be supported by metal brackets.



Figure 23-1



Figure 23-2



Figure 23-3

Electrical

The inspector can not inspect hidden wiring or verify if the number of outlets is per the National Electric Code. A representative number of outlets, switches and fixtures are tested for operation.

Type of Service:	Overhead
Main Disconnect Location:	Service Panel
Service Panel Location:	Basement
Service Panel Manufacturer:	Carouse minds company
	Condition: Repair or Replace
Service Line Material:	Copper
	Condition: Satisfactory
Service Voltage:	120/240
Service Amperage:	100 amps
Service Panel Ground:	Cold Water Pipe
Branch Circuit Wiring:	Non-Metallic Shielded Copper, Stranded Copper
	Condition: Satisfactory
Overcurrent Protection:	Breakers
	Condition: Satisfactory
Smoke Detectors:	Hard Wired
	Condition: Satisfactory



Comment 24:



Figure 24-1



Comment 25:

There is a live wire that has not been capped .

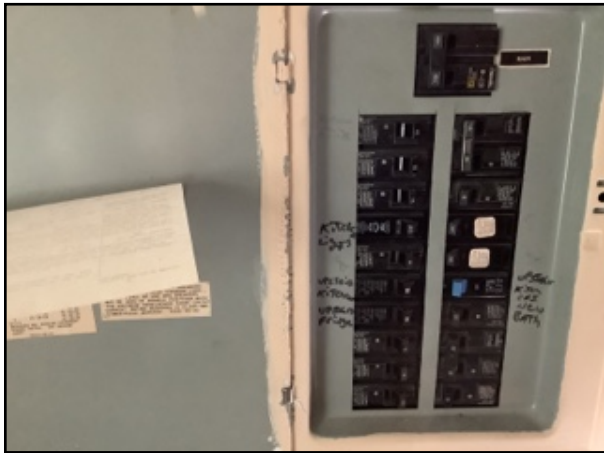


Figure 25-1



Figure 25-2

HVAC

HVAC System Type:

Boiler



Comment 26:



Figure 26-1



Figure 26-2

Heating

The heating system is inspected visually and operated by normal controls to determine general condition NOT life expectancy. The capacity or adequacy of the heating system is beyond the scope of a home inspection. A licensed HVAC contractor should be consulted if in question.

Location:	Hallway
Type of Equipment:	Boiler
	Condition: Satisfactory
Manufacturer:	Vaillant
Heating Fuel:	Gas
	Condition: Satisfactory
Approximate Age:	1983
Type of Distribution:	Pipes
	Condition: Satisfactory



Comment 27:
Hallway.



Figure 27-1



Comment 28:



Figure 28-1



Figure 28-2

(Heating continued)



Figure 28-3

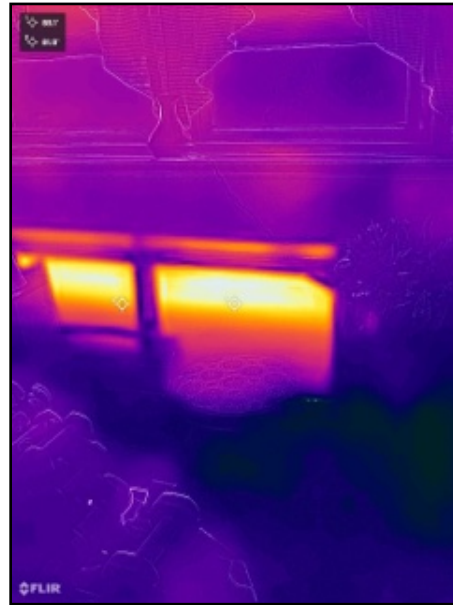


Figure 28-4

Furnaces over 10 years old should be checked, cleaned and serviced yearly by a licensed contractor.

Plumbing

The plumbing system is inspected visually and by operating a representative number of fixtures and drains. Private water and waste systems are beyond the scope of a home inspection.

Water Service:	Public
	Condition: Satisfactory
Supply Pipe Material:	Copper
	Condition: Satisfactory
Location of Main Water Shutoff:	At Meter



Sewer System:	Public
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(Plumbing continued)

Waste Pipe Material:

PVC, Cast Iron

Condition: Satisfactory



Water Heater

Manufacturer:

Ao smith

Fuel:

Natural Gas

Capacity:

40 gal

Approximate Age:

2007

Temp & Pressure Relief Valve:

Present With Blow Off Leg

Condition: Satisfactory



Fuel Disconnect:

In Same Room



Comment 29:



Figure 29-1



Figure 29-2

Bathrooms

Bathroom #1

Location:	Basement
Shower:	Stall Condition: Satisfactory
Sink(s):	Single Vanity Condition: Satisfactory
Toilet:	Standard Tank Condition: Satisfactory
Shower Walls:	Tile Condition: Satisfactory
Floor:	Tile Condition: Satisfactory
Ventilation Type:	Ventilator, Window Condition: Satisfactory



GFCI Protection:	Outlets Condition: Satisfactory
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Comment 30:



Figure 30-1

Bathroom #2

Location:

Back Of Kitchen

Sink(s):

Single Vanity

Condition: Satisfactory

Toilet:

Standard Tank

Condition: Satisfactory

Floor:

Tile

Condition: Satisfactory

Ventilation Type:

Ventilator, Window

Condition: Satisfactory



GFCI Protection:

Outlets
Condition: Satisfactory



Comment 31:



Figure 31-1



Figure 31-2

Bathroom #3

Location:

Upstairs

Shower:

Stall

Condition: Satisfactory

Sink(s):

Single Vanity

Condition: Satisfactory

Toilet:

Standard Tank

Condition: Satisfactory

(Bathroom #3 continued)

Shower Walls:

Tile

Condition: Satisfactory

Floor:

Tile

Condition: Satisfactory



Ventilation Type:

Ventilator

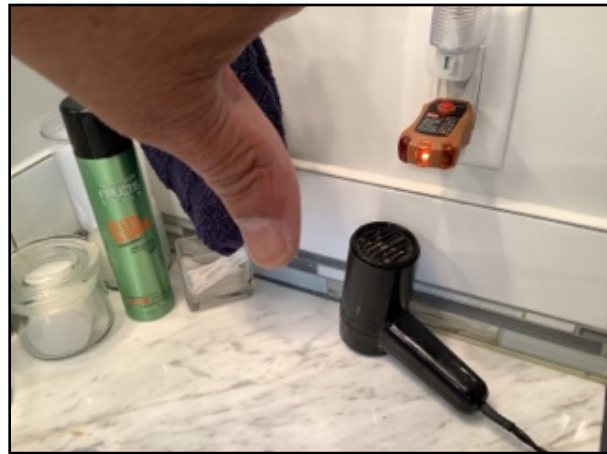
Condition: Satisfactory



GFCI Protection:

Outlets

Condition: Repair or Replace



Comment 32:
Open ground.



Comment 33:



Figure 33-1

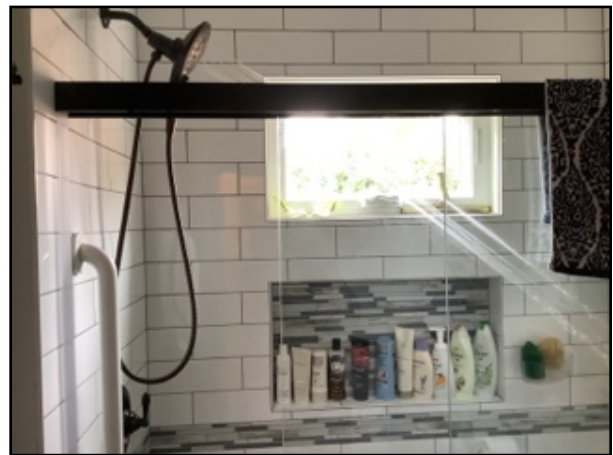


Figure 33-2



Figure 33-3



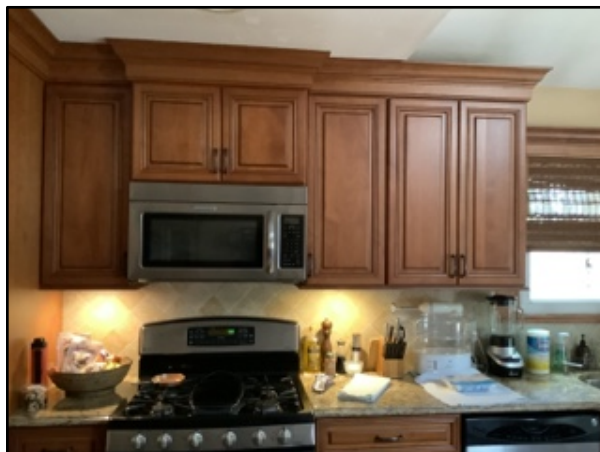
Figure 33-4

Kitchen

Cabinets:

Wood

Condition: Satisfactory



Countertops:

Granite

Condition: Satisfactory

Sink:

Single

Condition: Satisfactory



Comment 34:



Figure 34-1

Appliances

This is a cursory check only of the specified appliances. The accuracy or operation of timers, temperature or power level controls is beyond the scope of this inspection.

Oven:

General Electric

Condition: Satisfactory

Refrigerator:

Kitchen Aid

Condition: Satisfactory



(Appliances continued)

Dishwasher:

General Electric
Condition: Satisfactory



Microwave:

Kitchen Aid
Condition: Satisfactory



Laundry

Built In Cabinets:

Yes

Condition: Satisfactory

Laundry Sink:

Yes

Condition: Satisfactory



Dryer Venting:

To Exterior

Condition: Satisfactory



GFCI Protection:

Yes

Condition: Satisfactory

Laundry Hook Ups:

Yes

Condition: Satisfactory

(Laundry continued)

Washer:

Maytag
Condition: Satisfactory



(Laundry continued)

Dryer:

Samsung
Condition: Satisfactory



Interior

The interior inspection is limited to readily accessible areas that are not concealed by furnishings or stored items. A representative number of windows and doors.

Floors: Tile, Wood
Condition: Satisfactory

Walls: Drywall
Condition: Satisfactory

Ceilings: Drywall
Condition: Satisfactory



Window Types: Double Hung
Condition: Satisfactory

Window Materials: Wood

Entry Door Types: Sliding
Condition: Satisfactory

Entry Door Materials: Wood, Steel

Interior Door Materials: Wood

Electrical Outlets: GFCI Where Applicable

Fireplace: Masonry, Gas Burning
Condition: Repair or Replace



Comment 35:



Figure 35-1



Comment 36:



Figure 36-1



Figure 36-2

(Interior continued)



Figure 36-3

Disclaimers And Information



Comment 37:

Hamlet Home Inspections provides a visual mold inspection as part of the overall home inspection and will report any substance that appears to be mold from readily accessible areas. The only true way to determine if mold is present is to have a certified mold company/specialist inspect and test for mold. Any mention of mold in this report should be considered a recommendation to inspect and test for mold.

Report Summary

Patios

1) Both patios are not draining well and patio on west side of home has a noticeable dip with accumulated run off from rain. These areas should be graded to prevent further damage

Site

2) Termite stations, no visible activity at time of inspection .
Gutter in front of home missing extension .



Figure 5-1



Figure 5-2



Figure 5-3



Figure 5-4



Figure 5-5



Figure 5-6

3) East facing foundation wall showing signs of excessive moisture, splash block drains towards home and the grounds grading is allowing water run towards house in this area. Where splash block is located there is pooling water in interior in crawlspace .



Figure 6-1

4) Area below right post of Front gate has sunk ,water will pool here.



Figure 7-1

5) There should be a 2% grade sloped away from home in all directions for a minimum of 10 feet. This is intended to prevent water from collecting alongside and under house

Exterior

6) Loose and missing siding on east side of home.



Figure 11-1



Figure 11-2

7) There are a few settling cracks noticed , recommend tuck pointing and monitor to see if it continues . This crack at exterior of Home is up to 1/2 inch wide and there are signs of excessive moisture



Figure 12-1

8) All points were the whole match the brick should be sealed with a proper caulking.



Figure 13-1



Figure 13-2

Chimney

9) Chimney cap cracking, spalling in many places, tuck pointing recommended.

Gutters & Downspouts

10) Down spout for gutters are either missing or and draining to close to home. Gutter extensions recommended

Roofing

11) North facing side of skylight roof is raised and there is fungi mold growth indicating excessive moisture retention.



Figure 16-1



Figure 16-2



Figure 16-3



Figure 16-4

12) Ridge tile missing, water can get behind and into structure .



Figure 18-1

Foundation

13) Portions of the foundation were not inspected. Foundation floor carpeted

14)



Figure 21-1



Figure 21-2

15) Moisture intrusion in crawlspace at point where splash block is sloped towards home.



Figure 22-1

Foundation: Attic

16) Collar ties should be supported by metal brackets.



Figure 23-1



Figure 23-2



Figure 23-3

Electrical

17) There is a live wire that has not been capped .

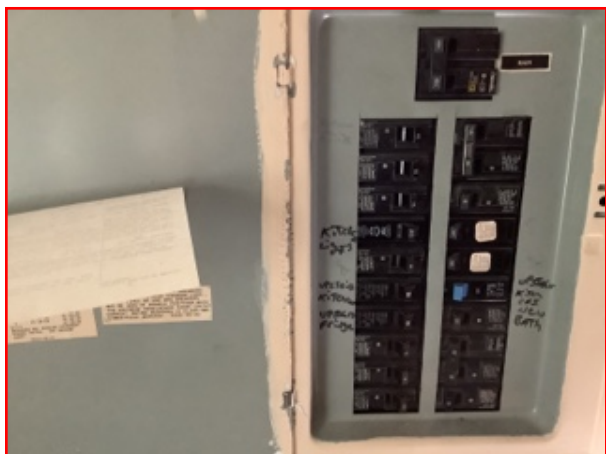


Figure 25-1



Figure 25-2

HVAC

18)



Figure 26-1



Figure 26-2

Plumbing: Water Heater

19)



Figure 29-1



Figure 29-2

Bathrooms: Bathroom #1

20)



Figure 30-1

Bathrooms: Bathroom #2

21)

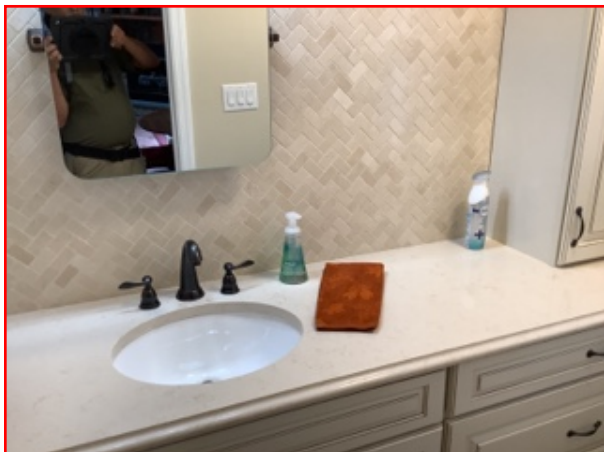


Figure 31-1

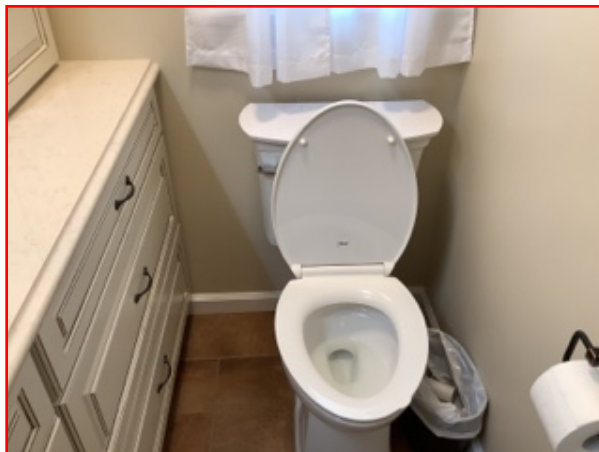


Figure 31-2

GFCI Protection

22) Open ground.

Bathrooms: Bathroom #3

23)

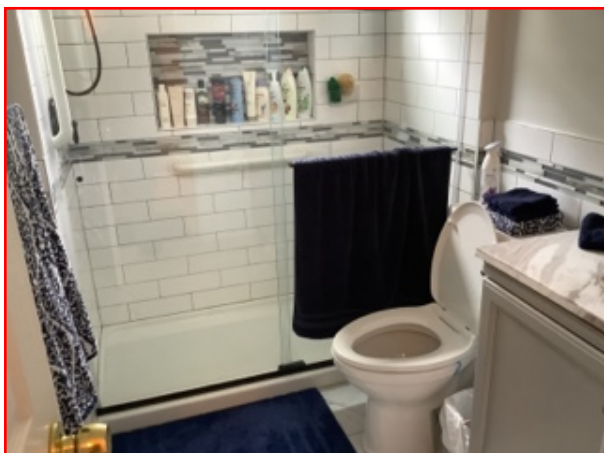


Figure 33-1

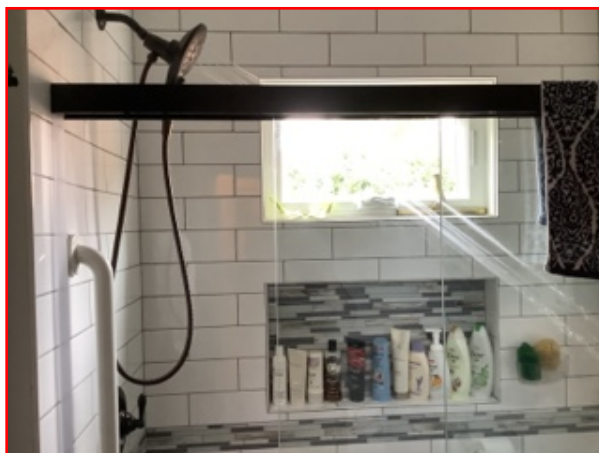


Figure 33-2



Figure 33-3



Figure 33-4

