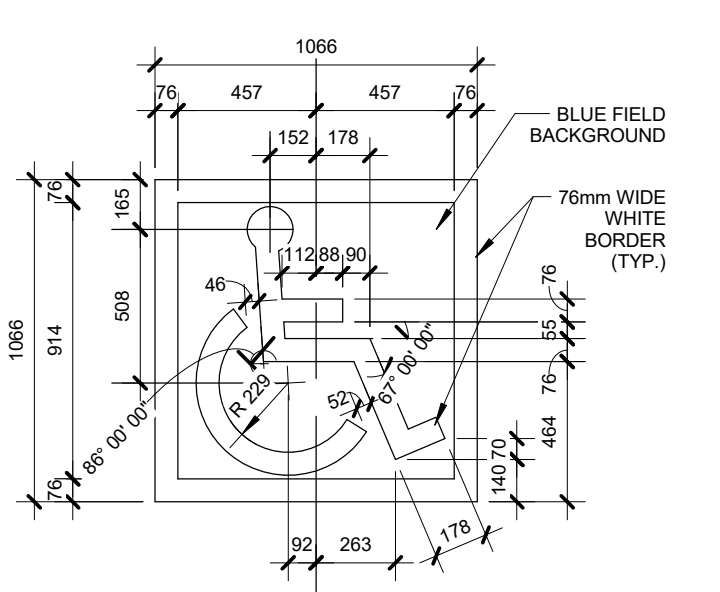
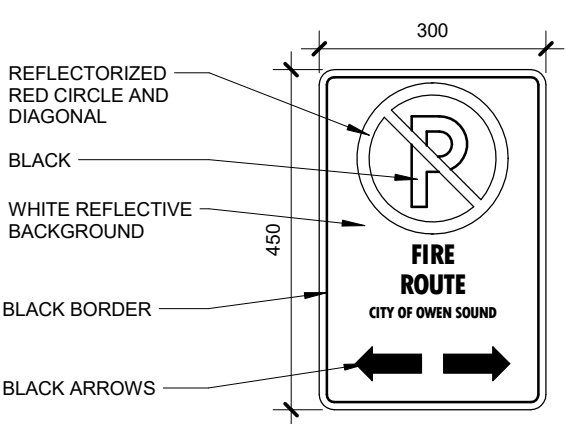


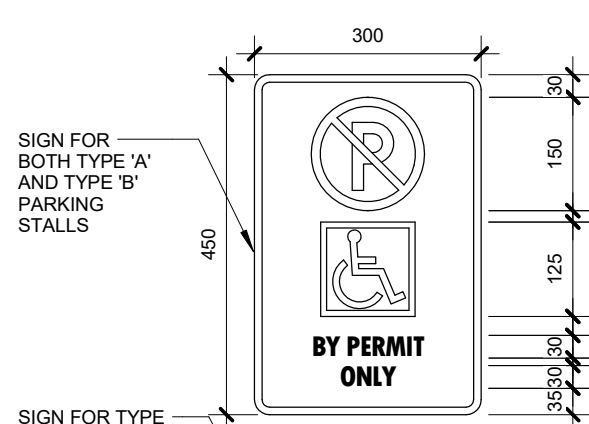
**3 TYP. B.F. PARKING STALL**  
1 : 150



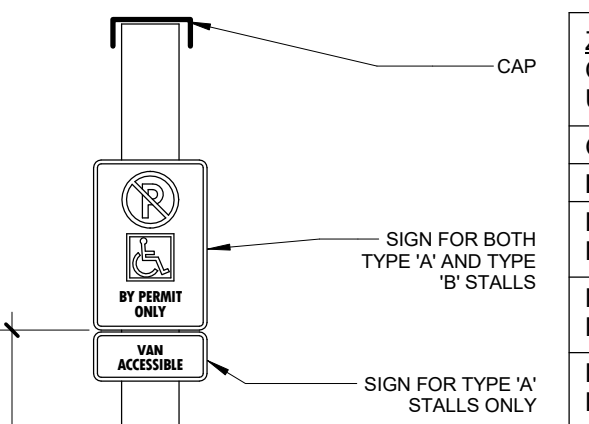
**6 TYP. PAINTED B.F. SYMBOL**  
1 : 25



**1 TYP FIRE ROUTE SIGN**  
1 : 10



**4 TYP. B.F. BOLLARD SIGN**  
1 : 10



**5 TYP. B.F. SIGN MOUNTING**  
1 : 20

**ZONING REQUIREMENTS**  
OWEN SOUND ZONING BY-LAW 2010-078  
UPDATED JUNE 2017 - ZBA #24

**GENERAL RESIDENTIAL (R5) ZONE REGULATIONS**

ITEM	REQUIRED	PROPOSED
MIN. LOT FRONTAGE, APARTMENT	25.0m (82.0ft)	228.0m (750.0ft)
MIN. LOT FRONTAGE, TOWNHOUSE	13.5m (44.3ft)	228.0m (750.0ft)
MIN. LOT AREA, APARTMENT	450m <sup>2</sup>	22253.4m <sup>2</sup> (239533.6ft <sup>2</sup> )
MIN. LOT AREA, TOWNHOUSE	900m <sup>2</sup>	22253.4m <sup>2</sup> (239533.6ft <sup>2</sup> )
MAX. LOT COVERAGE, APARTMENT	40%	34%
MAX. LOT COVERAGE, TOWNHOUSE	40%	34%
MIN. FRONT YARD SETBACK, APRT.	6.5m (21.3ft)	6.5m (21.0ft)
MIN. FRONT YARD SETBACK, TWN.	6.5m (21.3ft)	6.5m (21.0ft)
MIN. REAR YARD SETBACK, APRT.	7.5m (24.6ft)	7.5m (24.6ft)
MIN. REAR YARD SETBACK, TWN.	7.0m (23.0ft)	7.0m (23.0ft)
MIN. INTERIOR SIDE YARD SETBACK APARTMENT	1.2m (3.9ft) 1 SIDE, 4.0m (13.1ft) OTHER	6.9m (22.7ft)
MIN. INTERIOR SIDE YARD SETBACK TOWNHOUSE	1.0m (3.3ft) 1 SIDE, 3.0m (9.8ft) OTHER	3.0m (9.8ft)
MIN. GROSS FLOOR AREA, APRT.	35.0m <sup>2</sup> /UNIT	35.0m <sup>2</sup> /UNIT
MIN. GROSS FLOOR AREA, TWN.	75.0m <sup>2</sup> /UNIT	75.0m <sup>2</sup> /UNIT
MAX. BUILDING HEIGHT, APRT.	12.0m (39.4ft)	12.0m
MAX. BUILDING HEIGHT, TWN.	10.0m (32.8ft)	10.0m
MAX. BUILDING DENSITY, TOWNHOUSE	0.6 FSI	0.6 FSI

**BUILDING INFORMATION**

BUILDING AREAS - TOWNHOUSES	4805m <sup>2</sup>	
BUILDING AREAS - APARTMENT	2204.0m <sup>2</sup>	
GROSS FLOOR AREA - APARTMENTS	8816.0m <sup>2</sup>	
TOTAL SITE AREA	22253.4m <sup>2</sup>	
AREA OF PARKING	4903m <sup>2</sup>	
LANDSCAPE OPEN SPACE	10342.0m <sup>2</sup>	
<b>APARTMENT PARKING</b>	<b>REQUIRED</b>	<b>PROPOSED</b>
1.25 SPACES PER DWELLING UNIT	1.25/UNIT = 75	76
BARRIER FREE SPACES REQ'D	3	3
COVERED PARKING SPACES	60	60
UNCOVERED PARKING SPACES	13	13
<b>TOWNHOUSE PARKING</b>	<b>REQUIRED</b>	<b>PROPOSED</b>
1 SPACE PER DWELLING UNIT	1.0/UNIT = 36	74
<b>PARKING STALL DIMENSION</b>		
WIDTH (EXCEPT WHERE NOTED)	2.65m	2.65m
LENGTH (EXCEPT WHERE NOTED)	6.0m	6.0m
DRIVING AISLE (MINIMUM)	6.0m	6.0m

**PROPOSED UNITS**

<b>DWELLING TOWNHOUSES</b>	36 UNITS
<b>PARKING PROVIDED</b>	2/UNIT
<b>DWELLING APARTMENT</b>	60 UNITS
<b>NUMBER OF STOREYS</b>	4

INFORMATION OBTAINED FROM: PLAN OF SURVEY OF PART OF PARK LOTS 4 AND 5, RANGE 8, E.G.R. CITY OF OWEN SOUND, COUNTY OF GREY, 2001, IVAN DINSMORE LTD. O.L.S.

No.	Description	Date
9	ISSUED FOR BLDG PERMIT	2021.11.12
8	REVISED SITE LAYOUT - UNIT TYPE B	2021.09.28
6	ISSUED SITE PLAN AGREEMENT	2021.05.21
5	ISSUED SITE PLAN APPROVAL	2020.08.17
4	ISSUED CITY PRECONSULTATION	2019.08.16
3	ISSUED CLIENT REV.	2018.09.06
2	ZONING CHART REV.	2018.05.19
1	ISSUE CLIENT APPROVAL	2018.05.16

**PROJECT NORTH**

**NORTH**

**G.M. DIEMERT ARCHITECT INC.**  
SUITE 201  
957 FOURTH AVE EAST  
OWEN SOUND, ONTARIO  
N4K 2W9 (519) 376-1975

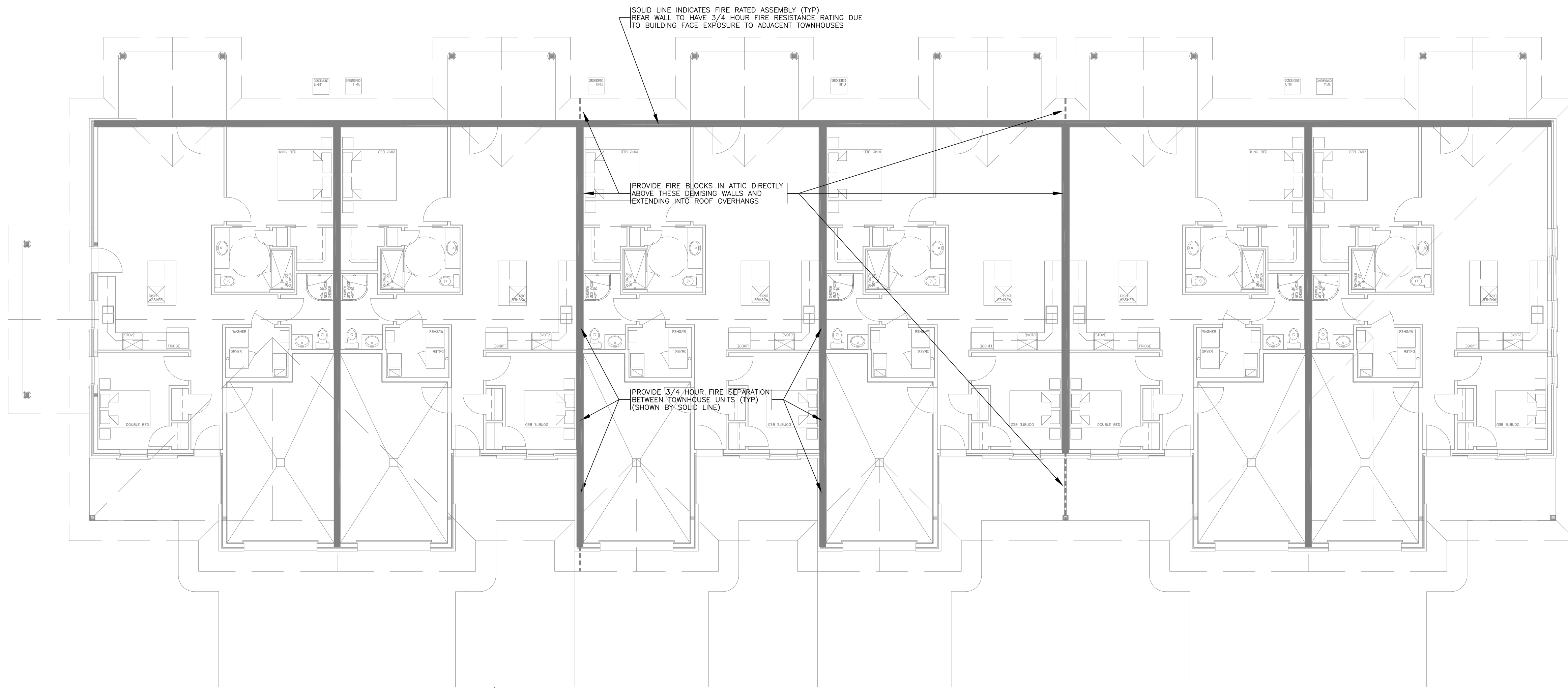
**Hedera**  
ROOTED. RURAL. REFINED.

2261 9th Ave E,  
Owen Sound, ON

**PROPOSED SITE PLAN**

Project No. 1807	Scale 1:300	<b>A0.1</b>
ORIGINAL DRAWING SIZE ANSI D 22X34		





**Ontario Building Code Data Matrix**

PART 3 - FIRE PROTECTION, OCCUPANT SAFETY AND ACCESSIBILITY				OBC REFERENCE (1)
01	PROJECT TYPE	New Construction		[A] 1.1.2.
02	MAJOR OCCUPANCIES	USE		3.1.2.1(1)
		C Residential	Townhouses - "Houses"	
05	BUILDING CLASSIFICATION	3.2.2.47. Group C		3.2.2.20-83.
08	BUILDING AREA (m <sup>2</sup> )	DESCRIPTION	EXISTING NEW TOTAL [A] 1.4.1.2.	
		New 6 House Townhouse	802.00 802.00	
		TOTAL	802.00 802.00	
11	BUILDING HEIGHT	STORIES ABOVE GRADE	1 BELOW GRADE N/A	[A] 1.4.1.2. & 3.2.1.1.
		(m) ABOVE GRADE	6.6	
12	NUMBER OF STREETS/FIRE FIGHTER ACCESS	1		3.2.2.10. & 3.2.5.
13	CONSTRUCTION TYPE	RESTRICTIONS	Combustible Permitted	3.2.2.47.
		ACTUAL	Combustible HEAVY TIMBER No	
14	REQUIRED FIRE RESISTANCE RATINGS	HORIZONTAL ASSEMBLY	RATING (H) SUPPORTING ASSEMBLY (H) IN LIEU OF RATING?	3.2.2.20-83, 3.2.1.4.
		FLOORS	n/a n/a	
		ROOF	None Req'd (3/4 Hr Provided)	
15	SPRINKLER SYSTEM	Not Required		3.2.1.5. & 3.2.2.17.
16	SPATIAL SEPARATION	EXPOSING BUILDING FACE	REQUIRED FR (H) CONSTRUCTION TYPE CLADDING TYPE	3.2.3. E.B.F. MAX. PROP. L.D.(M) (W.F.) OPNGS OPNGS
		Front (South)	None Combustible Permitted Combustible Permitted	11.8 21.6 100 %
		Rear (North)	3/4 hr Combustible Permitted Combustible Permitted	5.0 21.6 70 % 30 %
		Side (East & West)	None Combustible Permitted Combustible Permitted	8.0+ 32.0 100 %
17	STANDPIPE SYSTEM	Not Required		3.2.9.
18	WATER SERVICE/SUPPLY IS ADEQUATE	Yes		
19	OCCUPANT LOAD	FLOOR AREA	OCCUPANCY BASED ON LOAD (PERSONS)	3.1.17.
		Townhouse Unit	Group C No. of sleeping rooms	4
		TOTAL		4
20	FIRE ALARM SYSTEM	Not Required		3.2.4.
22	BARRIER-FREE DESIGN	No Exempt	2 Houses to meet 3.3.4.9.(1) (This Bldg) 6 Houses in Development	3.8. & 3.8.1.1.
23	HAZARDOUS SUBSTANCES	No None Declared by Owner		3.3.1.2. & 3.3.1.19.

25 NOTES 1 ALL REFERENCES ARE TO DIVISION B OF THE OBC UNLESS PRECEDED BY (A) FOR DIVISION A AND (C) FOR DIVISION C

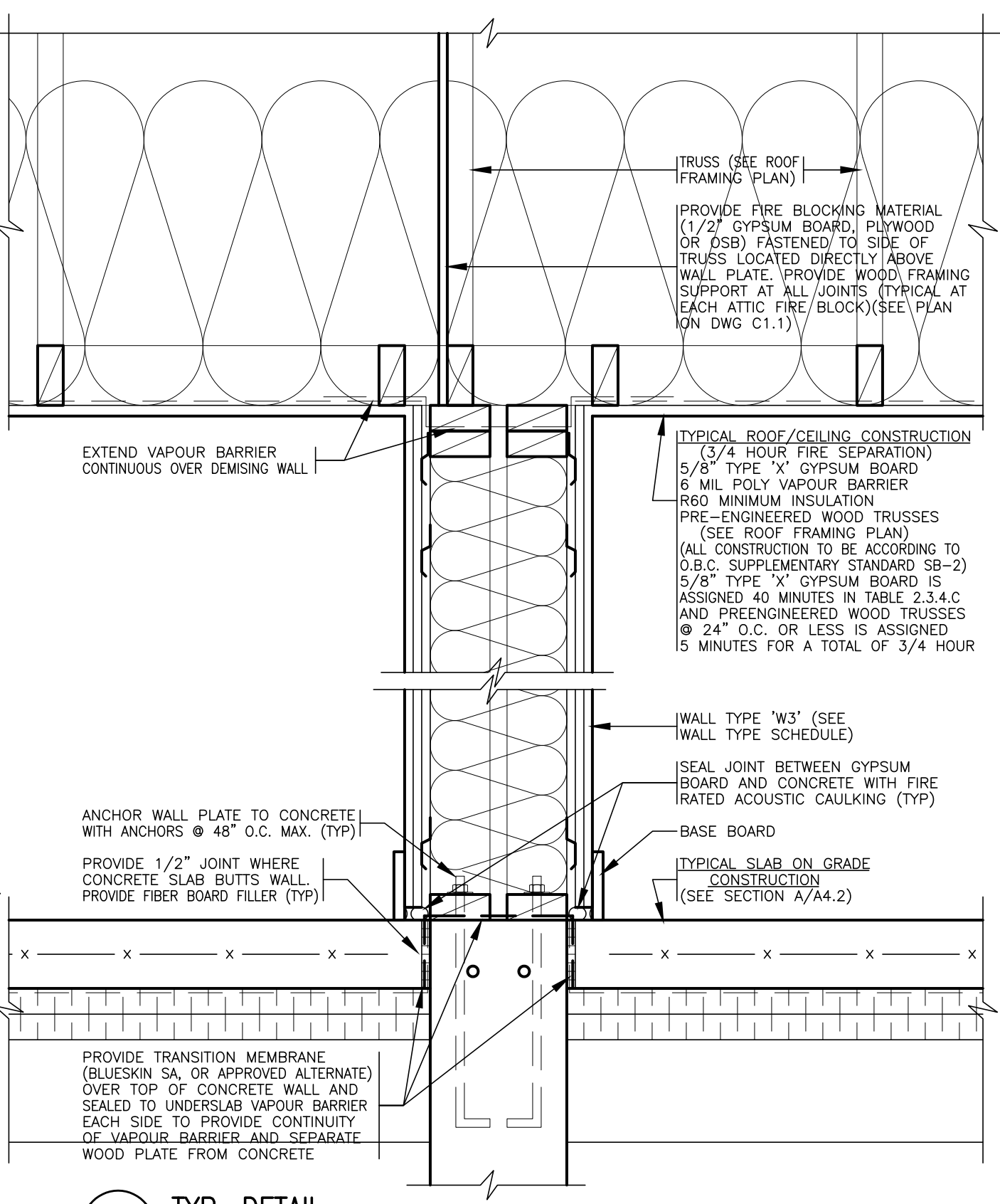
**ONTARIO BUILDING CODE NOTES**

- EACH TOWNHOUSE UNIT IS A HOUSE DEFINED AS "A DETACHED HOUSE, SEMI-DETACHED HOUSE OR ROW HOUSE CONTAINING NOT MORE THAN TWO DWELLING UNITS"
- 3.8.1.1. - BARRIER FREE DESIGN IS NOT REQUIRED FOR "HOUSES"
- ATTIC IS SEPARATED FROM TOWNHOUSE SUITES BELOW WITH 3/4 HOUR FIRE RESISTANCE RATING ON UNDERSIDE OF ROOF ASSEMBLY
- 3.1.11.5 & 3.2.3.16 - FIRE BLOCKS ARE REQUIRED IN ATTIC SPACE SO THAT THE ATTIC IS NOT COMMON TO MORE THAN 2 TOWNHOUSE SUITES. FIRE BLOCKS ARE TO EXTEND INTO EAVES TO SEPARATE THE CONGEALED SPACE IN THEM ALSO

**TABLE SB 5.5-6-2017 (See Appendix A.)**  
 (Supersedes Table 5.5-6 in 2013 ANSI/ASHRAE/IES 90.1)  
**Building Envelope Requirements for Climate Zone 6 (A, B) (I-P)**

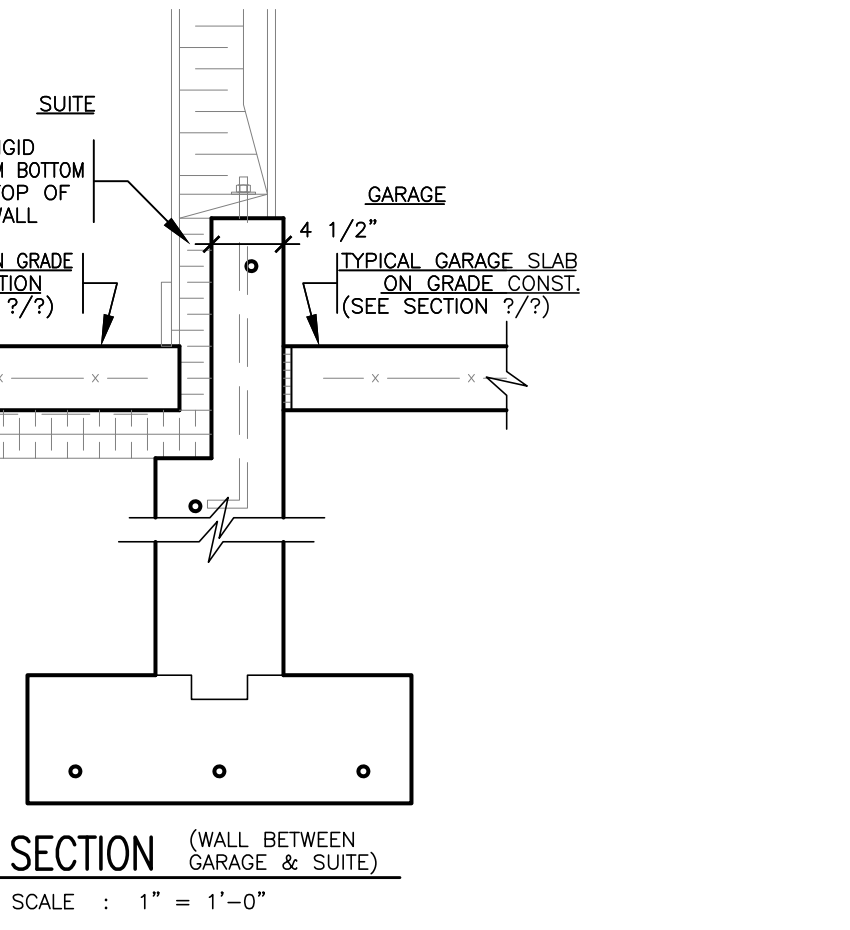
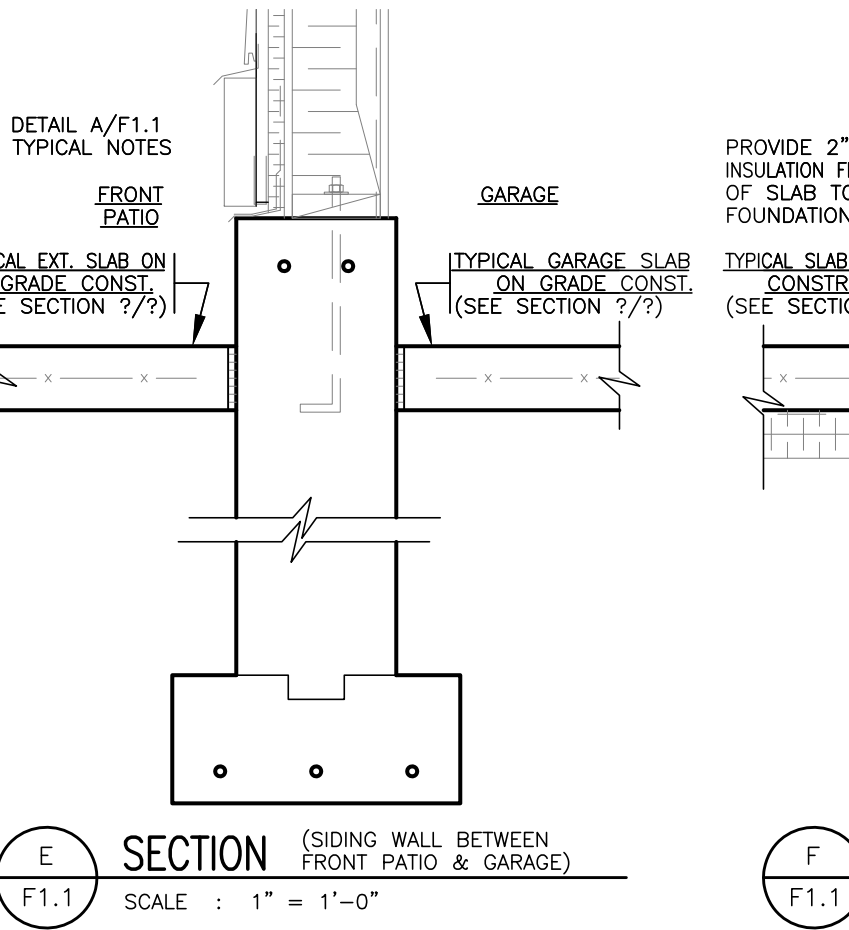
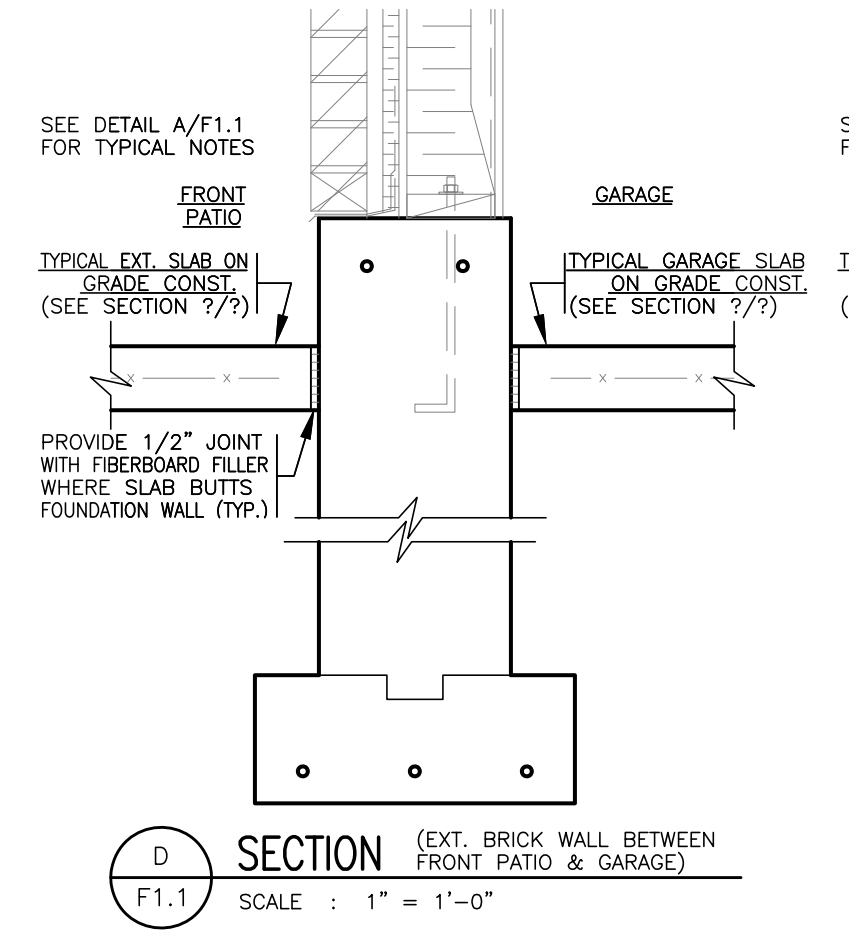
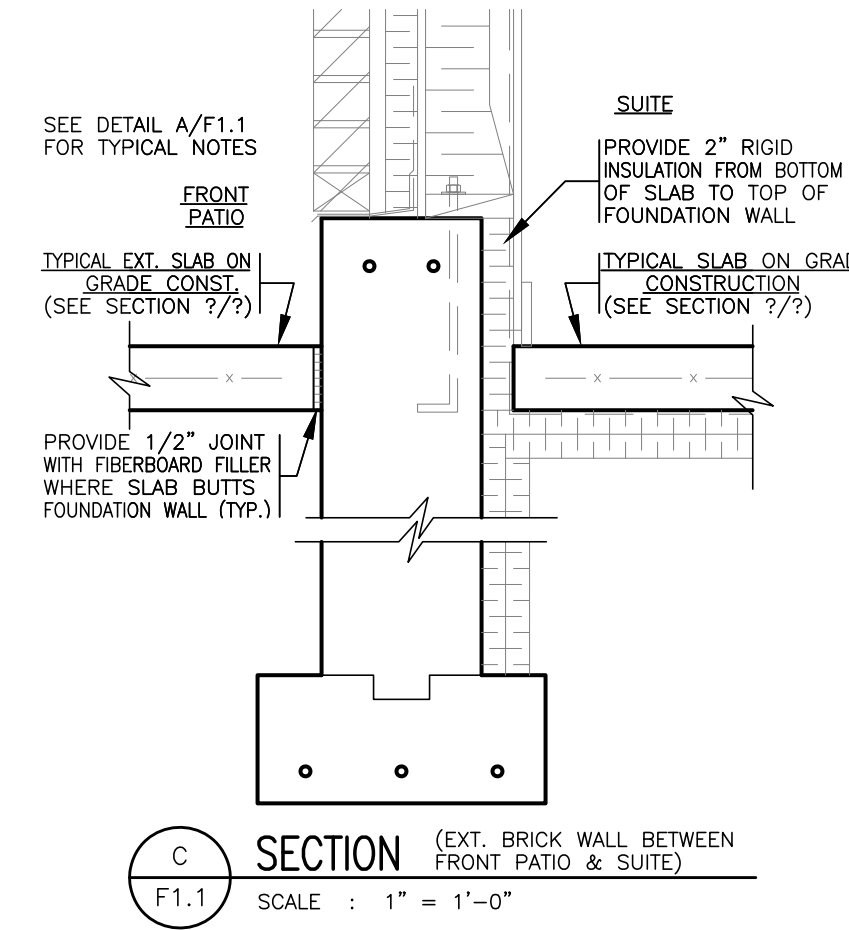
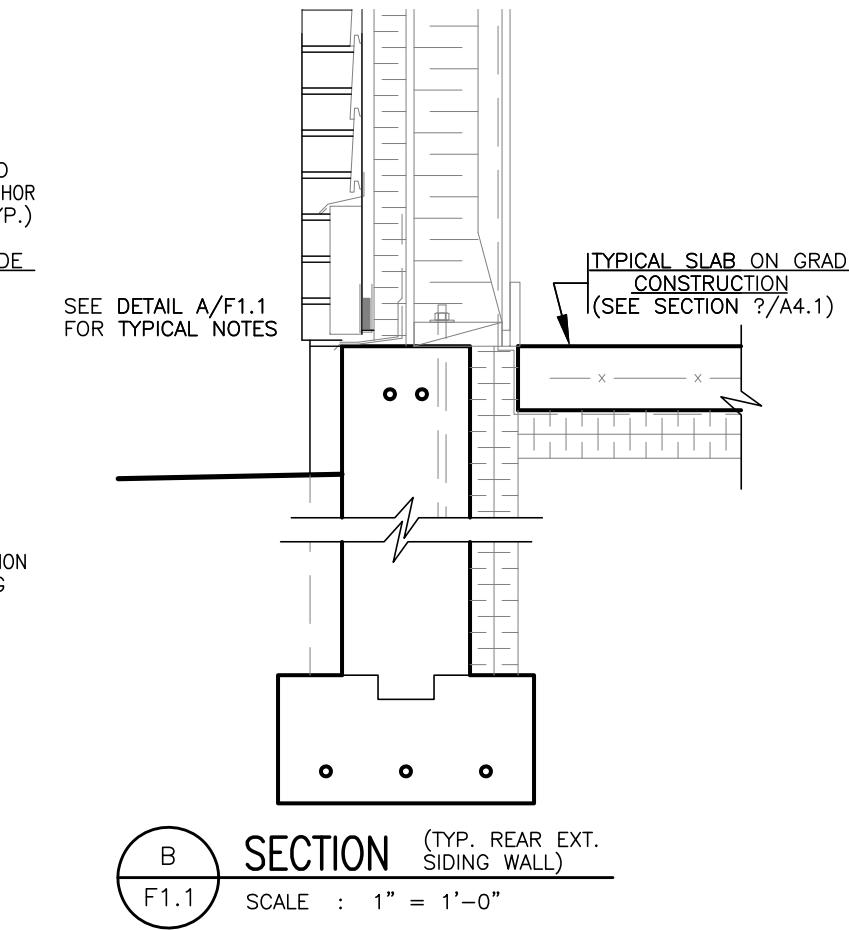
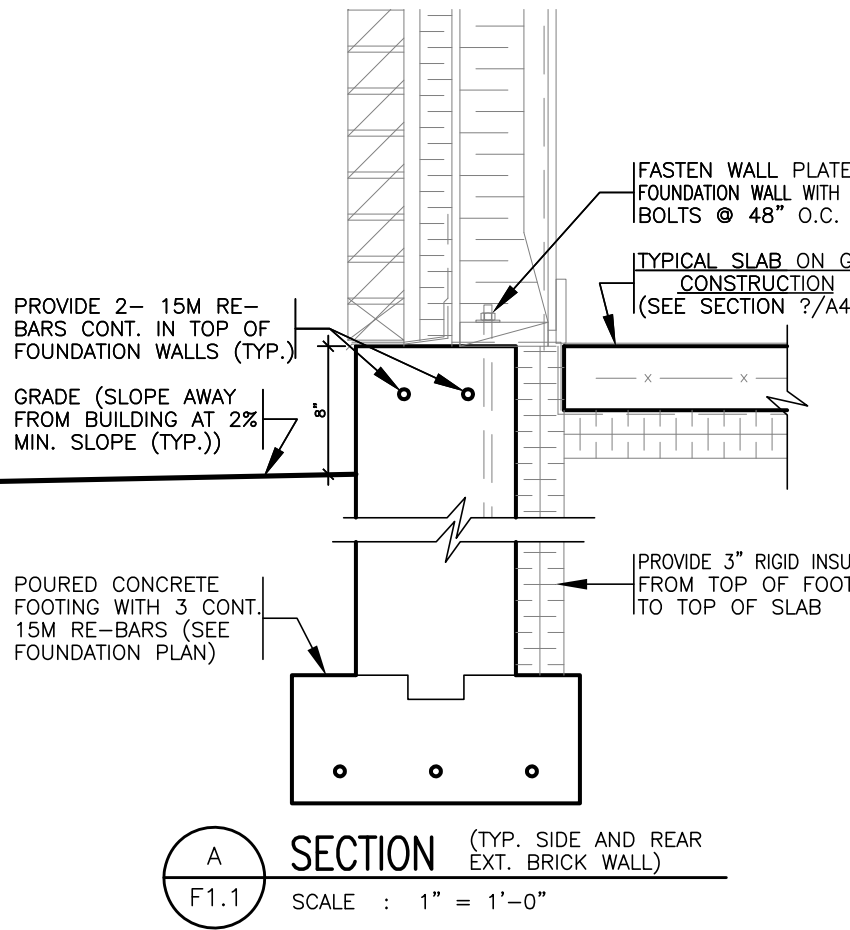
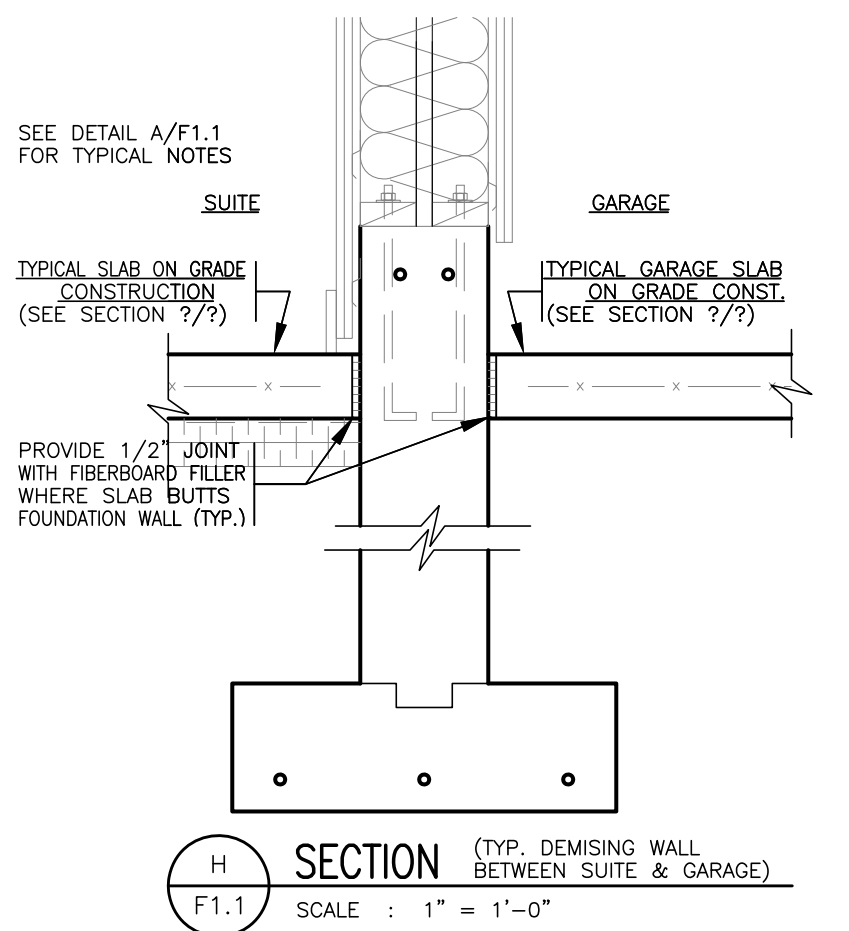
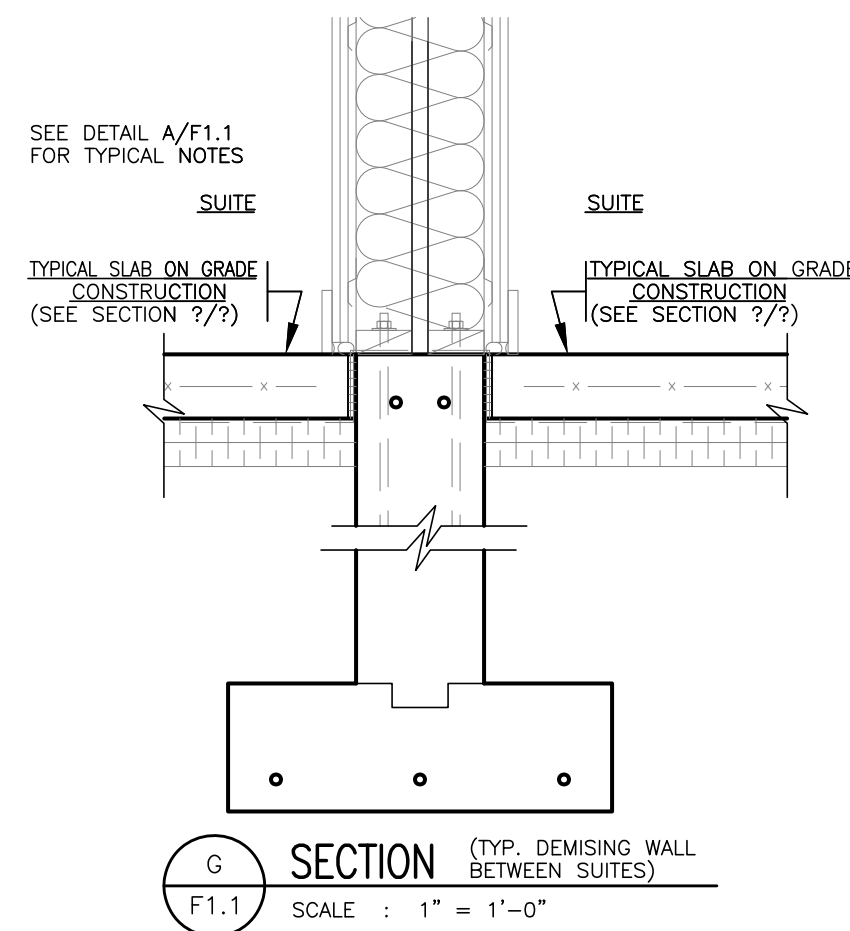
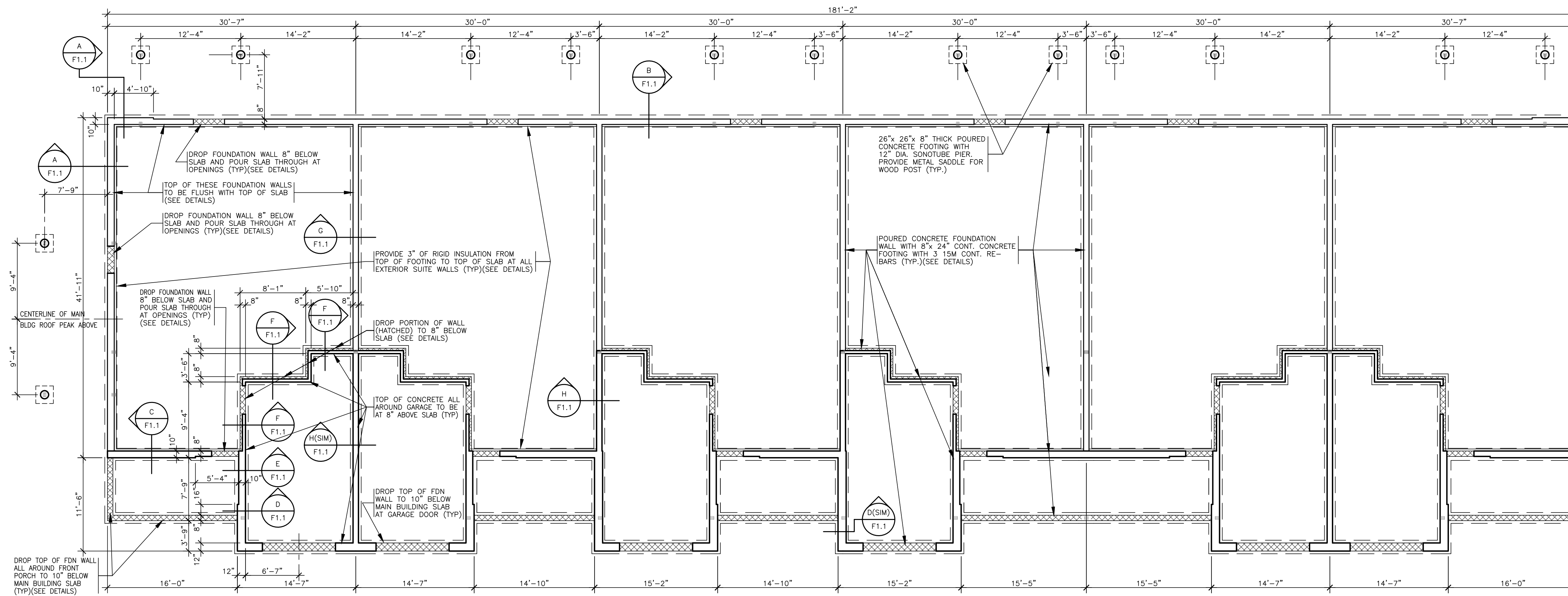
Opaque Elements	Residential		Semiheated	
	Assembly	Insulation	Assembly	Insulation
	Max. U-Value	Min. R-Value	Max. U-Value	Min. R-Value
<b>Roofs</b>				
Insulation Entirely Above Deck	U-0.029	R-36 cl	U-0.057	R-17 cl
Metal Building *	U-0.026	R-25 + R-11 + R-11 Ls	U-0.054	R-19 + R-11 Ls
Attic and Other	U-0.018	R-60	U-0.031	R-38
<b>Walls, Above Grade</b>				
Mass	U-0.048	R-20 cl	U-0.091	R-10 cl
Metal Building	U-0.045	R-13 + R-19 cl	U-0.085	R-13 + R-6.5 cl
Steel Framed	U-0.044	R-13 + R-15 cl	U-0.078	R-13 + R-8 cl
Wood Framed and Other	U-0.048	R-13 + R-10 cl	U-0.080	R-13 + R-1 cl
<b>Wall, Below Grade</b>				
Below Grade Wall	C-0.050	R-20 cl	C-0.119	R-7.5 cl
<b>Floors</b>				
Mass	U-0.048	R-18.7 cl	U-0.078	R-9.7 cl
Steel Joist	U-0.029	R-38 + R-4 cl	U-0.047	R-25
Wood Framed and Other	U-0.024	R-38 + R-3 cl	U-0.048	R-21
<b>Slab-On-Grade Floors</b>				
Unheated	F-0.391	R-10 full slab	F-0.730	NR
Heated	F-0.804	R-10 full slab	F-0.774	R-15 for 48 hr.
<b>Opaque Doors</b>				
Swinging	U-0.45		U-0.63	
Nonswinging	U-0.45		U-0.45	
<b> fenestration</b>				
	Assembly	Assembly	Assembly	Assembly
	Max. U-Value	Max. SHGC	Min. VT/SHGC	Max. U-Value
Vertical Fenestration, 0% - 40% of Wall	U-0.29			U-0.41
Nonmetal Framing: all	U-0.38			U-0.48
Metal Framing: fixed	U-0.45	0.40	1.10	NR
Metal Framing: operable	U-0.81			U-0.53
Metal Framing: entrance door	U-0.81			U-0.89
Skylight, 0% - 3% of Roof	U-0.45	0.40	NR	U-0.77
All types	U-0.45	0.40	NR	NR

The following definitions apply: cl = continuous insulation, Ls = liner system, NR = no (insulation) requirement.  
 \* When using the R-value compliance method for metal building roofs, a thermal spacer block is required.



**TYP. DETAIL (AT "W3" DEMISING WALL)**  
 SCALE : 1 1/2" = 1'-0"

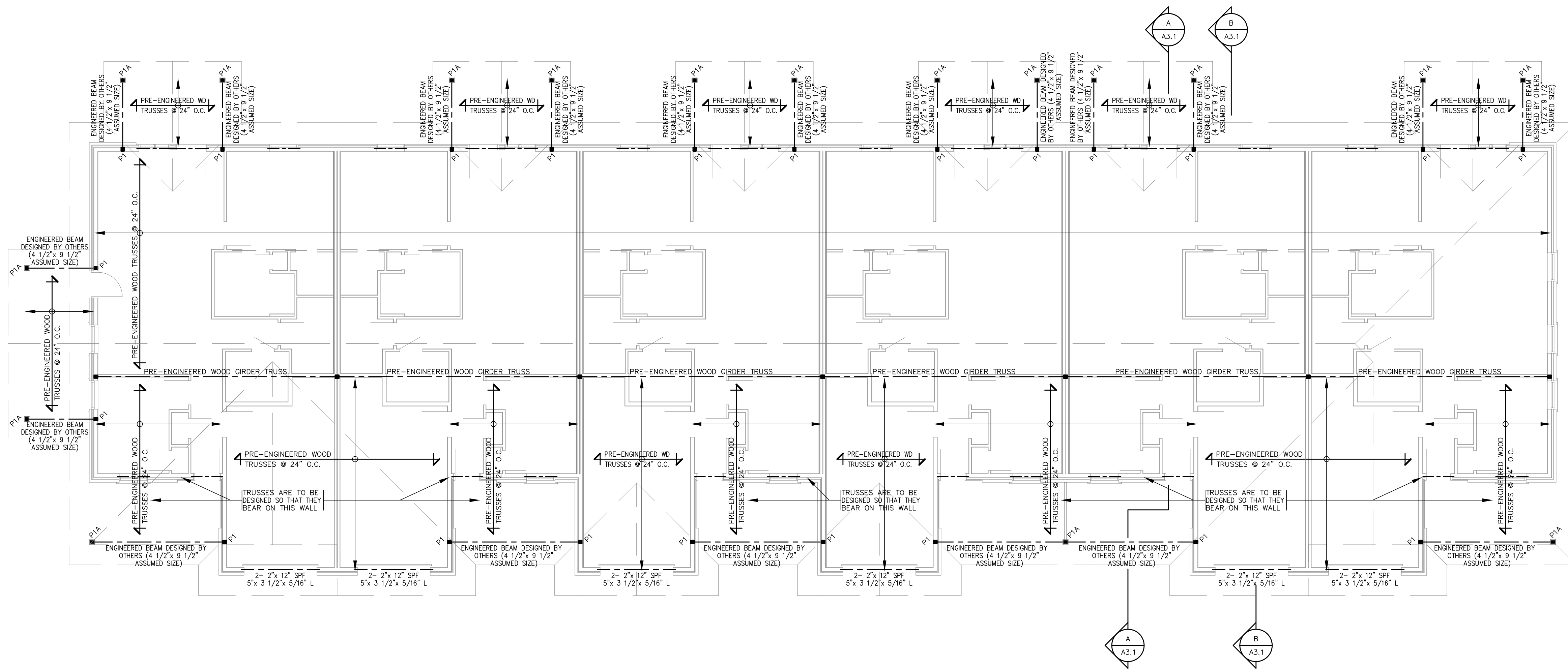
1	ISSUED FOR OWNER REVIEW	2021.11.02
<b>G.M. DIEMERT ARCHITECT INC.</b>		
957 FOURTH AVENUE EAST OWEN SOUND, ONTARIO SUITE #201 N4K 2N9 (519)376-1975		
PROPOSED: <b>6 Unit Townhouse (Bldg B)</b> <b>Hedera</b> ROOTED, RURAL, REFINED. 2261 9th Ave East, Owen Sound, ON		
<b>Fire Separation Plan</b>		
Project No. 1807	Scale: As Noted	<b>C1.1</b>



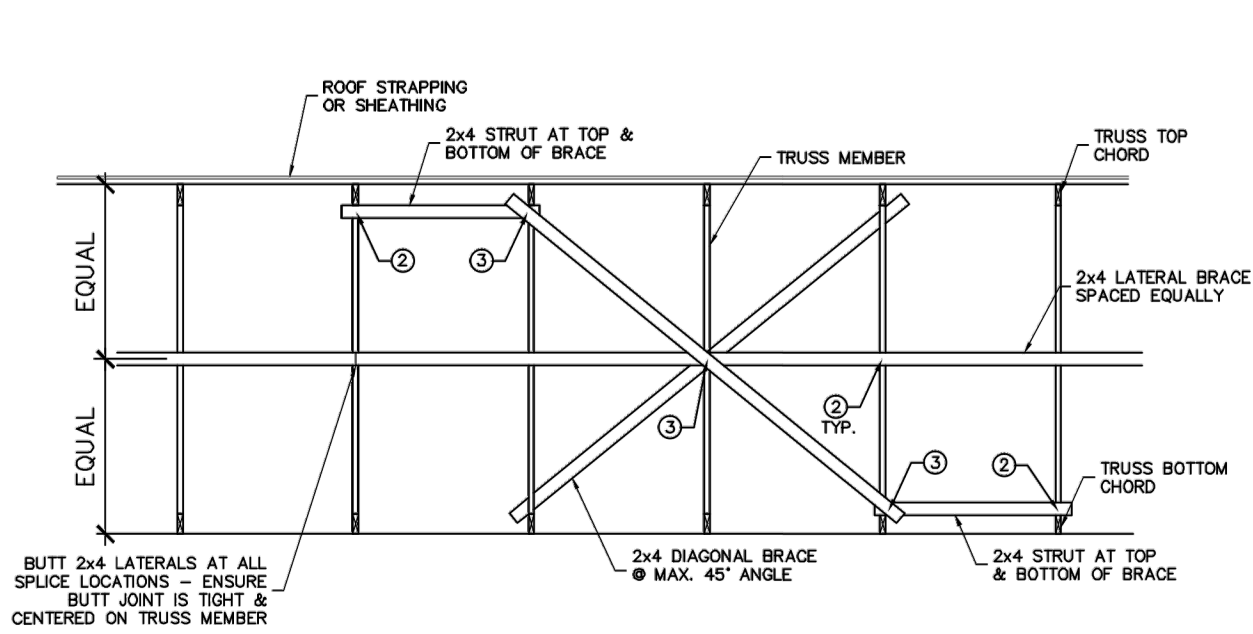
1 ISSUED FOR OWNER REVIEW		2021.11.02
<b>G.M. DIEMERT ARCHITECT INC.</b> 957 FOURTH AVENUE EAST OWEN SOUND, ONTARIO SUITE #201 N4K 2N9 (519)376-1975		
PROPOSED: <b>6 Unit Townhouse (Bldg B)</b> <b>Hedera</b> <small>ROOTED. RURAL. REFINED.</small> 2261 9th Ave East, Owen Sound, ON		
Project No. 1807	Scale: As Noted	F1.1





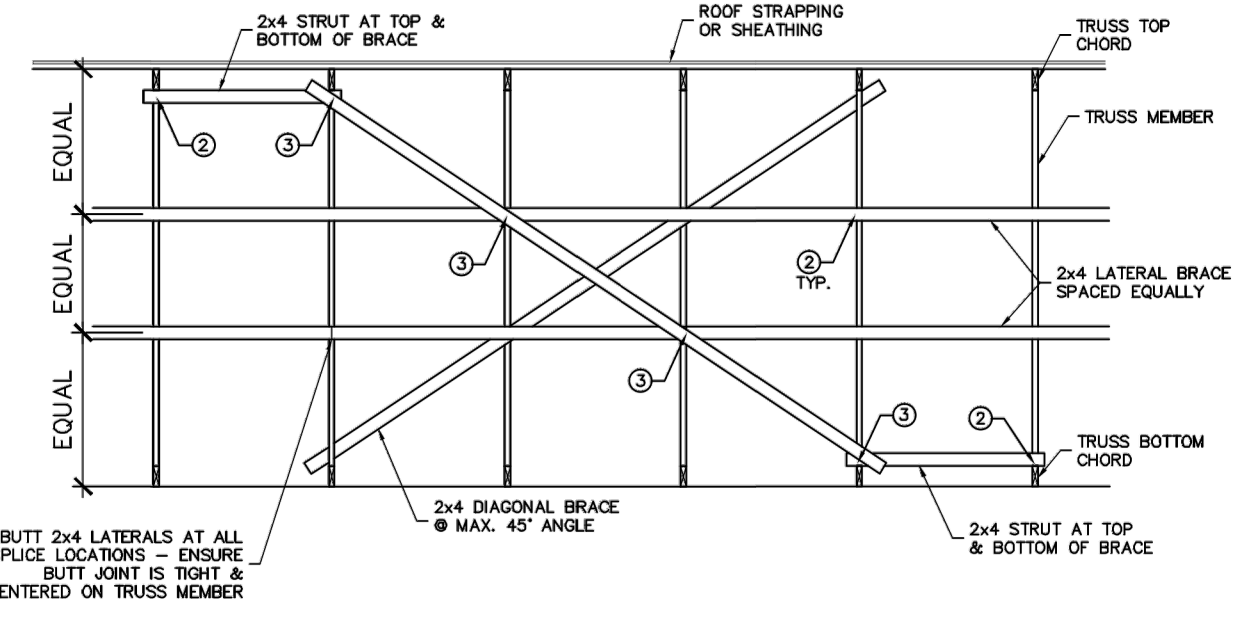


NOTE:  
 - WOOD LINTELS IN EXTERIOR WALLS ARE TYPICALLY TO BE 2" x 6" UNLESS SHOWN OTHERWISE (MAXIMUM SPAN OF 3'-10")  
 - STEEL LINTELS IN VENEER MASONRY WALLS ARE TYPICALLY TO BE 3 1/2" x 3 1/2" x 1/4" UNLESS SHOWN OTHERWISE (MAXIMUM SPAN OF 3'-10")  
 - POST 'P1A' - 3 - 2" x 6" SPF  
 - ELEVATED POST BASE TO SUIT POST SIZE (MODEL APV8 AS MANUF. BY SIMPSON STRONG-TIE, OR APPROVED ALTERNATE)



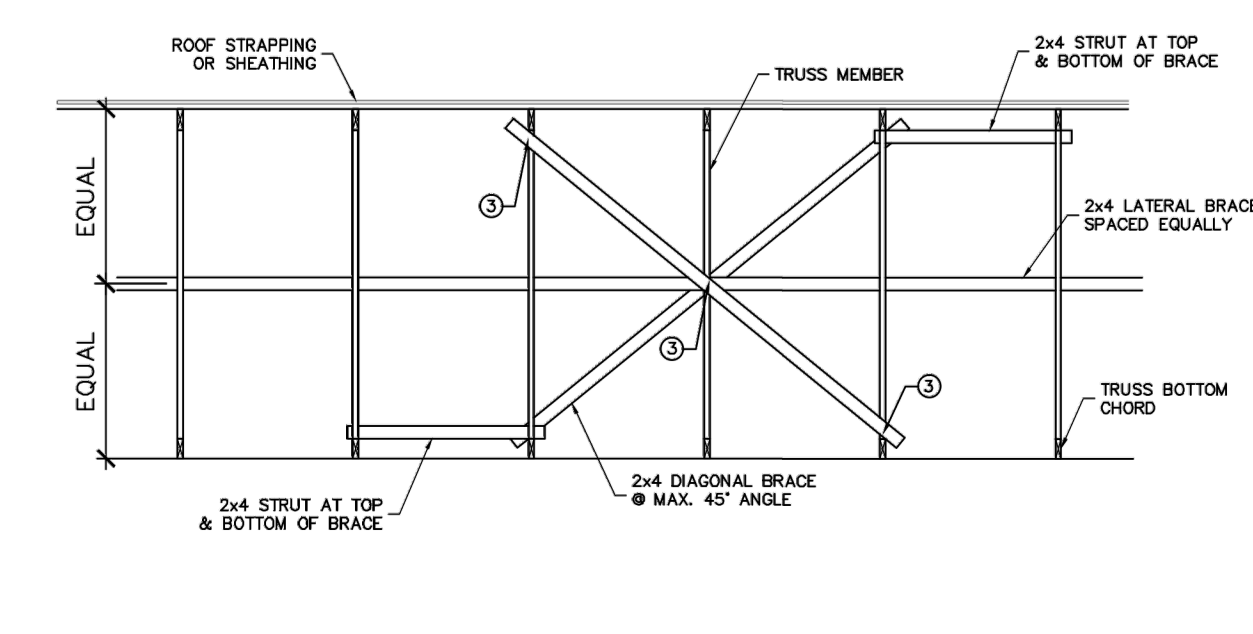
**FRONT ELEVATION**  
**TYP. SINGLE RIBBON X-BRACE**  
 SCALE: N.T.S.

NOTE:  
 1. (1) EQUALS THE NUMBER OF 3/8" COMMON SPIRAL OR 5" NAILGUN NAILS  
 2. SPECIFIED X-BRACE SPACING IS FROM CENTRE TO CENTRE OF ADJACENT BRACING



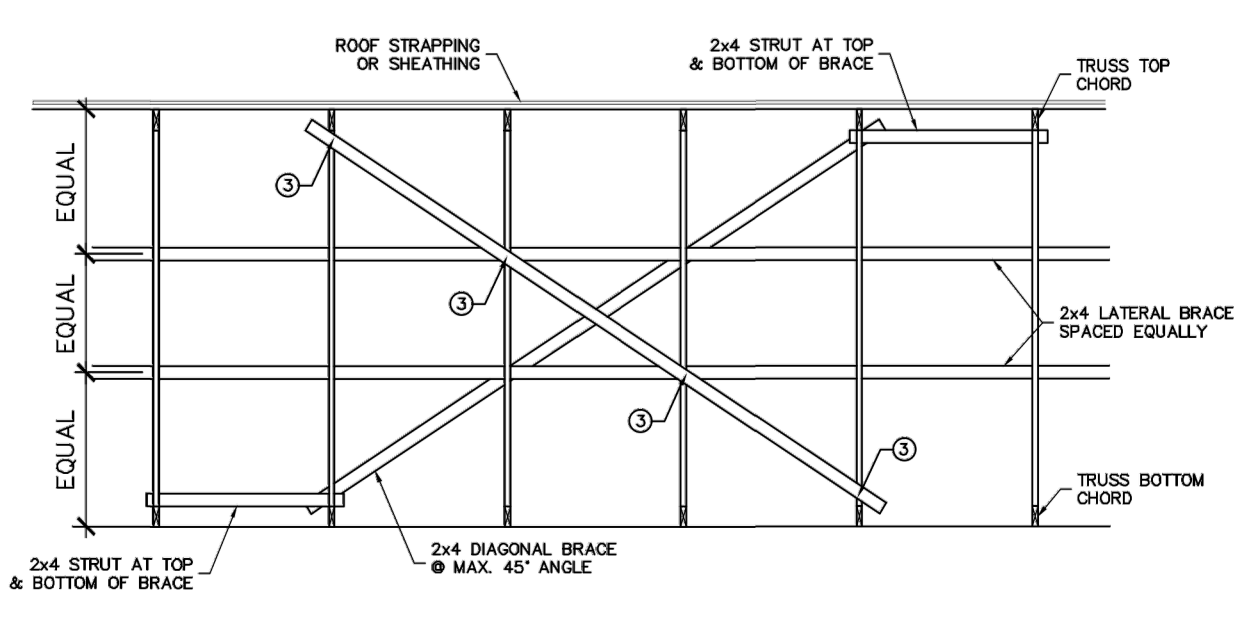
**FRONT ELEVATION**  
**TYP. DOUBLE RIBBON X-BRACE**  
 SCALE: N.T.S.

NOTE:  
 1. (1) EQUALS THE NUMBER OF 3/8" COMMON SPIRAL OR 5" NAILGUN NAILS  
 2. SPECIFIED X-BRACE SPACING IS FROM CENTRE TO CENTRE OF ADJACENT BRACING



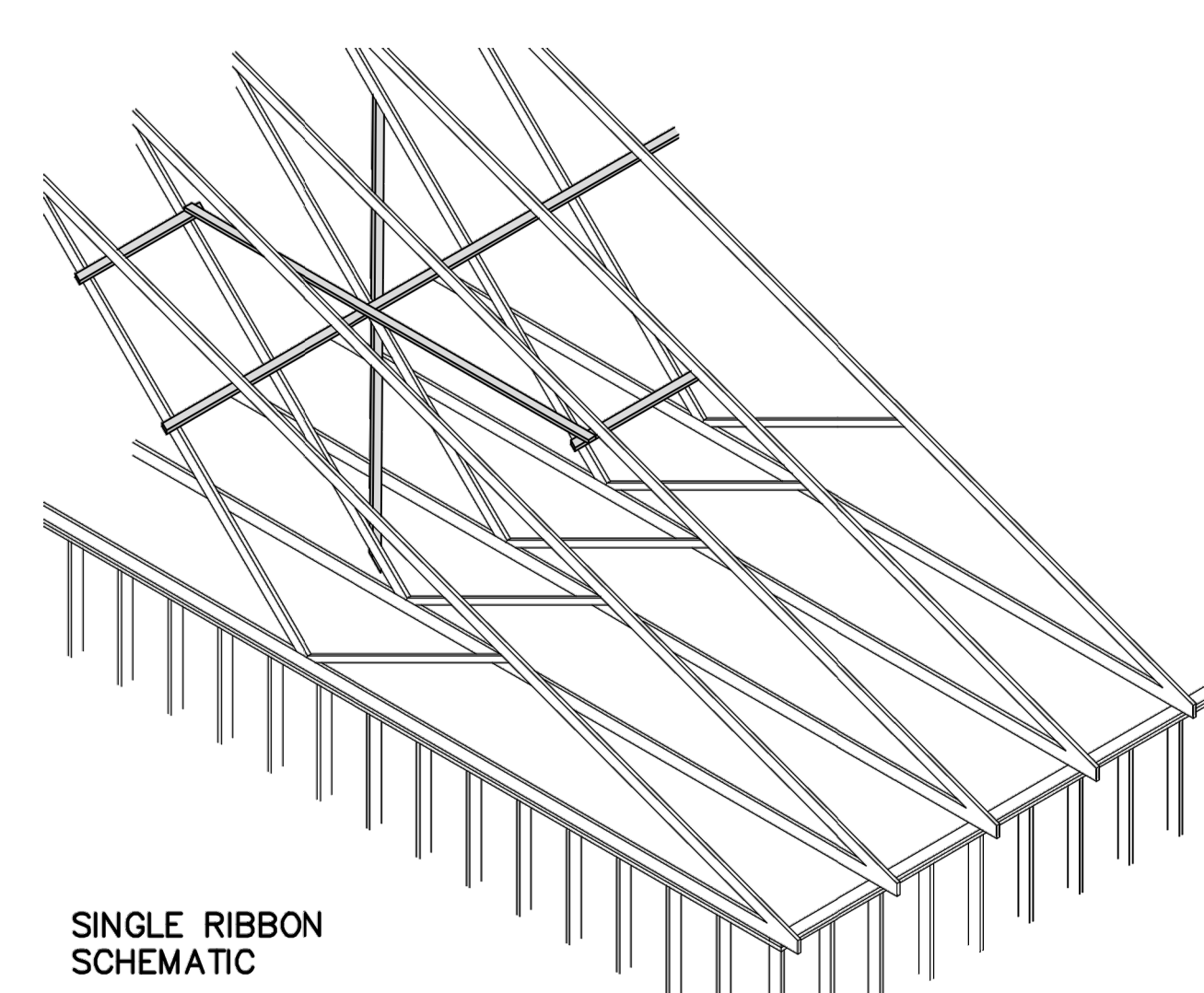
**REAR ELEVATION**  
**TYP. SINGLE RIBBON X-BRACE**  
 SCALE: N.T.S.

NOTE:  
 1. (1) EQUALS THE NUMBER OF 3/8" COMMON SPIRAL OR 5" NAILGUN NAILS  
 2. SPECIFIED X-BRACE SPACING IS FROM CENTRE TO CENTRE OF ADJACENT BRACING

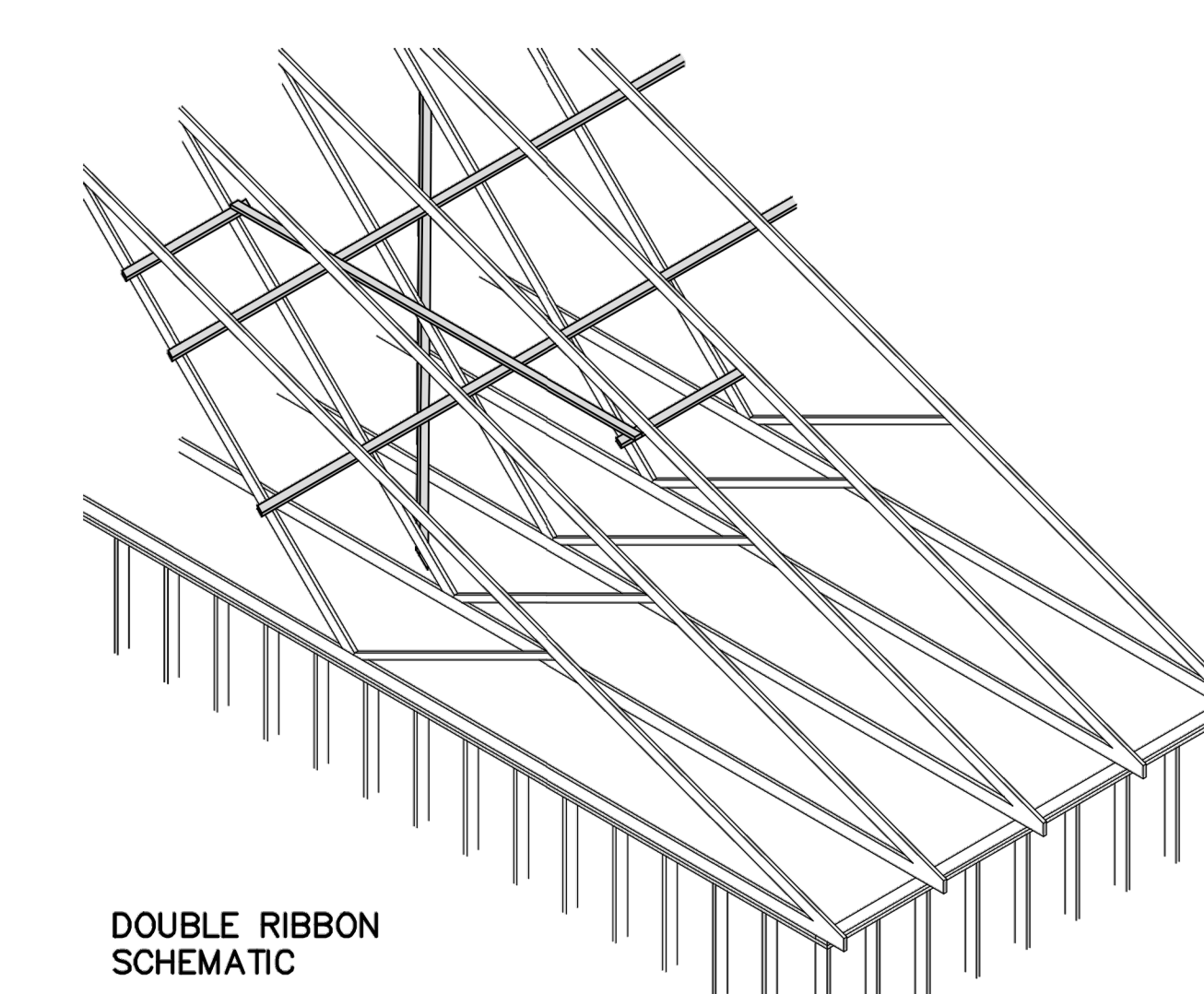


**REAR ELEVATION**  
**TYP. DOUBLE RIBBON X-BRACE**  
 SCALE: N.T.S.

NOTE:  
 1. (1) EQUALS THE NUMBER OF 3/8" COMMON SPIRAL OR 5" NAILGUN NAILS  
 2. SPECIFIED X-BRACE SPACING IS FROM CENTRE TO CENTRE OF ADJACENT BRACING



**SINGLE RIBBON SCHEMATIC**



**DOUBLE RIBBON SCHEMATIC**

1	ISSUED FOR OWNER REVIEW	2021.11.02
---	-------------------------	------------

**G.M. DIEMERT ARCHITECT INC.**  
 957 FOURTH AVENUE EAST  
 OWEN SOUND, ONTARIO  
 SUITE #201  
 N4K 2N9 (519)376-1975

PROPOSED:  
**6 Unit Townhouse (Bldg B)**  
**Hedera**  
 ROOTED, RURAL, REFINED.  
 2261 9th Ave East, Owen Sound, ON

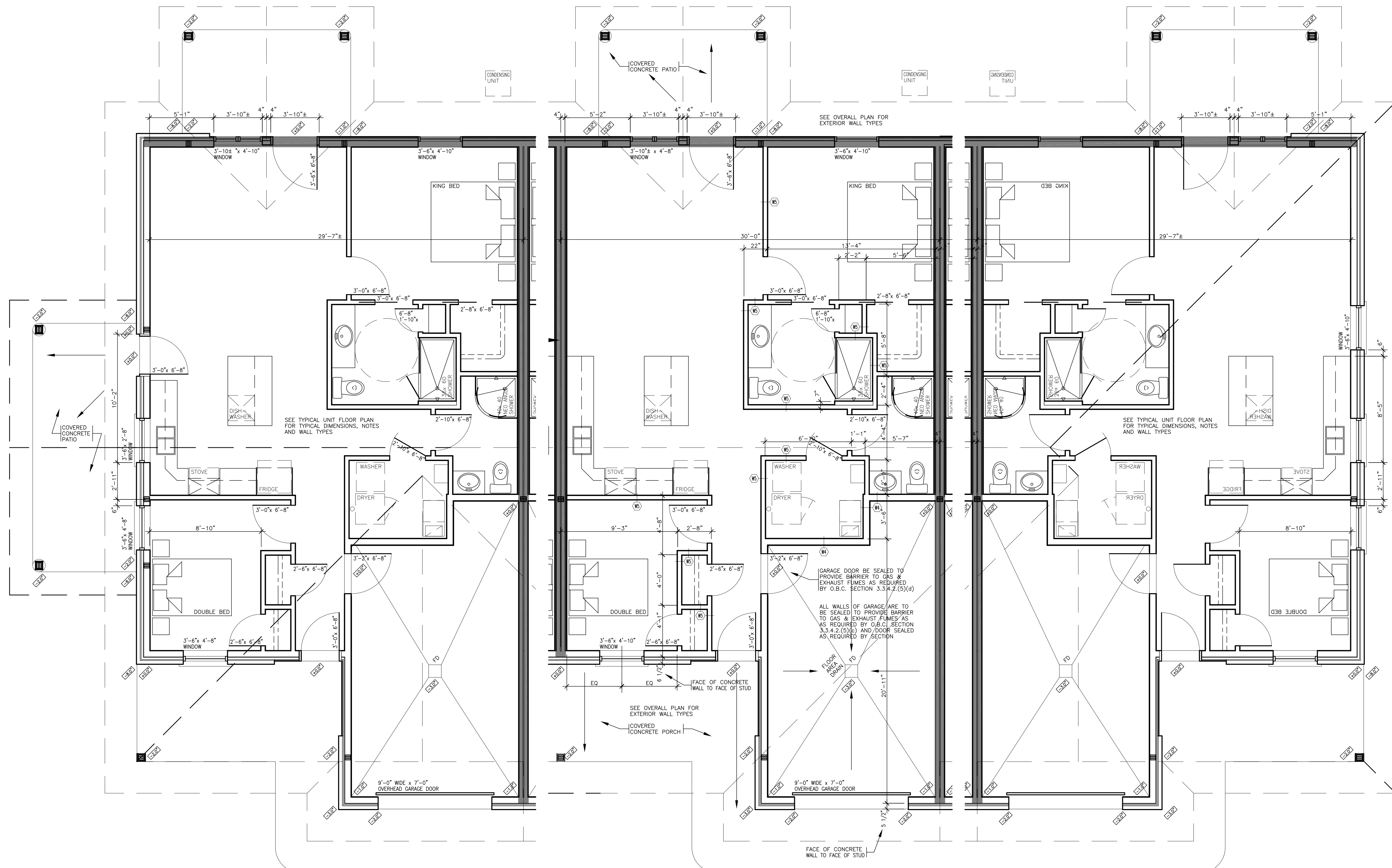
**Roof Framing Plan**

Project No. 1807	Scale: As Noted
---------------------	--------------------

**A1.2**

**GENERAL NOTES**

1. [Symbol] - WALLS HATCHED THUS ARE TO BE CONSTRUCTED AS A 3/4 HOUR FIRE SEPARATION (SEE PLAN AND WALL TYPE SCHEDULE). ALL PENETRATIONS OF THIS FIRE SEPARATION ARE TO BE FIRE CAULKED AND SEALED (SEE SCHEDULE)
2. [Symbol] - INDICATES WALL TYPE (SEE WALL TYPE SCHEDULE)
3. WHERE MECHANICAL OR ELECTRICAL COMPONENTS PENETRATE FIRE SEPARATIONS, MAINTAIN REQUIRED FIRE SEPARATIONS. DIMENSIONS ARE TYPICALLY FROM FACE OF STUD TO FACE OF STUD OR FACE OF CONCRETE TO FACE OF STUD UNLESS NOTED OR SHOWN OTHERWISE.
4. [Symbol] - REFERS TO A FLOOR DRAIN (TYP)
5. ALL COAT AND CLOTHES CLOSETS ARE TO HAVE A ROD AND EPOXY COATED WIRE SHELF AS MANUF. BY CLOSETMAD, OR APPROVED ALTERNATE WITH WALL BRACKETS @ 24" O.C. MAX. PROVIDE SUPERSLIDE CLOSET ROD BENT CORNER BAR AT CORNER. PROVIDE J-BRACKET UNIVERSAL ROD SUPPORTS @ 36" O.C. MAX. AND AT JOINTS. PROVIDE RESIN END CAPS ON ALL EXPOSED ENDS OF CLOSET RODS AND CUT WIRES OF SHELVING
6. PROVIDE 5 ADJUSTABLE SHELVES 3/4" THICK x 16" DEEP IN EACH LINEN CLOSET
7. PROVIDE 1/2" CONTROL JOINT IN MASONRY. FULL HEIGHT OF WALL (C/J)(TYP). SEE ALSO EXTERIOR ELEVATIONS
8. ALL MASONRY CONTROL JOINTS ARE TO BE 1/2" WIDE AND WITH FOAM ROPE AND CAULKING (TYP)
9. CONC SLABS AT DOORS TO HAVE 10M DOWELS @ 12" O.C. CAST 24" OR DRILLED AND EPOXY GROUTED 8" MINIMUM INTO FOUNDATION WALL AND EXTENDING 24" INTO EXTERIOR CONCRETE SLAB. PROVIDE CLEAR CRUSHED STONE BASE FROM BOTTOM OF SLAB TO BOTTOM OF WALL FOOTING
10. ALL EXTERIOR CONC SLABS UNDER 10'-0" WIDE ARE TO BE 5" THICK WITH 6"x 6"x 6/6 WELDED WIRE FABRIC. SLABS OVER 10'-0" WIDE ARE TO HAVE 10M REINFORCING BARS @ 12" O.C. EACH WAY. PROVIDE CONTROL JOINTS (LIGHT LINES) AND EXPANSION JOINTS (HEAVY LINES) AS SHOWN. PROVIDE A BROOM FINISH AND 2" WIDE TOELED EDGES.
11. PROVIDE ALUMINUM EAVETROUGH AND DOWN SPOUTS TO CATCH ALL ROOF WATER. PROVIDE CONCRETE SPLASH PADS WHERE DOWN SPOUTS SPILL ONTO GRASSED AREAS. ENSURE ALL WATER IS DIRECTED AWAY FROM BUILDING AND WILL NOT CAUSE SOIL EROSION
12. SMOKE DETECTORS SHALL BE PROVIDED IN ALL SLEEPING AREAS AND CARBON MONOXIDE DETECTORS IN EACH UNIT THEY SHALL BE HARD WIRED, INTERCONNECTED AND WITH 10 YEAR LONG LIFE BATTERY BACK UP.
13. PROVIDE UNOBSTRUCTED ATTIC VENTILATION AREA OF NOT LESS THAN 1/300 OF THE INSULATED CEILING AREA (50% AT EAVES).
14. SUB-CONTRACTING FOR HVAC, PLUMBING & ELECTRICAL SHALL PROVIDE DESIGN-BUILD SERVICES



**ENLARGED END UNIT FLOOR PLAN**  
SCALE 1/4" = 1'-0" (WEST END UNIT)

**TYPICAL FLOOR PLAN**  
SCALE 1/4" = 1'-0"

**ENLARGED END UNIT FLOOR PLAN**  
SCALE 1/4" = 1'-0" (EAST END UNIT)

1 ISSUED FOR OWNER REVIEW 2021.11.02

**G.M. DIEMERT ARCHITECT INC.**  
957 FOURTH AVENUE EAST  
OWEN SOUND, ONTARIO  
SUITE #201  
N4K 2N9 (519)376-1975

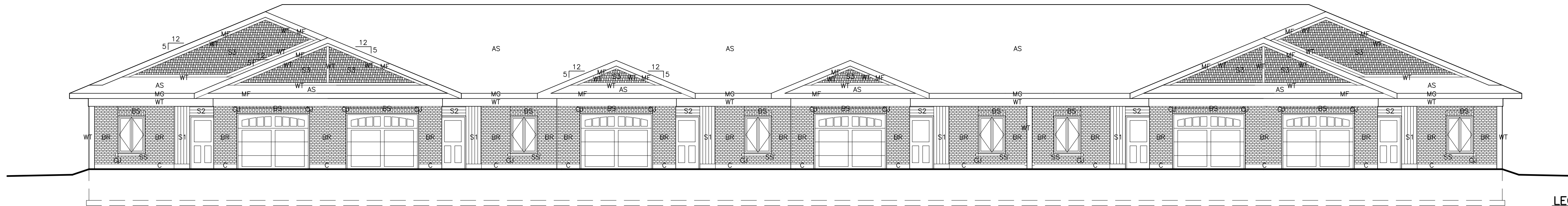
PROPOSED:  
**6 Unit Townhouse (Bldg B)**  
**Hedera**  
ROOTED. RURAL. REFINED.  
2261 9th Ave East, Owen Sound, ON

Enlarged Plans

Project No. 1807 Scale: As Noted

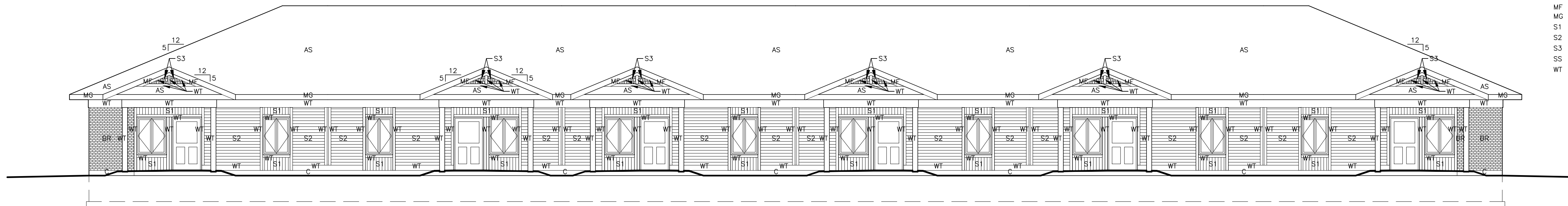
A2.1



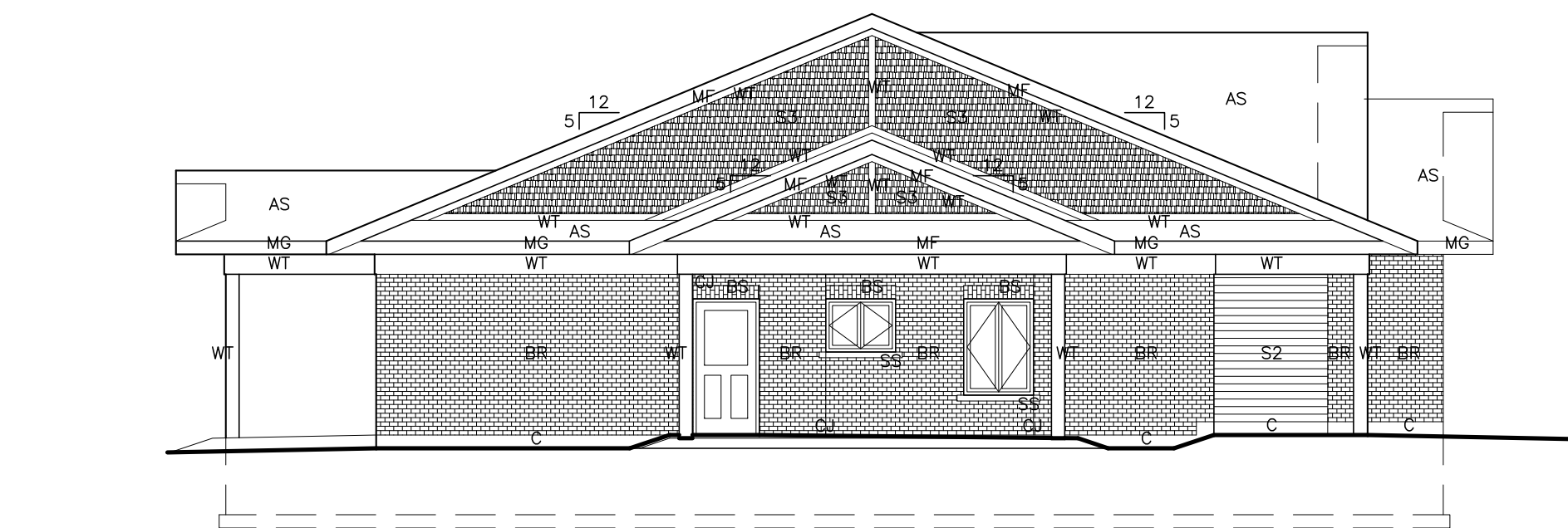


**FRONT ELEVATION**  
SCALE 1/8" = 1'-0"

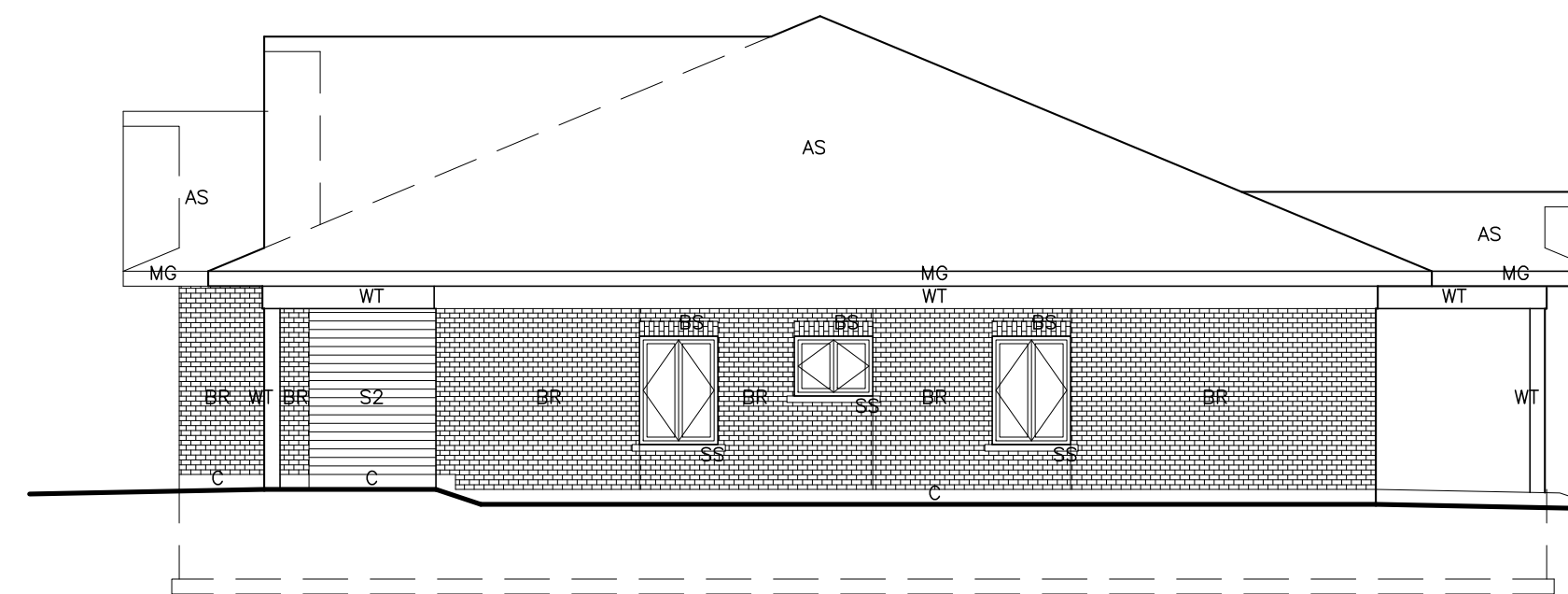
- LEGEND**
- AS - ASPHALT SHINGLES
  - BR - BRICK VENEER
  - BS - BRICK SOLDIER COURSE
  - C - EXPOSED CONCRETE
  - CJ - MASONRY CONTROL JOINT (SEE DWG A2.1, NOTE 8 & 9)
  - L - PREFINISHED METAL LOUVRE WITH INSECT AND BIRD SCREEN
  - LG - LIGHT (SEE ELECTRICAL DWGS)
  - MF - PREFINISHED METAL FLASHING
  - MG - PREFINISHED METAL GUTTER
  - S1 - VERTICAL PREFINISHED WOOD SIDING
  - S2 - HORIZONTAL PREFINISHED WOOD SIDING
  - S3 - PREFINISHED SIDING (SHAKES)
  - SS - STONE SILL
  - WT - PREFINISHED WOOD TRIM BOARD(S)



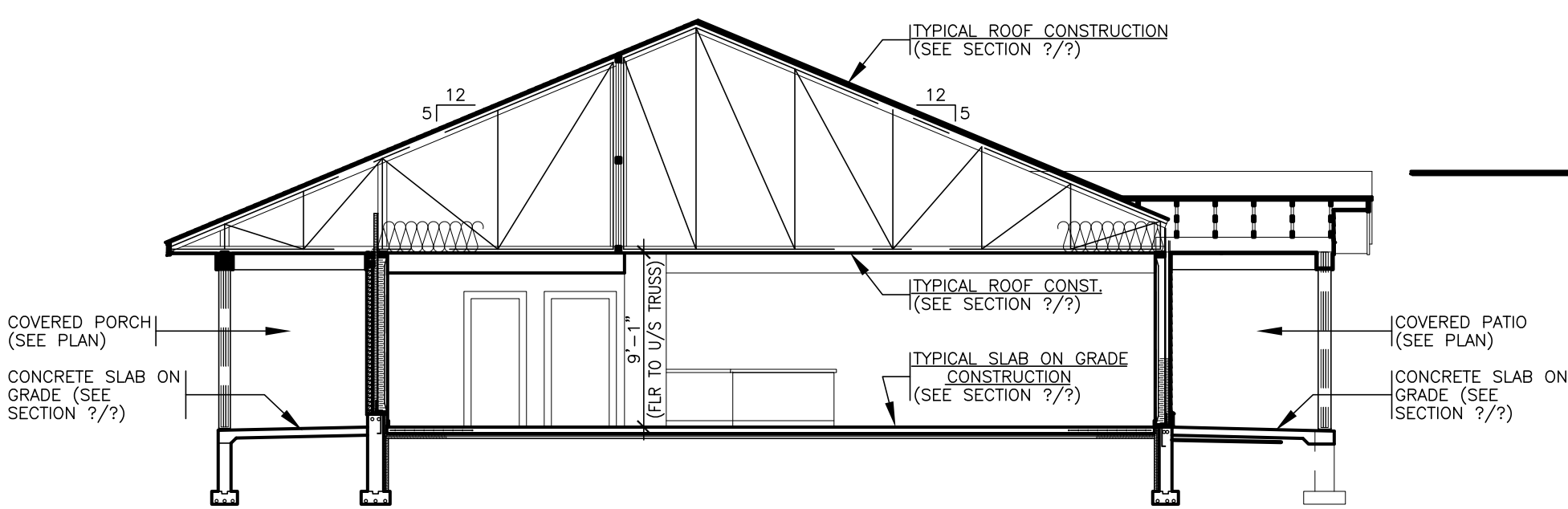
**REAR ELEVATION**  
SCALE 1/8" = 1'-0"



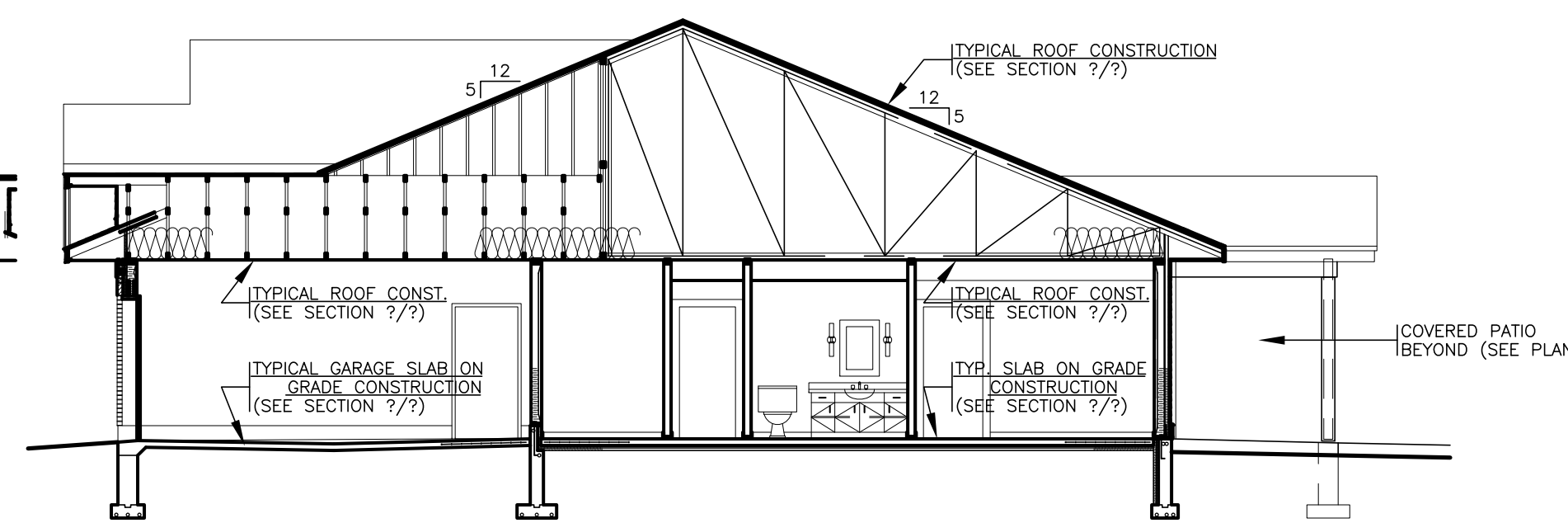
**LEFT SIDE ELEVATION**  
SCALE 1/8" = 1'-0"



**RIGHT SIDE ELEVATION**  
SCALE 1/8" = 1'-0"



**BUILDING SECTION A-A**  
SCALE 1/8" = 1'-0"



**BUILDING SECTION B-B**  
SCALE 1/8" = 1'-0"

1	ISSUED FOR OWNER REVIEW	2021.11.02
---	-------------------------	------------

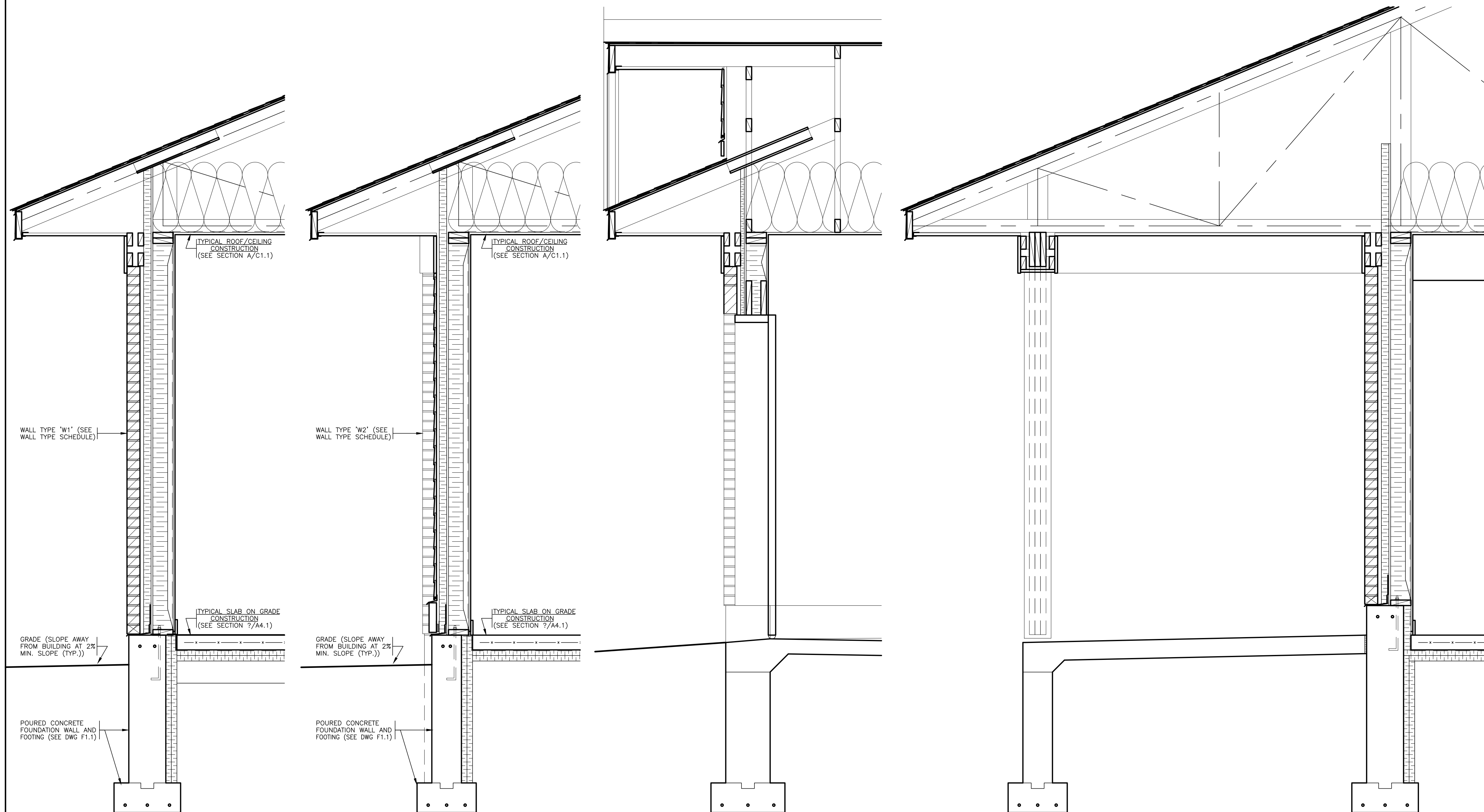
**G.M. DIEMERT ARCHITECT INC.**  
957 FOURTH AVENUE EAST  
OWEN SOUND, ONTARIO  
SUITE #201  
N4K 2N9 (519)376-1975

PROPOSED:  
**New Townhomes for:**  
**Hedera**  
ROOTED. RURAL. REFINED.  
2261 9th Ave East, Owen Sound, ON

**Elevations & Building Sections**

Project No. 1807	Scale: As Noted
---------------------	--------------------

A3.1



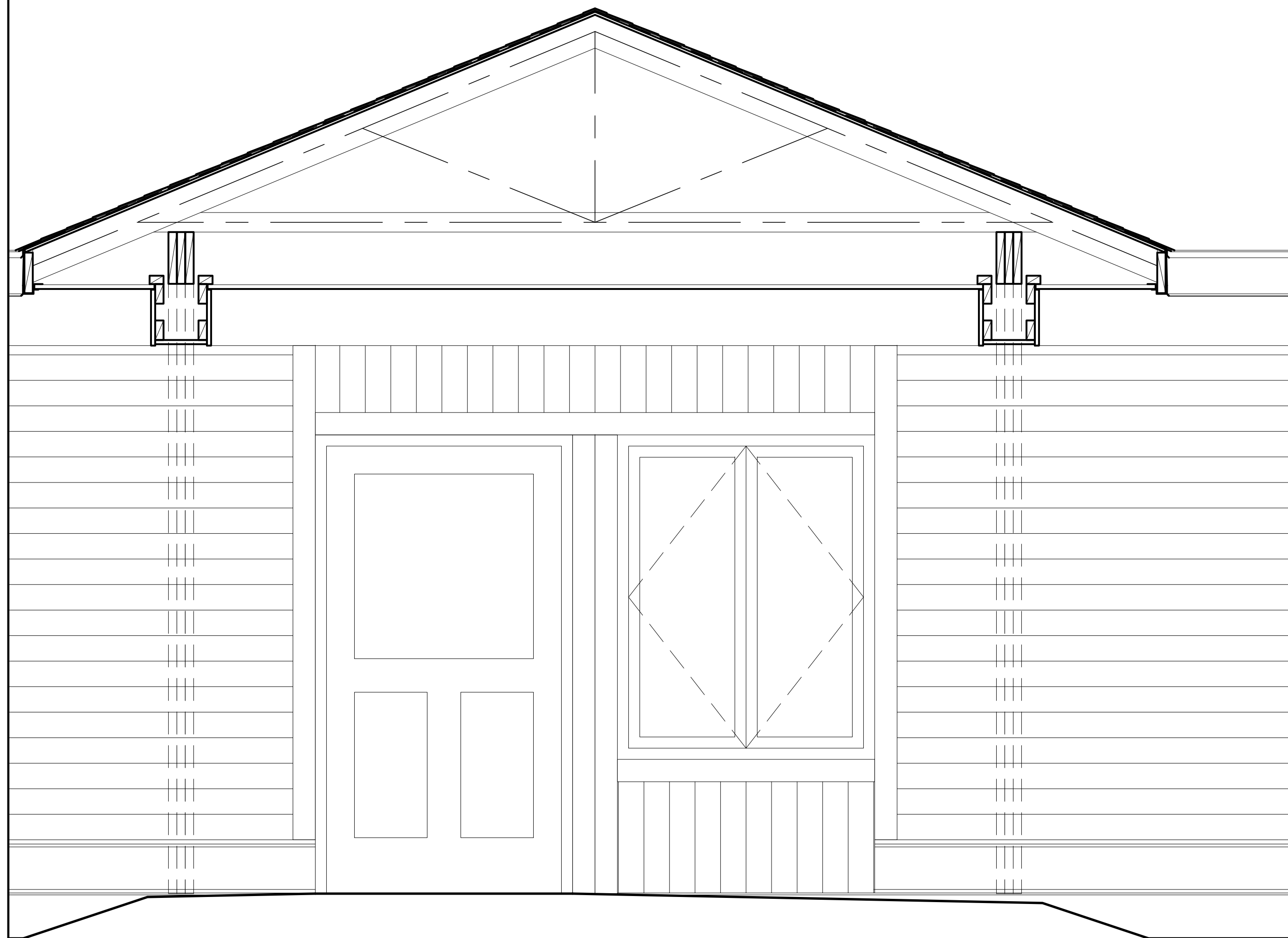
A4.1
**TYP. WALL SECTION** (AT 'W1' EXTERIOR WALL)  
 SCALE : 1 1/2" = 1'-0"

A4.1
**TYP. WALL SECTION** (AT 'W2' EXTERIOR WALL)  
 SCALE : 1 1/2" = 1'-0"

A4.1
**TYP. WALL SECTION** (AT GARAGE DOOR)  
 SCALE : 1 1/2" = 1'-0"

1 ISSUED FOR OWNER REVIEW	2021.11.02
<b>G.M. DIEMERT ARCHITECT INC.</b> 957 FOURTH AVENUE EAST OWEN SOUND, ONTARIO SUITE #201 N4K 2N9 (519)376-1975	
PROPOSED: <b>New Townhomes for:</b> <span style="font-size: 1.5em; font-weight: bold;">Hedera</span> <small>ROOTED. RURAL. REFINED.</small> 2261 9th Ave East, Owen Sound, ON	
<b>Wall Sections</b>	
Project No. 1807	Scale: As Noted
A4.1	



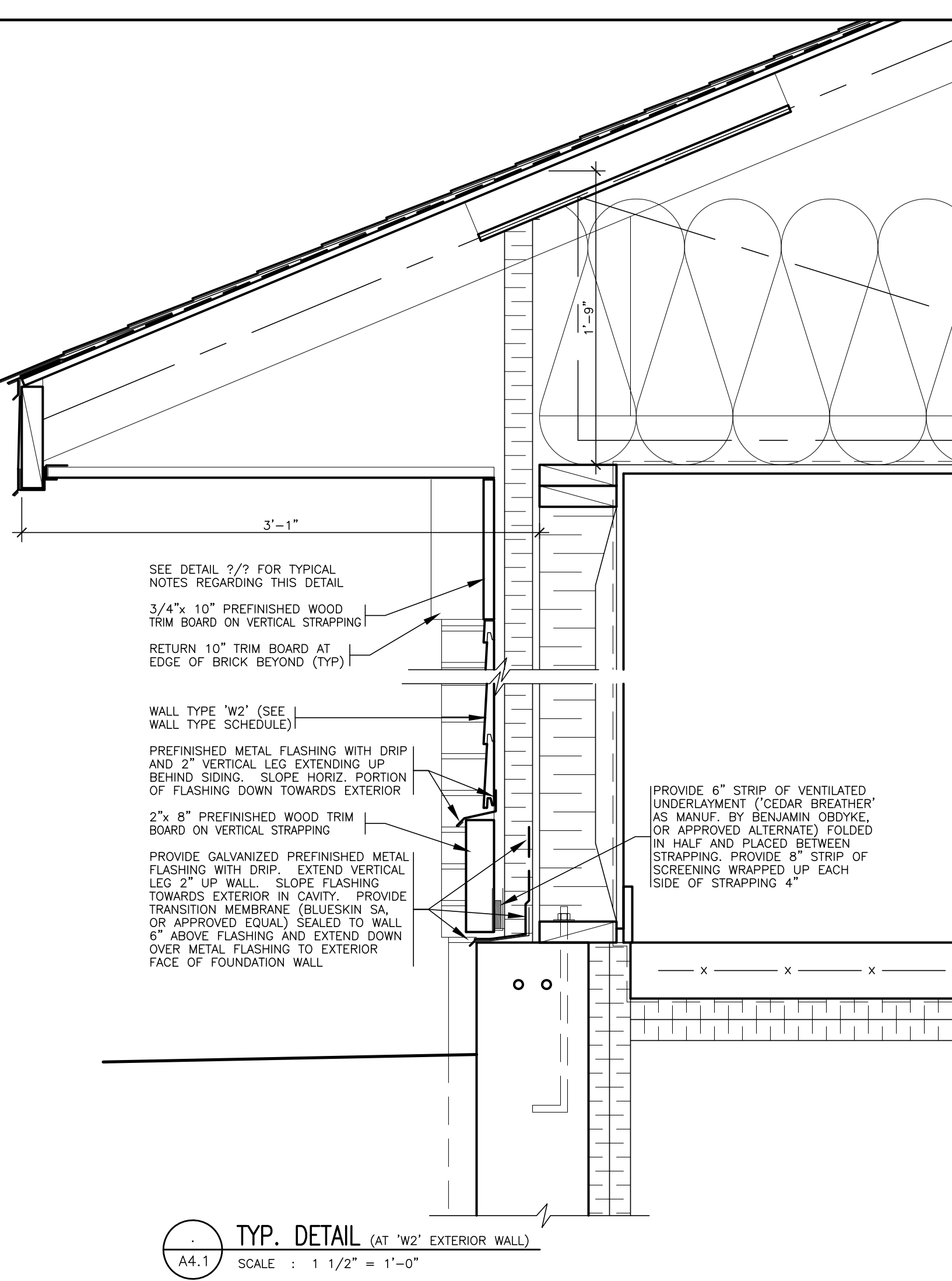
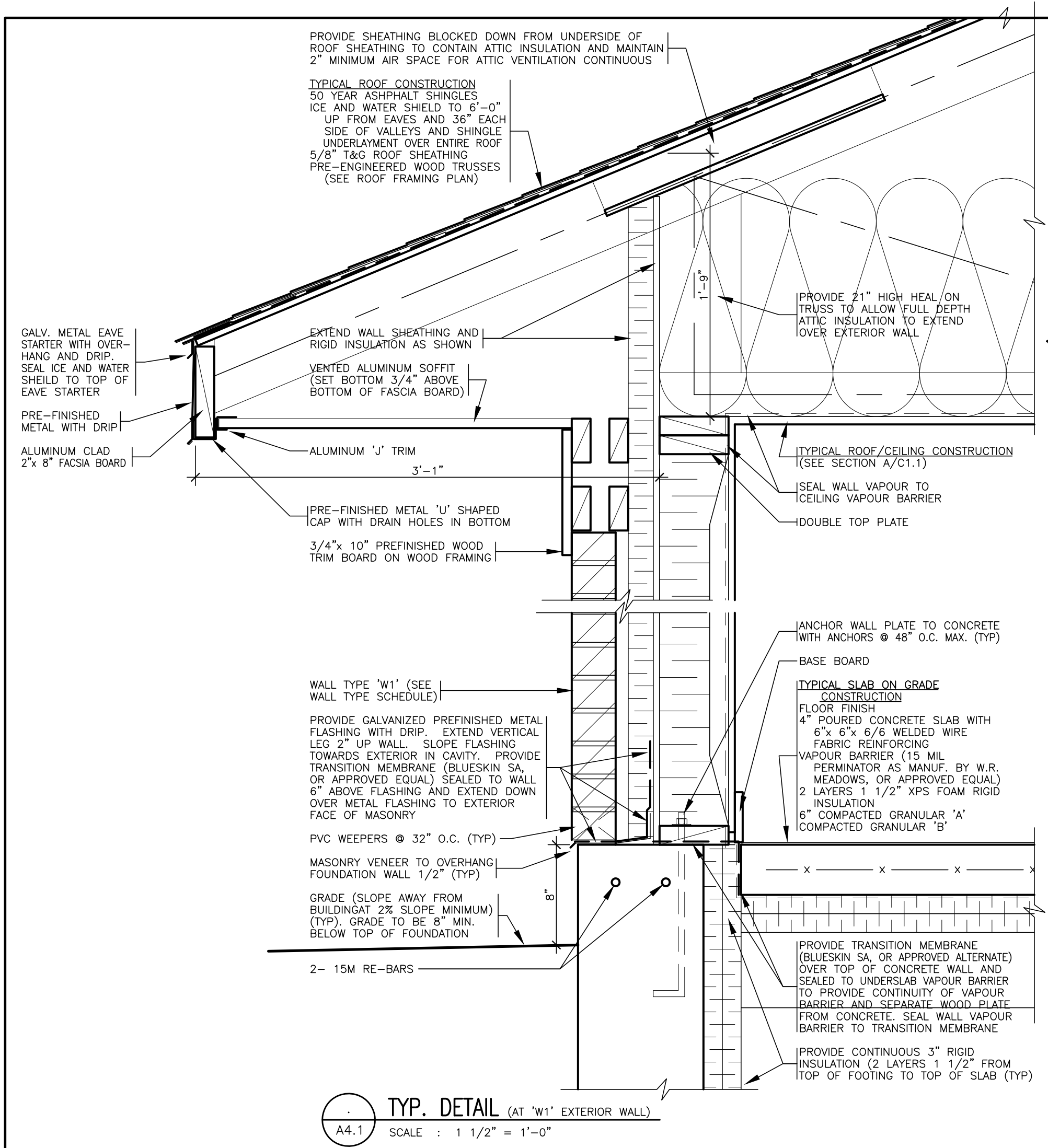


A4.2
**TYP. SECTION (THRU REAR PATIO/DECK)**  
 SCALE : 1 1/2" = 1'-0"



A4.2
**TYP. ENLARGED ELEVATION (THRU REAR PATIO/DECK)**  
 SCALE : 1 1/2" = 1'-0"

1	ISSUED FOR OWNER REVIEW	2021.11.02
<b>G.M. DIEMERT ARCHITECT INC.</b> <small>957 FOURTH AVENUE EAST        OWEN SOUND, ONTARIO        SUITE #201        N4K 2N9 (519)376-1975</small>		
PROPOSED: <b>New Townhomes for:</b> <span style="font-size: 1.5em;"><b>Hedera</b></span> <small>ROOTED. RURAL. REFINED.        2261 9th Ave East, Owen Sound, ON</small>		
<b>Wall Sections</b>		
Project No. 1807	Scale: As Noted	<span style="font-size: 2em;"><b>A4.2</b></span>



1	ISSUED FOR OWNER REVIEW	2021.11.02
<p><b>G.M. DIEMERT ARCHITECT INC.</b> 957 FOURTH AVENUE EAST OWEN SOUND, ONTARIO SUITE #201 N4K 2N9 (519)376-1975</p>		
<p>PROPOSED: <b>New Townhomes for: Hedera</b> ROOTED. RURAL. REFINED. 2261 9th Ave East, Owen Sound, ON</p>		
<p>Details</p>		
Project No. 1807	Scale: As Noted	A4.2