

PART 3 - FIRE PROTECTION, OCCUPANT SAFETY AND ACCESSIBILITY								OBC REFERENCE [1]		
01	PROJECT TYPE	New Construction [[A] 1.1.2.		
02	MAJOR OCCUPANCIES	OCCUPANCY USE)		
			Residential		Townhouses - "Houses"	1	•			
)5	BUILDING CLASSIFICATION	3.2.2.47.	Group C				3.2.2.20-	83.		
8	BUILDING AREA (m²)	DESCRIPTION EXISTING NEW			TOTAL	AL [A] 1.4.1.2.				
		New 6 Hou	se Townhou	se	802.00	802.00	-			
		TOTAL			802.00	802.00				
1	BUILDING HEIGHT STORIES	ABOVE GR	ADE	1	BELOW GRADE	N/A	[A] 1.4.1.	2. & 3.	.2.1.1.	
	(m)	ABOVE GR	ADE	6.6						
2	NUMBER OF STREETS/FIRE FIGHTER ACCESS	1					3.2.2.10.	& 3.2.	5.	
3	CONSTRUCTION TYPE	RESTRICTIO	ONS	Combustible Permitted	I		3.2.2.47.			
		ACTUAL		Combustible	HEAVY TIMBER	No				
4	REQUIRED FIRE RESISTANCE RATINGS	HORIZONTAL ASSEMBLY		RATING (H)	SUPPORTING ASSEMBLY (H)	NONCOMBUSTIBLE IN LIEU OF RATING?	3.2.2.2083, 3.2.1.4.			
		FLOORS		n/a	n/a	-				
		ROOF		None Reqd (3/4 Hr Pro	ovided)	-				
5	SPRINKLER SYSTEM	Not Requir	ed				3.2.1.5., 8	ፄ 3.2.2	.17.	
6	SPATIAL SEPARATION	EXPOSING FACE	BUILDING	REQUIRED FRR (H)	CONSTRUCTION TYPE	CLADDING TYPE	3.2.3.	E.B.F.	. MAX.	
		Front (Sout	h)	None	Combustible Permitted	Combustible Permitted	L.D.(M) 11.8	21.6	OPNGS 100 %	
		Rear (North	1)	3/4 hr	Combustible Permitted	Combustible Permitted	5.0	21.6	70 %	
		Side (East &	પ્ર West)	None	Combustible Permitted	Combustible Permitted	+0.8	32.0	100 %	
7	STANDPIPE SYSTEM	Not Requir	ed				3.2.9.			
8	WATER SERVICE/SUPPLY IS ADEQUATE	Yes								
9	OCCUPANT LOAD	FLOOR ARI	ΕA	OCCUPANCY	BASED ON	LOAD (PERSONS)	3.1.17.			
		Townhouse Unit		Group C	No. of sleeping rooms	4				
		TOTAL				4				
.0	FIRE ALARM SYSTEM	Not Required		TYPE PROVIDED	N/A		3.2.4.			
2	BARRIER-FREE DESIGN	No	Exempt	2 Houses to meet 3.3.4.9.(1) (This Bldg) 6 Houses in Development			3.8. & 3.8.1.1.			
23	HAZARDOUS SUBSTANCES	No	None Decla	ed by Owner			3.3.1.2. & 3.3.1.19.			

ONTARIO BUILDING CODE NOTES

EACH TOWNHOUSE UNIT IS A HOUSE DEFINED AS "A DETACHED HOUSE, SEMI-DETACHED HOUSE OR ROW HOUSE CONTAINING NOT MORE THAN TWO DWELLING UNITS"
 3.8.1.1. - BARRIER FREE DESIGN IS NOT REQUIRED FOR "HOUSES"

۷.	5.6.1.1. British Title Design is not regarded for Hooses
3.	ATTIC IS SEPARATED FROM TOWNHOUSE SUITES BELOW WITH 3/4 HOUR FIRE RESISTANCE RATING ON UNDERSIDE OF ROOF ASSEMBLY
3.	3.1.11.5 & 3.2.3.16 - FIRE BLOCKS ARE REQUIRED IN ATTIC SPACE SO THAT THE ATTIC IS NOT COMMON TO MORE THAN 2
	TOWNHOUSE SUITES. FIRE BLOCKS ARE TO EXTEND INTO EAVES TO SEPARATE THE CONCEALED SPACE IN THEM ALSO

TABLE SB 5.5-6-2017 (See Appendix A.) (Supersedes Table 5.5-6 in 2013 ANSI/ASHRAE/IES 90.1)

bunding Env	reiope Kequireii	ients for	Cilmate	Zone 6 (A, B) (I	-۲)		
	Residential			Semiheated			
Opaque Elements	Assembly Insula		ation	Assembly	Inst	ulation	(1/2/ GYPSUM BOARD, PLIVWOOD OR OSB) FASTENED/ TO SIDE OF TRUSS LOCATED DIRECTLY ABOVE
' ' ' ' '	Max. U-Value	Min. R	-Value	Max. U-Value	Min.	R-Value	WALL PLATE. PROVIDE WOOD FRAMING SUPPORT AT ALL JOINTS (TYRICAL AT EACH ATTIC FIRE/BLOCK)(\$EE\PLAN
loofs							VEACH ATTIC FIRE BLOCK)(SEE PEAN ON DWG C1.1)
Insulation Entirely Above Deck	U-0.029	R-3	5 ci	U-0.057	R-	17 cl	
Metal Building *	U-0.026	R-25 + R-1	R-11 + 1 Ls	U-0.054	R-19 4	R-11 Ls	
Attic and Other	U-0.019	R-	60	U-0.031	F	₹-38	
Valle, Above Grade							EXTEND VAPOUR BARRIER TYPICAL ROOF/CEILING CONSTRUCTION (3/4 HOUR FIRE SEPARATION)
Mass	U-0.046	R-2	10 ci	Ų-0.091	R	10 cl	CONTINUOUS OVER DEMISING WALL
Metal Building	U-0.045	R-13+	R-19 d	U-0.085	R-13 +	R-6.5 di	R60 MINIMUM INSULATION PRE-ENGINEERED WOOD TRUSSES
Steel Framed	U-0.044	R-13+	R-15 ci	U-0.076	R-13	+ R-6 d	(SEE ROOF FRAMING PLAN) (ALL CONSTRUCTION TO BE ACCORDING TO
Wood Framed and Other	U-0.046	R-13 +	R-10 d	U-0.080	R-13 + R-1 d		(ALL CONSTRUCTION TO BE ACCORDING TO 0.B.C. SUPPLEMENTARY STANDARD SB-2) 5/8" TYPE 'X' GYPSUM BOARD IS
/ail, Below Grade							IIIV THE JASSIGNED 40 MINUTES IN TABLE 2.3.4.C
Below Grade Wall	C-0.050	R-2	10 cl	C-0.119	R-	7.5 d	AND PREENGINEERED WOOD TRUSSES © 24" O.C. OR LESS IS ASSIGNED
00r8							I5 MINUTES FOR A TOTAL OF 3/4 HOUR
Mass	U-0.046	R-18	3.7 ci	U-0.078	R-	9.7 d	
Steel Joist	U-0.029	R-38 4	R-38 + R-4 d U-0.047		R-25		JWALL TYPE 'W3' (SEE
Wood Framed and Other	U-0.024	R-38 +	R-3 d	Ų-0.046	F	₹-21	WALL TYPE SCHEDULE)
ab-On-Grade Floors							
Unheated	F-0.391	R-10 f	0 full slab F-0.730		NR		ANCHOR WALL PLATE TO CONCRETE
Heated	F-0.604	R-10 full slab		F-0.774	4 R-15 for 48 in.		WITH ANCHORS @ 48" O.C. MAX. (TYP)
paque Doors							PROVIDE 1/2" JOINT WHERE CONCRETE SLAB BUTTS WALL. TYPICAL SLAB ON GRADE CONSTRUCTION
Swinging	U-0.45			U-0.63			CONCRETE SLAB BUTTS WALL. PROVIDE FIBER BOARD FILLER (TYP) CONSTRUCTION (SEE SECTION A/A4.2)
Nonswinging	U-0.45			U-0.45			
	Assembly	Asse	mbly	Assembly	Ass	embly	x x
Fenestration	Max. U-Value	Max. SHGC	Min. VT/SHGC	Max. U-Value	Max. SHGC	Min. VT/SHG	
ertical Fenestration, 0% - 40% of Wall							
Nonmetal framing: all	U-0.29]		U-0.41]		PROVIDE TRANSITION MEMBRANE
Metal framing: fixed	Ų-0.38	0.40	1.10	U-0.46	NR	NR	(BLUESKIN SA, OR APPROVED ALTERNATE) OVER TOP OF CONCRETE WALL AND
Metal framing: operable	U-0.45] "."	1.10	U-0.53		""	SEALED TO UNDERSLAB VAPOUR BARRIER
Metal framing: entrance door	U-0.61			U-0.69	<u> </u>		EACH SIDE TO PROVIDE CONTINUITY OF VAPOUR BARRIER AND SEPARATE
kylight, 0% - 3% of Roof							WOOD PLATE FROM CONCRETE
All types	U-0.45	0.40	NR	U-0.77	NR	NR	

1	ISSUED FOR OWNER REVIEW	2021.11.0
G.	M. DIEMERT ARC	HITECT INC

957 FOURTH AVENUE EAST OWEN SOUND, ONTARIO SUITE #201 N4K 2N9 (519)376-1975

PROPOSED:

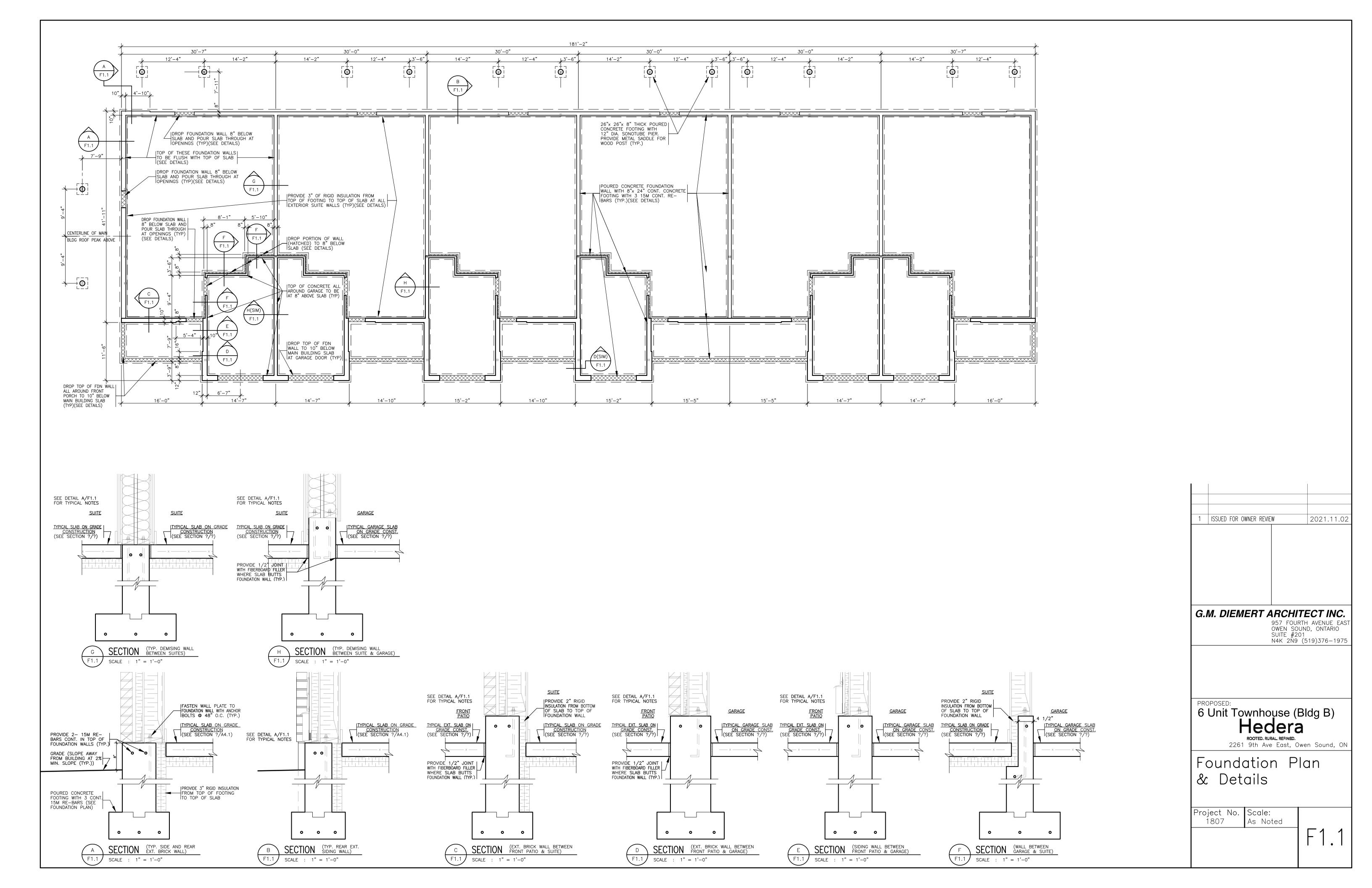
6 Unit Townhouse (Bldg B)

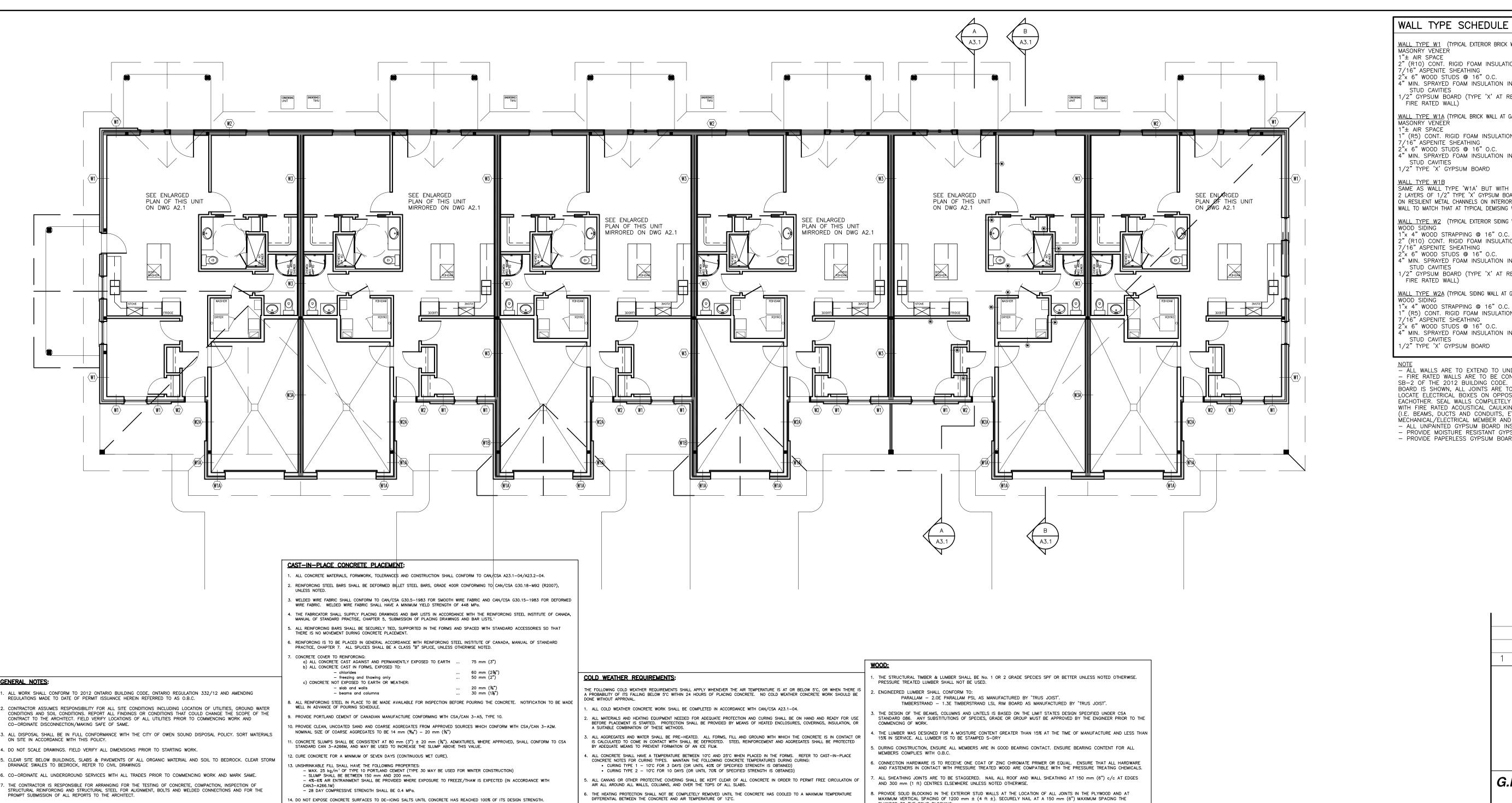
Hedera

rooted. rural. refined. 2261 9th Ave East, Owen Sound, ON

Fire Separation Plan

Project No. Scale: 1807 As Noted





- REGULATIONS MADE TO DATE OF PERMIT ISSUANCE HEREIN REFERRED TO AS O.B.C. CONTRACTOR ASSUMES RESPONSIBILITY FOR ALL SITE CONDITIONS INCLUDING LOCATION OF UTILITIES, GROUND WATER
- . ALL DISPOSAL SHALL BE IN FULL CONFORMANCE WITH THE CITY OF OWEN SOUND DISPOSAL POLICY. SORT MATERIALS
- 4. DO NOT SCALE DRAWINGS. FIELD VERIFY ALL DIMENSIONS PRIOR TO STARTING WORK.
- 6. CO-ORDINATE ALL UNDERGROUND SERVICES WITH ALL TRADES PRIOR TO COMMENCING WORK AND MARK SAME.
- THE CONTRACTOR IS RESPONSIBLE FOR ARRANGING FOR THE TESTING OF CONCRETE, COMPACTION, INSPECTION OF
- B. ANY TEMPORARY SHORING REQUIRED TO CONSTRUCT THE WORKS NOT SHOWN ON THE DRAWINGS SHALL BE THE
- RESPONSIBILITY OF THE CONTRACTOR.

THE CONTRACTOR SHALL NOTIFY THE ARCHITECT AT THE START OF THE PROJECT AND ARRANGE FOR ALL INSPECTIONS IN ACCORDANCE WITH CLAUSE 10.2 OF THE BUILDING CODE ACT AND DIV. C, PART 1 OF THE ONTARIO BUILDING CODE. PROVIDE MINIMUM 48 HOURS NOTICE WHEN AN INSPECTION IS REQUIRED.

FOUNDATIONS:

- FOUND ALL FOOTINGS ON NATURALLY CONSOLIDATED, UNDISTURBED SOIL CAPABLE OF SAFELY SUSTAINING 100 kPg (2000 psf). BEARING CAPACITY SHALL BE CONFIRMED BY CBO OR ENGINEER. . NO FOOTINGS SHALL BE POURED UNTIL FOUNDATION CONDITIONS HAVE BEEN APPROVED.
- . THE LINE OF SLOPE BETWEEN ADJACENT FOOTINGS OR EXCAVATIONS OR ALONG STEPPED FOOTINGS SHALL NOT EXCEED
- 4. FOUND FOOTINGS WHICH ARE EXPOSED TO FREEZING WEATHER A MINIMUM OF 1475 mm (4'-10") BELOW FINISHED GRADE UNLESS SPECIFIED OTHERWISE.
- 5. ERECT, MAINTAIN, AND IF REQUIRED, REMOVE A SUPPORTING SHORING SYSTEM ALONG THE SIDES OF THE EXCAVATION. 5. PROTECT SOIL FROM FREEZING ADJACENT TO AND BELOW ALL FOOTINGS.
- WHERE THERE IS GRADE ON BOTH SIDES, BACKFILL AGAINST FOUNDATION WALL IN SUCH A MANNER THAT THE LEVEL OF BACKFILLING ON ONE SIDE OF THE WALL IS NEVER MORE THAN 500 mm (1'-8") DIFFERENT FROM THE LEVEL ON THE OTHER SIDE OF THE WALL EXCEPT WHERE TEMPORARY SUPPORT FOR THE WALL IS PROVIDED OR WALLS ARE DESIGNED

AS CANTILEVER WALLS.

<u>DESIGN_INFORMATION:</u> ALL DESIGN LOADINGS SHOWN ARE SPECIFIED (UNFACTORED) LOADS.

. SIESMIC DATA IMPORTANCE FACTOR,

BASIC SNOW LOAD FACTOR, Cb:

GROUND SNOW LOAD, Sa RAIN LOAD, Sr: 0.4 kPa (8.35 psf)

ROOF SNOW LOAD: $(2.8 \times 0.8) + 0.4 = 2.64 \text{ kPa} (56 \text{ psf})$ 1/10 YEAR: 0.37 kPa (7.7 psf) 1/50 YEAR: 0.48 kPa (10.0 psf) HOURLY WIND PRESSURES:

. THE CONTRACTOR IS TO PROTECT ALL FOUNDING SOIL FROM FREEZING DURING THE CONSTRUCTION PERIOD. THIS INCLUDES FOOTINGS THAT HAVE BEEN CAST.

SLAB-ON-GRADE:

- REMOVE ALL TOPSOIL AND SOILS CONTAINING ORGANICS. CONTRACTOR IS TO REFER TO SOILS REPORT, IF AVAILABLE FOR INDICATION OF DEPTHS OF UNSUITABLE SOIL AND IS TO REMOVE SOFT OR WEAK AREAS TO COMPETENT MATERIAL. ALL OF
- THIS WORK IS TO BE CARRIED OUT UNDER THE DIRECT INSTRUCTIONS OF THE SOILS ENGINEER. PROOF ROLL SUB-GRADE AS DIRECTED BY SOILS ENGINEER.
- 3. BACKFILL WITH GRANULAR MATERIAL SUITABLE TO SOILS ENGINEER.
- BACKFILL SHOULD BE COMPACTED IN LAYERS NOT EXCEEDING 150 mm (6") IN COMPACTED THICKNESS, AND SHOULD BE COMPACTED TO A UNIFORM DRY DENSITY OF 98% STANDARD PROCTOR MAXIMUM DRY DENSITY. MATERIAL SHALL CONSIST OF GRANULAR B UP TO 150 mm (9") BELOW THE UNDERSIDE OF THE CONCRETE SLAB, WITH 150 mm (6") OF GRANULAR A OR CRUSHED STONE DIRECTLY BELOW THE SLAB OR SLAB INSULATION.
- . PLACE SLABS-ON-GRADE ON MATERIAL CAPABLE OF SUSTAINING 24 kN/m² (500 psf) WITHOUT SETTLEMENT RELATIVE TO
- . REINFORCE SLAB-ON-GRADE WITH WWM 152x152 (6"x6") MW18.7XMW18.7 UNLESS NOTED OTHERWISE ON THE DRAWINGS. ROLLED REINFORCING MESH IS UNACCEPTABLE. SHEETS OF MESH MUST BE USED. SITUATE MESH ON "CHAIRS" ABOVE
- PROVIDE SLAB THICKENING UNDER ALL MASONRY PARTITIONS.
- . REFER TO THE "CAST-IN-PLACE CONRETE" SECTION FOR THE REQUIREMENTS FOR COMPRESSIVE STRENGTH, WATER CEMENT RATIO, AND AIR ENTRAINMENT REQUIREMENTS. IF THE SLAB IS TO BE STEEL TROWEL FINISHED, NON-STRUCTURAL AND EXPOSED TO CHLORIDES BUT NOT TO FREEZE/THAW CYCLES, THEN THE REQUIREMENT FOR AIR ENTRAINMENT MAY BE WAIVED, AS PER CAN/CSA A23.1-00, TABLE 14.
- C-4 NON-STRUCTURALLY REINFORCED CONCRETE EXPOSED TO CHLORIDES BUT NOT TO FREEZING AND THAWING. EXAMPLES INCLUDE UNDERGROUND PARKING SLABS ON GRADE.). PROVIDE CONTROL JOINTS OR SAW-CUTS TO CREATE AREAS 4.5 m x 4.5 m (15' x 15') MAX. PROVIDE DIAMOND CUT PATTERN AROUND COLUMNS AND AT DOORWAYS. CONCRETE IN AN UNSATURATED CONDITION EXPOSED TO FREEZING AND THAWING BUT NOT TO CHLORIDES. EXAMPLES INCLUDE EXTERIOR WALLS AND COLUMNS. CONCRETE NOT EXPOSED TO CHLORIDES NOR TO FREEZING AND THAWING. EXAMPLES INCLUDE FOOTING AND INTERIOR SLABS, WALLS AND COLUMNS.
 - OVER ALL OPENINGS AND RECESSES IN MASONRY WALLS. INCLUDING THOSE FOR MECHANICAL AND ELECTRICAL SERVICES OF EQUIPMENT, PROVIDE AND INSTALL HOT DIPPED GALVANIZED STEEL LINTELS IN ACCORDANCE WITH THE REQUIREMENTS OF
 - . ALL MASONRY MUST BE SET WITH FULLY FILLED JOINTS USING MORTAR AS DEFINED IN THE NATIONAL BUILDING CODE . PROVIDE A MINIMUM OF 150 mm (6") BEARING FOR ALL LINTELS. PROVIDE A BUILDING PAPER BOND BREAK BELOW LINTEL

FOR HEATING THE MATERIALS AND PROTECTING THE WORK WITHOUT WRITTEN APPROVAL.

- BEARING AT CONTROL JOINTS.
- SURFACE IMMEDIATELY BEFORE PLACING ADJACENT CONCRETE. i. A 38 mm X 89 mm (1½" x 3½") KEYWAY MUST BE PLACED IN THE WALL AT ALL CONSTRUCTION JOINTS IN CONCRETE WALLS. REINFORCING STEEL PROJECTING THROUGH CONSTRUCTION JOINT SHALL BE THOROUGHLY CLEANED OF LOOSE FLAKY RUST, MUD, OIL, DRIED CONCRETE OR OTHER COATINGS WHICH WOULD DESTROY OR REDUCE BOND. S. NO MASONRY WORK SHALL BE PERMITTED WITH TEMPERATURE BELOW 5 DEGREES CELSIUS UNLESS PROVISIONS ARE MADE
- . THE MAXIMUM SPACING OF THE CONTROL JOINTS IN POURED CONCRETE FOUNDATION OR RETAINING WALLS SHALL BE 11 m

THE CONTRACTOR MUST LOCATE THE MASONRY CONTROL JOINTS AS INDICATED ON THE DRAWINGS WITH A MAXIMUM SPACING OF

NON-STRUCTURALLY REINFORCED CONCRETE EXPOSED TO MODERATE MANURE AND/OR SILAGE GASES AND LIQUIDS, WITHOUT FREEZE-THAW EXPOSURE. EXAMPLES INCLUDE INTERIOR SLABS ON GRADE.

ONSTRUCTION JOINTS SHALL BE DESIGNED AND LOCATED SO AS NOT TO IMPAIR THE STRENGTH OF THE STRUCTURE. IF

WHERE A CONSTRUCTION JOINT IS TO BE MADE, THE SURFACE OF THE SET CONCRETE SHALL BE THOROUGHLY CLEANED OF

FOREIGN MATTER AND LAITANCE, SATURATED WITH WATER AND LEFT IN A DAMP CONDITION WITH NO FREE WATER ON THE

CONSTRUCTION JOINTS ARE NOT SPECIFICALLY LOCATED AND THERE IS ANY DOUBT CONCERNING THE LOCATION, THE

MAX. WATER TO CEMENT RATIO

0.65

0.55

0.55 0.55

0.55 0.55

SEE SPEC'S

CLASS OF EXPOSURE

C-4 OR A-4

AIR CONTENT | CURING TYPE

SEE SPEC'S

CONCRETE SPECIFICATIONS

INTERIOR, HEATED (2)

EXTERIOR, UNHEATED

INTERIOR, HEATED (2)

NOTES:

1. CURING TYPE 1 - 10°C FOR 3 DAYS (OR UNTIL 40% OF SPECIFIED STRENGTH IS OBTAINED)

CURING TYPE 2 - 10°C FOR 10 DAYS (OR UNTIL 70% SPECIFIED STRENGTH IS OBTAINED)

2. "HEATED" REFERS TO A SPACE WHICH WILL BE INSULATED AND OR MAINTAINED AT OR ABOVE 10°C ON A CONSISTENT BASIS ALL YEAR.

3. CONTRACTOR TO VERIFY NOMINAL SIZE OF AGGREGATE, REPORT IF SIZE IS NOT WITHIN RANGE OF 14 mm $-\ 20$ mm.

b) INTERIOR, HEATED (2) INTERIOR, UNHEATED

FOOTINGS

EXPOSURE CLASS DEFINITIONS

CONSTRUCTION JOINTS:

CONTRACTOR MUST CONSULT THE ARCHITECT.

8 m (26'-0") ON EXTERIOR WALLS.

. MASONRY WIRE REINFORCING SHALL CONFORM TO CSA A370-04. MASONRY VENEER CONNECTORS SHALL CONFORM TO AND BE INSTALLED IN ACCORDANCE WITH CSA A370-04.

ALL MASONRY CONSTRUCTION SHALL CONFORM TO CSA STANDARDS A371-04. 3. ALL METAL TIES TO SECURE WALLS EXPOSED TO WEATHER SHALL BE HOT DIP GALVANIZED CONNECTED TO STUDS USING HOT-DIPPED, GALVANIZED SCREWS. TIES SHALL BE DA 213 OR FERO RAP TIE SELECTED TO SPAN INSULATION AND AIR SPACE DEPTH.

SUPPLIER IS TO PROVIDE ERECTION AND MEMBER FABRICATION DRAWINGS BEARING THE SEAL OF A PROFESSIONAL

- ALL SHEATHING SHALL CONFORM TO CAN/CSA 0121 FOR DOUGLAS FIR PLYWOOD; CAN/CSA 0151 FOR CSP & CAN/CSA 0437 FOR OSB
- ENGINEER REGISTERED OR LICENSED IN THE PROVINCE OF ONTARIO. THE DRAWING MUST INDICATE DESIGN LOADS, TIMBER SPECIES, GRADES, BRACING AND CONNECTORS. ALL TRUSSES MUST BE ANCHORED WITH APPROPRIATE TIE-DOWN METAL ANCHORS TO RESIST UPLIFT AS CALCULATED AND SHOWN IN THE TRUSS DESIGN CALCULATIONS. 1. PROVIDE HOLD-DOWNS & CONNECTORS REQUIRED BY THE DESIGN SELECTED FROM SIMPSON STRONGTIE JOIST HANGERS AS REQUIRED BY SIMPSON, RSC OR APPROVED EQUIVALENT. 2. ALL WOOD IN CONTACT WITH CONCRETE SHALL BE SEPARATED FROM CONCRETE WITH A MOISTURE BARRIER SUCH AS
- 3. MAXIMUM BRIDGING SPACING FOR SAWN LUMBER JOISTS SHALL BE 2300 mm (7'-6 ") c/c. 4. THE BEARING SHOWN ON THE DRAWINGS IS THE MAXIMUM WIDTH TO BE PROVIDED AND THE JOIST/TRUSS MANUFACTURER MUST DESIGN THE JOISTS/TRUSSES TO SUIT THE BEARING WIDTH.
- 5. PROVIDE STANDARD JOIST HANGERS AS REQUIRED BY SIMPSON, RSC OR APPROVED EQUIVALENT.
- 16. SPIKE EACH LAMINATION OF BUILT-UP BEAMS @ 300 mm (1 ft) c/c AS FOLLOWS: 1 ROW OF 90 mm (3½") LONG NAILS FOR 140 mm (5½") DEPTH
- 2 ROWS OF 90 mm (3½")LONG NAILS FOR GREATER DEPTH 7. SPIKE AND GLUE BUILT-UP POSTS @ 220 mm (8½") c/c AS PER CODE AS FOLLOWS:
- 2 ROWS FOR LARGER SIZES 8. ALL PERMANENT BRACING FOR TRUSSES SHALL BE SECURELY ANCHORED BY BACK BRACING DIAGONALLY OR ATTACHING TO END WALLS ACCORDING TO GUIDELINES PUBLISHED BY THE CANADIAN WOOD TRUSS ASSOCIATION. 3. EXTERIOR WALLS AND ROOF FRAMING SHALL BE DESIGNED, CONSTRUCTED AND ANCHORED TO RESIST ALL WIND,

20. PROVIDE LINTELS AND HEADERS OVER ALL OPENINGS

- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR THE SUBMITTAL OF ALL REQUIRED SHOP OR FABRICATION DRAWINGS IN A ALL STRUCTURAL SUBMITTALS SUBMITTED FOR REVIEW MUST FIRST BE REVIEWED BY AND STAMPED BY THE GENERAL
- 3. THE FOLLOWING SHOP DRAWINGS SHALL BE SUBMITTED FOR REVIEW: DRAWING

 a. PRE-FABRICATED WOOD ROOF TRUSSES
- b. WOOD LVL'S WHERE NOTED IN THE ABOVE TABLE, STRUCTURAL SUBMITTALS SHALL BEAR THE SEAL AND SIGNATURE OF A PROFESSIONAL ENGINEER LICENSED IN THE PROVINCE OF ONTARIO.
- ALL STRUCTURAL SUBMITTALS WILL BE REVIEWED BY THE ARCHITECT AND ENGINEER SOLELY FOR THEIR CONFORMANCE WITH THE DESIGN INTENT AND THE CONSTRUCTION DOCUMENTS. 6. ALL SUBMITTALS SHALL CONSIST OF ONE ELECTRONIC PDF COPY

WALL TYPE W1 (TYPICAL EXTERIOR BRICK WALL) MASONRY VENEER

- 1"± AIR SPACE " (R10) CONT. RIGID FOAM INSULATION
- 7/16" ÁSPENITE SHEATHING 2"x 6" WOOD STUDS @ 16" O.C. 4" MIN. SPRAYED FOAM INSULATION IN STUD CAVITIES 1/2" GYPSUM BOARD (TYPE 'X' AT REAR
- FIRE RATED WALL) WALL TYPE W1A (TYPICAL BRICK WALL AT GARAGE) MASONRY VENEER 1"± AIR SPACE
- (R5) CONT. RIGID FOAM INSULATION 7/16" ASPENITE SHEATHING 2"x 6" WOOD STUDS @ 16" O.C " MIN. SPRAYED FOAM INSULATION IN STUD CAVITIES 1/2" TYPE 'X' GYPSUM BOARD
- WALL TYPE W1B
 SAME AS WALL TYPE 'W1A' BUT WITH
 2 LAYERS OF 1/2" TYPE 'X' GYPSUM BOARD ON RESILIENT MÉTAL CHANNELS ON INTERIOR O WALL TO MATCH THAT AT TYPICAL DEMISING WALL
- WALL TYPE W2 (TYPICAL EXTERIOR SIDING WALL)
 WOOD SIDING 1"x 4" WOOD STRAPPING @ 16" O.C. " (R10) CONT. RIGID FOAM INSULATION
- 7/16" ASPENITE SHEATHING 2"x 6" WOOD STUDS @ 16" O.C 4" MIN. SPRAYED FOAM INSULATION IN STUD CAVITIES
- 1/2" GYPSUM BOARD (TYPE 'X' AT REAR FIRE RATED WALL) WALL TYPE W2A (TYPICAL SIDING WALL AT GARAGE) WOOD SIDING
- '(R5) CONT. RIGID FOAM INSULATION 7/16" ASPENITE SHEATHING 2"x 6" WOOD STUDS @ 16" O.C.
- H" MIN. SPRAYED FOAM INSULATION IN STUD CAVITIES 1/2" TYPE 'X' GYPSUM BOARD

- PROVIDE PAPERLESS GYPSUM BOARD IN GARAGES

1"x 4" WOOD STRAPPING @ 16" O.C.

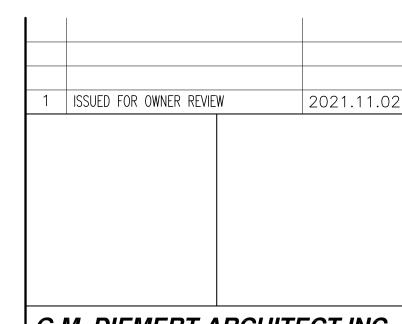
- WALL TYPE W3 (STC 65+)(TYPICAL DEMISING WALL)
 2 LAYERS 1/2" TYPE 'X' GYPSUM BOARD HORIZ. RESILIENT METAL CHANNELS @ 16" O.C. 2"x 4" WOOD STUDS @ 16" O.C. ROXUL INSULATION (FILL STUD CAVITIES) 1"± SPACE (TOTAL 8" WOOD STUD WIDTH) 2"x 4" WOOD STUDS @ 16" O.C. ROXUL INSULATION (FILL STUD CAVITIES) HORIZ. RESILIENT METAL CHANNELS @ 16" O.C.
- 2 LAYERS 1/2" TYPE 'X' GYPSUM BOARD WALL TYPE W3A (DEMISING WALL BETWN GARAGES) TYPE 'X' GYPSUM BOARD 2"x 4" WOOD STUDS @ 16" O.C.
- ROXUL INSULATION (FILL STUD CAVITIES) 1/2" TYPE 'X' GYPSUM BOARD WALL TYPE W4 (STC 34)(BETWN GARAGE & UNIT)
 1/2" TYPE 'X' GYPSUM BOARD (GARAGE SIDE)

2"x 4" WOOD STUDS @ 16" O.C.

ROXUL INSULATION (FILL STUD CAVITIES)
1"± SPACE (TOTAL 8" WOOD STUD WIDTH)

- 2"x 6" WOOD STUDS @ 16" O.C. 1/2" GYPSUM BOARD
- WALL TYPE W5 (TYPICAL INTERIOR UNIT WALL, U.N.O.) GYPSUM BOARD 2"x 4" WOOD STUDS @ 16" O.C. 1/2" GYPSUM BOARD

- ALL WALLS ARE TO EXTEND TO UNDERSIDE OF TRUSS ABOVE
- FIRE RATED WALLS ARE TO BE CONSTRUCTED AS INDICATED IN SUPPLEMENTARY STANDARD SB-2 OF THE 2012 BUILDING CODE. IN ALL CASES WHERE A SINGLE LAYER GYPSUM BOARD IS SHOWN, ALL JOINTS ARE TO BE SUPPORTED WITH FRAMING MEMBERS. DO NOT LOCATE ELECTRICAL BOXES ON OPPOSITE SIDES OF WALL FROM EACHOTHER WITHIN 24" OF EACHOTHER. SEAL WALLS COMPLETELY TO FLOORS, ROOF STRUCTURE AND ADJACENT WALLS WITH FIRE RATED ACOUSTICAL CAULKING. AT STRUCTURAL, MECH. AND ELECT. PENETRATIONS (I.E. BEAMS, DUCTS AND CONDUITS, ETC.) CUT GYPSUM BOARD TO 1/2" FROM STRUCTURAL/ MECHANICAL/ELECTRICAL MEMBER AND SEAL JOINT WITH FIRE RATED ACOUSTICAL CAULKING. - ALL UNPÁINTED GYPSUM BOARD INSTALLED ABOVE CEILINGS IS TO BE TAPED AND CAULKED PROVIDE MOISTURE RESISTANT GYPSUM BOARD IN WASHROOMS AND MECHANICAL ROOMS



G.M. DIEMERT ARCHITECT INC. 957 FOURTH AVENUE EAS

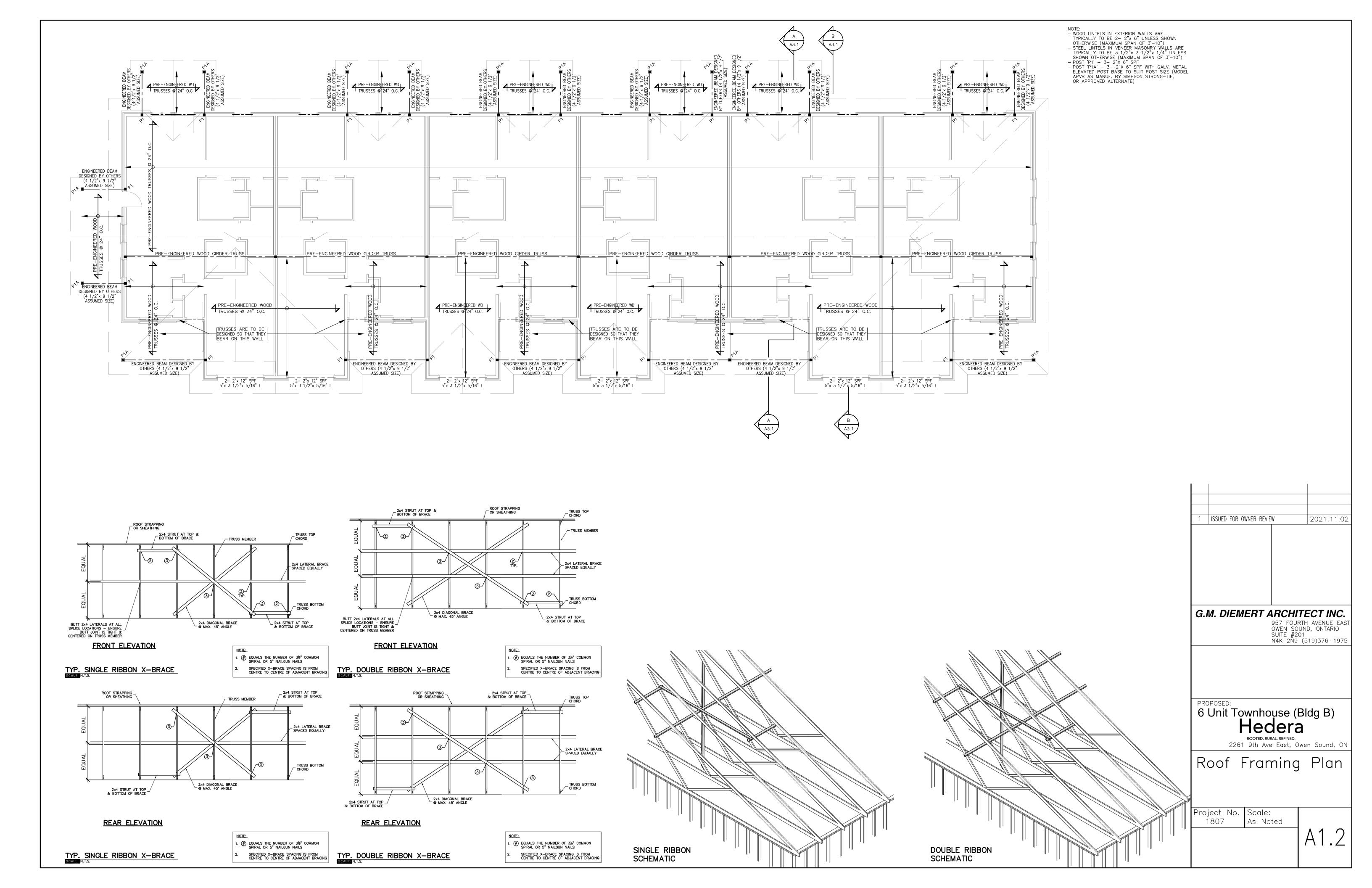
OWEN SOUND, ONTARIO SUITE #201 N4K 2N9 (519)376-1975

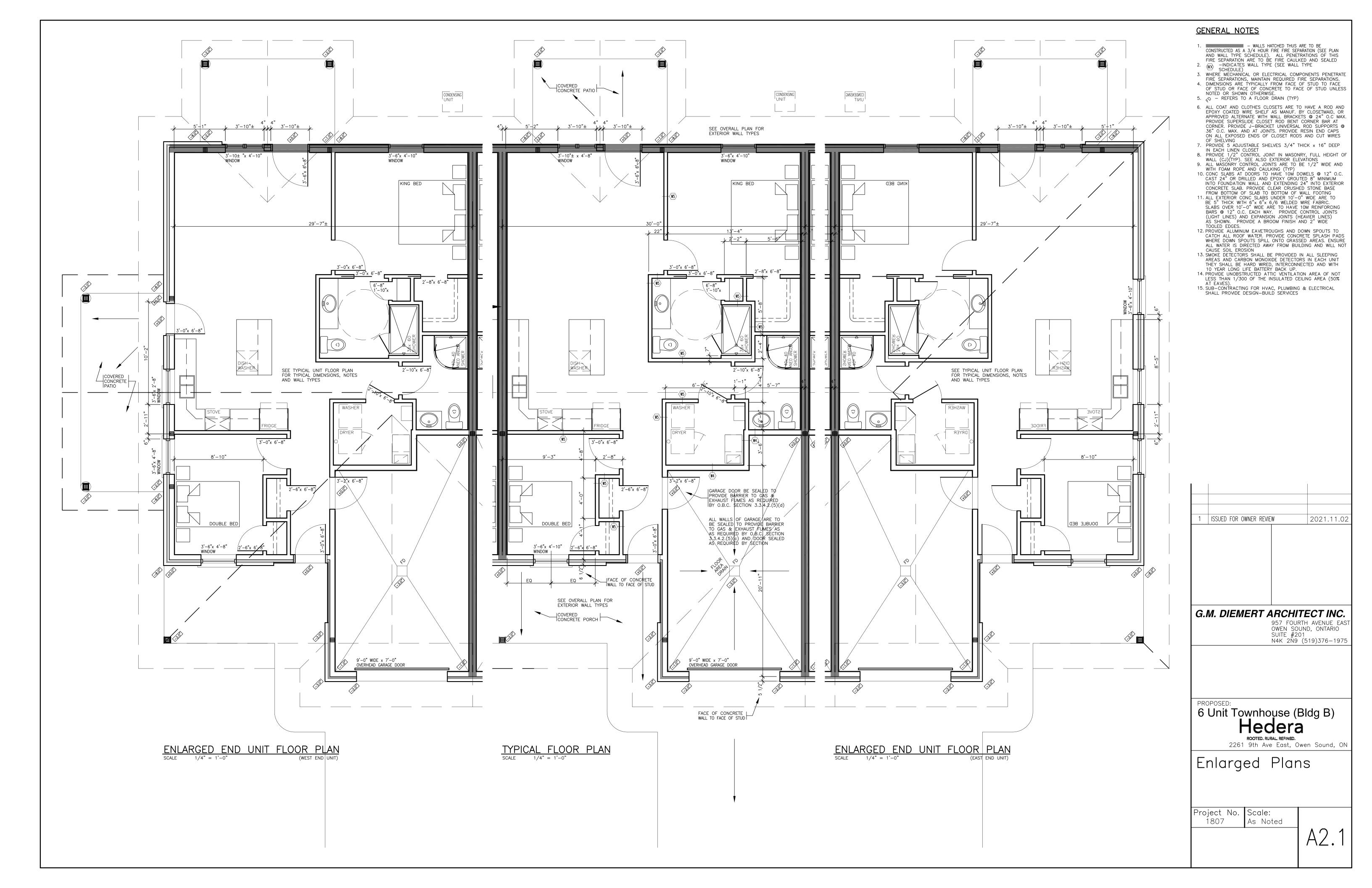
6 Unit Townhouse (Bldg B)

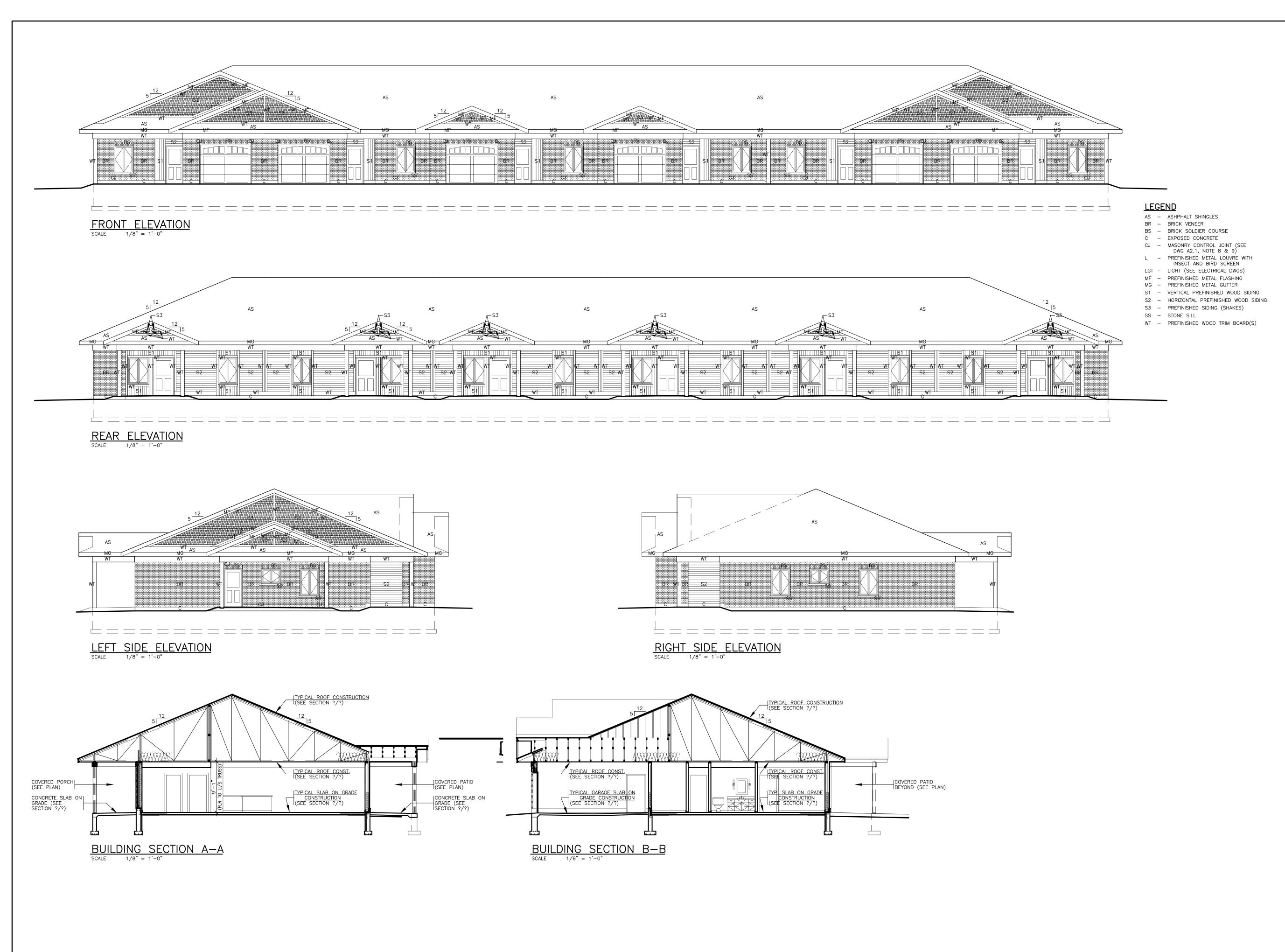
2261 9th Ave East, Owen Sound, ON

Overall Plan

Project No. Scale: 1807 As Noted







G.M. DIEMERT ARCHITECT INC.

957 FOURTH AVENUE EAST OWEN SOUND, ONTARIO SUITE #201
N4K 2N9 (519)376-1975

PROPOSED:
New Townhomes for:
Hedera
ROOTED. RURAL REFINED.
2261 9th Ave East, Owen Sound, ON

Elevations & Building Sections

Project No. Scale: 1807 As Noted

A3.

