

Home Inspection Report



8008 South Street
Somewhere, USA 11002

Prepared for: Mr. & Mrs. Home Buyer

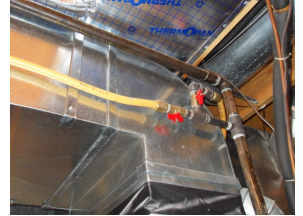
Prepared by: PTI Home Inspections
407 North Main Street
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Major Defect Summary

When work is performed in response to this report, we recommend that all repairs be done by licensed or certified contractors. This report is an integral and binding instrument of the attached "Agreement and Order"

Plumbing

- Gas Supply Lines:** Black iron gas lines, CSST, (corrugated stainless steel tubing) rated gas lines - (CSST), Corrugated Stainless Steel Tubing must be properly grounded as per manufacturer's Design Guide & Installation Instructions. CSST must have a 2+ inch clearance of anything that might be energized and must be continuous ground to the ground rod or to the service panel. (Designated to the grounding electrode by itself). The 2009 edition of NFPA 54, National Fuel Gas Code, includes new requirements for bonding CSST gas piping systems to the grounding conductor of the building's electrical system, to reduce the possibility of damage by lightning strikes by reducing the electrical potential between metallic objects and building systems, including gas distribution.



Living Space

- Living Space Windows:** Wood casement windows - Crestline wood casements, den's window has water damage and the seal has come off the frame work, the aluminum wrap on the window frames are de laminating allowing water to contact the wood frame-repair, some window around the home are starting to show some discoloring from moisture-review, dinning room window sticks and will not close-repair



Minor Defect Summary

When work is performed in response to this report, we recommend that all repairs be done by licensed or certified contractors. This report is an integral and binding instrument of the attached "Agreement and Order"

Electrical

1. **Main Electric Panel Smoke/CO Detectors:** Inadequate or no smoke detectors installed in the home - [Install Smoke and C/O alarms in the home as per the manufacturers installation guidelines on the packaging, Install C/O alarm in the master bedroom, \(outlet style suggested\), recommend the use of an ABC fire extinguisher in the home.](#)

Plumbing

2. **Water Softener:** Culligan water softener system - [Unknown condition, Recommend servicing and sanitizing the system as regular maintenance, use crushed salt for better results](#)



Heating System

3. **Heating System Emergency Shut off Location:** Gas and electrical shutoff's located at the unit - [Blower motor shutoff switch is bypassed-repair for safety reasons](#)

Basement

4. **Basement Sump Pump:** Submerged pump with an anti flow back check valve, battery back-up system is installed and operational - [Secure cover to the pit collar for safety reasons](#)



Routine Maintenance Summary

Due to the general nature of the property maintenance advice in this material, Professional Termite Inspections Inc. assumes no liability or for any loss and or damage which may occur or be suffered by the use of this information.

Heating System

1. **Heating System Humidifier:** Not tested - Humidifiers are beyond the scope of the inspection, we recommend that they be serviced in response to the seller and be part of the annual maintenance of the heating system

Kitchen

2. **1st Floor Kitchen Electrical:** GFCI outlets are available, 115v outlets and general lighting circuits - Loose outlet should be re placed at the end of the counter to the side of the dishwasher
3. **Basement Kitchen Refrigerator:** Operational-frost free with ice maker - Handle is loose

Living Space

4. **Family Room Fireplace Damper:** Metal prefabricated - Suggest a damper clamp be installed to prevent trapping gas or C/O in the home

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Definitions

Satisfactory	Satisfactory conditions
Major Defect	A Major Defect is a condition that could have a significant adverse effect on the value of the property, that could significantly impair the health or safety of occupants of the property, or that if not repaired, removed, or replaced could significantly shorten or adversely affect the expected normal life of the premises.
Minor Defect	A Minor Defect is a condition that could have a lesser effect on the value of the property, that could be capable of impairing the health or safety of occupants of the property, or that if not repaired, removed, or replaced could possibly shorten or affect the expected normal life of the premises.
Routine Maintenance	A list of some items that a home owner would perform to maintain or up-keep the home properly - See Seasonal Maintenance Check List provided with the report.
Future Projects	A list of some important items requiring possible repair or replacement in the medium term.
Suggestions	Suggestions to improve an item or condition of the property or home that may not be a code issue.

General Information

Property Information

Property Address 1001 North Main Street
City Somewhere **State** USA **Zip** 20011
Contact Name We Sell Homes Realty-Mary Smith
Phone 909-555-1212 **Fax**

Client Information

Client Name Mr & Mrs Home Buyer
Client Address 8008 South Street
City Somewhere **State** USA **Zip** 11002
Phone 909-555-2112 **Fax**
E-Mail gdhdbfg@yahoo.com

Inspection Company

Inspector Name Kevin Nichols
Company Name PTI Home Inspections
Address 407 North Main Street
City Churubusco **State** Indiana **Zip** 46723
Phone 260) 693-0599 **Fax**
E-Mail kevin@ptihomeinspections.com

Conditions

Others Present Buyer's Agent and Buyer **Property Occupied** Occupied
Estimated Age 1930 **Entrance Faces** Northeast
Inspection Date 09/28/2011
Start Time 2:00pm
Electric On Yes
Gas/Oil On Yes
Water On Yes
Temperature 68 Degrees
Weather Cloudy conditions **Soil Conditions** Dry

Electrical

1. Satisfactory **Service:** Underground service
- Main Electric Panel**
2. Satisfactory **Manufacturer:** Seimens
3. **Maximum Capacity:** 200amp rated panel box
4. Satisfactory **Main Breaker Size:** 200amp breaker
5. Satisfactory **Conductor Type:** 200amp #4-0 aluminum conductors
6. Satisfactory **Breakers:** 115v and 230v
7. Satisfactory **120 VAC Branch Circuits:** Copper Romex wiring, proper wire to breaker size
8. Satisfactory **240 VAC Branch Circuits:** Copper Romex wiring, proper wire to breaker size
9. Satisfactory **Ground:** Proper grounding/bonding of the electrical system, #8 ground to 100amp/#6 ground to 200amp
10. Satisfactory **Panel Bonded:** Panel is bonded properly
11. Minor Defect **Smoke/CO Detectors:** Inadequate or no smoke detectors installed in the home - [Install Smoke and C/O alarms in the home as per the manufacturers installation guidelines on the packaging, Install C/O alarm in the master bedroom, \(outlet style suggested\), recommend the use of an ABC fire extinguisher in the home.](#)

Air Conditioning

AC System

1. Satisfactory **Exterior Unit:** Pad mounted PVC or concrete
2. **Manufacturer:** Carrier
3. **Model Number:** 38TK9048330 **Serial Number:** 2497E16996
4. **Area Served:** 1st floor of the home and the basement **Approximate Age:** 06-1997
5. Satisfactory **Visible Coils:** Aluminum coils
6. Satisfactory **Refrigerant Lines:** Insulated line
7. Satisfactory **Electrical Disconnect:** Breaker/fuse disconnect is provided on the exterior of the home
8. **Supply Temp:** 55 Degrees
9. **Return Temp:** 70 Degrees
10. **Differential Temp:** 15 Degrees
11. Satisfactory **Cooling Operations:** The AC difference of temperature between the supply and return meets 14 degrees to 18 degrees and is satisfactory

Plumbing

1. **Public Service:** Yes
2. Satisfactory **Service Line:** Copper water line
3. Satisfactory **Main Water Shutoff:** Located in the basement
4. Satisfactory **Water Lines:** Copper water lines
5. **Water PSI High:** 62 psi
6. **Gallons Per Minute:** 5.5 gallon per minute
7. Satisfactory **Functional Flow:** Average water flow
8. Satisfactory **Hose Bibs:** Gate valve style
9. Minor Defect **Water Softener:** Culligan water softener system - [Unknown condition, Recommend servicing and sanitizing the system as regular maintenance, use crushed salt for better results](#)
10. **Public Waste System:** Yes
11. **Private Waste System:** No
12. Satisfactory **Type of Waste Lines:** PVC waste lines
13. Satisfactory **Waste Line C/O Cap** Located at the front of the home in the landscaping

Plumbing (Continued)

14. Major Defect **Gas Supply Lines:** Black iron gas lines, CSST, (corrugated stainless steel tubing) rated gas lines - (CSST), Corrugated Stainless Steel Tubing must be properly grounded as per manufacturer's Design Guide & Installation Instructions. CSST must have a 2+ inch clearance of anything that might be energized and must be continuous ground to the ground rod or to the service panel. (Designated to the grounding electrode by itself). The 2009 edition of NFPA 54, National Fuel Gas Code, includes new requirements for bonding CSST gas piping systems to the grounding conductor of the building's electrical system, to reduce the possibility of damage by lightning strikes by reducing the electrical potential between metallic objects and building systems, including gas distribution.

Water Heater

15. **Manufacturer:** State
 16. **Model Number:** PVR75NRRT970 **Serial Number:** 898496667
 17. **Type:** Natural gas **Capacity:** 75 gallon tank
 18. **Approximate Age:** 02-1998 **Area Served:** 1st floor of the home and the basement
 19. Satisfactory **Flue Pipe:** Single wall galvanized joining double wall galvanized vent pipe
 20. Satisfactory **TPRV and Drain Tube:** TPR valve with 3/4" PVC drain tube within 6" of the floor surface
 21. **Water Heater Satisfactory:** Yes

Heating System

Heating System

1. **Service the Heating/Air Systems each season**
2. **Manufacturer:** Carrier
3. **Model Number:** 58WAV11120 **Serial Number:** 0997A03482
4. **Manufactures Date:** 03-1997
5. **Installation Date:** 1997
6. **Type Medium:** Forced air system **Capacity:** 110,000 BTUH
7. **Fuel Type:** Natural gas
8. Minor Defect **Emergency Shut off Location:** Gas and electrical shutoff's located at the unit - [Blower motor shutoff switch is bypassed-repair for safety reasons](#)
9. **Furnace Fired:** Yes
10. **Heat Exchanger Access:** Note: The heat exchanger is an intrusive inspection and is not a part of this inspection due to the fact that they are contained within the air handler and are not visible to the inspector.
11. Satisfactory **Thermostats:** Digital programmable stat
12. Satisfactory **Gas/CO Leaks:** No gas or carbon monoxide readings were noted at the time of the inspection
13. **Clearance from Combustibles:** Yes
14. **Combustable Air Source:** Yes
15. Satisfactory **Filter Size/Type:** Aprilaire model #2200
16. Satisfactory **Distribution:** Metal duct and or insulated flex duct
17. **Suspected Asbestos:** No
18. **Heat supplies each room:** Yes
19. Satisfactory **Flue Pipe:** Single wall galvanized joining double wall galvanized vent pipe
20. Satisfactory **Condensate Removal:** PVC drain line to surface drain
21. Routine Maintenance **Humidifier:** Not tested - [Humidifiers are beyond the scope of the inspection, we recommend that they be serviced in response to the seller and be part of the annual maintenance of the heating system](#)
22. **Additional Heating:** AmericanAire garage heater, gas operated with digital thermostat,

Basement

Basement

- | | |
|---|--|
| 1. Satisfactory | Ceiling: Drywall materials |
| 2. Satisfactory | Walls: Drywall materials |
| 3. Satisfactory | Electrical: 115v outlets and general lighting circuits |
| 4. Satisfactory | Windows: Wood casement windows |
| 5. Satisfactory | Floor: Carpeted areas |
| 6. Satisfactory | Floor Drain: Surface drain |
| 7. Minor Defect | Sump Pump: Submerged pump with an anti flow back check valve, battery back-up system is installed and operational - Secure cover to the pit collar for safety reasons |
| 8. Satisfactory | Grinder Pit/Uplift Kit: Operational with an anti flow back check valve with tank alarm operational |
| 9. Install a dehumidifier in the basement to keep moisture levels below 14%, to eliminate molds and mildews, and insects that are conducive to moisture conditions. | |
| 10. Satisfactory | Evidence of Moisture: No evidence of moisture issues was noted at the time of the inspection |
| 11. Satisfactory | Basement Stairs/Railings: Stairs DO NOT conform to standards, a hand rail is intact |

Structure

- | | |
|-----------------|---|
| 1. Satisfactory | Structure Type: Wood frame 2x4 2x6 construction |
| 2. Satisfactory | Foundation: Solid poured foundation |
| 3. Satisfactory | Differential Movement: No movement or displacement noted |
| 4. Satisfactory | Bearing Walls: Studded 2x4 2x6 materials |
| 5. Satisfactory | Joists/Trusses: 2x10 floor joist |
| 6. Satisfactory | Insulation: R-13 Fiberglass batting in the box plates and in the studded basement walls with vapor barrier |
| 7. Satisfactory | Subfloor: 23/32 OSB rated 16-24 on center sub flooring |

Laundry Room/Area

Laundry Room/Area

- | | |
|--|--|
| 1. Gas Available: Yes | |
| 2. 230V Available: Yes | |
| 3. Units Included: No | |
| 4. Units Tested: No | |
| 5. Satisfactory | Washer Hose Bib: Gate valves shutoff and no leaking was noted |
| 6. We recommend replacement of the washers water hoses each year to prevent unforeseen water damage. | |
| 7. Satisfactory | Dryer Vent: Metal flex and ridged venting |
| 8. Satisfactory | Dryer Gas Line: Black iron not in use, NOT capped |
| 9. Satisfactory | Adequate Waste: Drains to the main lines |
| 10. Satisfactory | Laundry Sink: Plastic/PVC and base cabinet |

Kitchen

1st Floor Kitchen

- | | |
|-----------------|---|
| 1. Satisfactory | Cook Top/Oven: Gas cook top/oven |
| 2. Satisfactory | Ventilation: Ductless venting |
| 3. Satisfactory | Disposal: In-Sinkerator |
| 4. Satisfactory | Dishwasher: Tested-Operational |

Kitchen (Continued)

5. Satisfactory **Refrigerator:** Operational-frost free with ice maker and in door dispenser
 6. Satisfactory **Microwave:** Tested operational and no microwave leaks was detected
 7. Satisfactory **Sink:** Stainless steel sink/basin
 8. Routine Maintenance **Electrical:** GFCI outlets are available, 115v outlets and general lighting circuits - **Loose outlet should be re placed at the end of the counter to the side of the dishwasher**
 9. Satisfactory **Plumbing/Fixtures:** PVC drain lines and traps
 10. Satisfactory **Counter Tops:** Marble/Granite faced counter top
 11. Satisfactory **Cabinets:** Maple cabinets
 12. Satisfactory **Floor:** Hardwood flooring

Basement Kitchen

13. Satisfactory **Cook Top/Oven:** Electric cook top/oven
 14. Satisfactory **Ventilation:** Ductless venting
 15. Routine Maintenance **Refrigerator:** Operational-frost free with ice maker - **Handle is loose**
 16. Satisfactory **Microwave:** Tested operational and no microwave leaks was detected
 17. Satisfactory **Sink:** Stainless steel sink/basin
 18. Satisfactory **Electrical:** GFCI outlets are available, 115v outlets and general lighting circuits
 19. Satisfactory **Plumbing/Fixtures:** PVC drain lines and traps
 20. Satisfactory **Counter Tops:** Marble/Granite faced counter top
 21. Satisfactory **Cabinets:** Maple cabinets
 22. Satisfactory **Floor:** Ceramic tile finishes

Living Space

Living Space

1. Satisfactory **Closet:** Small walk-in and large walk-in pantry/linen/bedroom closets
 2. Satisfactory **Ceiling:** Drywall materials
 3. Satisfactory **Walls:** Drywall materials
 4. Satisfactory **Floor:** Hardwood flooring, Carpeted areas
 5. Satisfactory **Doors:** Solid wood panel doors
 6. Major Defect **Windows:** Wood casement windows - **Crestline wood casements, den's window has water damage and the seal has come off the frame work, the aluminum wrap on the window frames are de laminating allowing water to contact the wood frame-repair, some window around the home are starting to show some discoloring from moisture-review, dinning room window sticks and will not close-repair**
 7. Satisfactory **Electrical:** 115v outlets and general lighting circuits

Family Room Fireplace

8. **Type:** Gas log fireplace-KEEP THE GAS KEY AWAY FROM CHILDREN AND DO NOT LEAVE IN THE VALVE AT ANY TIME
 9. Satisfactory **Fireplace Construction:** Tile face construction
 10. Satisfactory **Fireplace Insert:** Ceramic hearth
 11. Satisfactory **Flue:** Prefabricated flue liner, limited visual access
 12. Routine Maintenance **Damper:** Metal prefabricated - **Suggest a damper clamp be installed to prevent trapping gas or C/O in the home**
 13. Satisfactory **Hearth:** Tile outer hearth

Bathroom

Master Bathroom

- | | |
|-----------------|---|
| 1. Satisfactory | Floor: Carpeted areas |
| 2. Satisfactory | Electrical: GFCI outlets are available, 115v outlets and general lighting circuits |
| 3. Satisfactory | Sink/Basin: Dual basin and base cabinet |
| 4. Satisfactory | Faucets/Traps: PVC lines and trap, no leaking was noted |
| 5. Satisfactory | Shower/Surround: Fiberglass pan and fiberglass surround |
| 6. Satisfactory | Spa Tub/Surround: Fiberglass tub and ceramic tile surround, Whirlpool tub wired with a GFCI in the panel box |
| 7. Satisfactory | Toilets: No leaking was noted and toilet is secured to the floor |
| 8. Satisfactory | Ventilation: Electric ventilation fan |

1st floor Bathroom

- | | |
|------------------|---|
| 9. Satisfactory | Floor: Ceramic tile finishes |
| 10. Satisfactory | Electrical: GFCI outlets are available, 115v outlets and general lighting circuits |
| 11. Satisfactory | Sink/Basin: Single Basin and base cabinet |
| 12. Satisfactory | Faucets/Traps: PVC lines and trap, no leaking was noted |
| 13. Satisfactory | Shower/Surround: Fiberglass pan and fiberglass surround |
| 14. Satisfactory | Toilets: No leaking was noted and toilet is secured to the floor |
| 15. Satisfactory | Ventilation: Electric ventilation fan |

Basement Bathroom

- | | |
|------------------|---|
| 16. Satisfactory | Floor: Carpeted areas |
| 17. Satisfactory | Electrical: GFCI outlets are available, 115v outlets and general lighting circuits |
| 18. Satisfactory | Sink/Basin: Single Basin and base cabinet |
| 19. Satisfactory | Faucets/Traps: PVC lines and trap, no leaking was noted |
| 20. Satisfactory | Tub/Surround: Fiberglass tub and fiberglass surround |
| 21. Satisfactory | Toilets: No leaking was noted and toilet is secured to the floor |
| 22. Satisfactory | Ventilation: Electric ventilation fan |

1/2 Half Bathroom

- | | |
|------------------|---|
| 23. Satisfactory | Flooring: Ceramic tile finishes |
| 24. Satisfactory | Electrical: GFCI outlets are available, 115v outlets and general lighting circuits |
| 25. Satisfactory | Sink/Basin: Single sink/basin |
| 26. Satisfactory | Faucets/Traps: PVC lines and trap, no leaking was noted |
| 27. Satisfactory | Toilets: No leaking was noted and toilet is secured to the floor |
| 28. Satisfactory | Ventilation: Electric ventilation fan |

Attic

Attic	
1. Satisfactory	Method of Inspection: In the garage (pull down) attic, from the attic hatch access in the bedroom closet
2. Satisfactory	Roof Framing: 2x10 Rafters
3. Satisfactory	Sheathing: 1/2" plywood sheathing, 16-24 on center rated
4. Satisfactory	Ventilation: Ridge vents and continual soffit vents
5. Satisfactory	Insulation: Blown in cellulose materials
6. Satisfactory	Insulation Depth: 11"-12" in depth or R-38-40 in insulation values
7. Satisfactory	Wiring/Lighting: 115v outlets and general lighting circuits
8. Satisfactory	Moisture Penetration: No water stains or water issues noted at the time of the inspection
9. Satisfactory	Bathroom Fan Venting: Bathroom venting vents to the exterior of the home

Roof

Roof Surface	
1. Method of Inspection:	Ground level, Ladder at eaves
2. Satisfactory	Material: Composite material shingles-three dimensional shingles
3. Type:	Hip roof
4. Satisfactory	Flashing: Aluminum flashing and rubber boots
5. Satisfactory	Valleys: Woven fiberglass shingles with a California cut
6. Satisfactory	Plumbing Vents: PVC vents penetrates the roof lines
7. Satisfactory	Gutters/Downspouts: Aluminum gutter/downspout system
Fireplace Chimney	
8. Satisfactory	Chimney: Framed and finished with vinyl siding and trim and metal crown - limited to visual inspection only due to height
9. Satisfactory	Flue/Flue Cap: Stainless steel/Galvanized pre fabricated cap

Garage/Carport

Attached, Wall lines blocked by personal storage Garage	
1. Type of Structure:	2x4, 2x6 construction Car Spaces: 3 bay garage
2. Satisfactory	Garage Doors: Insulated steel overhead door
3. Satisfactory	Door Opener: Electric overhead door opener with I-beam and safety reverse devices operational, we suggest changing the frequency of the opener to differ from any possible vehicle that may be programmed to it for security reasons, see owners manual
4. Satisfactory	Fire Door: Metal fire rated fire door at the home to garage juncture
5. Satisfactory	Service Doors: Metal insulated door
6. Satisfactory	Electrical: GFCI outlets are available, 115v outlets and general lighting circuits
7. Satisfactory	Fire Wall: 5/8 drywall at the home to home juncture
8. Satisfactory	Floor/Foundation: Poured concrete slab, common cracks noted

Exterior Surface

Exterior Surface	
1. Satisfactory	Type: Brick veneering, Vinyl siding, Hardiwood
2. Satisfactory	Trim: Wood trim, vinyl trim and aluminum trim
3. Satisfactory	Fascia: Aluminum trim
4. Satisfactory	Soffits: Vinyl trim, Plywood Soffits
5. Satisfactory	Door Bell: Hard wired

Exterior Surface (Continued)

- | | |
|------------------|---|
| 6. Satisfactory | Entry Doors: Metal insulated doors with storm door |
| 7. Satisfactory | Patio Door: Wood sliding patio doors |
| 8. Satisfactory | Window Screens: Vinyl mesh screens |
| 9. Satisfactory | Exterior Lighting: Surface mount, Pole light |
| 10. Satisfactory | Exterior Electric Outlets: GFCI outlets are available, 115v outlets and general lighting circuitry |
| 11. Satisfactory | Hose Bibs: Gate valve type hose bibs |
| 12. Satisfactory | Gas Meter: Located at the side of the home |

Lots and Grounds

- | | |
|-----------------|--|
| 1. Satisfactory | Driveway: Concrete driveway |
| 2. Satisfactory | Walks: Concrete walkways, Stone pavers |
| 3. Satisfactory | Deck: Treated wood |
| 4. Satisfactory | Grading: Flat lot and moderate slope |
| 5. Satisfactory | Vegetation: Keep all vegetation trimmed away from the home and foundation to prevent from retaining moisture that is conducive to insect infestation and water damage/rot |

Final Comments

Thank you for allowing us to perform your home inspection. It was a pleasure working with you. Please call with any questions.