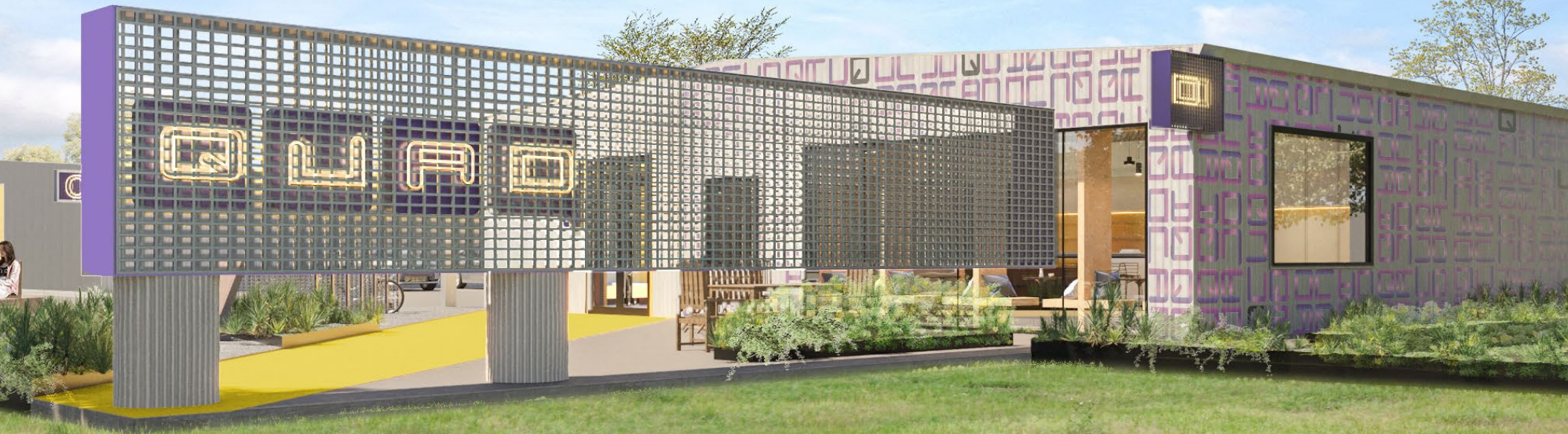




delivering summer 2022



1410 brittmoore road | houston, texas 77043

impeccable location.
creative office community.
modern industrial edge.



welcome to the **QUAD**

The Property

The QUAD is a 4-building complex transforming from an industrial park into a modern, creative office-loft workspace community. This adaptive reuse project was designed from the inside out, to ensure it fosters entrepreneurship and innovation.

40,000
rentable square feet

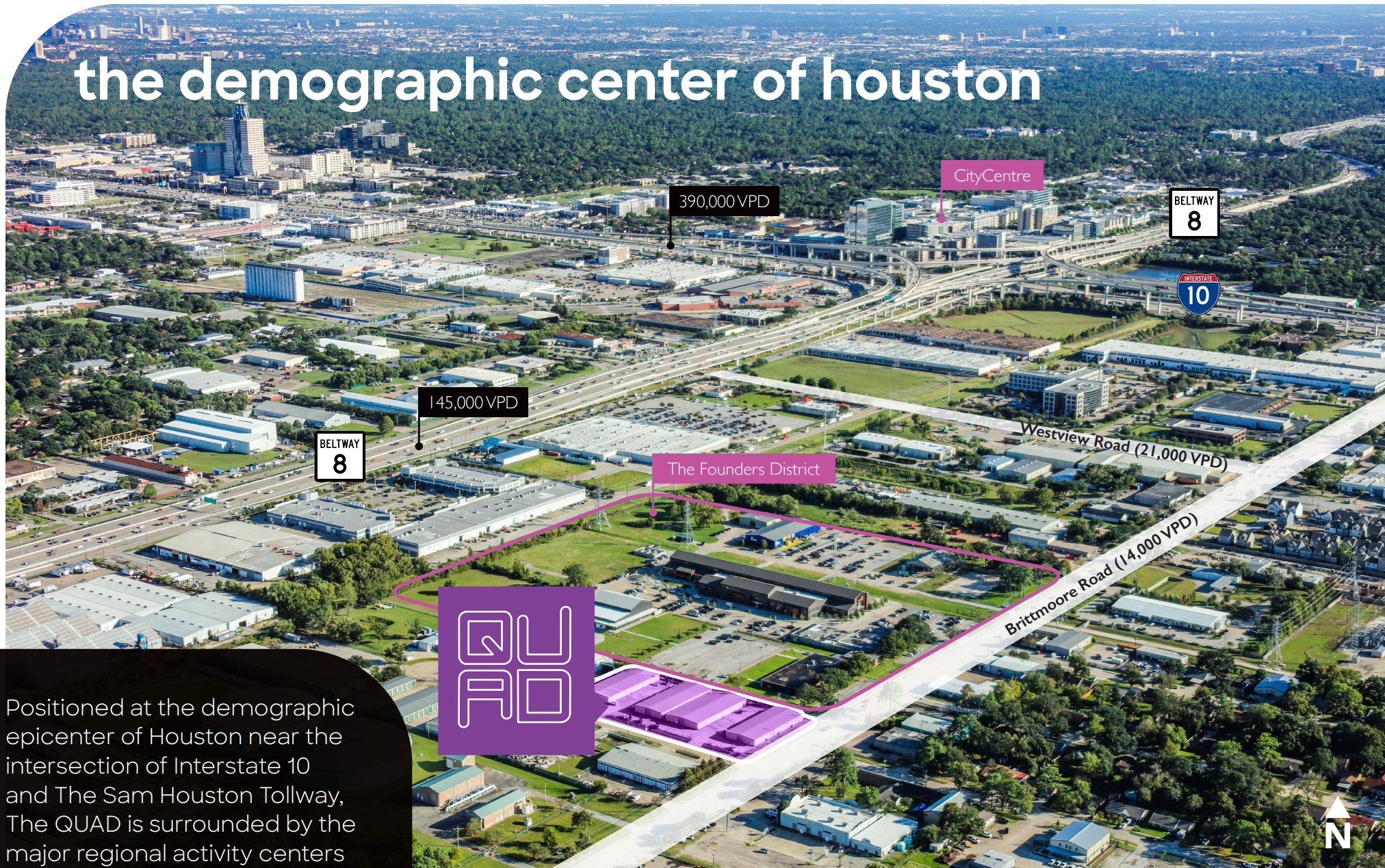
FOUR
number of buildings

'02-'10
years built

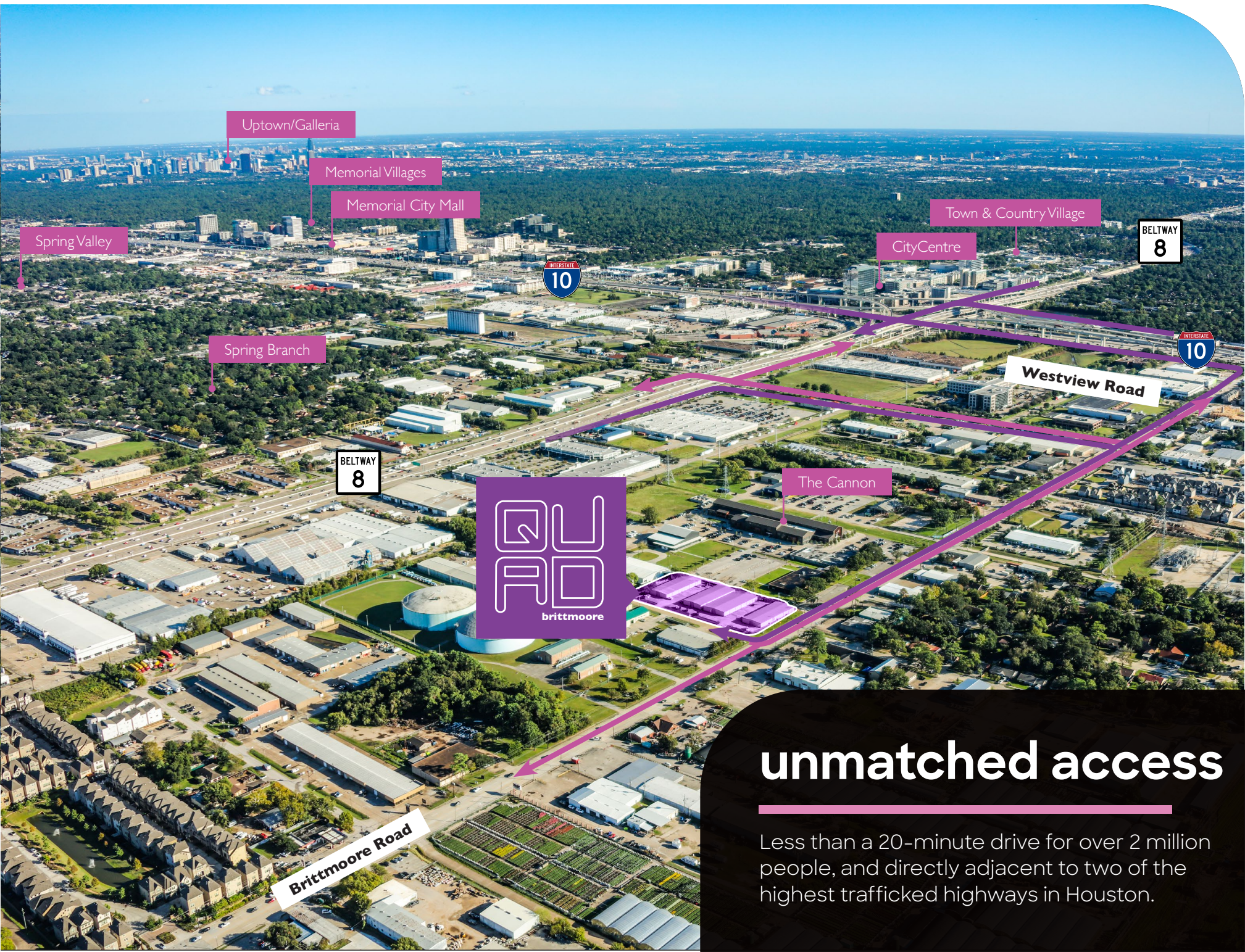
2022
year renovated



the demographic center of houston



Positioned at the demographic epicenter of Houston near the intersection of Interstate 10 and The Sam Houston Tollway, The QUAD is surrounded by the major regional activity centers that form the “Urban Core” of Greater West Houston, home to Houston’s most popular neighborhoods and some the world’s largest corporations.



Uptown/Galleria

Memorial Villages

Memorial City Mall

Spring Valley

Town & Country Village

CityCentre

BELTWAY 8

INTERSTATE 10

Spring Branch

INTERSTATE 10

Westview Road

BELTWAY 8

QUAD
brittmoore

The Cannon

Brittmoore Road

unmatched access

Less than a 20-minute drive for over 2 million people, and directly adjacent to two of the highest trafficked highways in Houston.

area amenities

The QUAD has immediate access to a large amount of top tier amenities, including:

70+

restaurants / bars
within 7 min drive

25+

happy hour
favorites

16

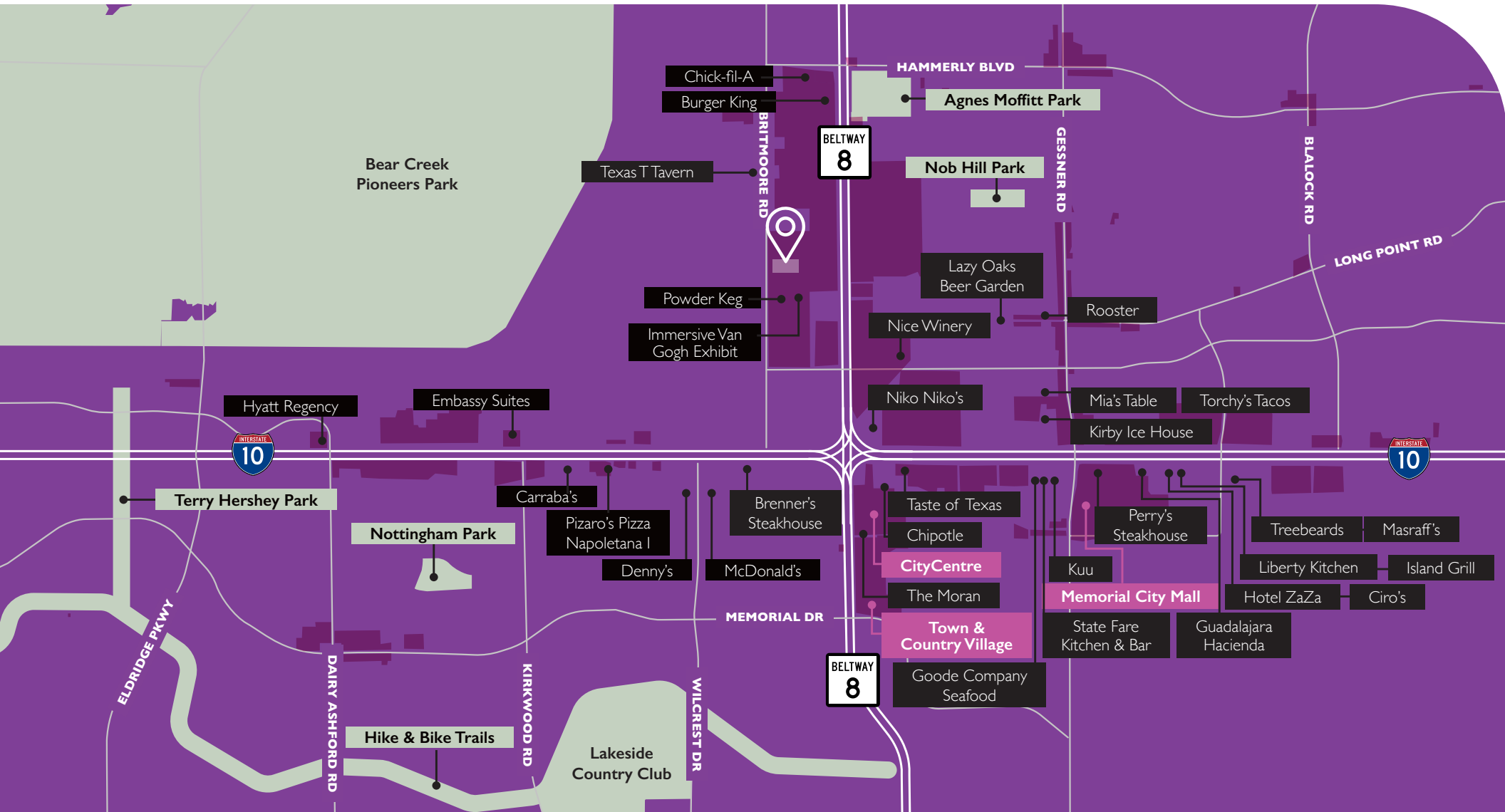
hotels within
5 miles

5

parks within
a 5 min drive

5

mins from CityCentre and
Town & Country Village

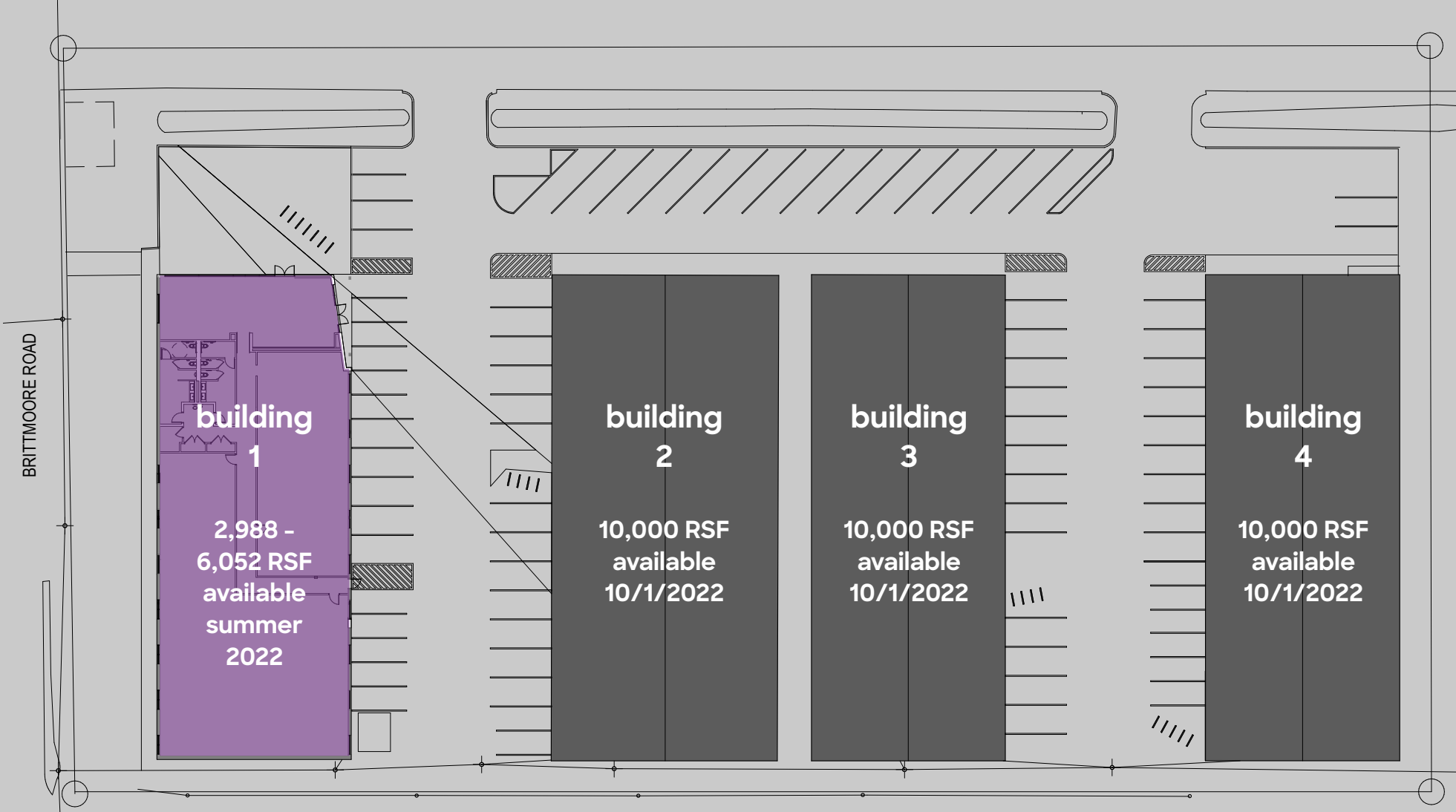


The QUAD features a lobby lounge and grab & go retail operator for easy collaboration and convenience.



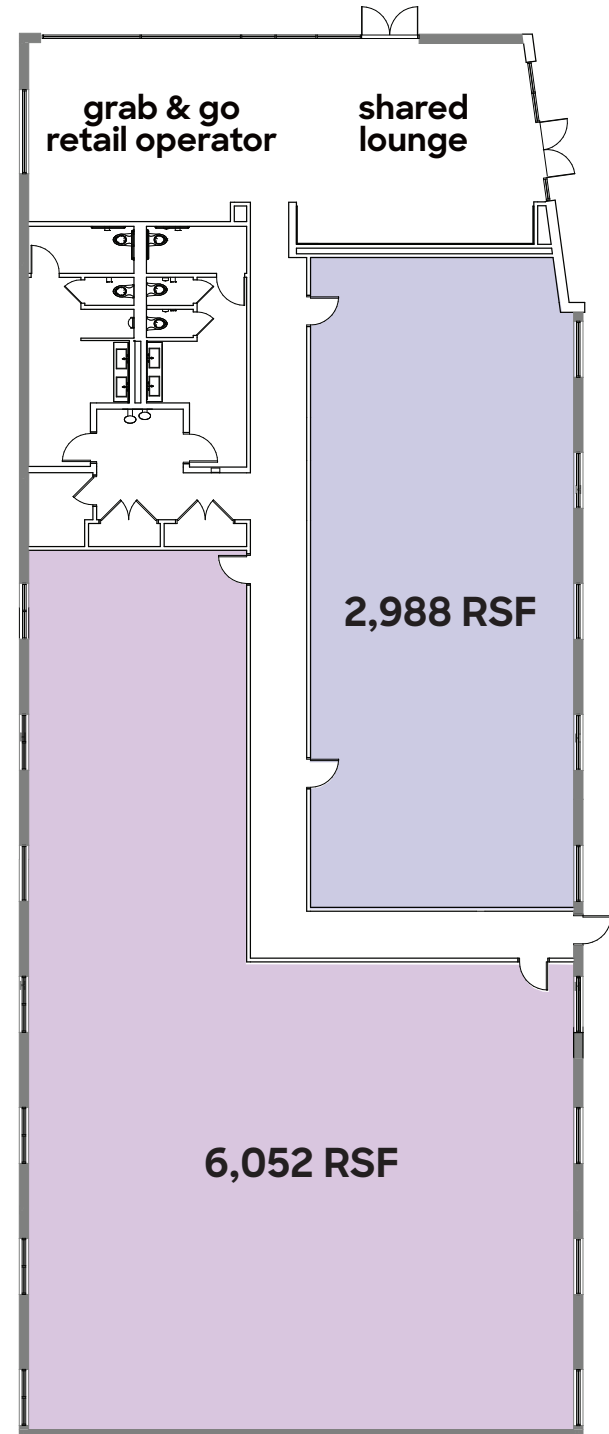
the site

2,988 - 40,000 RSF available



building floor plan

Building 1 availabilities range from 2,988 to 6,052 SF and feature an open-ceiling concept with building standard lighting installed throughout.





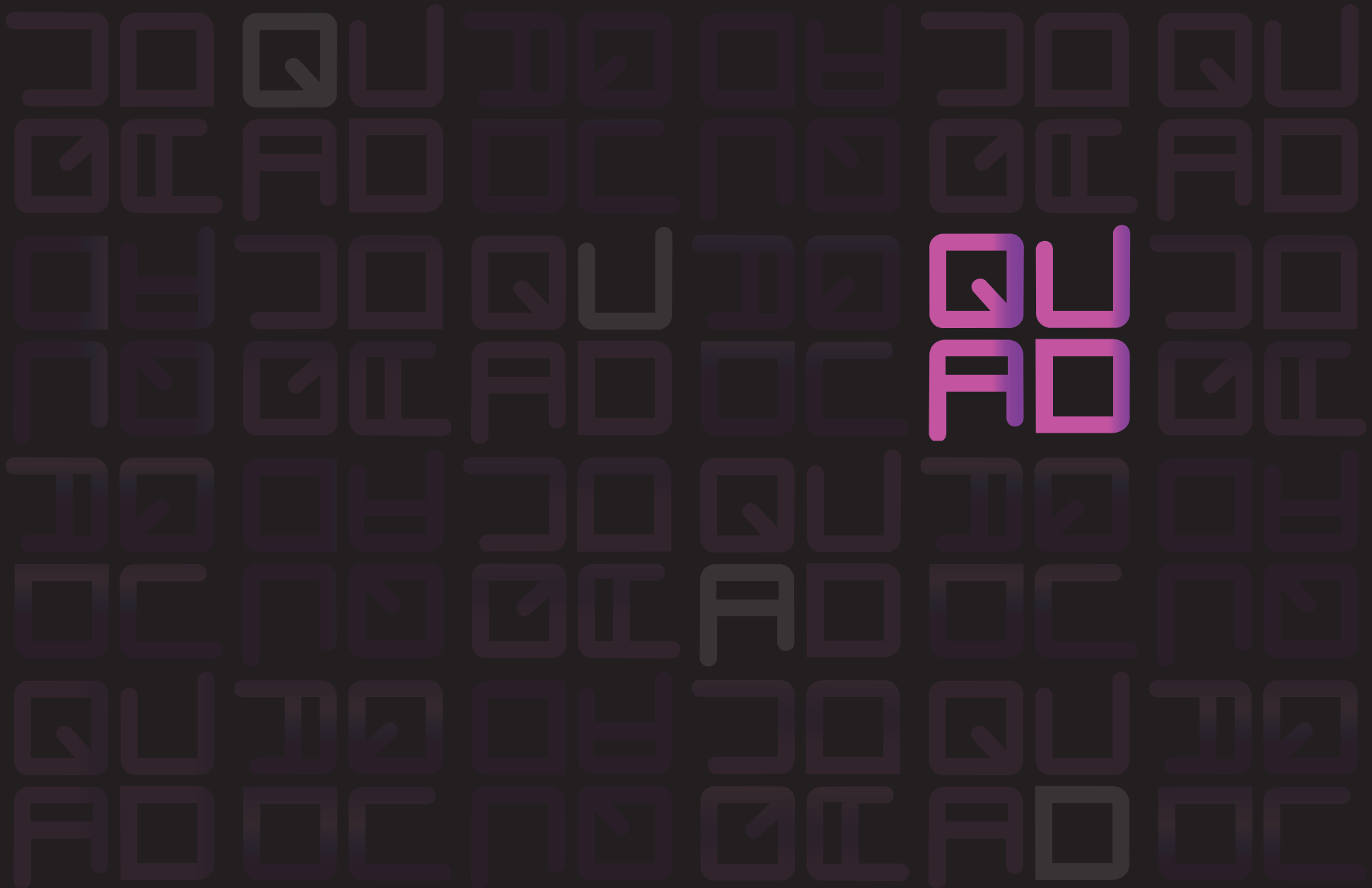
who we are

Pagewood

Pagewood is a vertically integrated real estate investment, and operations company with a data science approach focused on acquiring commercial properties in high-growth markets. Pagewood leverages its data platform with its hands-on approach to operations and institutional investment experience to create predictive models that support its objective real estate investment decisions.

Wile Interests

Wile Interests is a Houston-based investment firm formed in 1991 by Randolph Wile to identify and create investment opportunities in Texas real estate. Over its 31-year history, Wile Interests has acquired and/or developed in excess of \$650 Million in commercial and residential properties.



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