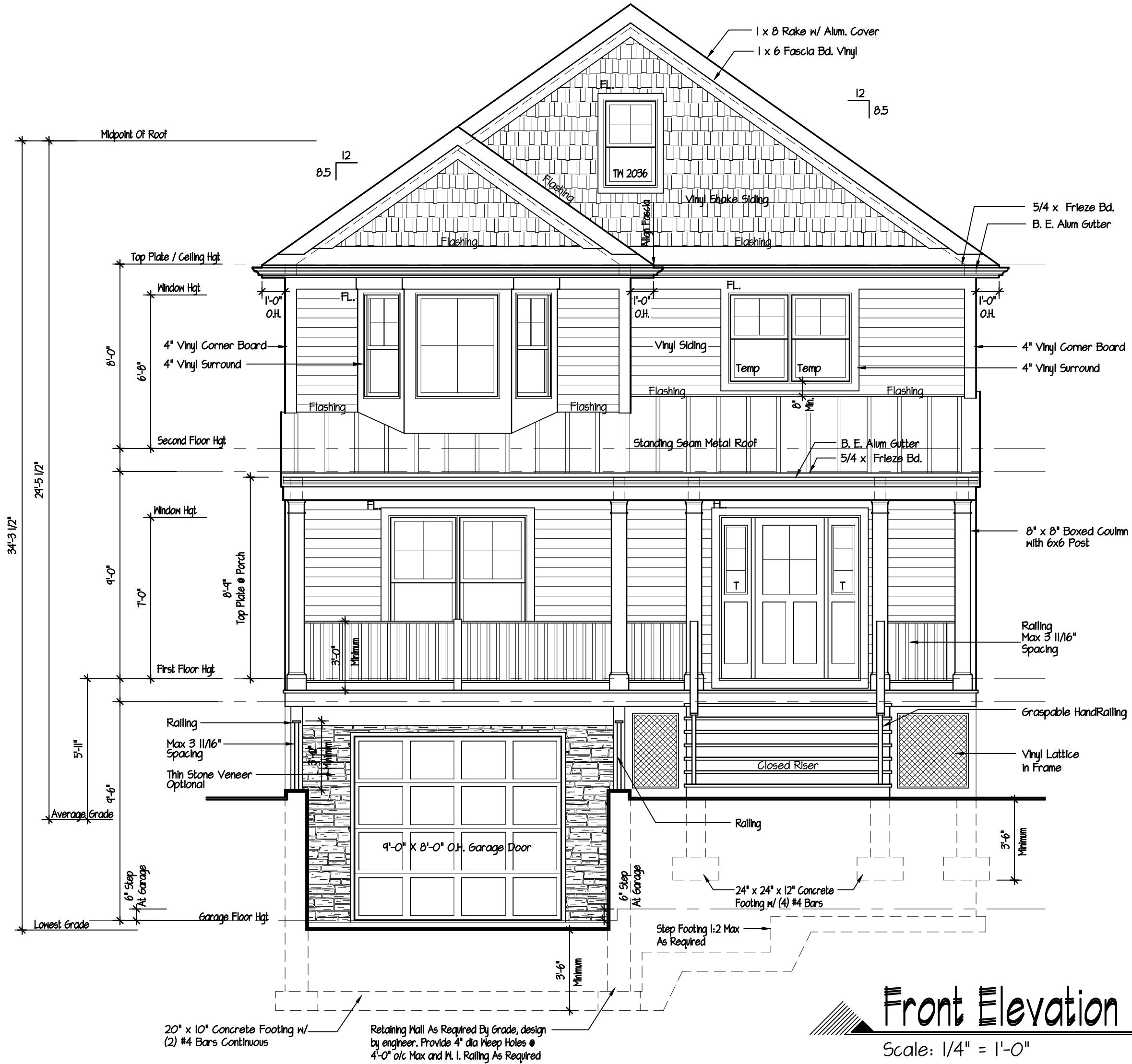


# 2020 Residential Code Of New York State

Climatic & Geographic Design Criteria Table R301.2(1)														
Ground Snow Load	Wind Design				Seismic Design Category	Subject To Damage From				Winter Design Temp.	Ice Shield Underlayment Required	Flood Hazards	Air Freezing Index	Mean Annual Temperature
	Speed (mph)	Topographic Effects	Special Wind Region	Wind-Borne Debris Zone		Weathering	Frost Line Depth	Termite	Decay					
20 lb/ft	125 mph				B	Severe	42"	Moderate Heavy	Slight Moderate	12°F	Yes	F.I.R.M Sept. 2001	1500	52.2 F

Manual J Design Criteria							
Elevation	Latitude	Winter Heating	Summer Cooling	Altitude Correction Factor	Indoor Design Temperature	Design Temperature Cooling	Heating Temperature Difference
436	41	7	87	1	68	75	61
Cooling Temperature Difference	Wind Velocity Heating	Wind Velocity Cooling	Coincident Wet Bulb	Daily Range	Winter Humidity	Summer Humidity	
12	20.4	7.5	7.5	M	30	55	



# Front Elevation

Scale: 1/4" = 1'-0"

# TABLE OF LAND USE

SECTION 126.45, BLOCK 2, LOT 8  
 ZONE: "R2-4" RESIDENTIAL ONE AND TWO FAMILY DISTRICT  
 PROPOSED USES: ONE FAMILY RESIDENTIAL

DESCRIPTION	REQUIRED	PROPOSED
	ZONING DISTRICT REQUIRED/ PERMITTED R2-4 (ONE FAMILY)	RESIDENTIAL TWO-FAMILY (2 UNITS)
MAXIMUM "BUILDING COVERAGE"		
"TOTAL BUILDING AREA"	(SQ.FT.)	—
"ALL BUILDINGS"	(PERCENT)	30
"MAIN BUILDING"	(PERCENT)	25
"ACCESSORY BUILDINGS"	(PERCENT)	10
MAXIMUM "FLOOR AREA RATIO"		
GROSS FLOOR AREA	(SQ.FT.)	2289
R (RESIDENTIAL USE)	(RATIO)	0.60
MINIMUM "LOT" DIMENSIONS		
"AREA" IN SQUARE FEET PER "LOT"	(SQ.FT.)	5000
"AREA" IN SQUARE FEET PER "DWELLING UNIT"	(SQ.FT.)	5000
"FRONTAGE"	(LF)	50
"DEPTH"	(LF)	75
MINIMUM REQUIRED "YARD" DIMENSIONS		
"FRONT"	(FEET)	25
"ONE SIDE"	(FEET)	7
"TWO SIDES"	(FEET)	18
"REAR"	(FEET)	25
MAXIMUM "HEIGHT"		
"STORIES"	(STORIES)	2 1/2
"FEET"	(FEET)	30
ACCESSORY "STRUCTURES"		
MAXIMUM "HEIGHT"	(FEET)	15
MINIMUM DISTANCE IN FEET TO:		
ANY OTHER STRUCTURE IF NOT ATTACHED	(FEET)	10
"SIDE LOT LINE"	(FEET)	5
"REAR LOT LINE"	(FEET)	5 <sup>(1)</sup>

(1) WHERE THE "BUILDING" IS OF FIRE PROOF CONSTRUCTION AS APPROVED BY THE COMMISSIONER OF BUILDING, AND WILL ABUT THE "REAR YARD" OF AN ADJOINING "LOT", NO MINIMUM.

See Page 6 of 9 For Construction Type Label Note  
See Page 8 of 9 For Insulation And Fenestration  
Requirements By Component Chart

## Square Footage

First Floor	1,120	Sf
Second Floor	1,169	Sf
<hr/>		
Total	2,289	Sf

44 Rockledge Ave  
White Plains, NY

## Residence For

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EMAIL: [Lou@DemasiArchitects.com](mailto:Lou@DemasiArchitects.com) WEBSITE: [DemasiArchitects.com](http://DemasiArchitects.com)



Zoning Chart	1/16/25
Pitch Change	12/31/25
Revision	Date
Date	August 25, 2025
Job No	223-008
Drawing	

**Notes:**

All Footings To Bear 12" Below Solid Undisturbed Earth  
All Framing Members To Be # 2 Douglas Fir- Larch Or Better  
Double Frame Under All Partitions Parallel To Framing  
Double All Box Joist At Cellar Type Windows  
If Tile Floor Is To Be MUD Job Consult Architect For Additional Framing Required

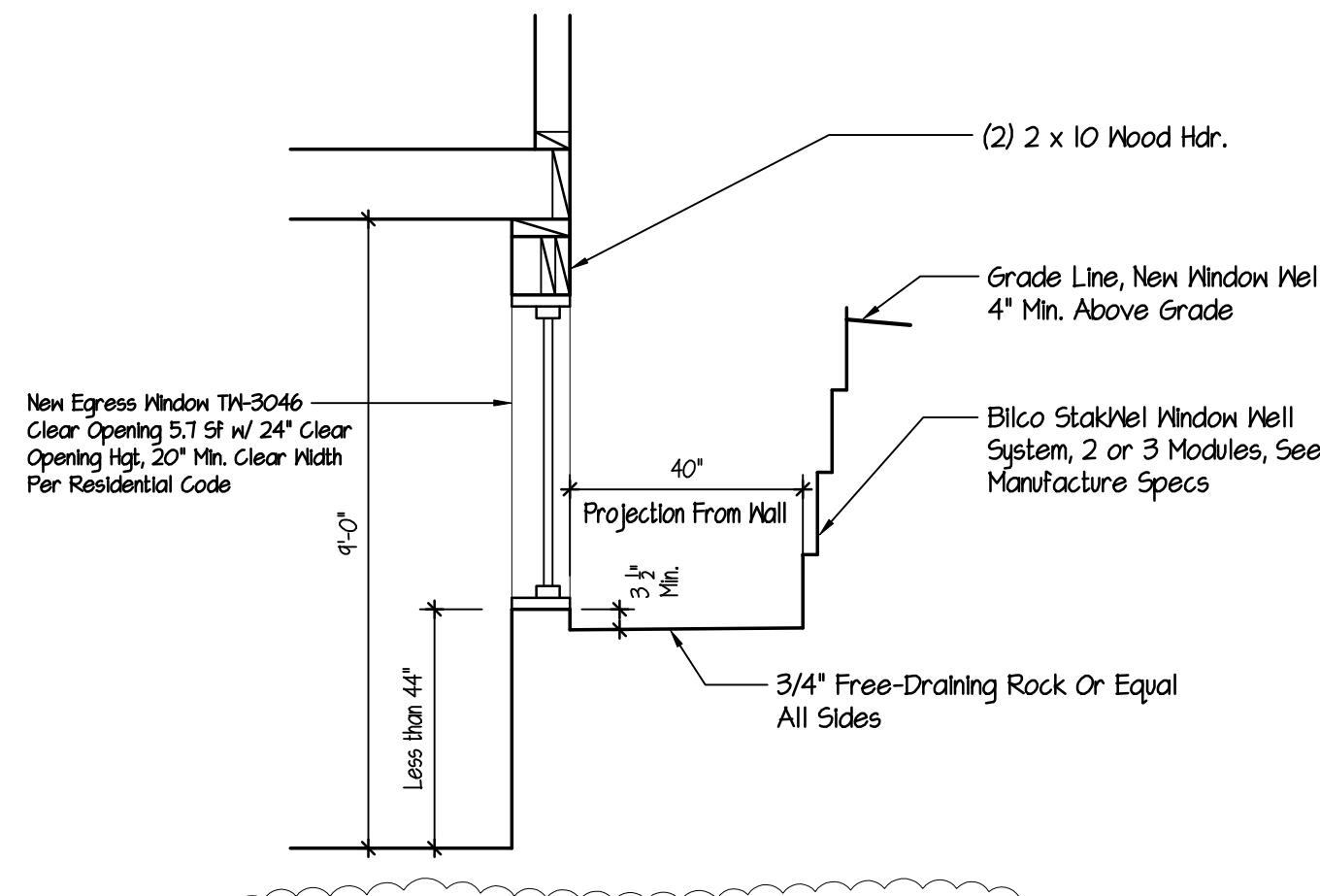
**Legend:**

- 2 x Wood Post (Match Beam Width or As Noted)
- Smoke Detector w/ Battery Back-up
- Heat Detector w/ Battery Back-up
- Carbon Monoxide Det w/ Battery Back-up
- Surface Mounted Light Fixture
- Duplex Outlet
- Ground Fault Interrupter (GFI) At All Wet Areas (As Required By Code)

**Wood Header Schedule**

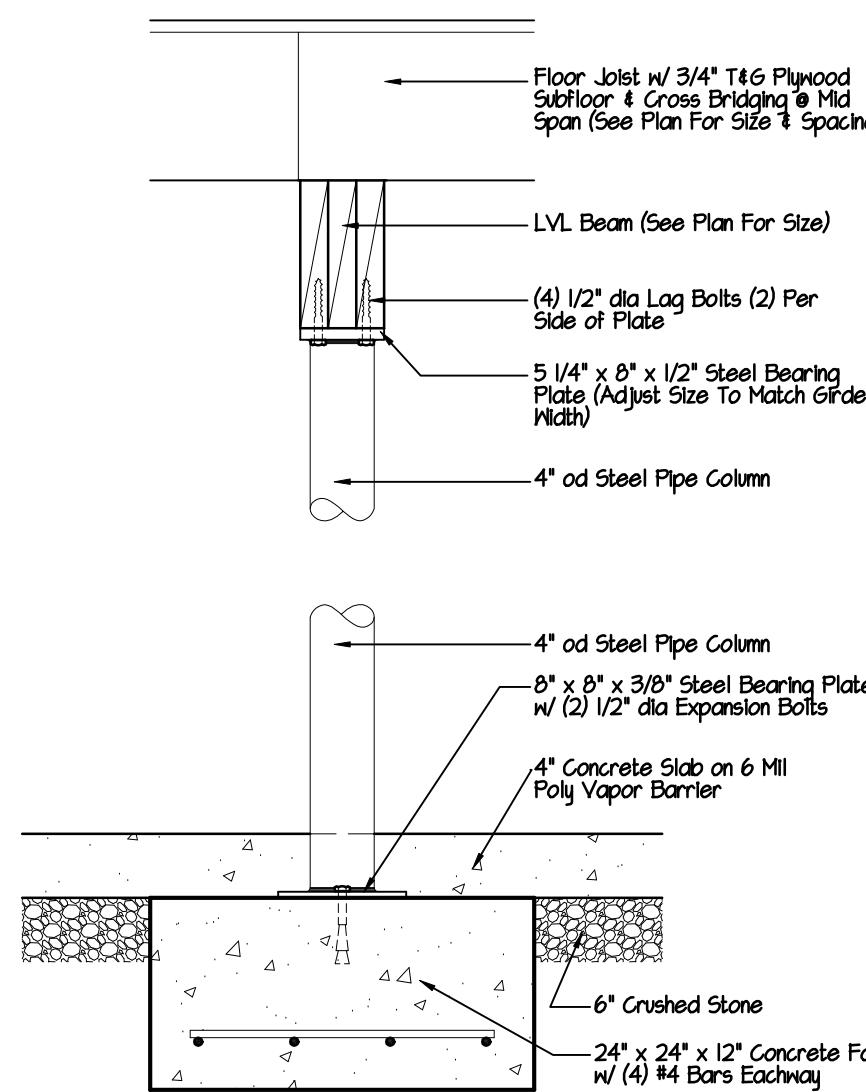
Span	Header Size
Up To 3'-0"	(2) 2 x 8 Hdr
Up To 4'-0"	(2) 2 x 10 Hdr
Up To 6'-0"	(3) 2 x 10 Hdr

**Note:**  
Unless Otherwise Noted On Plans



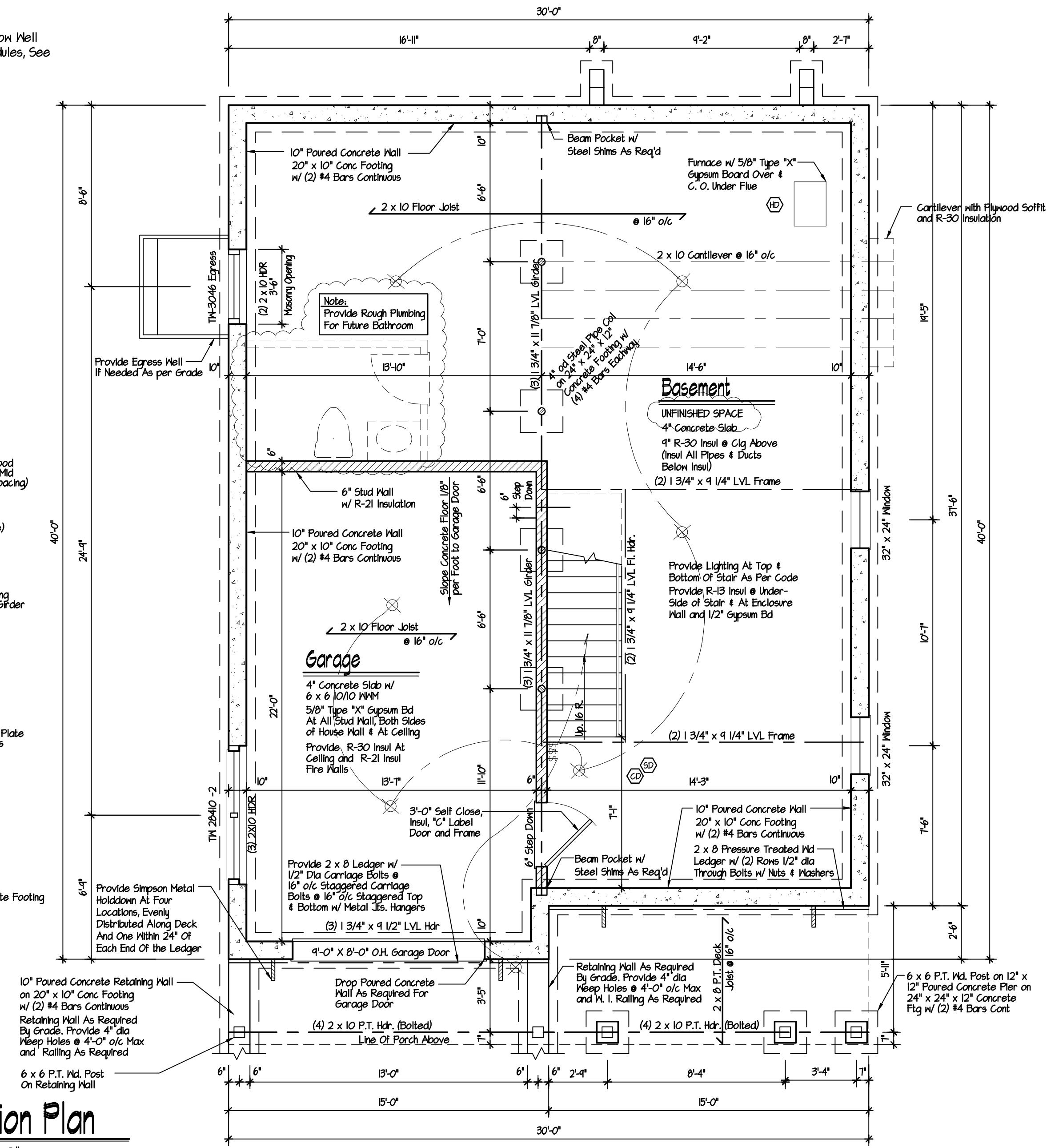
## Egress Window Detail

Scale: 3/8" = 1'-0"



## LVL Girder Detail

Scale: 1" = 1'-0"



## Foundation Plan

Scale: 1/4" = 1'-0"

Residence For

47 Rockledge Ave  
White Plains, NY

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Town Comments 12/22/25

Revision Date

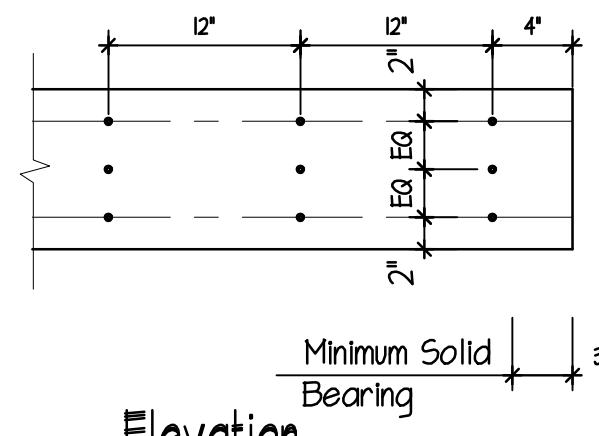
Date August 25, 2025

Job No 223-008

Drawing

2 OF 9

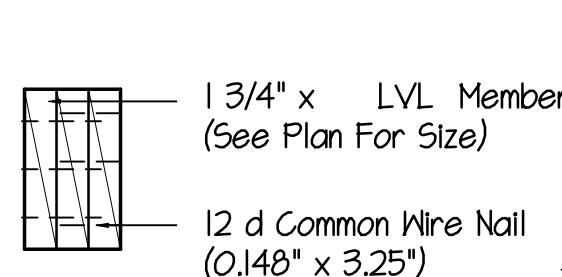
REGISTERED ARCHITECT  
LAWRENCE DEMASI  
STATE OF NEW YORK  
031061



### Elevation

#### Note:

LVL = Laminated Veneer Lumber  
By Trus-Joist MacMillan (1.9 E)  
Minimum or Equal



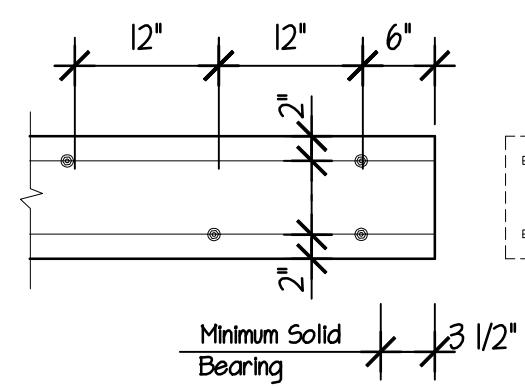
### Section

#### Note:

See Plans For Size & Location  
Of All LVL Members

## LVL Beam Detail (Nailed)

Scale: 1" = 1'-0"



### Elevation

#### Note:

LVL = Laminated Veneer Lumber  
By Trus-Joist MacMillan (1.9 E)  
Minimum or Equal

### Section

#### Note:

See Plans For Size & Location  
Of All LVL Members

## LVL Beam Detail (Bolted)

Scale: None

#### Notes:

All Framing Members To Be # 2 Douglas Fir- Larch Or Better  
Double Frame Under All Partitions Parallel To Framing

If Tile Floor Is To Be MUD Job Consult Architect For Additional Framing Required

#### Legend:

- 2 x Wood Post Match Beam Width As Noted
- SD Smoke Detector w/ Battery Back-up
- CD Carbon Monoxide Det w/ Battery Back-up
- SM Surface Mounted Light Fixture
- RL Recessed Light Fixture
- DG Duplex Outlet Ground Fault Interrupter (GFI) At All Wet Areas (As Required By Code)

#### Wood Header Schedule

Span	Header Size
Up To 3'-0"	(2) 2 x 8 Hdr
Up To 4'-0"	(2) 2 x 10 Hdr
Up To 6'-0"	(3) 2 x 10 Hdr

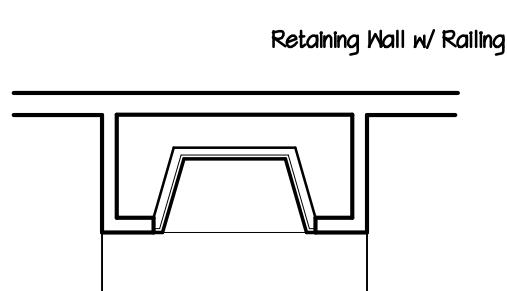
Note:  
Unless Otherwise Noted On Plans

#### Andersen 400 Series Egress Window Sizes:

Size	Opening	Width	Height
TW 210410	5.81 sf	31 7/8"	26 1/4"

#### Window Note:

- All Glazing To Be Low "E" Insulated Glass w/ Minimum R-3.1 (U=0.32).
- All Windows Within 18' Of Floor To Have Tempered Glass (Double Hung's-Bottom Sash Only, All Others Full Unit).
- All Glazing In Doors & Windows Enclosing Hot Tubs, Whirlpool Tubs, Saunas, Steam Rooms, Bathtubs and Showers Within 60" Of Window or Door Unit Shall Have Tempered Glass.
- All Egress Windows To Have A Minimum Clear Opening Area Of 5.7 SF Total w/ 24" min Clear Opening Height & 20" min Clear Width. Refer To Manufacturers Specifications For All Other Information.
- All Windows or Doors Marked w/ "TEMP" To Have Full Unit Tempered.

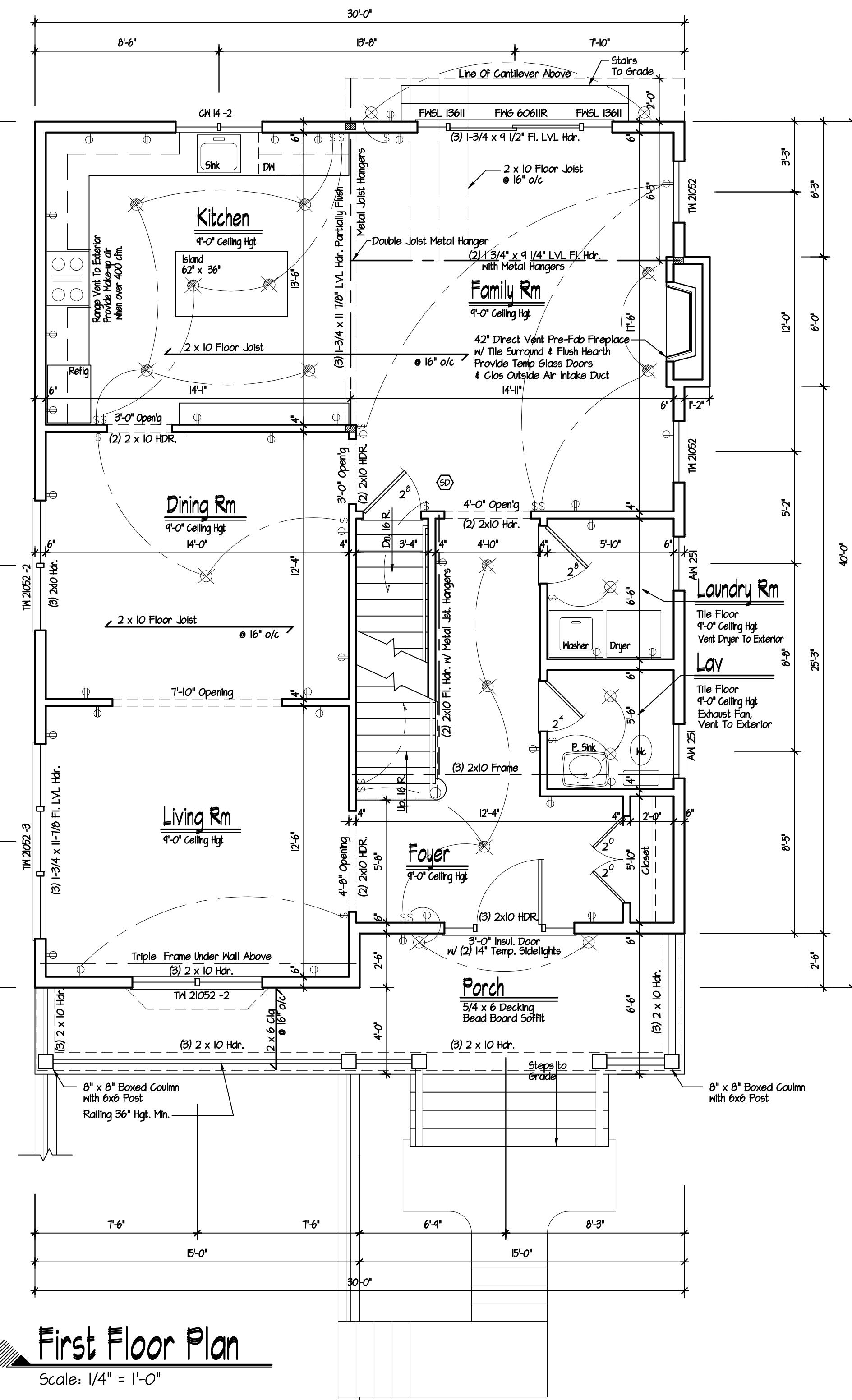


#### Hearth Note:

Hearth Extensions Of Approved Pre-Fab Fireplaces Shall Be Installed In Accordance with The Listing Of The Fireplace. The Hearth Extension Shall Be Readily Distinguishable From Surrounding Floor Area.

#### Pre-Fab Fireplace

Scale: None



First Floor Plan

Scale: 1/4" = 1'-0"

### Residence For

47 Rockledge Ave  
White Plains, NY

Demasi Architects P.C.



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Town Comments	12/22/25
Revision	Date
Date	August 25, 2025
Job No	223-008

Drawing



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#### Notes:

All Framing Members To Be # 2 Douglas Fir- Larch Or Better Double Frame Under All Partitions Parallel To Framing If Tile Floor Is To Be MUD Job Consult Architect For Additional Framing Required

#### Legend:

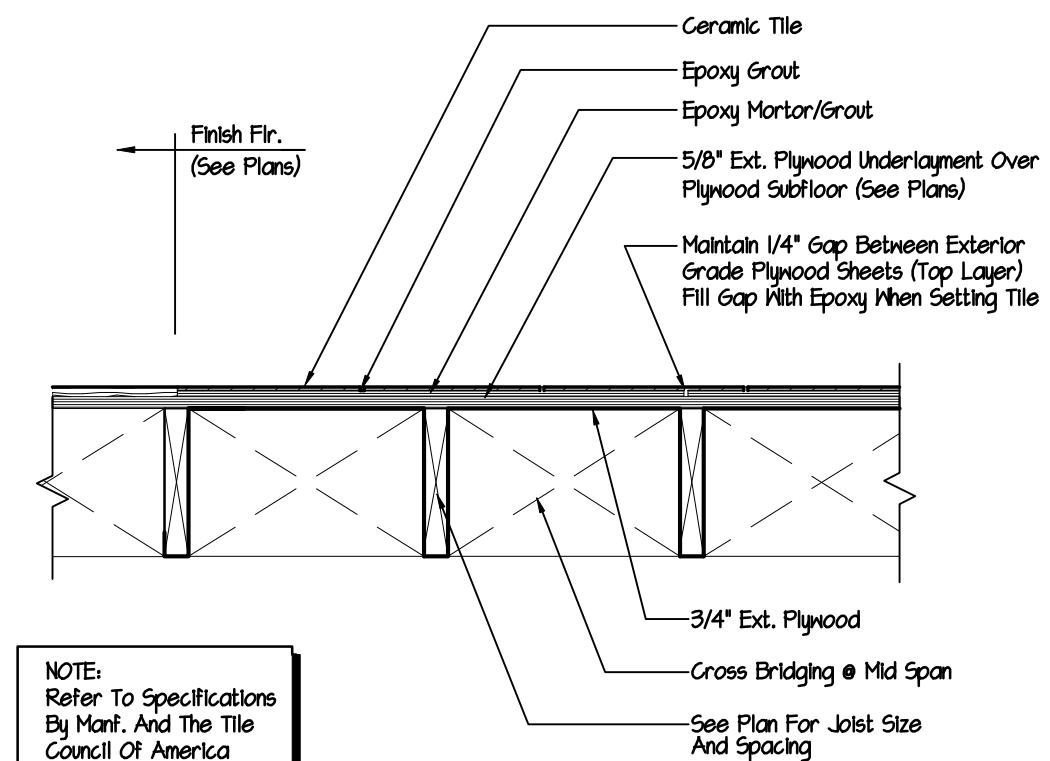
- 2 x Wood Post Match Beam Width Or As Noted
- Smoke Detector w/ Battery Back-Up
- Carbon Monoxide Det w/ Battery Back-Up
- Surface Mounted Light Fixture
- Recessed Light Fixture
- Duplex Outlet Ground Fault Interrupter (GFI) At All Wet Areas (As Required By Code)

#### Wood Header Schedule

##### Span Header Size

Up To 3'-0"	(2) 2 x 8 Hdr
Up To 4'-0"	(2) 2 x 10 Hdr
Up To 6'-0"	(3) 2 x 10 Hdr

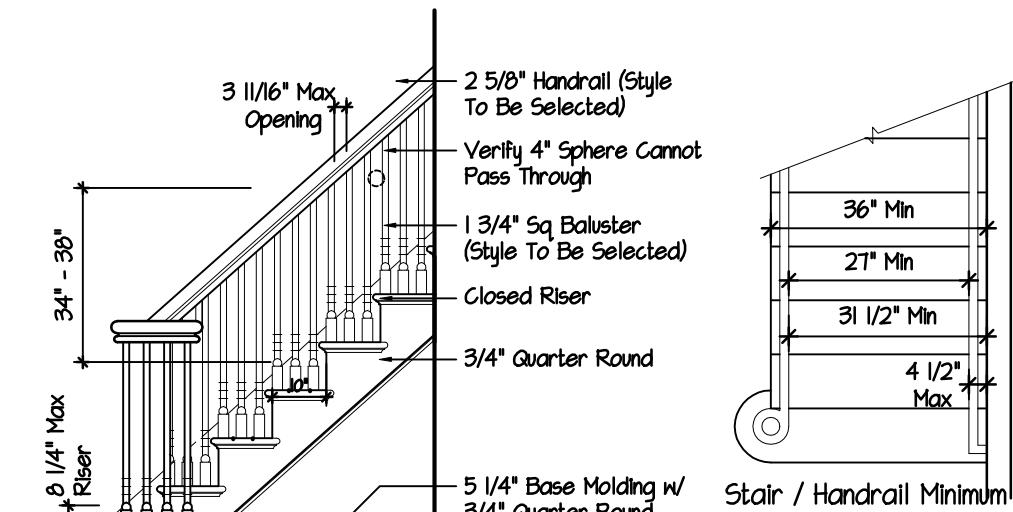
Note: Unless Otherwise Noted On Plans



NOTE: Refer To Specifications By Manf. And The Tile Council Of America

## Tile Floor Detail (Thin Set)

Scale: 1" = 1'-0"



### Elevation

### Plan

## Stair Clearance Detail

Scale: None

#### Andersen 400 Series Egress Window Sizes:

Size	Opening	Width	Height
TN 210410	5.81 sf	31 7/8"	26 1/4"

#### Window Note:

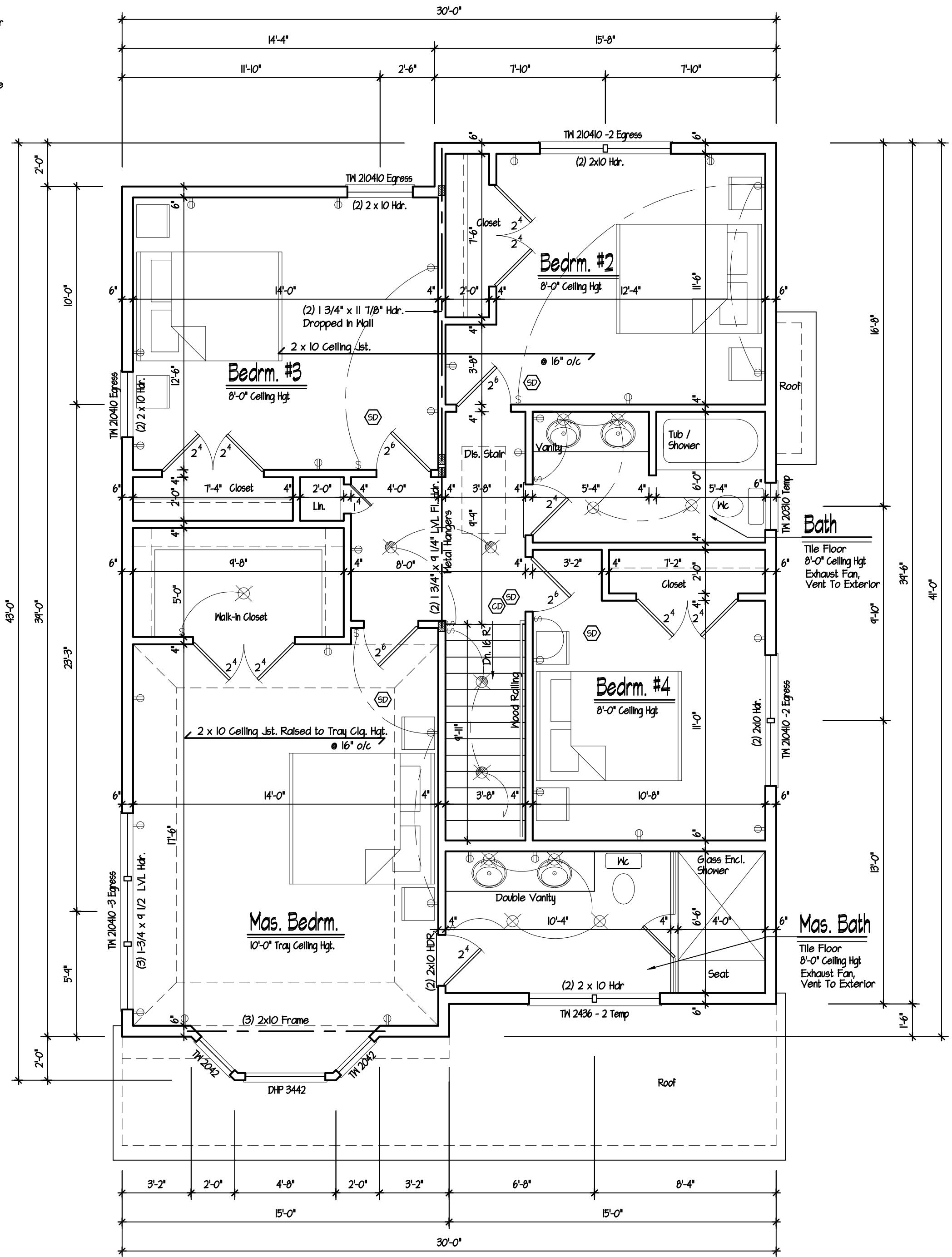
- All Glazing To Be Low "E" Insulated Glass w/ Minimum R-3.1 (U=0.32).
- All Windows Within 18" Of Floor To Have Tempered Glass (Double Hung's-Bottom Sash Only, All Others Full Unit).
- All Glazing In Doors & Windows Enclosing Hot Tubs, Whirlpool Tubs, Saunas, Steam Rooms, Bathtubs and Showers Within 60" Of Window or Door Unit Shall Have Tempered Glass.
- All Egress Windows To Have A Minimum Clear Opening Area Of 5.7 Ft Total w/ 24" min Clear Opening Height & 20" min Clear Width. Refer To Manufacturers Specifications For All Other Information.
- All Windows or Doors Marked w/ "TEMP" To Have Full Unit Tempered.

#### Exhaust Air Notes:

- Exhaust air from bathrooms and toilet rooms shall not be recirculated within a residence or circulated to another dwelling unit and shall be exhausted directly to the outdoors. Exhaust air from bathrooms, toilet rooms and kitchens shall not discharge into an attic, crawl space or other areas inside the building. This section shall not prohibit the installation of ductless range hoods in accordance with the exception to Section M103.3.
- Exhaust equipment serving single dwelling units shall be listed and labeled as providing the minimum required airflow in accordance with ANSI/AMCA 210-ANSI/ASHRAE 51.

#### Shower Liner Test:

- P2503.6: Where shower floors and receptors are made watertight by the application of materials required by Section P2709.2, the completed liner installation shall be tested. The pipe from the shower drain shall be plugged watertight for the test. The floor and receptor area shall be filled with potable water to a depth of not less than 2 inches (51 mm) measured at the threshold. Where a threshold of not less than 2 inches (51 mm) in height does not exist, a temporary threshold shall be constructed to retain the test water in the lined floor or receptor area to a level not less than 2 inches (51 mm) in depth measured at the threshold. The water shall be retained for a test period of not less than 15 minutes and there shall not be evidence of leakage.



## Second Floor Plan

Scale: 1/4" = 1'-0"

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Residence For

47 Rockledge Ave  
White Plains, NY

Town Comments 12/22/25

Revision Date

Date August 25, 2025

Job No 223-008

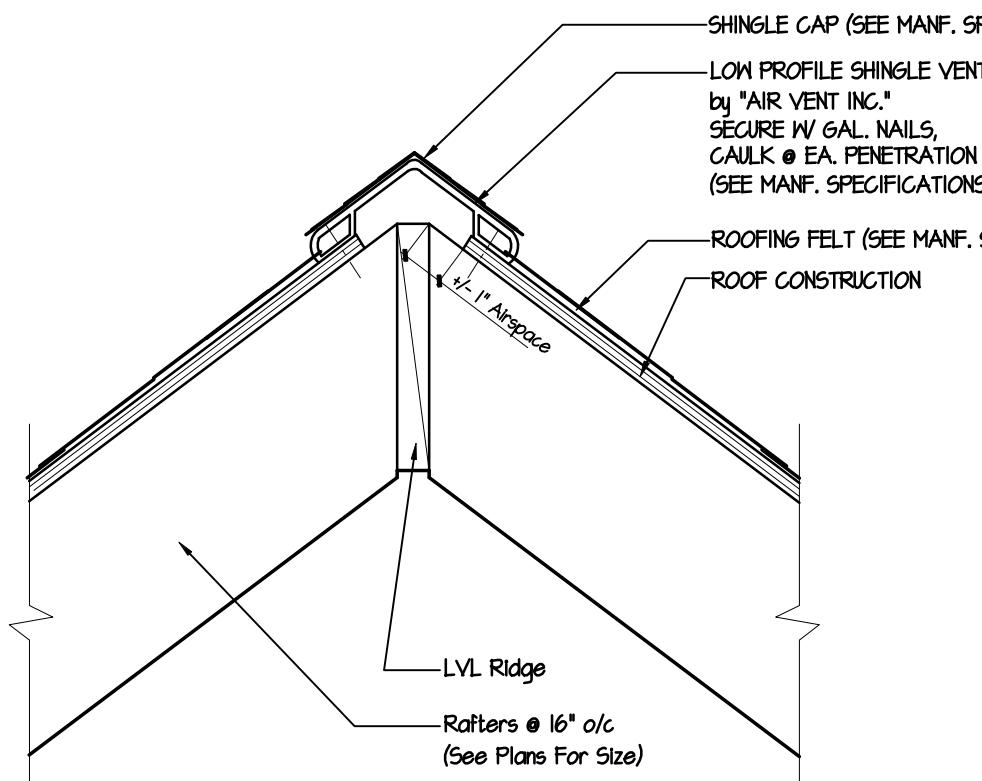
Drawing

4 OF



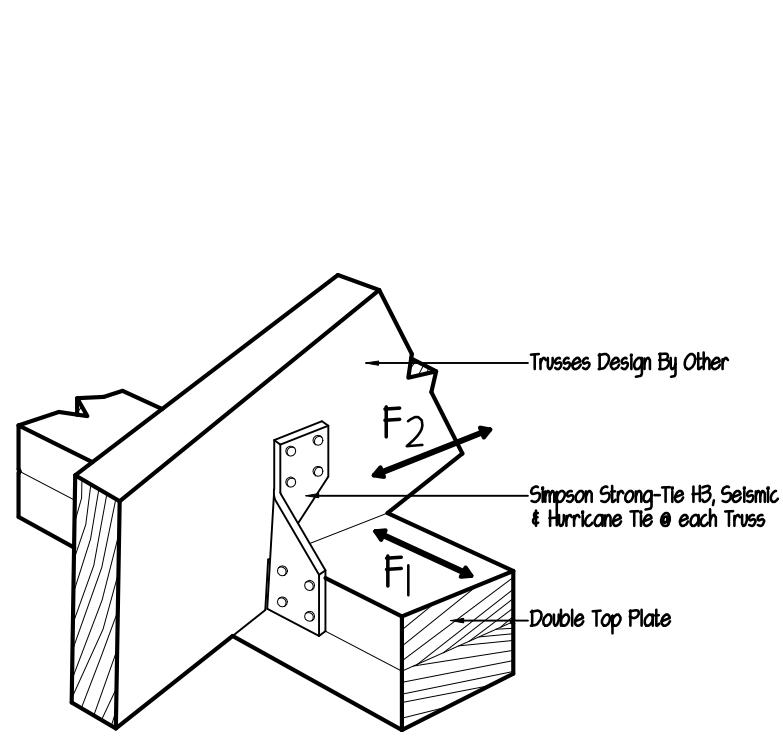
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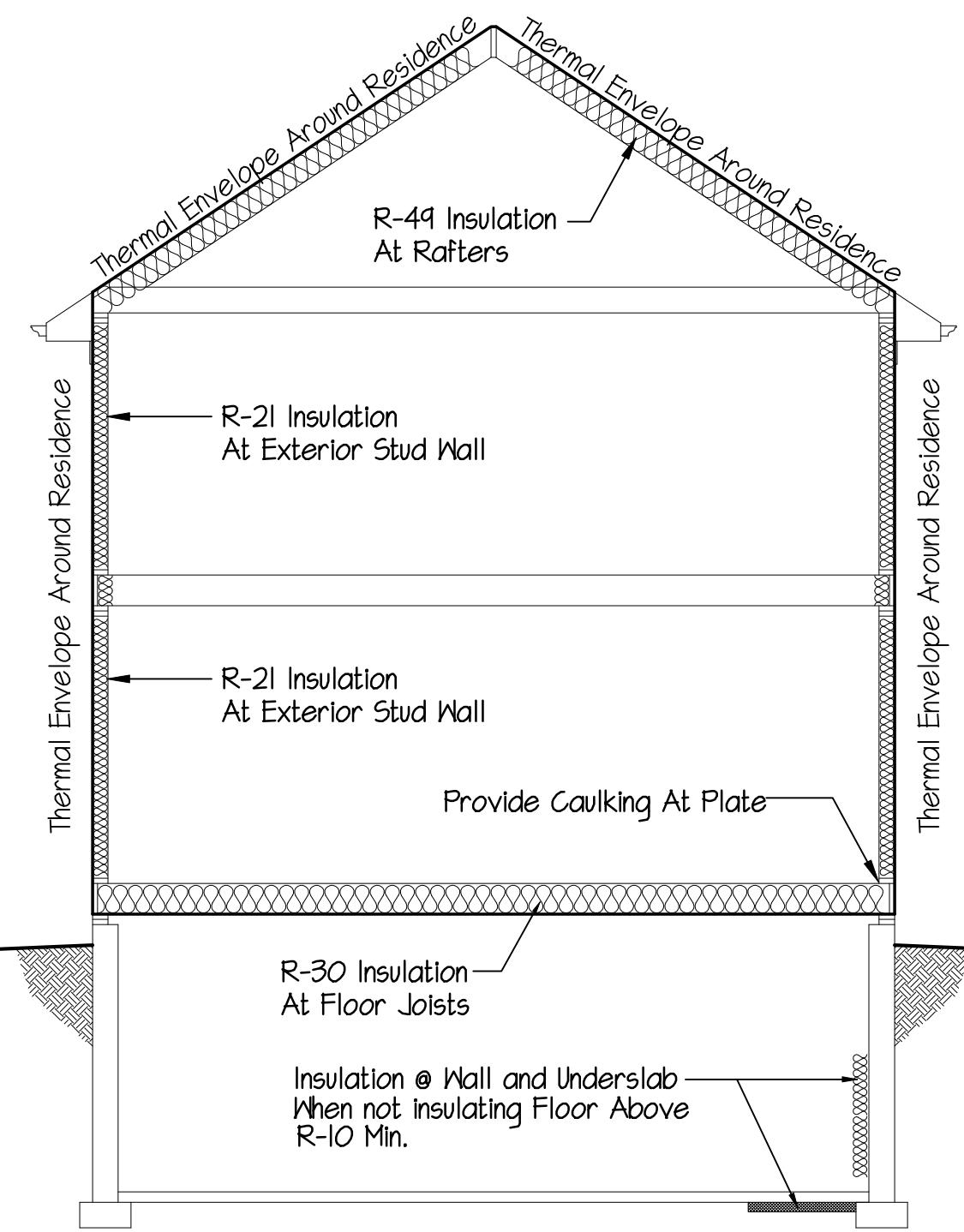
**Ridge Vent Detail**

No Scale



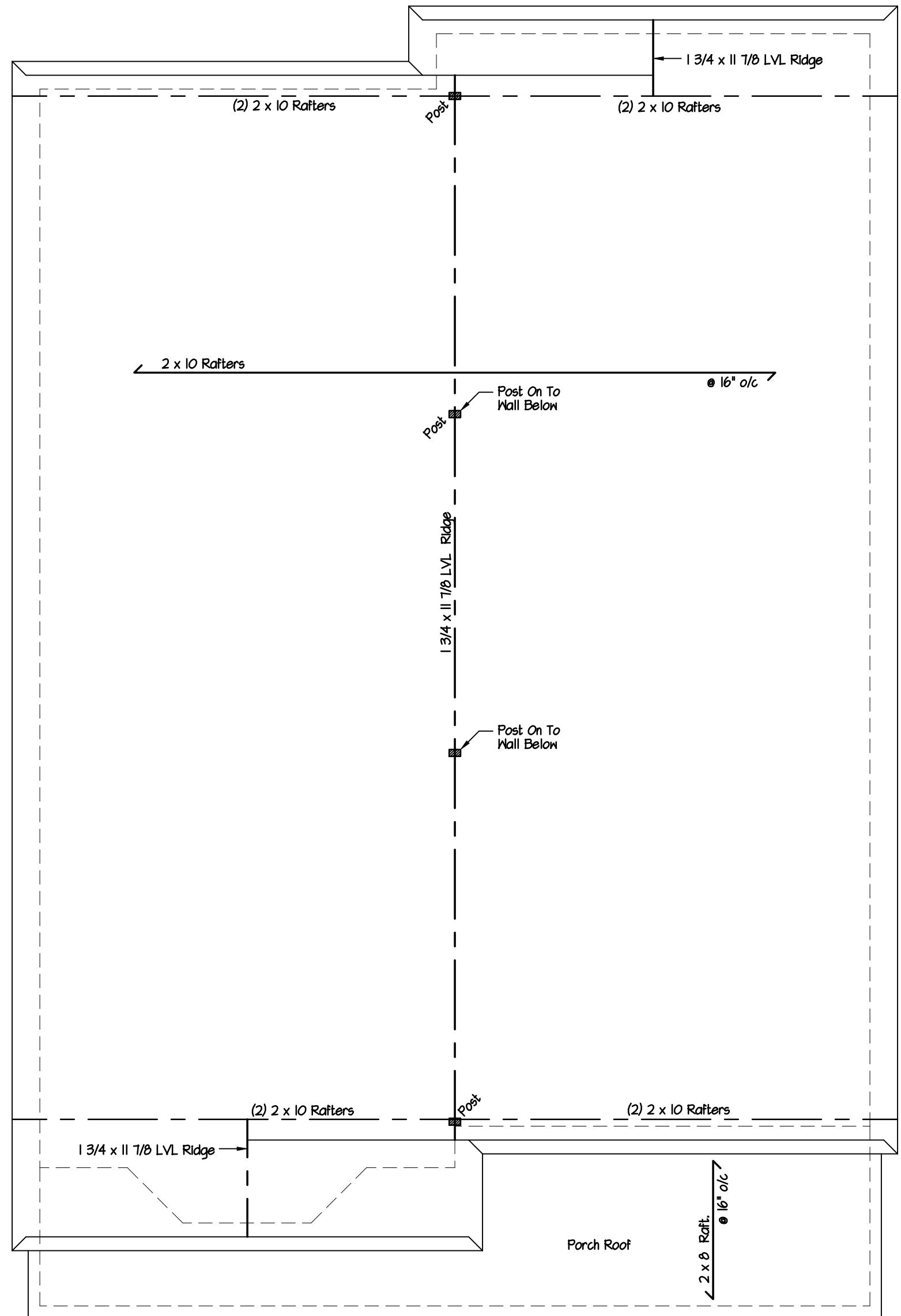
**Rafter Tie Down Detail**

Scale: None



**Thermal Envelope**

Scale: 3/16" = 1'-0"



**Roof Framing Plan**

Scale: 1/4" = 1'-0"

**DeMasci Architects P.C.**

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**Residence For**

**47 Rockledge Ave  
White Plains, NY**

Revision Date

Date August 25, 2025

Job No 223-008

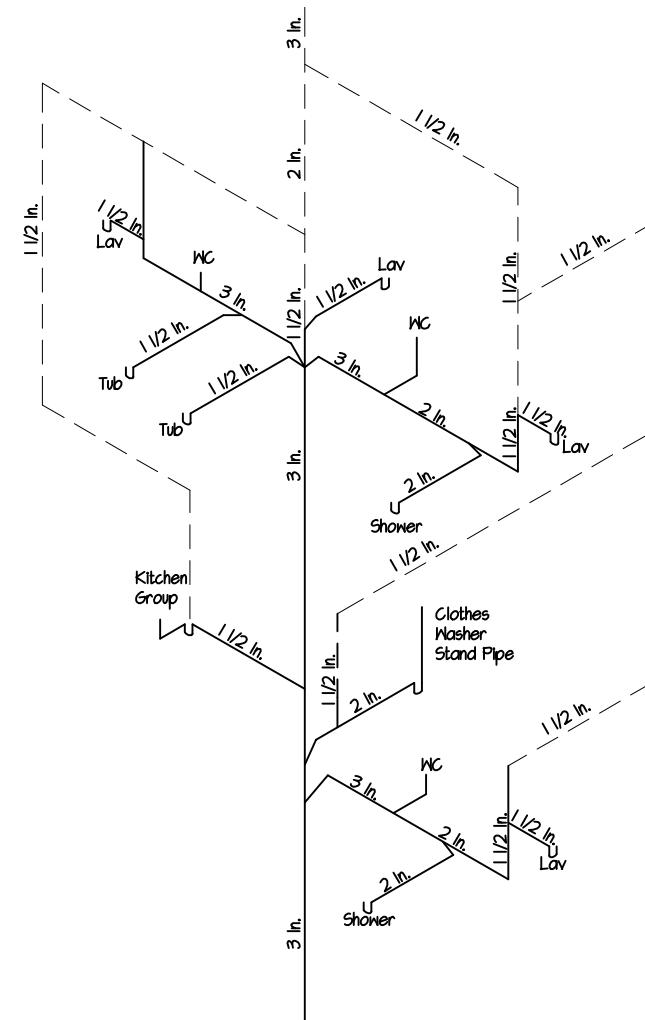
Drawing





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## Typical Plumbing Riser Diagram

Scale: None

Riser diagram taken from "2020 Residential Code of New York State"  
Figure N5, Refer to diagram for all other information

Note:  
Plumbing riser diagram shown is generic, and should be used only for informational purposes. Plumbing contractor to install plumbing system as per state & local building codes.



Scale: 1/4" = 1'-0"

## Left Side Elevation

Scale: 1/4" = 1'-0"

## Light & Ventilation Calculations For Habitable Space

Habitable Room	Required 8% Light & 4% Ventilation		Provided		Complies	Comments
	Light	Ventilation	Light	Ventilation		
Master Bedroom	262 square ft.	20.96 square ft.	10.48 square ft.	54.47 square ft.	24.24 square ft.	Light: Yes Vent: Yes
Bedroom 2	169 square ft.	13.52 square ft.	6.76 square ft.	20.9 square ft.	11.66 square ft.	Light: Yes Vent: Yes
Bedroom 3	175 square ft.	14 square ft.	7 square ft.	20.9 square ft.	11.66 square ft.	Light: Yes Vent: Yes
Bedroom 4	125 square ft.	10 square ft.	5 square ft.	20.9 square ft.	11.66 square ft.	Light: Yes Vent: Yes
Living Room	175 square ft.	14 square ft.	7 square ft.	56.25 square ft.	31.4 square ft.	Light: Yes Vent: Yes

**Demasi Architects P.C.**

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47 Rockledge Ave  
White Plains, NY

Residence For

Pitch Change 12/31/25

Revision Date

Date August 25, 2025

Job No 223-008

Drawing



OF



INITIALLY SIGNED AND SEALED BY THE ARCHITECT AND ARE FOR CONSTRUCTION OF ONE STRUCTURE ONLY BY THE PERSON WHOSE NAME APPEARS ON THE PLANS.

1-3/4 x 11-1/8 LVL RIDGE  
2X10 RAFTER @ 16" o/c

2x6 COLLAR TIES @ 16" o/c

12 (SEE PLANS)

1/2" PLYWOOD SHEATHING  
15 POUND ROOFING FELT  
RUSTIC ASPHALT SHINGLES

HURRICANE CLIPS AT EACH RAFTERS

2 x 10 CEILING JOIST @ 16" o/c

R-44 INSULATION  
1/2" GYPSUM BD.

B.E. ALUM. GUTTER

1/2" EXT. PLYWD. SOFFIT  
"CERTAINEED" PDC/VINYL TRIM SYSTEM  
\* 1'-0" TYPICAL OVERHANG (SEE PLANS)  
Andersen Tilt Wash Windows SEE PLAN FOR TYPE

WD. BASE  
STRIP OAK FLOOR  
3/4" PLY PLYWD SUBFLOOR

2 x 10 FLOOR JOIST @ 16" o/c w/ CROSS BRIDGING @ MID SPAN  
Optional 9 1/2" TJI

2x4 WD. STUDS @ 16" O.C.

R-21 INSULATION.

1/2" PLYWOOD SHEATHING  
VINYL SIDING  
"CERTAINEED" WINDOW PDC/VINYL TRIM SYSTEM  
2x6 WD. STUDS @ 16" O.C.

"TYPAR BUILDING WRAP" OR EQUAL

NOTE: CAULK AROUND ALL WINDOW AND DOOR OPENINGS

WD. BASE  
STRIP OAK FLOOR  
3/4" PLY PLYWD SUBFLOOR

2 x 10 FLOOR JOIST @ 16" o/c w/ CROSS BRIDGING @ MID SPAN  
Optional 9 1/2" TJI

R-38 INSULATION  
WOOD GIRDER (SEE PLANS)

4" od STEEL PIPE COLUMN

F.G. SILL SEALER  
CEMENT WASH  
10" Poured FOUNDATION w/ (2) #4 BARS @ TOP and Bottom of Wall  
Optional 10" CONCRETE BLOCK with Galv. Reinforcing every 3rd Course

FINISH GRADE (SLOPE AWAY FROM HOUSE)

#4 Bar @ 32" o/c  
(2) COATS ASPHALT W.P. BELOW GRA  
CEMENT SHELF  
FILTER FABRIC  
STONE (16" D.)  
SIZE VARIES (SEE PLAN FOR DETAILS)

4" CONC. SLAB  
6" GRAVEL  
6 MIL. POLY V.B.  
CONC. FTG. (SEE PLANS)

4" DIA. FTG. DRAIN PIPE

# Typical Wall Section

SCALE: 1" = 1'-0"

NOTE :  
SEE ELEVATIONS FOR WINDOW  
& FLR. HEIGHTS AS REQ'D.

**NOTE:**  
Provide Ice Shield Min. 24" Inside  
Exterior Wall Line Per Manuf. Spec.  
Provide Ice Shield Underlayment All  
Roof's Less Than 3:12 Pitch & At All  
"Cricket" Roof Areas.  
Ice & Water Shield  
Underlayment @ Eave & Valley's

## Ice Barrier Schematic Detail

$$1/4" = 1'-0"$$

## Insulation And Fenestration Requirements By Component Table R402.1.2

Climate Zone	Fenestration U-Factor	Skylight U-Factor	Glazed Fenestration SHGC	Ceiling R-Value	Wood Frame Wall R-Value
4	0.32	0.55	0.4	49	20+5 Or 13+5
Mass Wall R-Value	Floor R-Value	Basement Wall R-Value	Slab R-Value And Depth	Crawl Space Wall R-Value	
8/13	19	10/13	10, 2 Ft	10/13	

**Insulation Note:**  
Prescriptive Insulation Method To Be Used No ReCheck Required

This architectural cross-section diagram illustrates the construction details of a two-story house. The diagram shows a vertical cross-section through the center of the building, revealing its internal structure and exterior features.

**Key Features and Dimensions:**

- Roof:** The house has a gabled roof with a 12/12 pitch. The top plate of the roof is labeled "Top Plate / Ceiling Hgt".
- Exterior:** The exterior is finished with "Vinyl Siding".
- Windows:** The diagram shows multiple windows, including "Egress" windows on the second floor and standard windows on the first floor. Windows are detailed with "Window Hgt" and "O.H." (Offset Height) dimensions.
- Doors:** A central entrance is shown with "FL" (Front Left) labels. The door height is indicated as "7'-0" O.H.".
- Flashing:** Flashing is used at the roofline and around windows and doors to prevent water infiltration.
- Insulation:** A "Cantilever with Plywood Soffit and R-30 Insulation" is shown on the second floor.
- Base:** The foundation consists of "20" x 10" Concrete Footing w/ (2) #4 Bars Cont." and a "Cement Wash".
- Vertical Dimensions:** The diagram includes height markers for the "Second Floor Hgt", "First Floor Hgt", and "Basement Floor Hgt".
- Horizontal Dimensions:** The width of the house is indicated as "12'-0"".
- Material Labels:** Labels include "1 x 8 Rake w/ Alum. Cover", "1 x 6 Fascia Bd. Vinyl", "B. E. Alum Gutter", "5/4 x Frieze Bd.", "Align Fascia", "4" Vinyl Corner Board", "4" Vinyl Surround", and "Max. Back fill on 10" Poured Conc. Wall".



# Rear Elevation

Scale: 1/4" = 1'-0"

Scale: 1/4" = 1'-0"

## Residence For

47 Rockledge Ave  
White Plains, NY

DeMasi Architects P.C.



אַתָּה בְּנֵי אֶלְעָזֶר, אַתָּה בְּנֵי צְדָקָה, אַתָּה בְּנֵי צְדָקָה.

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EMAIL: [clu@DemasiArchitects.com](mailto:clu@DemasiArchitects.com) WEBSITE: [DemasiArchitects.com](http://DemasiArchitects.com)



Pitch Change	12/31/25
Revision	Date
Date	August 25, 2025
Job No	223-008
Drawing	

### General Conditions:

**SPECIFICATIONS:** These specifications are made in general form only and not specifically for any one building. The owner applying these specifications, assumes complete responsibility for their use, changes, or omissions.

**SCOPE OF WORK:** The Contractor shall provide all labor, materials, appliances and equipment required to complete all work, etc., as shown on the drawings necessary for a complete job, unless otherwise specified. All material and workmanship shall be of good quality.

**OMISSIONS:** All written figures (notes and dimensions) on the floor plans or specifications shall take precedence over any drawn figures (elevations). Do not scale prints. All dimensions must be verified by the contractor before start of construction. Any discrepancies on the plans or specifications must be reported to the Architect prior to the start of construction.

**CODES:** All work and materials must conform to all local and The Residential Code of N.Y.S., National Board of Fire Underwriters, Energy Conservation Code of New York State and requirements of the Board of Health.

**ACCEPTABLE BUILDING STANDARDS:** Installation of materials shall comply with industry standards as instituted by the national association or equivalent group of material used. Acceptable associations shall include, but are not limited to the following: Western Wood Products Assoc., Cedar Shake & Shingle Bureau, Brick Industry Assoc., Tile Council of America, National Roofing Contractors Assoc. and American Concrete Institute, etc.

**MATERIALS:** Shall be installed according to the manufacturer's specifications. All work shall comply with applicable sections of the state and local codes and the generally accepted standards as listed in the state building code.

**SITE CONDITIONS:** The General Contractor shall verify all conditions before submitting their proposal. No allowance for extra charges will be permitted because of lack of knowledge of the conditions peculiar thereto except as otherwise specified elsewhere in the contract documents. Each contractor will be responsible for his own engineering and layout once the owner has established property lines and minimum number of benchmarks. The contractor shall verify all lines, levels and dimensions shown on the drawings and will be held responsible for the correctness and setting out of his work.

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**ARCHITECT STATUS:** Architect has not been retained by owner to provide periodic job inspections or job administration. Purchaser of the plans shall assume full responsibilities for any deviations or changes to these plans.

### Excavation:

**FOUNDATION:** Excavate all earth, boulders, loose and soft rock to the lines and depths indicated on the drawings. All footings to bear on solid, undisturbed earth. Excavate for all utilities as required.

**FOOTINGS:** To bear on solid undisturbed earth. Design of footings are based on 4000 PSF soil. If soil bearing conditions are questionable, contractor shall consult engineer for footing design. Sloped footings shall be 1:2 max slope. Provide (2) #4 bars continuous (refer to wall section). All footings bearing from rock to soil shall be reinforced with (4) #5 bars (6" min on both sides of joint). Dowel and pin all footings bearing on rock with a slope greater than 7:12 (30 degrees) w/ #4 dowels @ 24" o/c max.

**FINISH GRADING:** Finish grading shall be established to provide surface drainage in all directions away from the house and excavated areas.

### Concrete & Masonry:

**CONCRETE:** Shall be a minimum of 3000 PSI in strength.

**CONCRETE FLOORS:** Shall have a smooth, dense steel trowel finish suitable to receive composition flooring. Concrete floors in living areas shall have 6 mil. poly vapor barrier and 2" x 24" (min) rigid polystyrene foam insulation around the perimeter of the slab, where slab is within 2'-0" of grade. Pitch all garage and porch floors for drainage. (1/8" ft. min.)

**POURED CONCRETE FOUNDATION:** Shall comply with the latest edition of American Concrete Institute Specification and shall be plumb, straight, level and true. Forms to be properly constructed to hold concrete. Provide (2) #4 bars located at top and bottom of wall. All reinforcing bars for concrete work shall conform to A.S.T.M. A615 grade 60.

**MASONRY:** Concrete block shall be load bearing laid level, plumb and straight in a full bed of cement mortar (TYPE "S") with galvanized metal truss-type ties. @ 24" horizontal and vertical. All joints to be well tooled. All masonry work shall conform to ACI 530 code and all reinforcement work shall conform to ACI 318-71. Fill top two courses solid with cement mortar.

**MASONRY CHIMNEY & FIREPLACES:** Where shown on the plans, shall be brick or stone where exposed and laid in a full bed of cement mortar with well tooled joints. Flues to be fire clay, size shown on the plans. Provide cast iron damper, ash pit and clean-out doors. Provide for proper clearances with combustible construction. Fire-stop at all clearances with non-combustible material. Contractor shall ensure proper clearances of chimney and fireplace per N.Y.S. Building and Energy Codes.

**PRE FAB CHIMNEY AND FIREPLACE:** Installation of prefabricated flues and fireplaces shall be in strict accordance with manufacturer's specification. Install firestop as required by code. Fireplace shall be metal prefabricated with compatible flue and shall be UL listed.

**REPLACES:** All fireplaces shall have tempered glass fire doors and closable combustion air intake ducts and comply with the N.Y.S. Energy Code.

**DAMPPROOFING:** Foundation wall shall be dampproofed with two (2) coats of asphalt waterproofing over 1/2" cement grange (block wall) or cement wash (poured wall). Provide 4" perforated pipe footing drain laid in 16" stone with layer of salt hay over. Drain to outlet above ground or stone drywell.

### Miscellaneous Metals:

**STEEL:** Shall conform to ASTM specification A-36 for structural steel.

**FLITCH BEAMS:** All steel plates shall conform to ASTM specifications A-36 for structural steel. All bolt holes to be properly drilled. Torched holes are not acceptable.

**ANCHOR BOLTS:** Provide 1/2" dia. X 16" with hooked end. Bolts to be placed 6-0" o/c max, 12" min. from corner and 2 bolts min. per sill.

### Carpentry:

**LUMBER:** All framing lumber to be stress grade Douglas Fir Larch No. 2 or bettering.

**FRAMING:** Framing of the entire house shall be erected plumb, level and true, securely nailed. Joists, studs and rafters shall be doubled above all openings. All flush headers shall be connected with metal joist hangers. Double frame under all partitions parallel to framing. Sizes of joists, sheathing and rafters are shown on plans. Provide solid blocking under all posts.

**GULAM BEAM:** Shall be No. 1 Douglas Dlr (min. Fb-2200 PSI).

**LAMINATED VENEER BEAM:** Shall be "Microlam 1.1E" by Trus Joist MacMillan or equal, min. Fb. 2600. Install as per manufacturer's specifications. Install as per manufacturer's specifications.

**PLYWOOD JOISTS:** Shall be "TJI Pro" joists by Trus Joist MacMillan. Install as per manufacturer's specifications.

**SUB FLOOR:** Shall be 3/4" T&G interior with exterior glue plywood glued and screwed to each framing member @ 6" o/c.

**SHEATHING:** Shall be 1/2" exterior grade plywood nailed to each framing member.

**WOOD DECKS AND RAILINGS:** Where shown on plans, shall be pressure treated No. 1 Southern yellow pine wood. All nails, bolts and all metal fasteners to be galvanized (see detail).

**BRICK OR STONE VENEER:** Shall be as shown on plans, laid in cement mortar with galvanized metal wall ties 24" horizontal and vertical. Provide weep holes at 4" o/c max. or as required (option: provide "MortarNet" at bottom of cavity). All joints to be well tooled. Brick and/or stone shall be selected by owner.

**WINDOWS:** Shall be ANDERSEN 200 series Tilt-Wash or equal windows with insulated "Low E" glass and screens. Size and type shown on plans. Provide tempered glass where shown on where within 18" of floor.

**PATIO DOORS:** Shall be ANDERSEN 200 series Narroline Gliding Doors or equal w/ tempered insulated "Low E" glass and screens.

**FIBER-CEMENT SIDING:** Shall be Fiber-cement Plank Siding by CEMPLANK. Install according to manufacturer's guidelines and details. Provide 3/8" x 1 1/2" wood starter strip set to true level 1/4" up from bottom edge of siding. Lap siding on 1 1/4" minimum over course below, placing all end joints over stud bearing. Use only galvanized or corrosion resistant fasteners and blind nail all siding.

**ASPHALT SHINGLE ROOF:** Shall be 30 year rustic asphalt shingles laid on 15 lb. roofing felt.

**ROOFING:** Provide self-sealing rubberized asphalt and polyethylene waterproof membrane (min. 36" wide) at all eaves by M.R. GRACE & CO. or equal. All chimneys shall be properly flashed with soldered copper cap and base flashing. Valley chimneys shall be properly flashed with soldered copper cap and base flashing. Valley and vertical roof intersection shall be heavy gauge aluminum. Leaders and gutters shall be baked enamel aluminum properly supported. All roofing shall be installed by qualified roofing contractors in strict accordance with manufacturer's specifications. The General Contractor is responsible for the installation and performance of the roofing system and shall provide to Owner a minimum one-year limited warranty.

**ROOF VENTILATION:** Ventilate all attic and rafter spaces with proper sized screened ridge and soffit vents or louvers (see plans).

**GYPSUM BOARD:** 1/2" nailed with rosin nails according to manufacturer's specifications. All joints to be taped and receive three (3) coats of joint compound. Finish to be smooth and even, ready for painting. Provide 5/8" type "X" gypsum board at both sides of garage (house) walls and ceilings. Also, provide 100 SF min. over furnace.

**GUTTERS AND LEADERS:** Provide baked enamel gutters and leaders as required. All leaders and gutters are to be properly supported at all joint areas.

**INSULATION:** Shall be fiberglass batts with vapor barrier. Provide insulation as per Energy Conservation Code of New York State:

Ceilings adjoining attic: R-30  
Ceilings adjoining roof: R-30  
Exterior Stud Walls: R-21  
Floor over unheated spaces: R-30

### Tile Work:

**CERAMIC TILE:** Baths and lavatory floors to receive matt glazed ceramic tile set in thin-set grout. Installation to be as per latest edition of the Tile Council of America specifications. Consult Architect if other setting methods are to be used to verify floor structure. Tub and shower wall to receive glazed ceramic tile set in mastic 6' high (min). Provide water-resistant cement backer boards to tub shower walls and all wet areas.

**ACCESSORIES AND ATTACHMENTS:** Provide ceramic accessories such as soap dish, paper holder, 2 towel bars per bath. Provide mirror medicine cabinet with light over. Provide formica stock vanity where shown on plans.

### Painting:

**EXTERIOR:** Siding, fascias, and trim shall receive one (1) prime coat and one (1) finish coat of exterior stain or paint.

**INTERIOR:** Walls to receive one (1) prime coat and one (1) finish coat of latex or oil flat paint. Flush hardware doors to receive one (1) coat of stain and one (1) coat of satin polyurethane finish. Six (6) panel doors to receive one (1) coat primer and one (1) coat of satin enamel finish. Floors to be sanded and receive one (1) coat of sealer and one (1) coat of floor polyurethane, gloss finish.

**TRIM AND MISCELLANEOUS WOOD:** Shall have one (1) prime coat and one (1) finish coat of satin enamel.

### Heating:

**HEATING AND AIR CONDITIONING:** Shall be GAS hydro-air system, complete with boiler, hydronic zone controls, thermostats, etc. Provide domestic hot water coil or separate circulating storage tank if required in boiler. Provide air handling units, condensers, insulated supply ducts and vents to each room. Heating and cooling system shall be designed and guaranteed to conform to the latest ASHREA specifications and the N.Y.S. Energy Conservation Code.

**DUCTS:** All ducts shall be fabricated and rigidly installed with required bracing and supports. The main supply and return duct shall be isolated from the heater and blower by means of fabric insulators. Provide duct damper for each run. Insulate all ducts located in garage, attic, and unheated areas.

**GRILLS AND REGISTERS:** Provide supply and return registers in each room. All supply grills to have adjustable dampers.

**BALANCING:** Heating contractor shall balance entire house so that all rooms heat evenly to the required temperature set on the thermostat.

### Plumbing:

**WORK INCLUDED:** Contractor shall furnish all labor, materials and equipment required to fully complete all plumbing work shown on plans.

**FLASHING:** All pipes passing through roof shall receive aluminum collar, strapped and fitted to provide water-proof seal.

**TESTING:** Contractor shall test all water, drainage, and vent piping in accordance with local codes.

**WATER SUPPLY:** Water supply in street or well shall be extended to house with 1" heavy copper pipe and entire house shall be supplied with both hot and cold water by means of heavy copper pipe of appropriate sizes, min. 3/4" sub main to each bath, kitchen, and laundry. The weather resistant hose fittings shall be supplied. Provide hook-up for washer where shown.

**DRAINAGE SYSTEM:** Shall be installed in accordance with local codes and ordinances and shall be complete with copper drains and copper vents, house traps, cleanouts, etc connected to street sewer or septic system. Drains under concrete to be cast iron.

**FIXTURES:** As shown on plans shall be AMERICAN STANDARD, KOHLER, or equal. All exposed fittings and pipe to be chrome plated.

**SEPTIC AND WELL SYSTEMS:** (if required) shall conform to all requirements of the Board of Health.

### Electrical:

**Electrical:** Provide a minimum of 120/208-200 amp, or larger, if required, for service. Switches to be silent type. Locations of outlets, fixtures, etc. as shown on plans. All electric work to conform to the National Board of Fire Underwriters Codes. Provide a complete door bell system.

Contractor to provide exhaust fans at bath rooms (vent to exterior). Provide 1" install as per code.

Contractor to provide smoke & heat detectors with battery back-up (see plans for location). Detectors shall conform to all applicable codes and shall be installed as per building code.

Contractor to provide carbon monoxide detectors with battery back-up (see plans for location). Detectors shall conform to all applicable codes and shall be installed as per building code. (Optional)

### Kitchen Cabinets & Appliance:

**KITCHEN CABINETS & APPLIANCES:** Provide stock hardwood with lacquer finish or laminated plastic cabinets with laminated plastic top and back splash as shown on drawings. Provide dishwasher, oven, and range with hood and exhaust fan over (vent to exterior). Provide dryer vents to exterior.

### Site Work:

**SITE WORK:** Provide 2" blacktop driveway, 4" gravel base to street. Sidewalks to be 3" wide, 4" concrete or 1 1/2" flagstone laid in sand, from house to driveway. Provide top soil and seed to all areas disturbed by construction.

### Insulation / Energy Code:

**INSULATION:** See Prescriptive Method on first sheet.

**AIR LEAKAGE:** Joints, penetrations, and all other such openings in the building envelope that are sources of air leakage must be sealed. Recessed lights must be 1) Type IC rated, or 2) installed inside an appropriate air-tight assembly with a 0.5" clearance from combustible materials. If non-IC rated, the fixture must be installed with a 3" clearance from insulation.

**VAPOR RETARDER:** Required on the warm-in-winter side of all non-vented framed ceilings, walls, and floors.

### Material Identification:

Materials and equipment must be installed in accordance with the manufacturer's installation instructions.

Materials and equipment must be identified so that compliance can be determined.

Manufacturer manuals for all installed heating and cooling equipment and service water heating equipment must be provided. Insulation R-values and glazing U-factors must be clearly marked on the building plans or specifications.

### Duct insulation:

Supply ducts in unconditioned attics or outside the building must be insulated to R-8.

Return ducts in unconditioned attics or outside the building must be insulated to R-4.

Supply ducts in unconditioned spaces must be insulated to R-8.

Return ducts in unconditioned spaces (except basements) must be insulated to R-2. Insulation is not required on return ducts in basements.

### Duct Construction:

All joints, seams, and connections must be securely fastened with welds, gaskets, mastics (adhesives), mastics-plus-embedded-fabric, or tapes. Duct tape is not permitted. Exception - Continuously welded and locking-type longitudinal joints and seams on ducts operating at less than 2 in. Wg. (500 Pa).

Ducts shall be supported every 10 feet or in accordance with the manufacturer's instructions.

Cooling ducts with exterior insulation must be covered with a vapor retarder.

Air filters are required in the return air system.

The HVAC system must provide a means for balancing air and water systems.

### Temperature Controls:

Each dwelling unit has at least one thermostat capable of automatically adjusting the space temperature set point of the largest zone.

### Electrical Systems:

Separate electric meters are required