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2020 Residential Code Of New York State

Climatic & Geographic Design Criteria Table R301.2(1)

Climatic & Geographic Design Criteria Table R301.2(1)														
Ground Snow Load	Wind Design				Seismic Design Category	Subject To Damage From			Winter Design Temp.	Ice Shield Underlayment Required	Flood Hazards	Air Freezing Index	Mean Annual Temperature	
	Speed (mph)	Topographic Effects	Special Wind Region	Wind-Borne Debris Zone		Weathering	Frost Line Depth	Termite Decay						
20 lb/ft	125 mph				B	Severe	42"	Moderate Heavy	Slight Moderate	12° F	Yes	F.I.R.M Sept. 2007	1500	52.2 F

Manual J Design Criteria

Elevation	Latitude	Winter Heating	Summer Cooling	Altitude Correction Factor	Indoor Design Temperature	Design Temperature Cooling	Heating Temperature Difference
436	41	7	87	I	68	75	61
Cooling Temperature Difference	Wind Velocity Heating	Wind Velocity Cooling	Coincident Wet Bulb	Daily Range	Winter Humidity	Summer Humidity	
12	20.4	7.5	7.5	M	30	55	

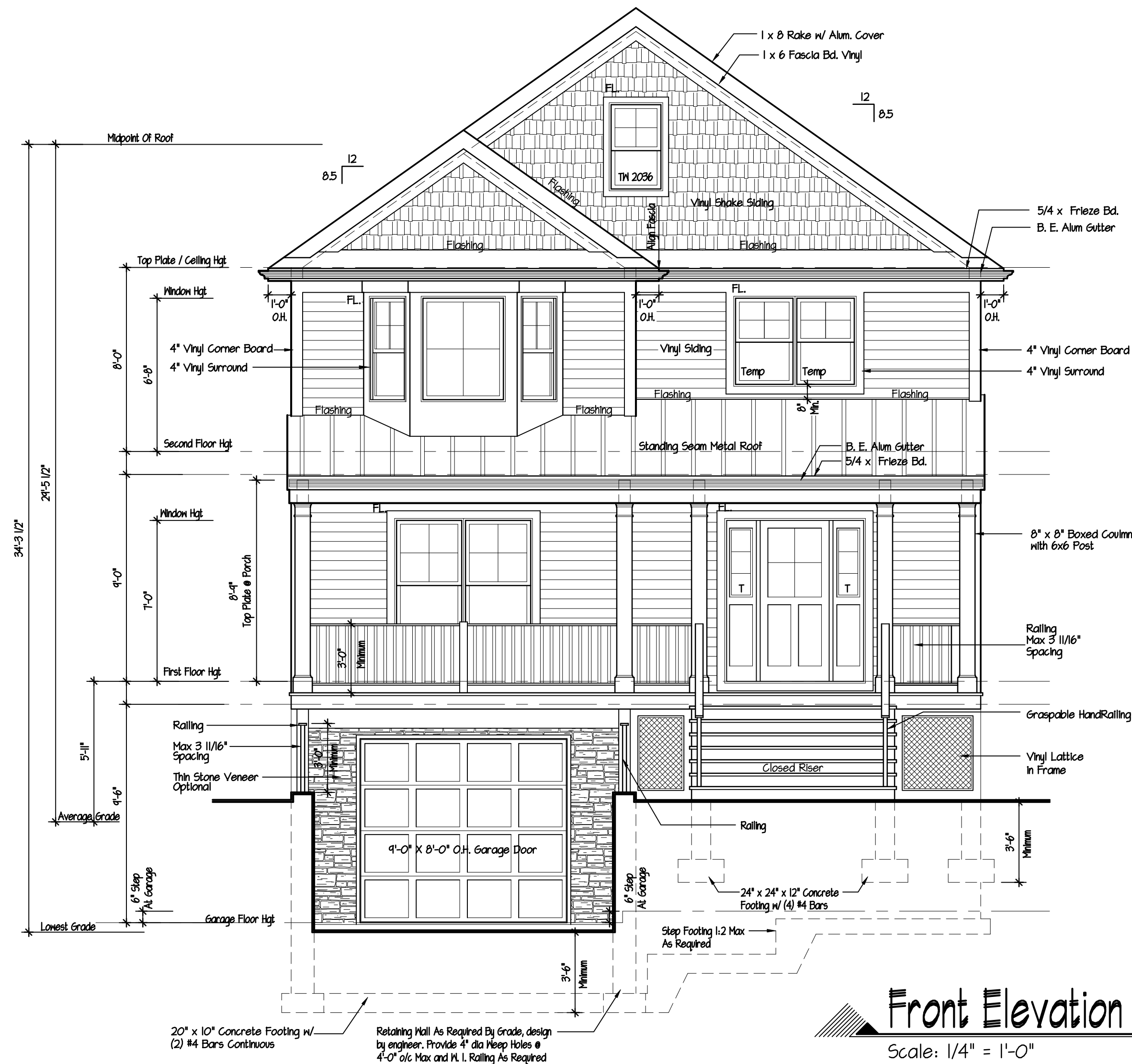


TABLE OF LAND USE

SECTION 126.45, BLOCK 2, LOT 8
ZONE: "R2-4" RESIDENTIAL ONE AND TWO FAMILY DISTRICT
PROPOSED USES: ONE FAMILY RESIDENTIAL

DESCRIPTION	REQUIRED		PROPOSED
	ZONING DISTRICT REQUIRED/ PERMITTED R2-4 (ONE FAMILY)		RESIDENTIAL TWO-FAMILY (2 UNIT)
MAXIMUM "BUILDING COVERAGE"			
"TOTAL BUILDING AREA"	(SQ.FT.)	—	1302
"ALL BUILDINGS"	(PERCENT)	30	24.1
"MAIN BUILDING"	(PERCENT)	25	24.1
"ACCESSORY BUILDINGS"	(PERCENT)	10	N/A
MAXIMUM "FLOOR AREA RATIO"			
GROSS FLOOR AREA	(SQ.FT.)		2289
R (RESIDENTIAL USE)	(RATIO)	0.60	0.42
MINIMUM "LOT" DIMENSIONS			
"AREA" IN SQUARE FEET PER "LOT"	(SQ.FT.)	5000	5411
"AREA" IN SQUARE FEET PER "DWELLING UNIT"	(SQ.FT.)	5000	5411
"FRONTAGE"	(LF)	50	54.9
"DEPTH"	(LF)	75	98.7
MINIMUM REQUIRED "YARD" DIMENSIONS			
"FRONT"	(FEET)	25	26.8
"ONE SIDE"	(FEET)	7	8.1
"TWO SIDES"	(FEET)	18	24.8
"REAR"	(FEET)	25	28
MAXIMUM "HEIGHT"			
"STORIES"	(STORIES)	2 1/2	2 1/2
"FEET"	(FEET)	30	≤30
ACCESSORY "STRUCTURES"			
MAXIMUM "HEIGHT"	(FEET)	15	N/A
MINIMUM DISTANCE IN FEET TO:			
ANY OTHER STRUCTURE IF NOT ATTACHED	(FEET)	10	N/A
"SIDE LOT LINE"	(FEET)	5	N/A
"REAR LOT LINE"	(FEET)	5 ⁽¹⁾	N/A
(1) WHERE THE "BUILDING" IS OF FIRE PROOF CONSTRUCTION AS APPROVED BY THE COMMISSIONER OF BUILDING, AND WILL ABUT THE "REAR YARD" OF AN ADJOINING "LOT", NO MINIMUM.			

See Page 6 of 9 For Construction Type Label Note
See Page 8 of 9 For Insulation And Fenestration Requirements By Component Chart

Square Footage

First Floor	1,120 SF
Second Floor	1,169 SF
Total	2,289 SF

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Residence For

47 Rockledge Ave
White Plains, NY

Zoning Chart 1/16/25

Pitch Change 12/31/25

Revision Date

Date August 25, 2025

Job No 223-008

Drawing

OF

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Notes:

All Framing Members To Be # 2 Douglas Fir- Larch Or Better
Double Frame Under All Partitions Parallel To Framing
If Tile Floor Is To Be MUD Job Consult Architect For Additional Framing Required

Legend:

- 2 x Wood Post (Match Beam Width or As Noted)
- Smoke Detector w/ Battery Back-Up
- Carbon Monoxide Det w/ Battery Back-Up
- Surface Mounted Light Fixture
- Recessed Light Fixture
- Duplex Outlet Ground Fault Interrupter (GFI) At All Wet Areas (As Required By Code)

Wood Header Schedule

Span	Header Size
Up To 3'-0"	(2) 2 x 8 Hdr
Up To 4'-0"	(2) 2 x 10 Hdr
Up To 6'-0"	(3) 2 x 10 Hdr

Note:
Unless Otherwise Noted On Plans

Andersen 400 Series Egress Window Sizes:

Size	Opening	Width	Height
TW 210410	5.81 sf	31 1/8"	26 1/4"

Window Note:

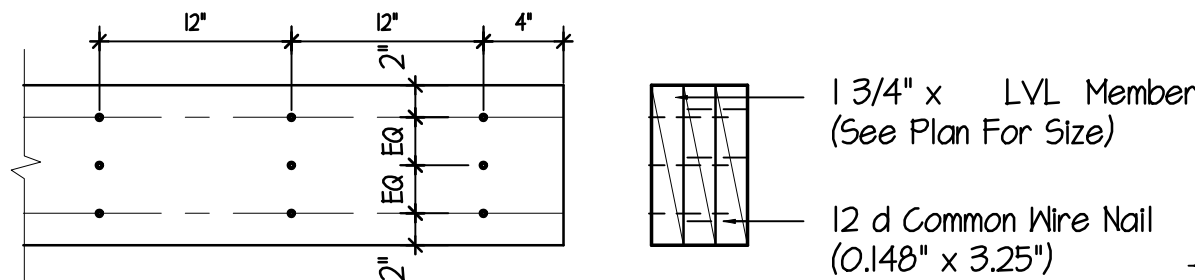
- All Glazing To Be Low "E" Insulated Glass w/ Minimum R-3.1 (U=0.32).
- All Windows Within 18" Of Floor To Have Tempered Glass (Double Hung's-Bottom Sash Only, All Others Full Unit).
- All Glazing In Doors & Windows Enclosing Hot Tubs, Whirlpool Tubs, Saunas, Steam Rooms, Bathtubs and Showers Within 60" Of Window or Door Unit Shall Have Tempered Glass.
- All Egress Windows To Have A Minimum Clear Opening Area Of 5.7 sf Total w/ 24" min Clear Opening Height & 20" min Clear Width. Refer To Manufacturers Specifications For All Other Information.
- All Windows or Doors Marked w/ "TEMP" To Have Full Unit Tempered.

Hearth Note:

Hearth Extensions Of Approved Pre-Fab Fireplaces Shall Be Installed In Accordance with The Listing Of The Fireplace. The Hearth Extension Shall Be Readily Distinguishable From Surrounding Floor Area.

Pre-Fab Fireplace

Scale: None



Elevation

Note:

LVL = Laminated Veneer Lumber
By Trus-Joist MacMillan (1.9 E)
Minimum or Equal

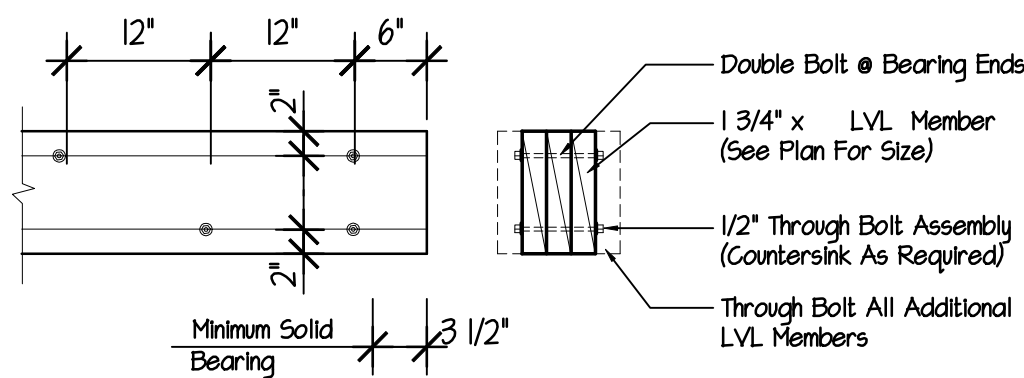
Section

Note:

See Plans For Size & Location
Of All LVL Members

LVL Beam Detail (Nailed)

Scale: 1" = 1'-0"



Elevation

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By Trus-Joist MacMillan (1.9 E)
Minimum or Equal

Section

Note:

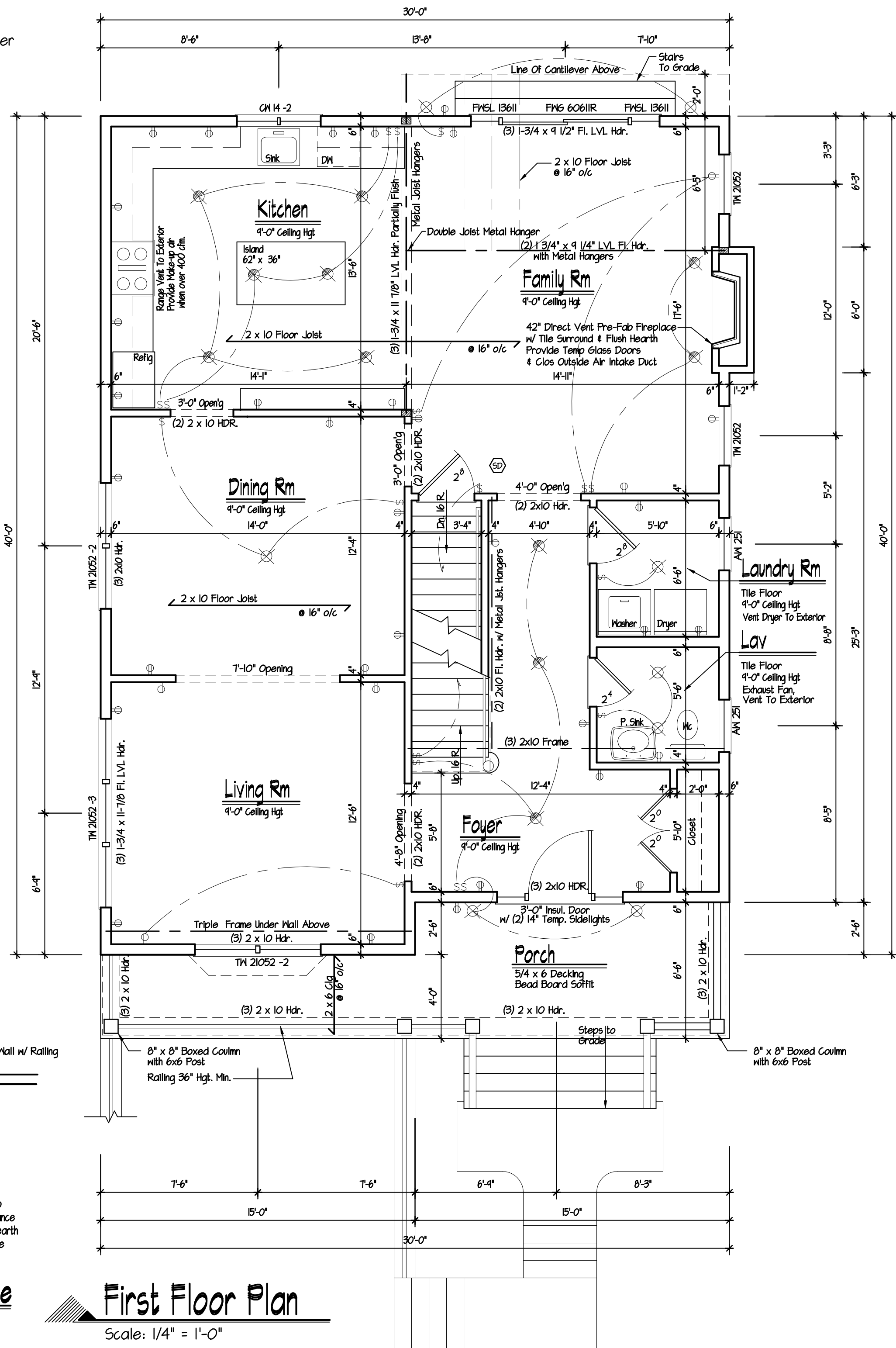
Bolting As Required, Refer
To Manufactured Specifications
For All Information & Specifics

Note:

See Plans For Size & Location
Of All LVL Members

LVL Beam Detail (Bolted)

Scale: None



First Floor Plan

Scale: 1/4" = 1'-0"

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Town Comments 12/22/25

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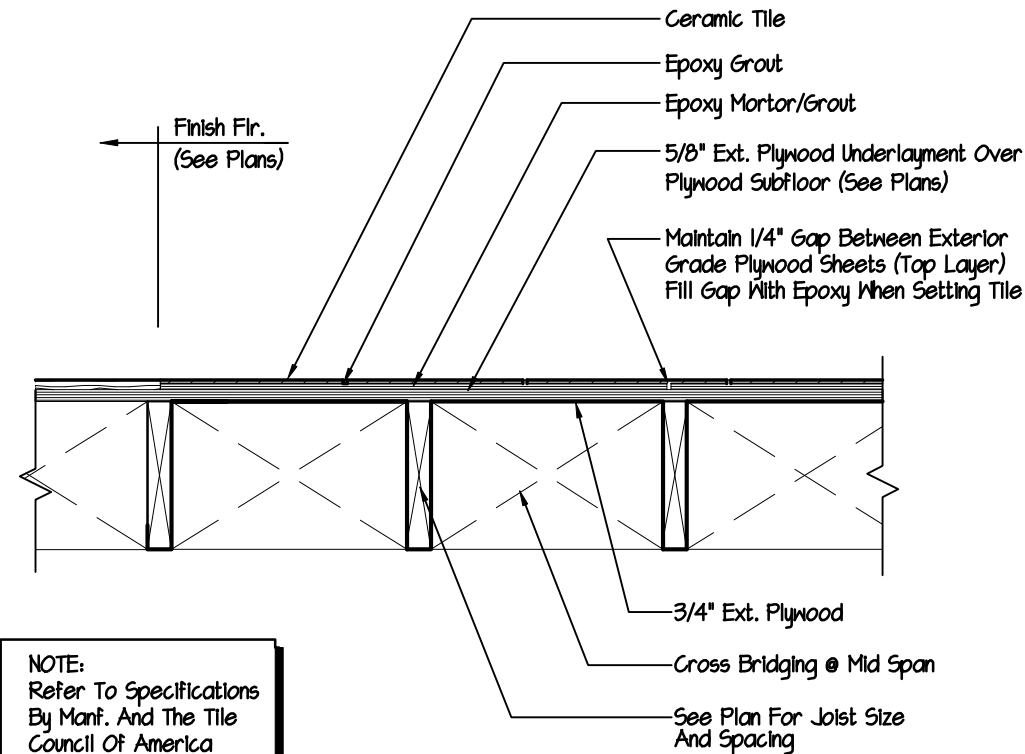
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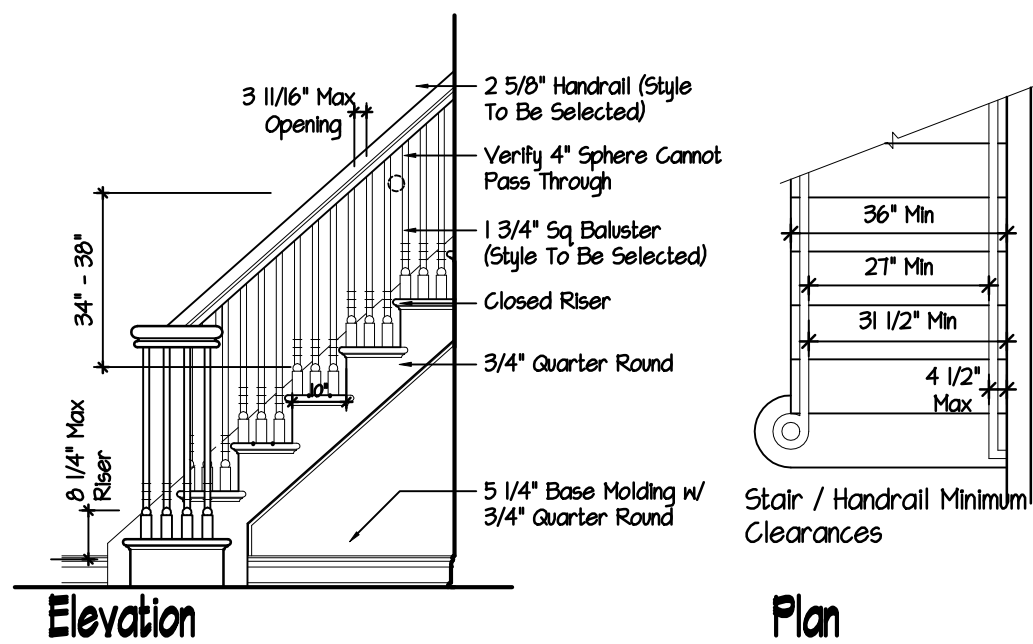
Window Note:

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- All Windows Within 18" Of Floor To Have Tempered Glass (Double Hung's-Bottom Sash Only, All Others Full Unit).
- All Glazing In Doors & Windows Enclosing Hot Tubs, Whirlpool Tubs, Saunas, Steam Rooms, Bathtubs and Showers Within 60" Of Window or Door Unit Shall Have Tempered Glass.
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- All Windows or Doors Marked w/ "TEMP" To Have Full Unit Tempered.



Tile Floor Detail (Thin Set)

Scale: 1" = 1'-0"



Stair Clearance Detail

Scale: None

Exhaust Air Notes:

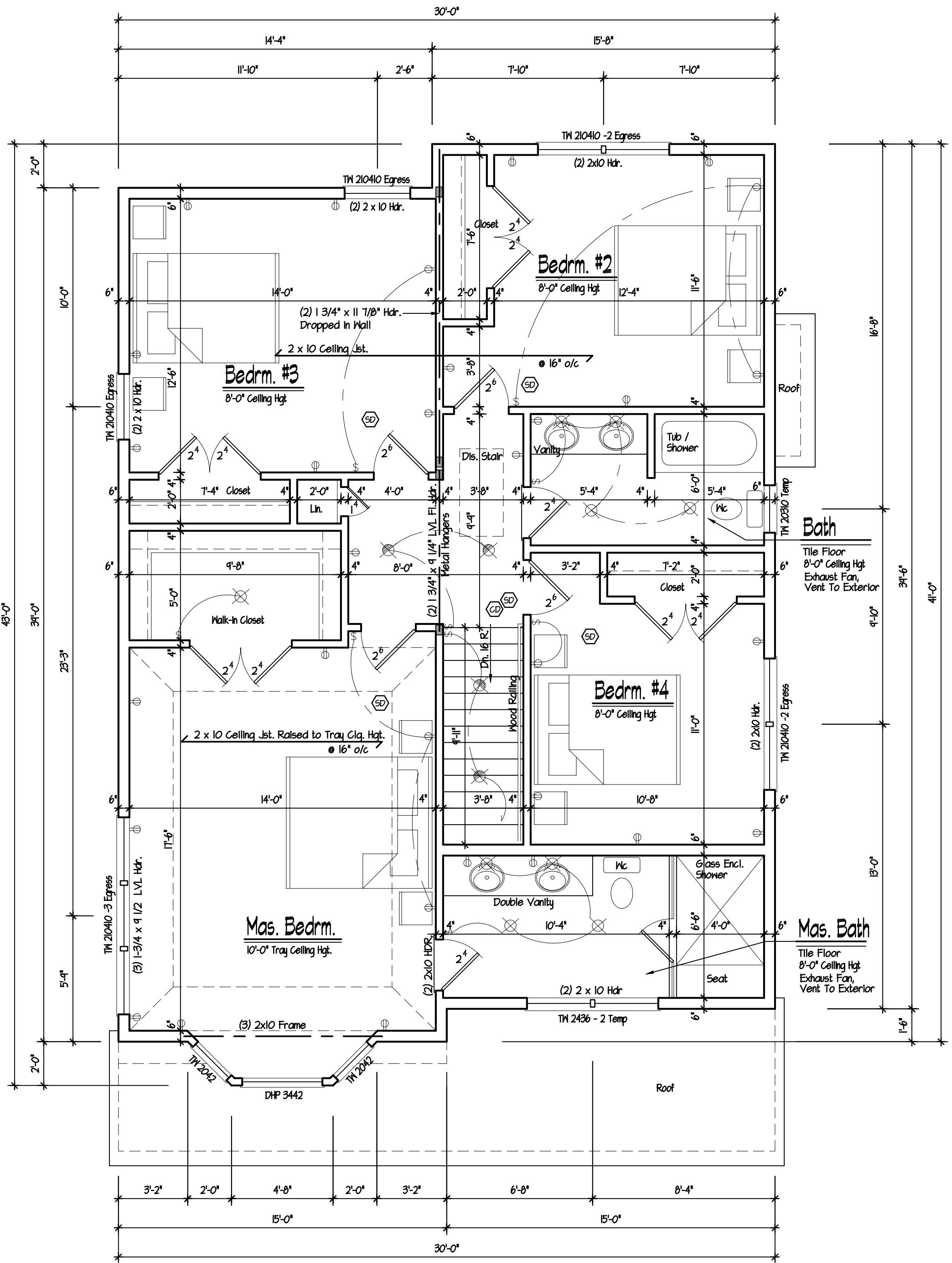
- Exhaust air from bathrooms and toilet rooms shall not be recirculated within a residence or circulated to another dwelling unit and shall be exhausted directly to the outdoors. Exhaust air from bathrooms, toilet rooms and kitchens shall not discharge into an attic, crawl space or other areas inside the building. This section shall not prohibit the installation of ductless range hoods in accordance with the exception to Section M1503.3.
- Exhaust equipment serving single dwelling units shall be listed and labeled as providing the minimum required airflow in accordance with ANSI/AMCA 210-ANSI/ASHRAE 51.

Shower Liner Test:

- P2503.6: Where shower floors and receptors are made watertight

by the application of materials required by Section P2104.2, the completed liner installation shall be tested. The pipe from the shower drain shall be plugged watertight for the test. The floor and receptor area shall be filled with potable water to a depth of not less than 2 inches (51 mm) measured at the threshold. Where

a threshold of not less than 2 inches (51 mm) in height does not exist, a temporary threshold shall be constructed to retain the test water in the lined floor or receptor area to a level not less than 2 inches (51 mm) in depth measured at the threshold. The water shall be retained for a test period of not less than 15 minutes and there shall not be evidence of leakage.



Second Floor Plan

Scale: 1/4" = 1'-0"

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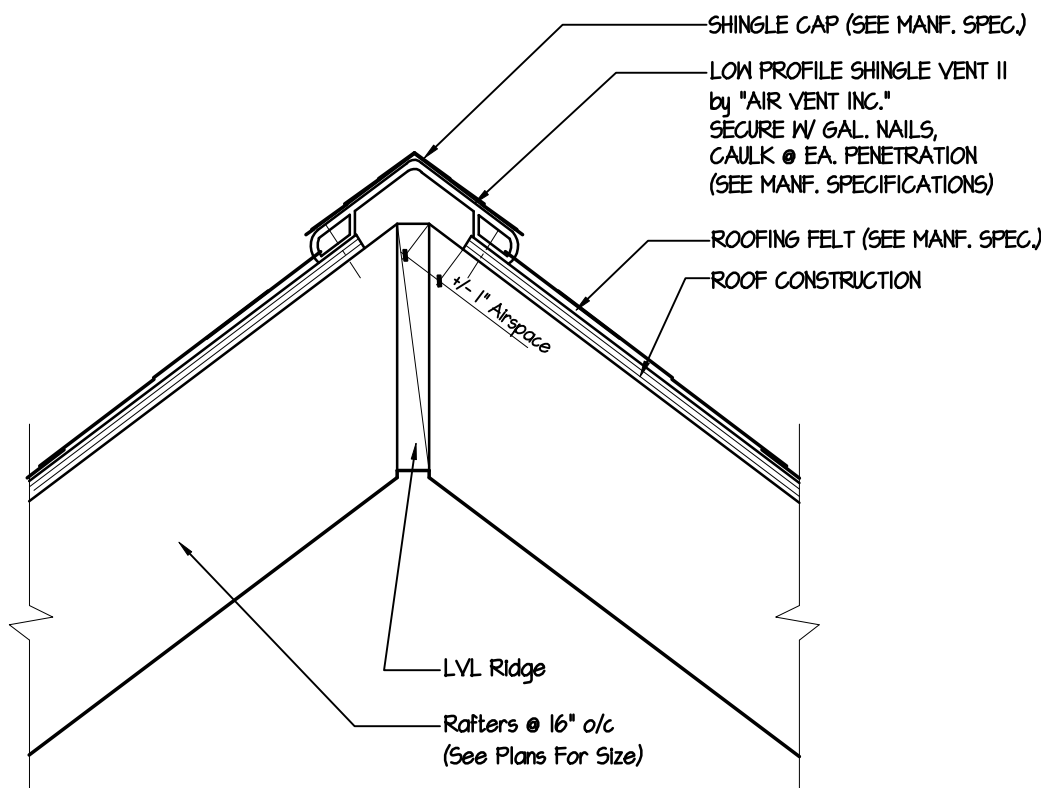
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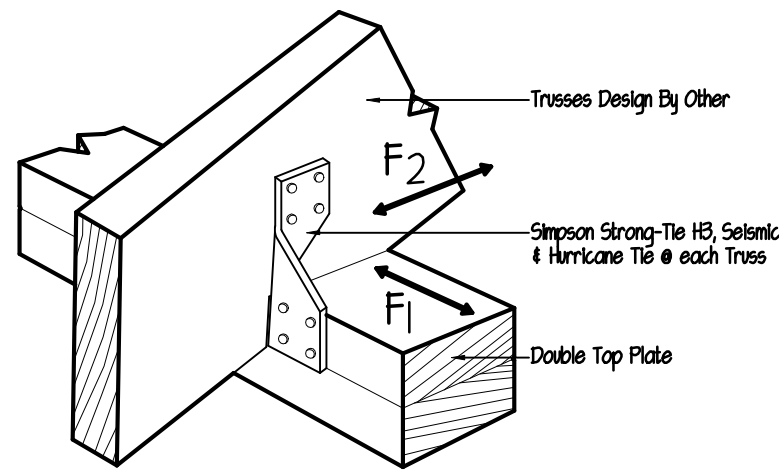
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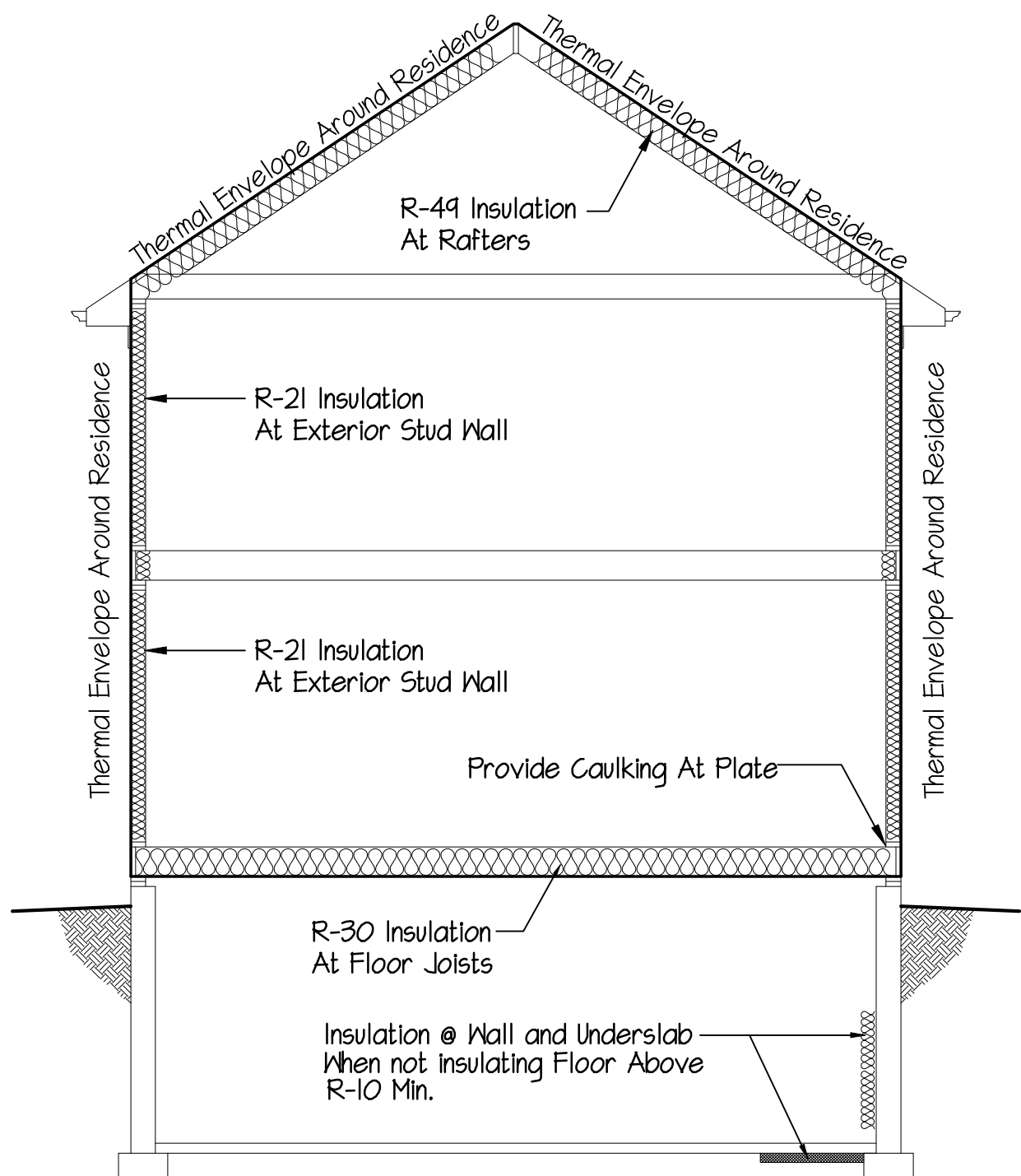


Ridge Vent Detail
No Scale

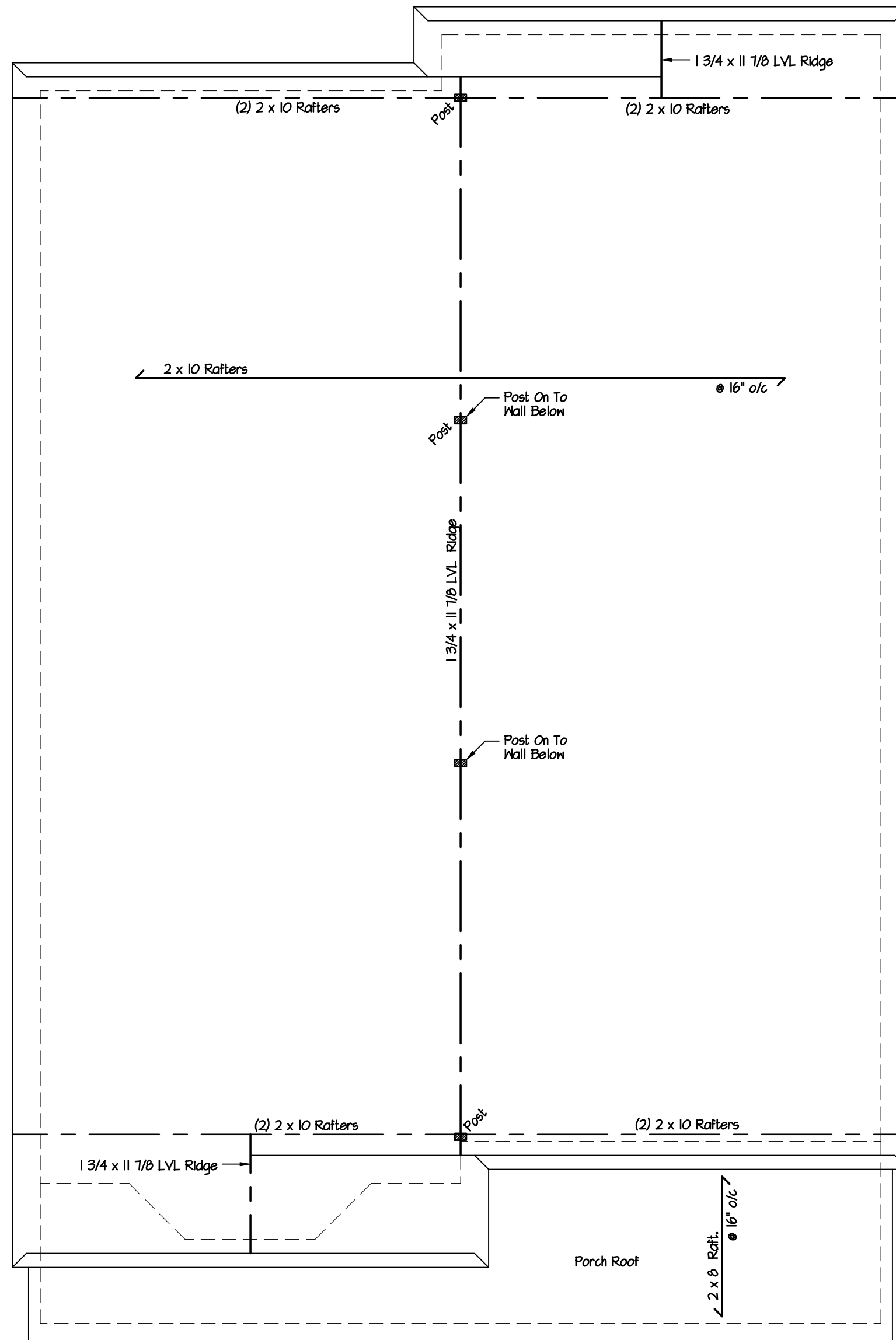


Note:
Simpson Strong Ties Is Recommend by Truss Supplier

Rafter Tie Down Detail
Scale: None



Thermal Envelope
Scale: 3/16" = 1'-0"



Roof Framing Plan
Scale: 1/4" = 1'-0"

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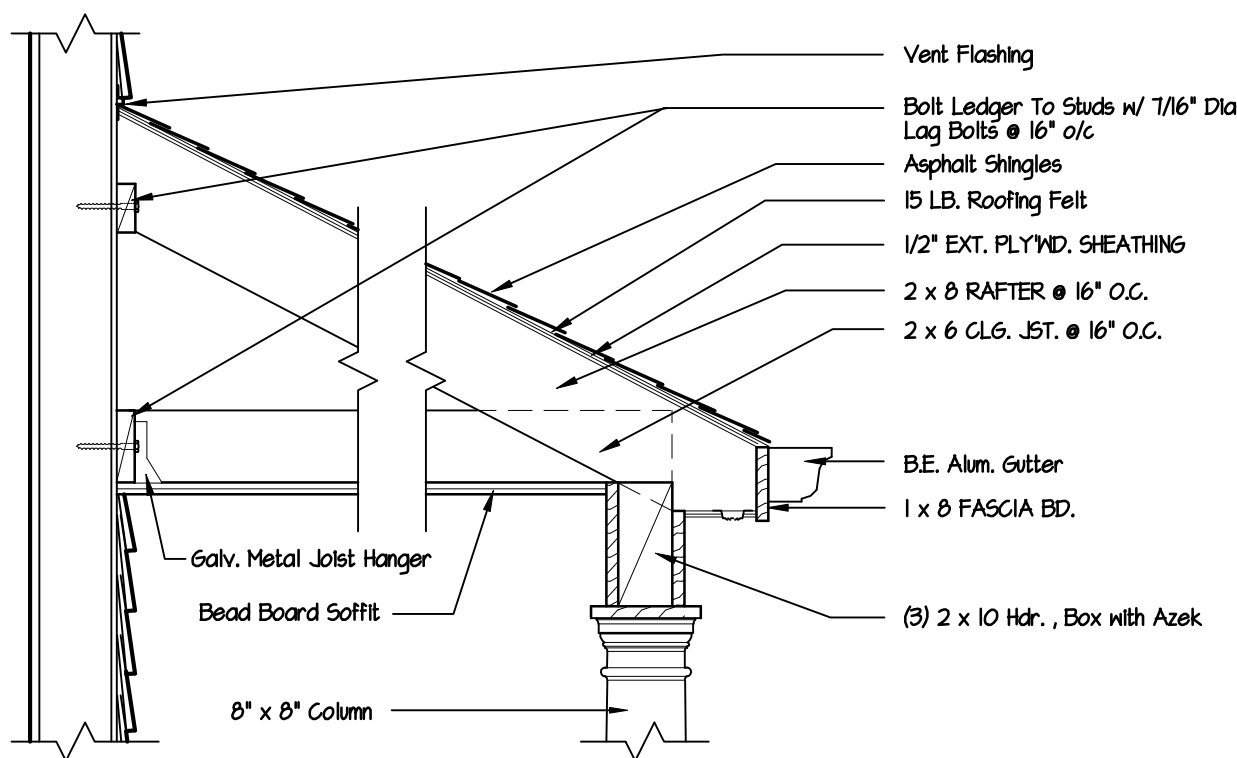
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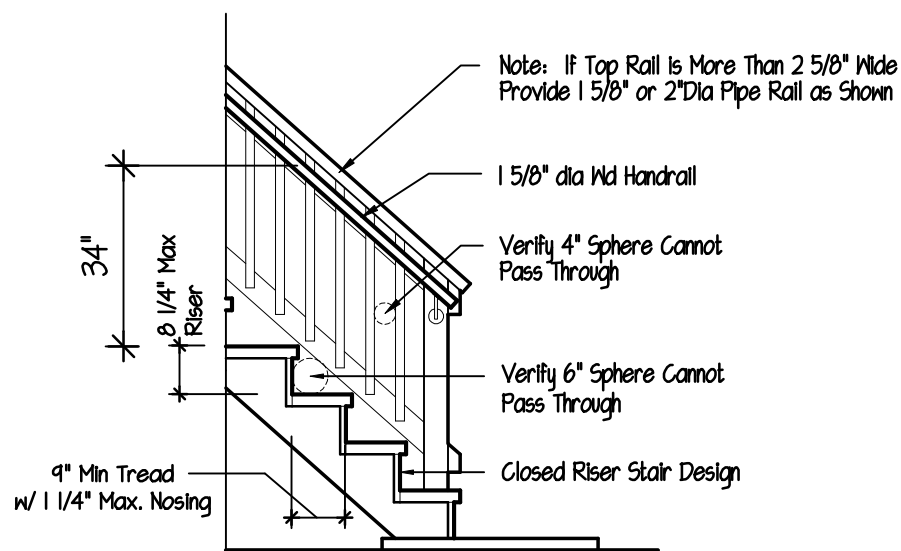
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Porch Roof Detail

NO SCALE



Deck Handrail & Stair Detail

No Scale

Construction Type Note:

As Per Title 19 NYCRR Part 1265

Provide Label As Shown Below For:



V = Construction Type
As Per Section 602 of BCNYS

FR = Floor And Roof Framing
As Per Designation For Structural Components That Are Of Truss/ Engineered Type Construction

Size:

6" Diameter Circle

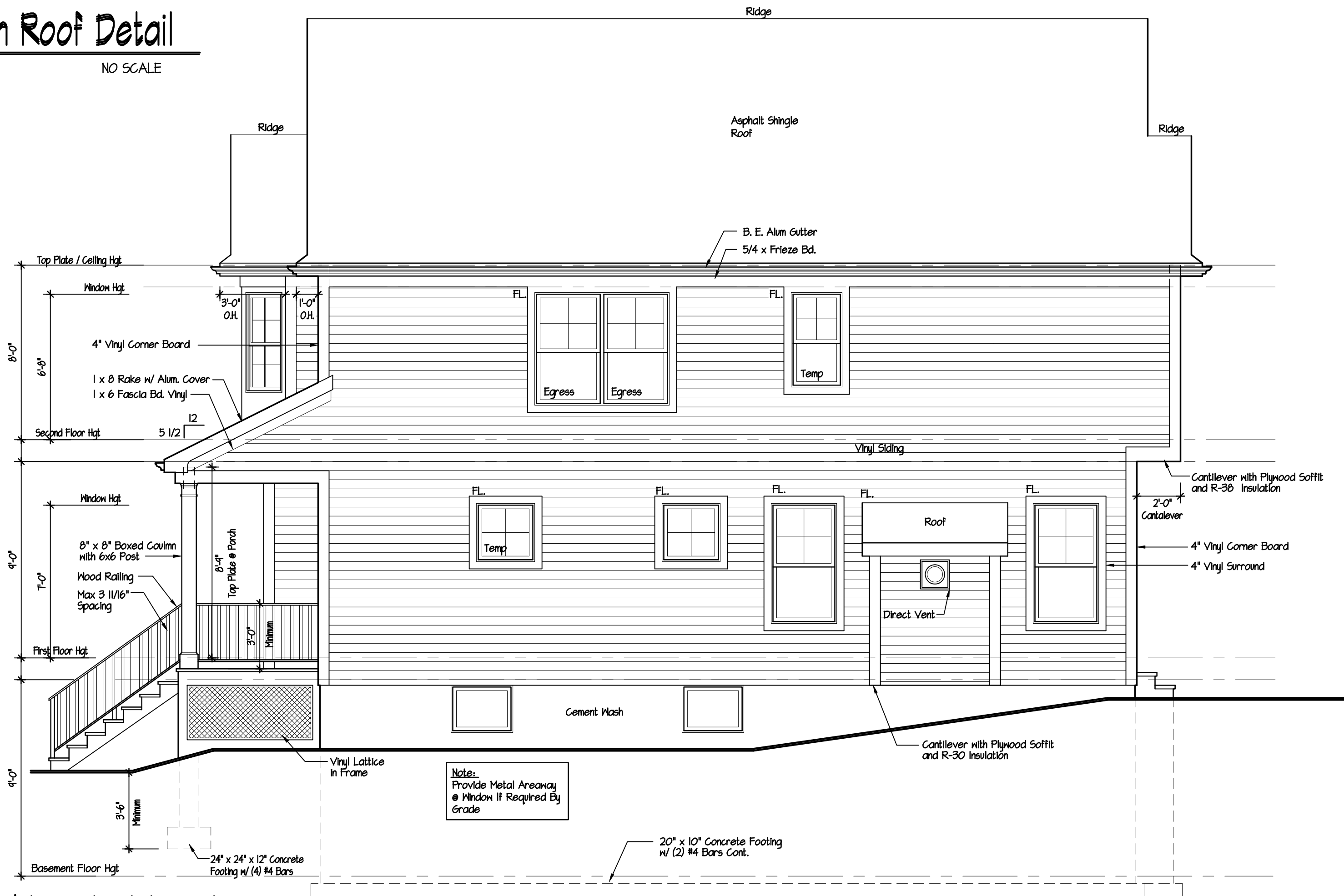
Color:

Circle To Be 1/2" Stroke - Reflective Red Pantone #187
Inner Circle - Reflective White
Text - Reflective Red Pantone #187

Sign Location:

The Sign Or Symbol Required Shall Be Affixed To The Electric Box Attached To The Exterior Of The Residential Structure.
See Section 1265.5 For Further Notes On Sign Location.

See Title 19 NYCRR Part 1265 For Other Specs



Right Side Elevation

Scale: 1/4" = 1'-0"

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Zoning Chart 1/16/25

Pitch Change 12/31/25

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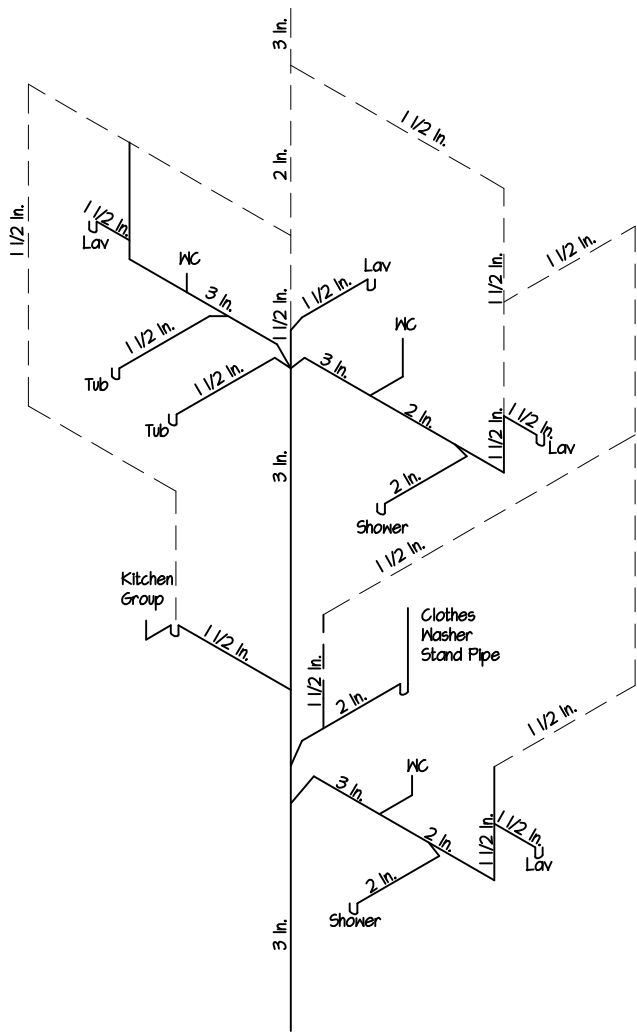
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Typical Plumbing Riser Diagram

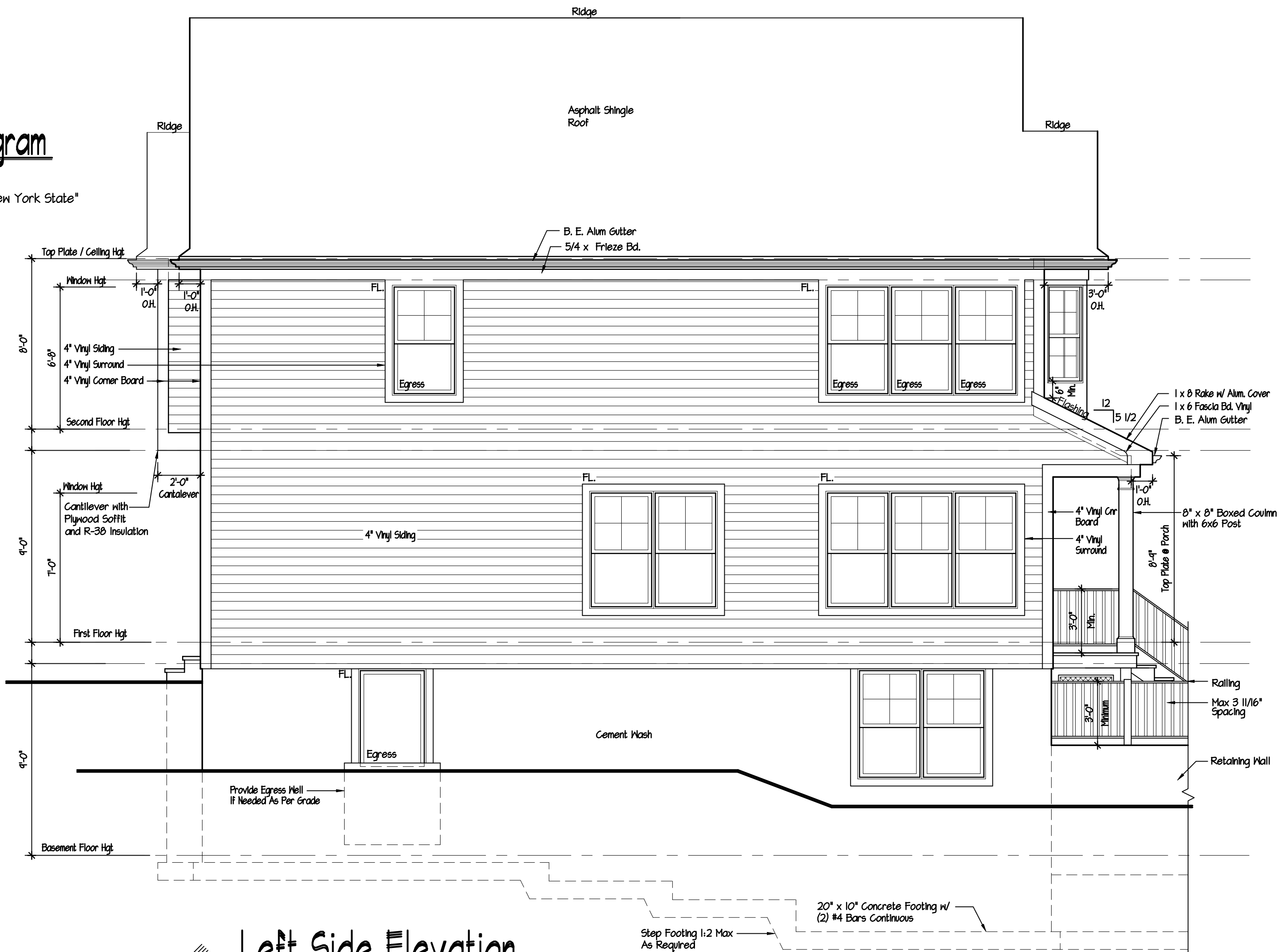
Scale: None

Riser diagram taken from "2020 Residential Code Of New York State" Figure N5, Refer to diagram for all other information

Note:
Plumbing riser diagram shown is generic, and should be used only for informational purposes. Plumbing contractor to install plumbing system as per state & local building codes.

Light & Ventilation Calculations For Habitable Space

Habitable Room		Required 8% Light & 4% Ventilation		Provided		Complies	Comments
		Light	Ventilation	Light	Ventilation		
Master Bedroom	262 square ft.	20.96 square ft.	10.48 square ft.	54.47 square ft.	24.29 square ft.	Light: Yes Vent: Yes	
Bedroom 2	164 square ft.	13.52 square ft.	6.76 square ft.	20.9 square ft.	11.66 square ft.	Light: Yes Vent: Yes	
Bedroom 3	175 square ft.	14 square ft.	7 square ft.	20.9 square ft.	11.66 square ft.	Light: Yes Vent: Yes	
Bedroom 4	125 square ft.	10 square ft.	5 square ft.	20.9 square ft.	11.66 square ft.	Light: Yes Vent: Yes	
Living Room	175 square ft.	14 square ft.	7 square ft.	56.25 square ft.	31.4 square ft.	Light: Yes Vent: Yes	



Left Side Elevation

Scale: 1/4" = 1'-0"

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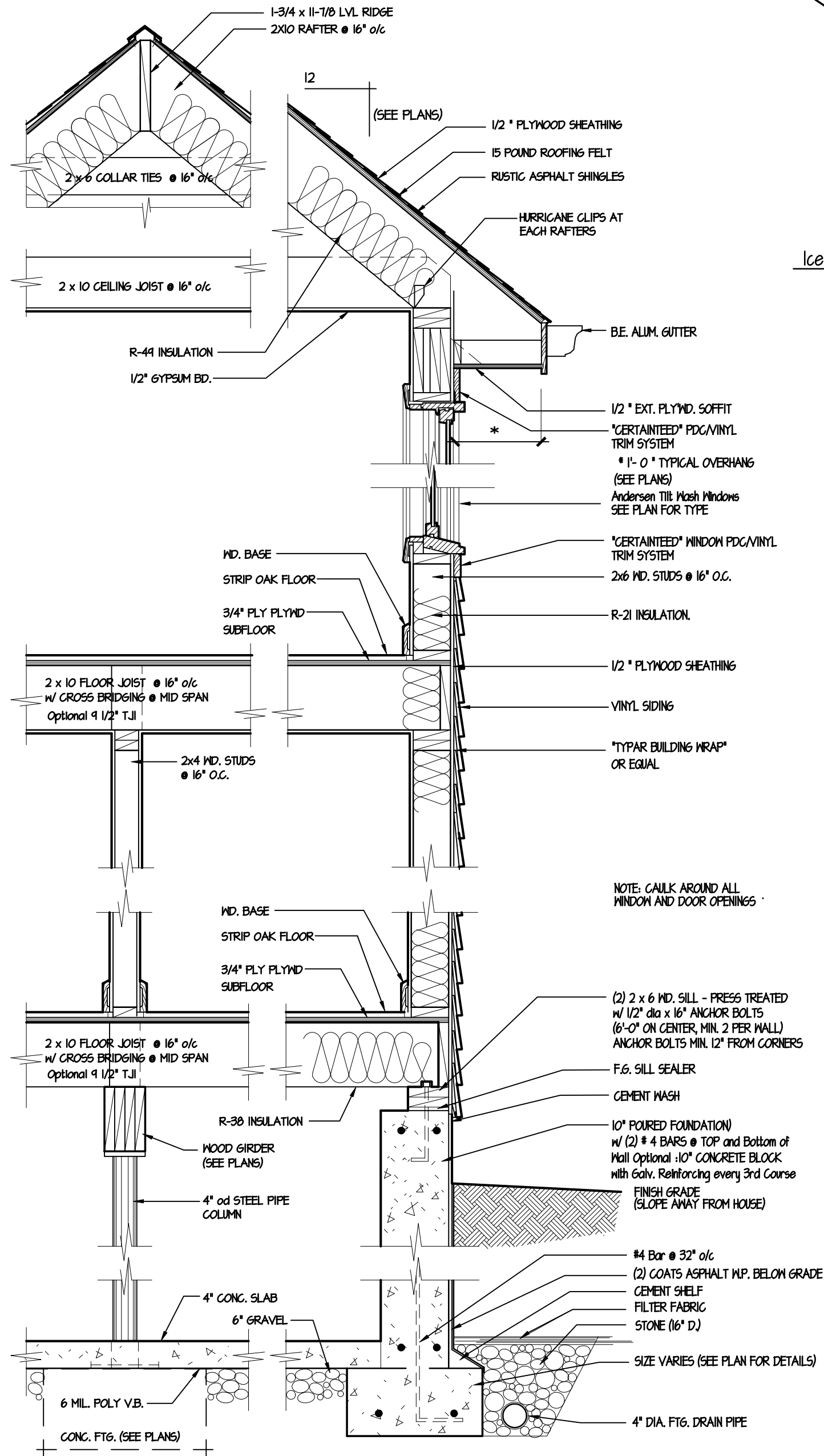
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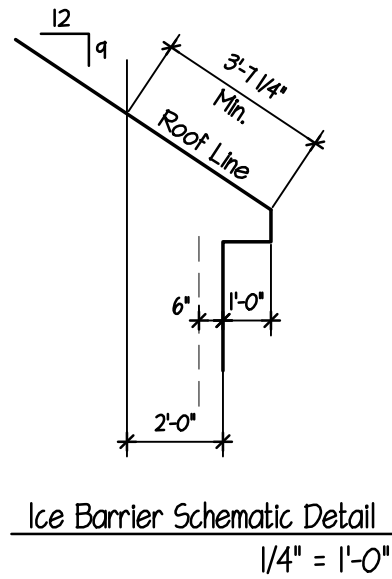
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TYPICAL WALL SECTION
SCALE: 1" = 1'-0"

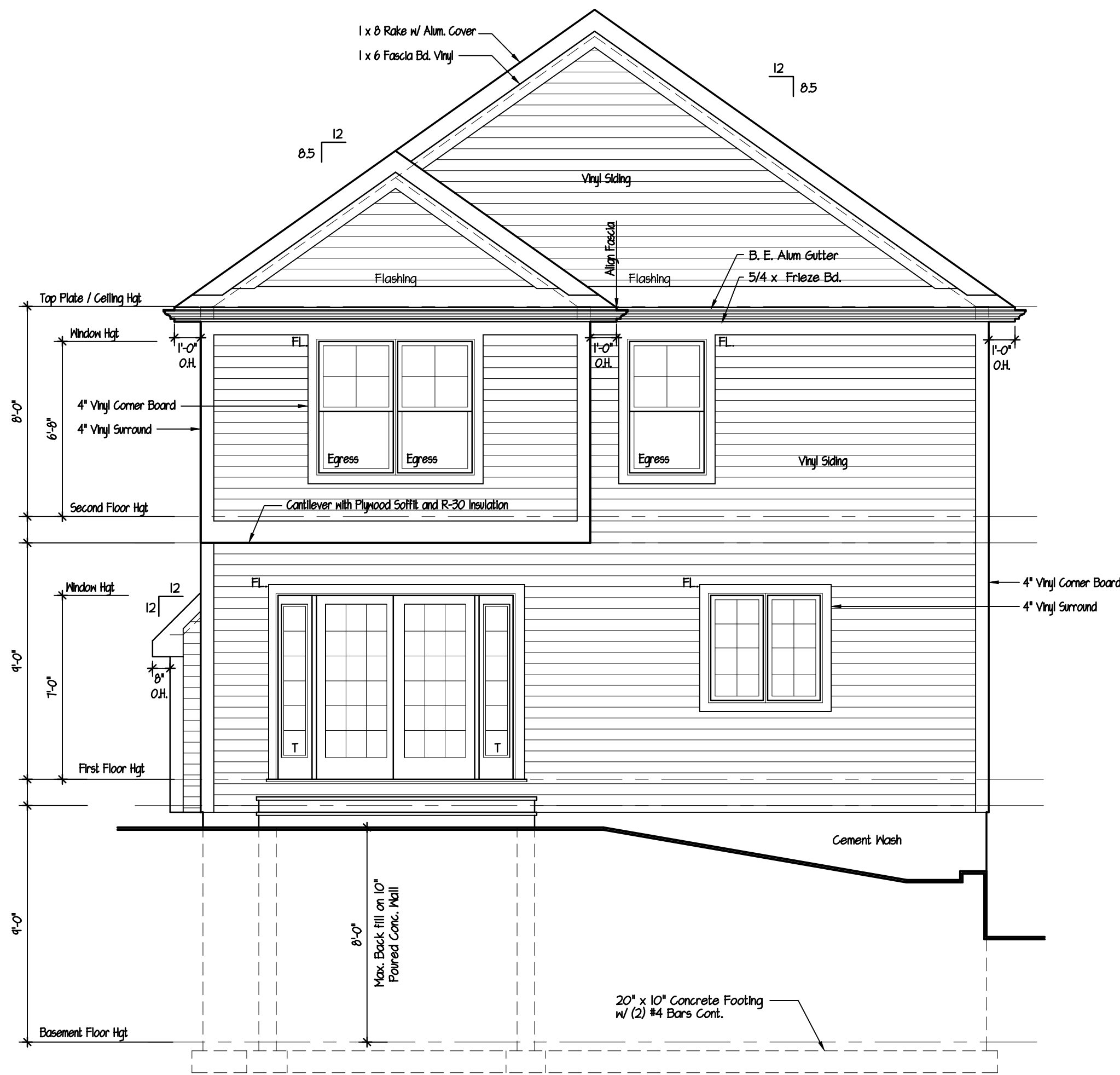
NOTE :
SEE ELEVATIONS FOR WINDOW
& FLR. HEIGHTS AS REQ'D.



NOTE:
Provide Ice Shield Min. 24" Inside Exterior Wall Line Per Manuf. Spec.
Provide Ice Shield Underlayment All Roof's Less Than 3:12 Pitch & At All "Cricket" Roof Areas.
Ice & Water Shield Underlayment @ Eave & Valley's

Insulation And Fenestration Requirements By Component Table R402.1.2					
Climate Zone	Fenestration U-Factor	Skullight U-Factor	Glazed Fenestration SHGC	Celling R-Value	Wood Frame Wall R-Value
4	0.32	0.55	0.4	49	20+5 Or 13+5
Mass Wall R-Value	Floor R-Value	Basement Wall R-Value	Slab R-Value And Depth	Crawl Space Wall R-Value	
8/13	19	10/13	10, 2 Ft	10/13	

Insulation Note:
Prescriptive Insulation Method To Be Used No ReCheck Required



Rear Elevation
Scale: 1/4" = 1'-0"

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IT IS A VIOLATION OF THE LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL, TO ALTER AN ITEM IN ANY WAY, IF AN ITEM BEARING THE SEAL OF A LICENSED PROFESSIONAL IS ALTERED, THE ALTERING LICENSED PROFESSIONAL SHALL AFFIX TO THEIR ITEM THEIR SEAL, AND THE NOTATION "ALTERED BY" FOLLOWED BY THEIR SIGNATURE AND DATE OF SUCH ALTERATION, AND A SPECIFIC DESCRIPTION OF THE ALTERATION.

THESE PLANS ARE NOT VALID FOR A BUILDING PERMIT UNLESS ORIGINALLY SIGNED AND SEALED BY THE ARCHITECT AND ARE FOR THE CONSTRUCTION OF ONE STRUCTURE ONLY BY THE PERSON WHOSE NAME APPEARS ON THE PLANS.

DO NOT SCALE PRINTS. THESE PLANS ARE THE PROPERTY OF THE ARCHITECT. ANY USE OR REPRODUCTION IN WHOLE OR PART WITHOUT THE WRITTEN AUTHORIZATION OF THE ARCHITECT IS PROHIBITED. ANY PERSON OR CORPORATION USING PLANS WITHOUT PROPER AUTHORIZATION WILL BE RESPONSIBLE TO COMPENSATE THE ARCHITECT.

General Conditions:

SPECIFICATIONS: These specifications are made in general form only and not specifically for any one building. The owner applying these specifications, assumes complete responsibility for their use, changes, or omissions.

SCOPE OF WORK: The Contractor shall provide all labor, materials, appliances and equipment required to complete all work, etc., as shown on the drawings necessary for a complete job, unless otherwise specified. All material and workmanship shall be of good quality.

OMISSIONS: All written figures (notes and dimensions) on the floor plans or specifications shall take precedence over any drawn figures (elevations). Do not scale prints. All dimensions must be verified by the contractor before start of construction. Any discrepancies on the plans or specifications must be reported to the Architect prior to the start of construction.

CODES: All work and materials must conform to all local and The Residential Code of N.Y.S., National Board of Fire Underwriters, Energy Conservation Code of New York State and requirements of the Board of Health.

ACCEPTABLE BUILDING STANDARDS: Installation of materials shall comply with industry standards as instituted by the national association or equivalent group of material used. Acceptable associations shall include, but are not limited to, the following: Western Wood Products Assoc., Cedar Shake & Shingle Bureau, Brick Industry Assoc., Tile Council of America, National Roofing Contractors Assoc. and American Concrete Institute, etc.

MATERIALS: Shall be installed according to the manufacturer's specifications. All work shall comply with applicable sections of the state and local codes and the generally accepted standards as listed in the state building code.

SITE CONDITIONS: The General Contractor shall verify all conditions before submitting his proposal. No allowance for extra charges will be permitted because of lack of knowledge of the conditions peculiar thereto except as otherwise specified elsewhere in the contract documents. Each contractor will be responsible for his own engineering and layout once the owner has established property lines and minimum number of benchmarks. The contractor shall verify all lines, levels and dimensions shown on the drawings and will be held responsible for the correctness and setting out of his work.

OWNERSHIP OF PLANS: These plans are the property of DeMasi Architects P.C. Any use or reproduction, in whole or in part, without the written authorization of DeMasi Architects P.C. is prohibited. Any person or corporation using plans without proper authorization will be responsible to compensate the Architect. This plan is for the construction of one house only.

ARCHITECT STATUS: Architect has not been retained by owner to provide periodic job inspections or job administration. Purchaser of the plans shall assume full responsibilities for any deviations or changes to these plans.

Excavation:

FOUNDATION: Excavate all earth, boulders, loose and soft rock to the lines and depths indicated on the drawings. All footings to bear on solid, undisturbed earth. Excavate for all utilities as required.

FOOTINGS: To bear on solid undisturbed earth. Design of footings are based on 4000 PSF soil. If soil bearing conditions are questionable, contractor shall consult engineer for footing design. Sloped footings shall be 1:2 max slope. Provide (2) #4 bars continuous (refer to wall section). All footings bearing from rock to soil shall be reinforced with (4) #5 bars (6' min. on both sides of joint). Dowel and pin all footings bearing on rock with a slope greater than 1:12 (30 degrees) w/ #4 dowels @ 24" o/c max.

FINISH GRADING: Finish grading shall be established to provide surface drainage in all directions away from the house and excavated areas.

Concrete & Masonry:

CONCRETE: Shall be a minimum of 3000 PSI in strength.

CONCRETE FLOORS: Shall have a smooth, dense steel trowel finish, suitable to receive composition flooring. Concrete floors in living areas shall have 6 mil. poly vapor barrier and 2" x 24" (min) rigid polystyrene foam insulation around the perimeter of the slab, where slab is within 2'-0" of grade. Pitch all garage and porch floors for drainage. (1/8"/ft. min.)

POURED CONCRETE FOUNDATION: Shall comply with the latest edition of American Concrete Institute Specification and shall be plumb, straight, level and true. Forms to be properly constructed to hold concrete. Provide (2) #4 bars located at top and bottom of wall. All reinforcing bars for concrete work shall conform to A.S.T.M. A615 grade 60.

MASONRY: Concrete block shall be load bearing laid level, plumb and straight in a full bed of cement mortar (TYPE "S") with galvanized metal truss-type ties @ 24" horizontal and vertical. All joints to be well tooled. All masonry work shall conform to ACI 530 code and all reinforcement work shall conform to ACI 318-TI. Fill top two courses solid with cement mortar.

MASONRY CHIMNEY & FIREPLACES: Where shown on the plans, shall be brick or stone where exposed and laid in a full bed of cement mortar with well tooled joints. Flues to be fire clay, size shown on the plans. Provide cast iron damper, ash pit and clean-out doors. Provide for proper clearances with combustible construction. Fire-stop at all clearances with non-combustible material. Contractor shall ensure proper clearances of chimney and fireplace per N.Y.S. Building and Energy Codes.

FRE FAB CHIMNEY AND FIREPLACE: Installation of prefab flues and fireplaces shall be in strict accordance with manufacturer's specification. Install firestops as required by code. Fireplace shall be metal prefab with compatible flue and shall be UL listed.

FIREPLACES: All fireplaces shall have tempered glass fire doors and closable combustion air intake ducts and comply with the N.Y.S. Energy Code.

DAMP-PROOFING: Foundation wall shall be damproofed with two (2) coats of asphalt waterproofing over 1/2" cement parge (block wall) or cement wash (poured wall). Provide 4" perforated pipe footing drain laid in 16" stone with layer of salt hay over. Drain to outflow above ground or stone drywell.

Miscellaneous Metals:

STEEL: Shall conform to ASTM specification A-36 for structural steel.

FLITCH BEAMS: All steel plates shall conform to ASTM specifications A-36 for structural steel. All bolt holes to be properly drilled. Torched holes are not acceptable.

ANCHOR BOLTS: Provide 1/2" dia. X 16" with hooked end. Bolts to be placed 6"-0" o/c max, 12" min. from corner and 2 bolts min. per sill.

Carpentry:

LUMBER: All framing lumber to be stress grade Douglas Fir Larch No. 2 or bettering

FRAMING: Framing of the entire house shall be erected plumb, level and true, securely nailed. Joists, studs and rafters shall be doubled above all openings. All flush headers shall be connected with metal joist hangers. Double frame under all partitions parallel to framing. Sizes of joists, sheathing and rafters are shown on plans. Provide solid blocking under all posts.

GLULAM BEAM: Shall be No. 1 Douglas Fir (min. Fb-2200 PSI).

LAMINATED VENEER BEAM: Shall be "Microlam 1.9E" by Trus Joist MacMillan or equal, min. Fb. 2600. Install as per manufacturer's specifications. Install as per manufacturer's specifications.

PLYWOOD JOISTS: Shall be "TJI/Pro" Joists by Trus Joist MacMillan. Install as per manufacturer's specifications.

SUB FLOOR: Shall be 3/4" T&G Interior with exterior glue plywood glued and screwed to each framing member @ 6" o/c.

SHEATING: Shall be 1/2" exterior grade plywood nailed to each framing member.

WOOD DECKS AND RAILINGS: Where shown on plans, shall be pressure treated No. 1 Southern yellow pine wood. All nails, bolts and all metal fastenings to be galvanized (see detail).

BRICK OR STONE VENEER: Shall be as shown on plans, laid in cement mortar with galvanized metal wall ties 24" horizontal and vertical. Provide weep holes at 4' o/c max. or as required (option: provide "MortarNet" at bottom of cavity). All joints to be well tooled. Brick and/or stone shall be selected by owner.

WINDOWS: Shall be ANDERSEN 200 series Tilt-Wash or equal windows with insulated "Low E" glass and screens. Size and type shown on plans. Provide tempered glass where shown or where within 18" of floor.

PATIO DOORS: Shall be ANDERSEN 200 series Narroline Gliding Doors or equal w/ tempered insulated "Low E" glass and screens.

FIBER-CEMENT SIDING: Shall be Fiber-cement Plank Siding by CEMPLANK. Install according to manufacturer's guidelines and details. Provide 3/8" x 1 1/2" wood starter strip set to true level 1/4" up from bottom edge of siding. Lap siding on 1 1/4" minimum over course below, placing all end joints over stud bearing. Use only galvanized or corrosion resistant fasteners and blind nail all siding.

ASPHALT SHINGLE ROOF: Shall be 30 year rustic asphalt shingles laid on 15 lb. roofing felt.

ROOFING: Provide self-sealing rubberized asphalt and polyethylene waterproof membrane (min. 36" wide) at all eaves by M.R. GRACE & CO. or equal. All chimneys shall be properly flashed with soldered copper cap and base flashing. Valley chimneys shall be properly flashed with soldered copper cap and base flashing. Valley and vertical roof intersection shall be heavy gauge aluminum. Leaders and gutters shall be baked enamel aluminum properly supported. All roofing shall be installed by qualified be baked enamel aluminum properly supported. All roofing shall be installed by qualified roofing contractors in strict accordance with manufacturer's specifications. The General Contractor is responsible for the installation and performance of the roofing system and shall provide to Owner a minimum one-year limited warranty.

ROOF VENTILATION: Ventilate attic and rafter spaces with proper sized screened ridge and soffit vents or louvers (see plans).

GYPSUM BOARD: 1/2" nailed with rosh nails according to manufacturer's specifications. All joints to be taped and receive three (3) coats of joint compound. Finish to be smooth and even, ready for painting. Provide 5/8" type "X" gypsum board at both sides of garage (house) walls and ceilings. Also, provide 100 SF min. over furnace.

GUTTERS AND LEADERS: Provide baked enamel gutters and leaders as required. All leaders and gutters are to be properly supported at all joint areas.

INSULATION: Shall be fiberglass batts with vapor barrier. Provide insulation as per Energy Conservation Code of New York State:

Ceilings adjoining attic:	R-30
Ceilings adjoining roof:	R-30
Exterior Stud Walls:	R-21
Floor over unheated spaces:	R-30

Tile Work:

CERAMIC TILE: Baths and lavatory floors to receive matt glazed ceramic tile set in thin-set grout. Installation to be as per latest edition of the Tile Council of America specifications. Consult Architect if other setting methods are to be used to verify floor structure. Tub and shower wall to receive glazed ceramic tile set in mastic 6" high (min.) Provide water-resistant cement backer boards to tub shower walls and all wet areas.

ACCESSORIES AND ATTACHMENTS: Provide ceramic accessories such as soap dish, paper holder, 2 towel bars per bath. Provide mirror medicine cabinet with light over. Provide formica stock vanity where shown on plans.

Painting:

EXTERIOR: Siding, fascias, and trim shall receive one (1) prime coat and one (1) finish coat of exterior stain or paint.

INTERIOR: Walls to receive one (1) prime coat and one (1) finish coat of latex or oil flat paint. Flush hardwood doors to receive one (1) coat of stain and one (1) coat of satin polyurethane finish. Six (6) panel doors to receive one (1) coat primer and one (1) coat of satin enamel finish. Floors to be sanded and receive one (1) coat of sealer and one (1) coat of floor polyurethane, gloss finish.

TRIM AND MISCELLANEOUS WOOD: Shall have one (1) prime coat and one (1) finish coat of satin enamel.

Heating:

HEATING AND AIR CONDITIONING: Shall be GAS hydro-air system, complete with boiler, hydronic zone controls, thermostats, etc. Provide domestic hot water coil or separate circulating storage tank if required in boiler. Provide air handling units, condensers, insulated supply ducts and vents to each room. Heating and cooling system shall be designed and guaranteed to conform to the latest ASHREA specifications and the N.Y.S. Energy Conservation Code.

DUCTS: All ducts shall be fabricated and rigidly installed with required bracing and supports. The main supply and return duct shall be isolated from the heater and blower by means of fabric insulators. Provide duct damper for each run. Insulate all ducts located in garage, attic, and unheated areas.

GRILLS AND REGISTERS: Provide supply and return registers in each room. All supply grills to have adjustable dampers.

BALANCING: Heating contractor shall balance entire house so that all rooms heat evenly to the required temperature set on the thermostat.

Plumbing:

WORK INCLUDED: Contractor shall furnish all labor, materials and equipment required to fully complete all plumbing work shown on plans.

FLASHING: All pipes passing through roof shall receive aluminum collar, strapped and fitted to provide water-proof seal.

TESTING: Contractor shall test all water, drainage, and vent piping in accordance with local codes.

WATER SUPPLY: Water supply in street or well shall be extended to house with 1" heavy copper pipe and entire house shall be supplied with both hot and cold water by means of heavy copper pipe of appropriate sizes, min. 3/4" sub main to each bath, kitchen, and laundry. The weather resistant hose fittings shall be supplied. Provide hook-up for washer where shown.

DRAINAGE SYSTEM: Shall be installed in accordance with local codes and ordinances and shall be complete with copper drains and copper vents, house traps, cleanouts, etc. connected to street sewer or septic system. Drains under concrete to be cast iron.

FIXTURES: As shown on plans shall be AMERICAN STANDARD, KOHLER, or equal. All exposed fittings and pipe to be chrome plated.

SEPTIC AND WELL SYSTEMS: (If required) shall conform to all requirements of the Board of Health.

Electrical:

Electrical: Provide a minimum of 120/208-200 amp, or larger, if required, for service. Switches to be silent type. Locations of outlets, fixtures, etc., as shown on plans. All electric work to conform to the National Board of Fire Underwriters Codes. Provide a complete door bell system.

Contractor to provide exhaust fans at both rooms (vent to exterior). Provide 4 install as per code.

Contractor to provide smoke & heat detectors with battery back-up (see plans for location). Detectors shall conform to all applicable codes and shall be installed as per building code.

Contractor to provide carbon monoxide detectors with battery back-up (see plans for location). Detectors shall conform to all applicable codes and shall be installed as per building code. (Optional)

Kitchen Cabinets & Appliance:

KITCHEN CABINETS & APPLIANCES: Provide stock hardwood with lacquer finish or laminated plastic cabinets with laminated plastic top and back splash as shown on drawings. Provide dishwasher, oven, and range with hood and exhaust fan over (vent to exterior). Provide dryer vents to exterior.

Site Work:

SITE WORK: Provide 2" blacktop driveway, 4" gravel base to street. Sidewalks to be 3' wide, 4" concrete or 1 1/2" flagstone laid in sand, from house to driveway. Provide top soil and seed to all areas disturbed by construction.

Insulation / Energy Code:

INSULATION: See Prescriptive Method on first sheet

AIR LEAKAGE: Joints, penetrations, and all other such openings in the building envelope that are sources of air leakage must be sealed. Recessed lights must be 1) Type IC rated, or 2) installed inside an appropriate air-tight assembly with a 0.5" clearance from combustible materials. If non-IC rated, the fixture must be installed with a 3" clearance from insulation.

VAPOR RETARDER: Required on the warm-in-winter side of all non-vented framed ceilings, walls, and floors.

Material Identification:

Materials and equipment must be installed in accordance with the manufacturer's installation instructions.

Materials and equipment must be identified so that compliance can be determined.

Manufacturer manuals for all installed heating and cooling equipment and service water heating equipment must be provided. Insulation R-values and glazing U-factors must be clearly marked on the building plans or specifications.

Duct Insulation:

Supply ducts in unconditioned attics or outside the building must be insulated to R-8.

Return ducts in unconditioned attics or outside the building must be insulated to R-4.

Supply ducts in unconditioned spaces must be insulated to R-8.

Return ducts in unconditioned spaces (except basements) must be insulated to R-2. Insulation is not required on return ducts in basements.

Duct Construction:

All joints, seams, and connections must be securely fastened with welds, gaskets, mastics (adhesives), mastic-plus-embedded-fabric, or tapes. Duct tape is not permitted. Exception - Continuously welded and locking-type longitudinal joints and seams on ducts operating at less than 2 in. Hg. (500 Pa).

Ducts shall be supported every 10 feet or in accordance with the manufacturer's instructions.

Cooling ducts with exterior insulation must be covered with a vapor retarder.

Air filters are required in the return air system.

The HVAC system must provide a means for balancing air and water systems.

Temperature Controls:

Each dwelling unit has at least one thermostat capable of automatically adjusting the space temperature set point of the largest zone.

Electrical Systems:

Separate electric meters are required for each dwelling unit.

Fireplaces:

Fireplaces must be installed with tight fitting non-combustible fireplace doors.

Fireplaces must be provided with a source of combustion air, as required by the Fireplace construction provisions of the Building Code of New York State, the Residential Code of New York State or the New York City Building Code, as applicable.

Service Water Heating:

Water heaters with vertical pipe risers must have a heat trap on both the inlet and outlet unless the water heater has an integral heat trap or is part of a circulating system. Insulate circulating hot water pipes to the levels in Table 1.

Circulating Hot Water System:

Insulate circulating hot water pipes to the levels in Table 1.

Swimming Pools:

All heated swimming pools must have an on/off heater switch and require a cover unless over 20 % of the heating energy is from non-depletable sources. Pool pumps require a time clock.

Heating & Cooling Piping Insulation:

HVAC piping conveying fluids above 105 degrees F or chilled fluids below 55 degrees F must be insulated to the levels in Table 2.

Minimum Insulation Thickness for Circulating Hot Water Pipes
Insulation Thickness in Inches by Pipe Sizes

Heated Water Temp (F)	Non-Circulating Runouts	Circulating Mains & Runouts
	Up to 1" Up to 125°	15" to 20" Over 2"
110-180	0.5 1.0	1.5 2.0
140-160	0.5 0.5	1.0 1.5
100-130	0.5 0.5	0.5 1.0

Minimum Insulation Thickness for HVAC Pipes
Fluid Temp. Insulation Thickness in Inches

Piping System Types	Range F	By Pipe Sizes
	Heating Systems	2" Runouts 1" and Less 125° to 2" 25° to 4"
Low Pressure/Temp	201-250	1.0 1.5 1.5 2.0
Low Temperature	120-200	0.5 1.0 1.0 1.5

Steam Condensate (for feed water)	Any	1.0 1.0 1.5 2.0
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Cooling Systems Chilled Water/ Refrigerant	40-55	0.5 0.5 0.75 1.0
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And Brine	Below 40	1.0 1.0 1.5 1.5
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