



VANGUARD
PROPERTY SURVEYORS

LEVEL 3 Home Survey Report



Client Name:
Mrs Jo Blogs

Property Address:
Green Gardens, Wharlingham, CR8 9PQ

Date of Inspection:
Wednesday 1st October 2025

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About the Inspection

This Level 3 Home Survey has been produced by a surveyor, who has written this report for you to use. If you decide not to act on the advice in this report, you do so at your own risk.

As agreed, this report will contain the following:

- A thorough inspection of the property (see A1 About the report) and
- A detailed report based on the inspection (see A2 About the inspection).

A1 About the Report

We aim to give you professional advice to:

- help you make a reasoned and informed decision when purchasing the property, or when planning for repairs, maintenance or upgrading the property
- provide detailed advice on condition
- describe the identifiable risk of potential or hidden defects
- propose the most probable cause or causes of the defects, based on the inspection
- where practicable and agreed, provide an estimate of costs and likely timescale for identified repairs and necessary work, and
- make recommendations as to any further actions to take or advice that needs to be obtained before committing to a purchase.

Any extra services we provide that are not covered by the terms and conditions of this report must be covered by a separate contract.

A2 About this inspection

- We carry out a desktop study and make oral enquiries for information about matters affecting the property.
- We carefully and thoroughly inspect the property, using our best endeavours to see as much of it as is physically accessible. Where this is not possible, an explanation will be provided.
- We visually inspect roofs, chimneys, and other surfaces on the outside of the building from ground level and, if necessary, from neighbouring public property and with the help of binoculars.
- We inspect the roof structure from inside the roof space if there is access. We examine floor surfaces and under-floor spaces, so far as there is safe access and with permission from the owner. We are not able to assess the condition of the inside of any chimney, boiler, or other flues.
- If we are concerned about parts of the property that the inspection cannot cover, the report will tell you about any further investigations that are needed.
- Where practicable and agreed, we report on the cost of any work for identified repairs and make recommendations on how these repairs should be carried out.
- We inspect the inside and outside of the main building and all permanent outbuildings. We also inspect the parts of the electricity, gas/oil, water, heating, drainage, solar panels, air source and ground source heat pumps and other services that can be seen, but these are not tested other than normal operation in everyday use.
- To help describe the condition of the home, we give condition ratings to the main parts (the 'elements') of the building, garage, and some parts outside. Some elements can be made up of several different parts.
- In the element boxes in sections D, E, F and G, we describe the part that has the worst condition rating first and then outline the condition of the other parts.

Surveyor's Name

Tom Samuels

Company Name

Vanguard Property Surveyors Limited

Date of the inspection

Friday 8th August 2025

Report Reference number

TS/011025

Related party disclosure

I have no knowledge of any links that I may have to any of the parties in this transaction.

Full address and postcode of the property

Green Gardens, Wharlingham, CR8 9PQ

Weather conditions when the inspection took place

The weather at the time of the survey was cloudy.

Status of the property when the inspection took place

Furnished and occupied. Vendor present.

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B

Summary of condition ratings

The surveyor gives condition ratings to the main parts (the "elements") of the main building, garage, and some outside elements. The condition ratings are described as follows:

3	Defects that are serious and/or need to be repaired, replaced, or investigated urgently. Failure to do so could risk serious safety issues or severe long-term damage to your property. Written quotations for repairs should be obtained prior to legal commitment to purchase.
2	Defects that need repairing or replacing but are not considered to be either serious or urgent. The property must be maintained in the normal way.
1	No repair is currently needed. The property must be maintained in the normal way.
NI	Elements not inspected (see "Important note" below).

Important Notes:

No liability whatsoever will be accepted if any further investigations recommended herein are not carried out before commitment to purchase, where condition ratings 2 or 3 are given.

It is very important that you read this report as a whole. Where we have given elements a condition rating 2 or 3, we particularly refer you to the section at the end of the report entitled 'What to do now'.

All of the repairs needed should be investigated by suitable and reputable experts and contractors so that you are fully aware of the scope and financial implications before you purchase. You are strongly advised to instruct relevant qualified contractors to undertake any further investigations and provide quotations for the remedial works recommended herein before your legal commitment to purchase.

The cost of any remedial works should ideally be negotiated, and with negotiation, deducted from the sale price. Alternatively, you could ask the vendor to instruct the contractors to undertake the further investigations and carry out recommended remedial works before commitment to purchase. Any contractors employed should ideally provide insurance-backed guarantees for works carried out. You should consider the implications of duties of care owed to you by contractors employed by the vendor and may wish to organise these works yourself and should seek independent legal advice in this regard.

The surveyor notes in the report if it was not possible to check any parts of the property that the inspection would normally cover. If the surveyor is concerned about these parts, the report tells you about any further investigations that are needed.

To determine the condition of the property, we assess the main parts (the 'elements') of the building, garage and some outside areas. These elements are rated on the urgency of maintenance needed, ranging from 'very urgent' to 'no issues recorded'.

Asbestos can be found in any building built or refurbished before the year 1999. Inhalation of asbestos fibres from asbestos-containing material (ACMs) can cause a range of chronic and fatal diseases. We are not licensed asbestos surveyors and any recommendations relating to asbestos-containing materials will require further expert licensed asbestos surveyor advice from a third party. Asbestos can take many forms and was used in many areas including loose-fill insulation, lagging, sprayed coatings, asbestos insulating boards (found in places such as partition walls, door panels, ceiling tiles, soffits, undercloaks to verges, panels under windows, around baths, around boilers, floor tiles, textiles such as fire blankets and composites such as flash guards in fuse boxes and in toilet seats and cisterns, textured coating on walls and ceilings (Artex type textured coatings). Asbestos cement was used in places such as: roofs, wall panels/cladding, drainage vent pipes, downpipes and gutters, flues, water tanks, fire surrounds and pipes.

It is recommended that before any removal, demolition or repair works are undertaken, a full asbestos survey is carried out by a suitably qualified surveyor. Some works need to be undertaken by a licensed contractor and some works are notifiable to the Health and Safety Executive (HSE).

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All works should be undertaken in accordance with health and safety guidance and legislation and any waste containing asbestos correctly disposed of.

Older properties may benefit from an application of fungicide insecticide solution, although this may have been done in the past, unless an active insect attack can be established, and any holes discovered.

This report should be construed as a comment on the overall condition of the property and is not an inventory of every single defect. The report is based on the condition of the property at the time of the inspection and no liability can be accepted for any deterioration in its condition after that date.

The inspection was limited to the parts of the building that could be seen from ground level within the property boundary or adjacent public areas. We have not inspected woodwork or other parts of the structure, which are covered, unexposed or inaccessible and we are therefore unable to report that any such part of the property is free from defect.

We must stress that we have not carried out any investigation to determine whether any high alumina cement was used during the construction of the building inspected and we are therefore unable to report that the building is free from risk in this respect. In view of the potential danger connected with high alumina cement we strongly recommend that the appropriate investigations, inspections and tests be carried out immediately by a suitably qualified engineer.

Condition Ratings provided may be based upon the limitations of the inspection and subject to further discovery if better access is enabled.

It should also be noted that due to the limitations of the traffic light Condition Rating system, when only one element of a particular section is defective, the whole section will be given a Red 3 (Needing urgent attention). This does not mean that all the elements within that section are defective, and it is important to read each section carefully.

Overall opinion

Our overall opinion of the property including Market Appraisal (Please note a Market Appraisal is subjective, is not an RICS Red Book Valuation and cannot be used for mortgage underwriting purposes).

The overall opinion of the property is poor. The accommodation remains serviceable, although there is a substantial backlog of repair and renewal affecting the external envelope, roof structure and bathroom.

No evidence of significant structural movement, active dampness or widespread timber decay was identified during the visual inspection. The remaining chimney structure is inadequately supported following the removal of the internal chimney breasts and requires assessment by a structural engineer.

The main areas requiring quotations before exchange of contracts are the roof coverings, chimney stack, external render and tile-hung panels, rainwater goods, chimney support and bathroom. The main roof covering is at the end of its serviceable life and full renewal should be anticipated.

The electrical installation and gas appliances were not tested. An Electrical Installation Condition Report and a Gas Safe inspection should be obtained before exchange of contracts. The Worcester combination boiler had low system pressure and is approaching the latter part of its expected serviceable life.

The remedial schedule currently allows approximately £62,730, excluding VAT, professional fees, contingencies and additional work identified when concealed areas are opened. Further investigations and written quotations should be completed before legal commitment, and the anticipated expenditure should be reflected in the purchaser's decision.

The entire report should be read in conjunction with the condition ratings, repair estimates, limitations and recommendations contained within the individual sections.

Under Section G (Services), all service installations have been assigned a Condition Rating 3 indicating that they require further attention. We strongly recommend that each of these systems is inspected and tested by a suitably qualified and licensed engineer prior to exchange of contracts.

We would ask you to read the entire contents of this report in detail and consider the recommendations within the various sections to fully appraise the risks and opportunities afforded.

Please note: Any comments, observations, or suggestions within this Level 3 Building Survey must not be interpreted as design advice. This report assesses condition, defects, and building pathology only.

Where remedial work, structural alterations, installation details, or design-based decisions are being considered, these must be verified by a suitably qualified specialist (e.g., structural engineer, architect, or relevant contractor) before any works are undertaken.

C

Condition Ratings

This section summarises the condition ratings of the different elements of the property. If an element is made up of a number of different parts (for example, a pitched roof to the main building and a flat roof to an extension), only the part in the worst condition is shown here. To make sure you get a balanced impression of the property, we strongly recommend that you read all sections of the report, in particular the 'What to do now' section.

3 Elements that require urgent attention

These elements have defects that are serious and/or need to be repaired, replaced, or investigated urgently. Failure to do so could risk serious safety issues or severe long-term damage to your property.

Section of the report	Element No	Element Name
E: Outside the property	E1	Chimney stacks
	E2	Roof coverings
	E3	Rainwater goods
	E4	Main walls
	E7	Porches and conservatories
	E8	Other joinery
	E9	Other (Grounds)
	F1	Roof structure
	F4	Floors
F: Inside the property	F5	Fireplaces
	F8	Bathroom fittings
	G1	Electrics
G: Services	G2	Gas/Oil
	G3	Water
	G4	Heating
	G5	Hot Water
	G6	Drainage
	G8	Other (Smoke & Carbon Monoxide Alarms)
H: Grounds		

2

Elements that require attention but are not serious or urgent

These elements have defects that need repairing or replacing but are not considered to be either serious or urgent. These elements must also be maintained in the normal way.

Section of the report	Element No	Element Name
E: Outside the property		
F: Inside the property	F2	Walls
G: Services		
H: Grounds		

1 No repair is currently needed

The elements listed here must be maintained in the normal way.

Section of the report	Element No	Element Name
E: Outside the property		
	E5	Windows
	E6	Doors
F: Inside the property		
	F3	Partitions
	F6	Kitchens
	F7	Woodwork
G: Services		
H: Grounds		
	H2	Permanent structures
	H3	Other (Boundries)

Summary of repairs (and cost guidance)

Formal quotations should be obtained prior to legal commitment to purchase the property. We have listed the repairs necessary in the same order as the report headings as below in the main body of the report. All costs are estimated and are net of VAT at 20% and any specialist or consultants' fees.

E1 Chimney Stacks	£4,000
E2 Roof Coverings	£21,200
E3 Rainwater Goods	£800
E4 Main Walls	£16,600
E5 Windows	£0
E6 Doors	£0
E7 Porches and Conservatories	£4,000
E8 Other Joinery	£800
E9 Other (Grounds)	£1,600
F1 Roof Structure	£5,200
F2 Ceilings	£200
F3 Walls and Partitions	£0
F4 Floors	£1,200
F5 Fireplaces	£0
F6 Kitchen	£0
F7 Woodwork	£0
F8 Bathroom Fittings	£6,000
F9 Other (Cellars, Basements, Verandas)	£0
G1 Electrics Obtain an EICR from a registered electrician.	£250
G2 Gas/Oil Included in G4	£0

Property Address:

G3 Water	£0
G4 Heating Obtain Gas Safe certificates or an inspection by a Gas Safe registered engineer	£300
G5 Hot Water Obtain Gas Safe certificates or an inspection by a Gas Safe registered engineer. Included in G4	£0
G6 Drainage	£
G7 Common Services	£0
G8 Other (Smoke & Carbon Monoxide Alarms) Test, renew or install smoke and carbon-monoxide alarms. These should ideally be hardwired.	£250
H1 Garages	£0
H2 Permanent Structures	£0
H3 Other (Boundaries)	£0
Total Remedials	£62,730.00

D

About the property

This section includes:

- About the property
- Energy efficiency
- Location and facilities

About the property

Type of property

A three-bedroom semi-detached house.

Approximate year the property was built

1930 - 1940

Approximate year the property was extended

Not extended.

Approximate year the property was converted

Not converted.

Tenure

Freehold property.

Sq M

77.0 m²

Means of Escape

Front and rear doors.

To minimise the risk to sleeping occupants, all doors should be kept closed at night to ensure that the escape route is protected from fire. Smoke detectors should be maintained at each landing level to give the earliest possible warning of fire. These should be mains powered.

Construction

The external walls are of cavity masonry construction. The main roof is of pitched timber-framed construction and is covered with concrete tiles. The floors are of suspended timber and solid construction.

Properties of this age commonly exhibit minor unevenness to walls, floors, ceilings, doors, windows and other finishes as a result of historic settlement and normal use. Only distortion considered unusual or materially significant has been identified within this report.

Accommodation



Ground Floor
Total Floor Area 38.5 m² ... 414 ft²

1st Floor
Total Floor Area 38.5 m² ... 415 ft²

Measurements are approximate, not to scale and for illustrative purposes only.
www.essentialpropertymarketing.com

About the property: Energy Efficiency

We have not prepared the Energy Performance Certificate (EPC). If we have seen the EPC, then we will report the 'Current' rating here. We have not checked this rating and so cannot comment on its accuracy.

We are advised that the property's current energy performance, as recorded in the EPC, is:

Energy efficiency rating

Energy Performance Certificate

EPC Number: 0380-2848-5440-2725-3941

Valid until: 27 April 2035

Current: 65D

Potential: 74C

Environmental Impact (CO2) Rating (EIR)

Properties are rated on a scale from A to G based on how much carbon dioxide (CO2) they produce. Properties with an A rating produce less CO2 than G rated properties.

This property's current environmental impact rating is **D**. It has the potential to be **D**.

Environmental Impact (CO2) Rating (EIR)

An average household produces 6 tonnes of CO2

Current: 7.0 Tonnes of CO2

Potential: 5.3 Tonnes of CO2

Heating this property

Estimated energy needed in this property is:

- 20,294 kWh per year for heating
- 3,182 kWh per year for hot water

Other energy matters

It is important to try to reduce your carbon footprint and to reduce your energy costs. You should review your EPC recommendations in this respect and consider where appropriate.

These measures should be considered on a costs vs benefits analysis basis.

There are many long-term advantages of a well-insulated home which can be beneficial for your home all year round, not just in the winter. One of the biggest reasons properties lose heat and energy is through a lack of or poor-quality insulation.

You may wish to have a Retrofit Assessment, to understand what measures are required to improve the energy efficiency of your property. Retrofit is the process of installing energy efficiency measures into an existing home.

A retrofit assessment usually takes 1-2 hours to complete and should always be carried out by a fully qualified Retrofit Assessor, who will be able to assess the scope, risk level and action plan for your home. The results of the assessment will include a comprehensive report with three key parts: An energy report that outlines the current energy use of the property (this is not the same as an Energy Performance Certificate needed for tenanted properties) A condition survey that looks at any issues that could affect future energy efficiency improvement measures An occupancy assessment to reflect any identified patterns of energy use for hot water, heating, etc.

About the property: location

Location

The property is situated in a residential area.
Neighbouring properties are of similar size and type.

Facilities

Shops and other local facilities are available within the surrounding area.

Local environment

The property is situated on a reasonably level site.

No environmental search has been undertaken.

We strongly advise that prior to exchange of contracts you should return to the property on a number of occasions, particularly in the evening and weekends. This is to establish who your neighbours are and whether the way in which they occupy their property may produce unreasonable levels of sound transmission.

We would recommend that formal legal enquiries should be made of the vendor to determine whether any previous problems with noisy neighbours or indeed other disputes have been encountered by them during the period of their ownership.

Your Legal Adviser should determine whether there are any proposals for adjacent development or alteration to transport facilities (road, rail and air) which could impinge upon your quiet enjoyment of the property. In converted or adjoining properties, high levels of transmission from one unit to another may cause disturbance.

E

Outside the property

We did not expose the foundations of the property. As such, there is a risk of hidden defects, which must be accepted unless all foundations are uncovered. However, no visible above-ground signs of foundation issues were noted unless specifically mentioned in this report. Parts of the structure and services that were covered, inaccessible, or not exposed could not be inspected, and we cannot confirm they are free from defects that may later become apparent. The external inspection was limited to areas visible from ground level within the property boundaries or from public highways and rights of way. Boundary walls, fences, permanent outbuildings, and shared areas were inspected where access was possible. Where access was restricted—for example, by dense vegetation—this is noted, and further investigation may be advised. Buildings housing swimming pools or sports facilities were treated as permanent outbuildings and inspected externally; however, the pool itself, associated equipment, landscaping, and other leisure features such as tennis courts or temporary outbuildings were not assessed. All directional descriptions are made relative to the front (main elevation), side, or rear of the property.

1 2 3 NI

E1 Chimneys

All observations of the chimney stacks were made from the front and rear elevations using camera-pole technology.

3

Main chimney

The chimney is of a rectangular cross-section and is positioned on the party wall line, shared with the adjoining property. It is constructed in a red stock brickwork, laid in a stretcher bond pattern and bedded in sand and lime mortar. The stack projects fifteen complete brick courses from the base of the lead flashing up to the crown.

The crown contains two clay pots and one vent terminal set within sand-and-cement flaunching.

Weathering at the base of the stack is provided by stepped lead flashings, poorly chased into the brick joints and dressed under the adjoining roof covering.

The stack appeared plumb, with no visible bulging, twisting or distortion.

The main chimney was seen to be in a poor condition.

Television aerals are fitted to the stack. The front aerial appears redundant and exhibits corrosion and fatigue. The rear aerial appeared to remain in use and was in satisfactory condition.

Condition / Defects

- The mortar joints require repointing, and the flaunching to the crown is cracked, weathered and locally fractured.
- Not all chimney pots are fitted with suitable cowls. Appropriate cowls should be installed to reduce direct rainwater entry and deter nesting animals.
- The lead flashing is in poor condition and requires renewal to reinstate a weather-tight junction.
- The redundant front television aerial is corroded and should be removed.

Costing / Scope

We estimate £4,000 to repoint the chimney stack, renew the defective flaunching and lead flashing, install suitable cowls and remove the redundant aerial.

General advice

Chimney stacks are exposed to wind and driving rain and require regular maintenance of the mortar joints, flaunching, pots, cowls and flashings.

Red Estimated cost of repair £4,000







E2 Roof coverings

All observations of the roof coverings were made from the front and rear elevations using camera-pole technology.

The main roof is of hipped timber-framed construction and is covered with plain concrete tiles. The three roof slopes terminate at half-round hip tiles bedded in sand-and-cement mortar. No significant deflection was visible to the roof planes.

Flat roofs over the box-bay windows

The front and rear box-bay roofs are formed with timber decking and weathered with a traditional three-layer bituminous felt system. The front covering was in satisfactory condition. The rear covering exhibits localised loss of the mineral finish and is likely to require renewal within the next three to five years.

Condition / Defects

- The main concrete-tile covering is at the end of its serviceable life. The tiles are weathered and thinned, with numerous historic patch repairs and several broken units.
- Deterioration is most pronounced along the apex and hips, where the mortar bedding and alignment are poor.
- No underfelt is present beneath the tiles. Defective or displaced tiles can therefore allow direct rainwater entry into the roof space.
- Heavy moss and lichen growth is present across the slopes and contributes debris to the rainwater goods.
- The rear box-bay felt covering is deteriorating and should be renewed within the short to medium term.

Costing / Scope

We estimate £20,000 to renew the main roof covering, including scaffolding, removal of the existing tiles, new breathable underlay, battens and associated hip details. We estimate a further £1,200 to renew the rear box-bay felt covering, giving a total allowance of £21,200.

General advice

Your Legal Adviser should establish whether any recent roof works are supported by transferable guarantees or warranties. Concealed roof components could not be inspected and may require additional repair when the covering is removed.

Red Estimated cost of repair £21,200

3





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E3 Rainwater goods

The rainwater goods are of mixed construction, comprising original cast-iron downpipes, black uPVC gutters and replacement uPVC pipework. A black uPVC soil-and-vent pipe is fitted to the rear elevation.

3

Condition / Defects

- Debris has accumulated within the uPVC gutters and lower gullies, restricting the free discharge of rainwater.
- The metal hopper receiving grey water from the bathroom is heavily corroded and requires replacement.
- The soil-and-vent pipe is securely fixed but lacks a suitable vent terminal.

Costing / Scope

We estimate £800 to clear the gutters and gullies, replace the corroded hopper with a suitable uPVC fitting and install a vent terminal to the soil-and-vent pipe.

General advice

The gutters should be cleared at least annually. Cast-iron components require periodic preparation and redecoration, while uPVC joints and seals should be checked for movement and leakage.

Red Estimated cost of repair: £800







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E4 Main walls

The external walls are of cavity masonry construction, formed from London red stock brickwork laid in stretcher bond and bedded in sand, cement and lime mortar. The elevations have been rendered and finished with masonry paint.

A slate damp-proof course is visible within the lower brick courses at approximately 150 mm above adjoining ground level. Air bricks to the front and rear elevations provide ventilation beneath the suspended timber floors and were unobstructed where accessible.

Structural openings are supported by a combination of soldier-course brickwork, precast concrete lintels and possible concealed steelwork. No significant distortion was visible around the openings. Wall ties are assumed to be present within the cavity but could not be inspected.

The first-floor box-bay walls incorporate blockwork and timber framing with external concrete tile hanging and lead weathering at the abutments.

Condition / Defects

- The external render and masonry-paint finishes are in poor condition, with widespread delamination and localised sections of render already detached from the side elevation.
- Localised bricks are missing from the side wall and require reinstatement before the render is renewed.
- A poorly detailed former window opening to the rear elevation requires suitable infilling and rendering. Unfinished render adjoining the rear French doors should be completed at the same time.
- The tile-hung panels to the front and rear box-bay elevations are in poor condition and require renewal, including insulation and replacement tiles.
- Non-breathable coatings should not be applied across the lower brick courses, which should remain exposed to support natural drying.

Costing / Scope

We estimate £15,000 to remove defective render, complete localised brick repairs, prepare the exposed masonry, apply new render coats and redecorate the elevations. We estimate a further £1,600 to renew the front and rear tile-hung panels, including insulation and replacement tiles, giving a total allowance of £16,600.

No investigation was undertaken to determine whether high-alumina cement is present. Its use within a property of this type is considered unlikely, although it cannot be excluded without specialist investigation.

Red Estimated cost of repair: £16,600

3



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Property Address:



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E5 Windows

The windows are of modern uPVC construction and contain double-glazed sealed units in a combination of side-hung and top-hung casement arrangements. The accessible windows opened, closed and latched correctly, and the frames, hinges, catches, gaskets and weather seals were in satisfactory condition.

1

Condition / Defects

- No visible misting was identified between the panes, and no significant defects were noted to the accessible windows.
- Trickle vents, where fitted, should be kept open and the moving components cleaned and lubricated periodically.

Costing / Scope

We estimate £0 for immediate repairs.

Green Estimated cost of repair: £0





Property Address:



E6 Doors

The entrance door is of uPVC construction and incorporates a double-glazed fanlight. A pair of double-glazed uPVC French doors provides access to the rear garden. The accessible doors opened, closed and locked correctly, and the frames, glazing and weather seals were in satisfactory condition.

1

Condition / Defects

- No significant defects were identified during the visual inspection.
- Hinges, handles, locks and multi-point mechanisms should be cleaned, adjusted and lubricated as part of routine maintenance.

Costing / Scope

We estimate £0 for immediate repairs.

Green Estimated cost of repair: £0



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E7 Porches and conservatories

Photographic evidence indicates that a projecting timber-framed porch has previously been removed, with remnants of the former construction remaining.

3

Condition / Defects

- The former porch is no longer present. Reinstatement would be discretionary rather than an essential repair.

Costing / Scope

We estimate £4,000 to construct a replacement porch of a similar form, if required.

Red Estimated cost of repair: £4,000



E8 Other joinery

Timber fascia and soffit boards are fitted around the roof perimeter.

3

Condition / Defects

- The painted finishes are delaminating, and the exposed timber requires preparation and redecoration.

Costing / Scope

We estimate £800 to prepare and redecorate the fascia and soffit boards. Access costs are included within Section E2.

Red Estimated cost of repair: £800

E9 Other (grounds)

The front garden is enclosed by timber fencing set into concrete posts to the left and a mature hedge above a low red stock-brick wall to the right. A sandstone boundary wall with regularly spaced piers extends across the frontage. The driveway is finished predominantly with block paving and incorporates a small area of pea shingle.

The rear boundaries comprise feather-edge fencing set into concrete posts and gravel boards to the left and timber fence panels fixed to timber posts to the right. The rear garden is predominantly laid to lawn, with paved paths and a patio adjoining the rear elevation. A shiplap timber shed is also present.

3

Condition / Defects

- The low red stock-brick wall to the right-hand front boundary is in poor condition and requires repair, renewal or removal.
- The former rear step has been removed, apparently to avoid obstructing the adjoining air bricks. A replacement step should incorporate suitable ventilation openings so that subfloor airflow is maintained.
- General wear is present to the rear boundaries and hard landscaping, although the remaining elements are serviceable.
- No visible Japanese knotweed, giant hogweed or other invasive plant growth was identified within the accessible grounds. This was a visual inspection only.

Costing / Scope

We estimate £1,600 to repair or renew the defective front boundary wall and reinstate the rear step with suitable provision for subfloor ventilation.

Red Estimated cost of repair: £1,600





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Property Address:



Property Address:



Property Address:



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F

Inside the property

Limitations to inspection

Access was obtained to the house and the permanent structures within the boundaries. Concealed pipework, areas behind fixed panels and parts covered by fitted floor finishes could not be inspected.

F1 Roof structure

1 2 3 NI

The roof structure is of traditional hand-cut timber construction and comprises rafters, purlins and struts. The accessible members appeared adequately sized and were free from significant distortion or deflection. The masonry party walls extend to the underside of the roof covering and form fire separation between the adjoining properties.

The loft contains approximately 270 mm of mineral-wool insulation supported by loft legs, which is consistent with the current recommended depth. Accessible timbers returned moisture readings within normal tolerances, and no significant condensation or mould growth was observed.

Condition / Defects

- The roof covering has no underfelt, and daylight was visible through localised gaps. No active water ingress was present at the time of inspection.
- The internal chimney breasts have largely been removed, leaving the remaining chimney structure unsupported apart from a retained section within the bedroom.
- A structural engineer should assess the remaining chimney structure and specify the support required. The likely works include gallows brackets and concrete lintels, although a steel solution may be necessary.

Costing / Scope

We estimate £1,200 for a structural engineer's inspection, calculations and specification, together with £4,000 for the provisional installation of two gallows brackets and two concrete lintels. The total allowance is £5,200, subject to the engineer's design and the condition of concealed areas.

Covered, unexposed and inaccessible timber components could not be inspected and may contain defects that were not visible at the time of the survey.

Red Estimated cost of repair: £5,200

3



Property Address:



Property Address: Green Gardens, Wharlingham, CR8 9PQ



F2 Ceilings

The ceilings are of plasterboard construction with flat-skimmed plaster and painted decoration. They were generally in satisfactory condition.

Condition / Defects

- Hairline cracking was noted to the principal-bedroom ceiling. Its form is consistent with thermal expansion and contraction of the plaster finish rather than structural movement.

Costing / Scope

We estimate £200 to prepare the affected area, fill the crack with a suitable flexible filler and redecorate the ceiling.

Amber Estimated cost of repair: £200

2



F3 Walls and Partitions

The internal walls are formed predominantly from the inner leaf of the cavity masonry construction, with blockwork finished in plaster and painted decoration. The accessible walls appeared plumb and free from significant bulging, leaning or distortion.

Moisture readings were taken to accessible wall surfaces using a handheld resistance-based meter and were within normal tolerances. These readings indicate relative moisture levels only and can be influenced by surface condensation, salts, ambient humidity and concealed materials.

Condition / Defects

- No visual evidence of significant dampness or structural distortion was identified to the accessible internal walls.

Costing / Scope

We estimate £0 for immediate repairs.

Green Estimated cost of repair: £0

1



Property Address: Green Gardens, Wharlingham, CR8 9PQ



Property Address: Green Gardens, Wharlingham, CR8 9PQ

F4 Floors

The floors are of mixed construction, comprising suspended timber floors and a solid floor within the kitchen. The accessible floors felt firm underfoot, with no excessive spring, significant distortion or cracking.

Floor finishes comprise laminate to the lounge, stairs, landing, principal bedroom and bathroom, porcelain tiles with underfloor heating within the kitchen, and carpets to the second and third bedrooms.

Condition / Defects

- General wear is present to the floor finishes and is consistent with their age and use.
- The laminate flooring within the bathroom is in poor condition and requires replacement.

Costing / Scope

We estimate £1,200 to remove the defective bathroom floor finish, prepare the substrate and install a suitable tiled finish.

Covered and inaccessible floor structures could not be inspected, and concealed defects cannot be excluded.

Red Estimated cost of repair: £1,200

3

F5 Fireplaces

The fireplaces and internal chimney breasts have been removed throughout the property.

Condition / Defects

- The remaining chimney structure is inadequately supported and requires urgent assessment and remedial support, as detailed within Section F1.

Costing / Scope

We estimate £0 within this section because the structural investigation and provisional support works are included within Section F1.

Red Estimated cost of repair: £0

3

F6 Kitchen

The kitchen contains fitted units, oak work surfaces, a stainless-steel sink, gas hob, oven and extracting cooker hood. Connections are present for a dishwasher and washing machine. The wall tiling and splashbacks were in satisfactory condition.

Condition / Defects

- No visible leakage was identified beneath the sink at the time of inspection.
- No significant defects were identified to the accessible kitchen fittings.
- The appliances were not tested. Any appliances included within the sale should be tested for safety and operation before exchange of contracts.

Costing / Scope

We estimate £0 for immediate repairs.

Green Estimated cost of repair: £0

1



Property Address: Green Gardens, Wharlingham, CR8 9PQ



Property Address: Green Gardens, Wharlingham, CR8 9PQ



Property Address: Green Gardens, Wharlingham, CR8 9PQ

F7 Woodwork

The internal doors are of varnished softwood construction. The skirtings, door frames and linings, architraves, window cills and built-in joinery are a combination of painted MDF and painted softwood. The staircase is of timber construction and incorporates varnished newel posts, spindles and a handrail. The accessible joinery was generally in satisfactory condition.

1

Condition / Defects

- No significant defects were identified to the accessible internal woodwork.

Costing / Scope

We estimate £0 for immediate repairs.

Covered, unexposed and inaccessible joinery could not be inspected, and concealed defects cannot be excluded.

Green Estimated cost of repair: £0

F8 Bathroom fittings

The bathroom contains a bath with shower over, wash-hand basin, WC and heated towel rail.

3

Condition / Defects

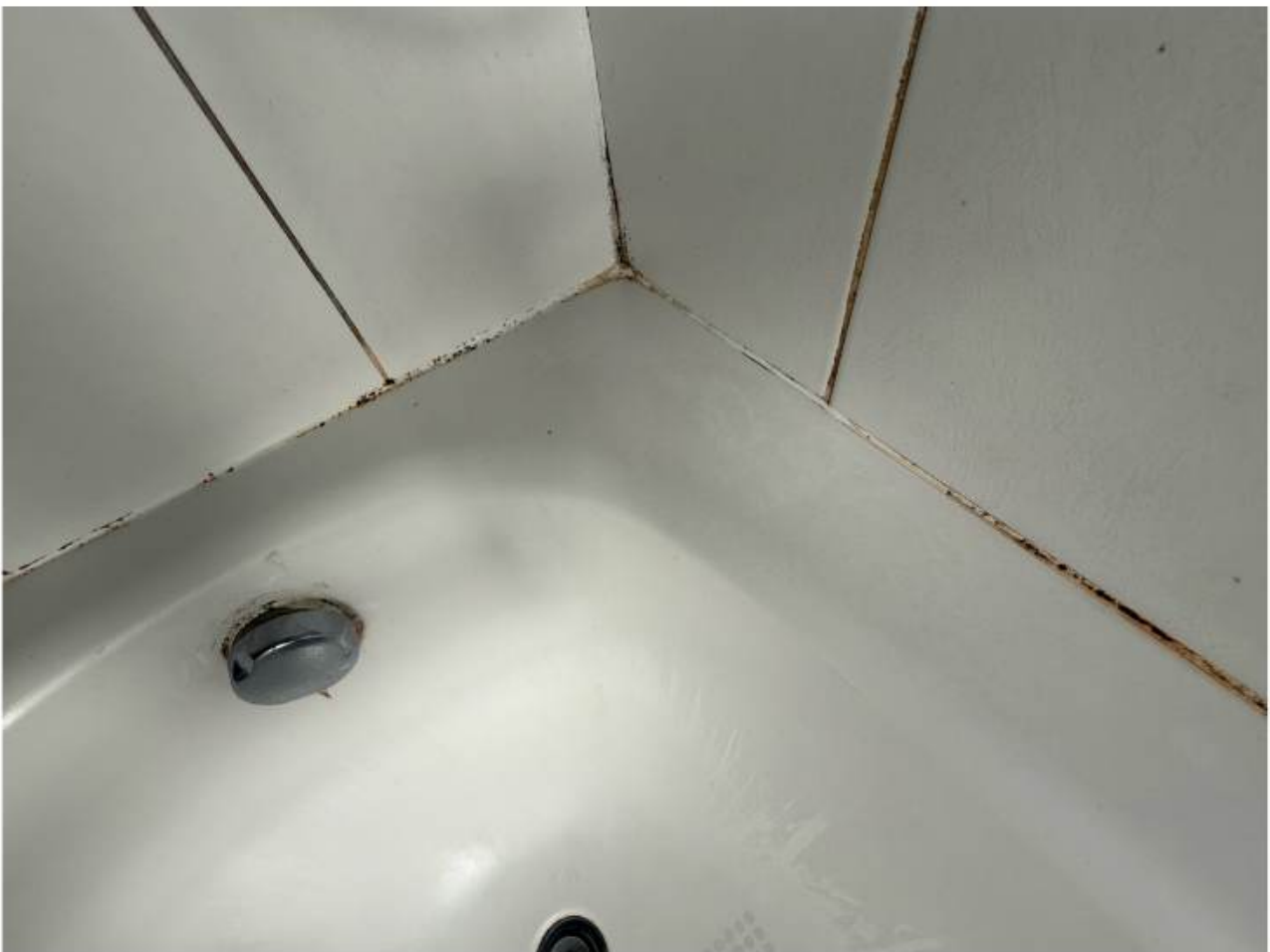
- The silicone sealant around the bath is deteriorated and exhibits mould and mildew.
- Mechanical extraction is not installed. A humidity-controlled extractor fan should be fitted to improve moisture management.
- Condensation-related staining is present to the ceiling and walls. These areas should be cleaned, prepared and redecorated after the ventilation has been improved.
- The bathroom floor is deteriorated, as further detailed within Section F4.
- The sanitary fittings, heated towel rail, wall finishes and floor finishes are in poor overall condition and full refurbishment is recommended.

Costing / Scope

We estimate £6,000 to refurbish the bathroom, including replacement of the bath, WC, wash-hand basin and heated towel rail, renewal of the wall and floor finishes, replacement sealant and installation of a humidity-controlled extractor fan.

Red Estimated cost of repair: £6,000





Property Address:



Property Address:

F9 Other (Cellars, Basements, Verandas)

Not applicable.

Costing / Scope*We estimate £0 because this element is not present.***NA** Estimated cost of repair: £0**NA**



Services

Services are generally hidden within the construction of the property. This means that we can only inspect the visible parts of the available services, and we do not carry out specialist tests.

The visual inspection cannot assess the efficiency or safety of electrical, gas or other energy sources. It also does not investigate the plumbing, heating, or drainage installations (or whether they meet current regulations); or the internal condition of any chimney, boiler or other flue).

Limitations to inspection



Underground pipes and buried cables were not inspected. The inspection of the services was visual only, and no specialist testing was undertaken. The surveyor is not a qualified service engineer. Specialist inspections and tests should be obtained where assurance is required regarding the safety, condition or capacity of an installation.

G1 Electrics

Safety warning: Electrical Safety First recommends that you should get a registered electrician to check the property and its electrical fittings at least every ten years, or on change of occupancy. All electrical installation work undertaken after 1 January 2005 should have appropriate certification. For more advice, contact Electrical Safety First.

The electrical installation is supplied by a single-phase underground cable to a 60-amp main fuse and meter, which appear to be earthed. The meter and Crabtree consumer unit are located within the cupboard beneath the stairs. The consumer unit has a plastic enclosure and incorporates residual-current-device protection.

3

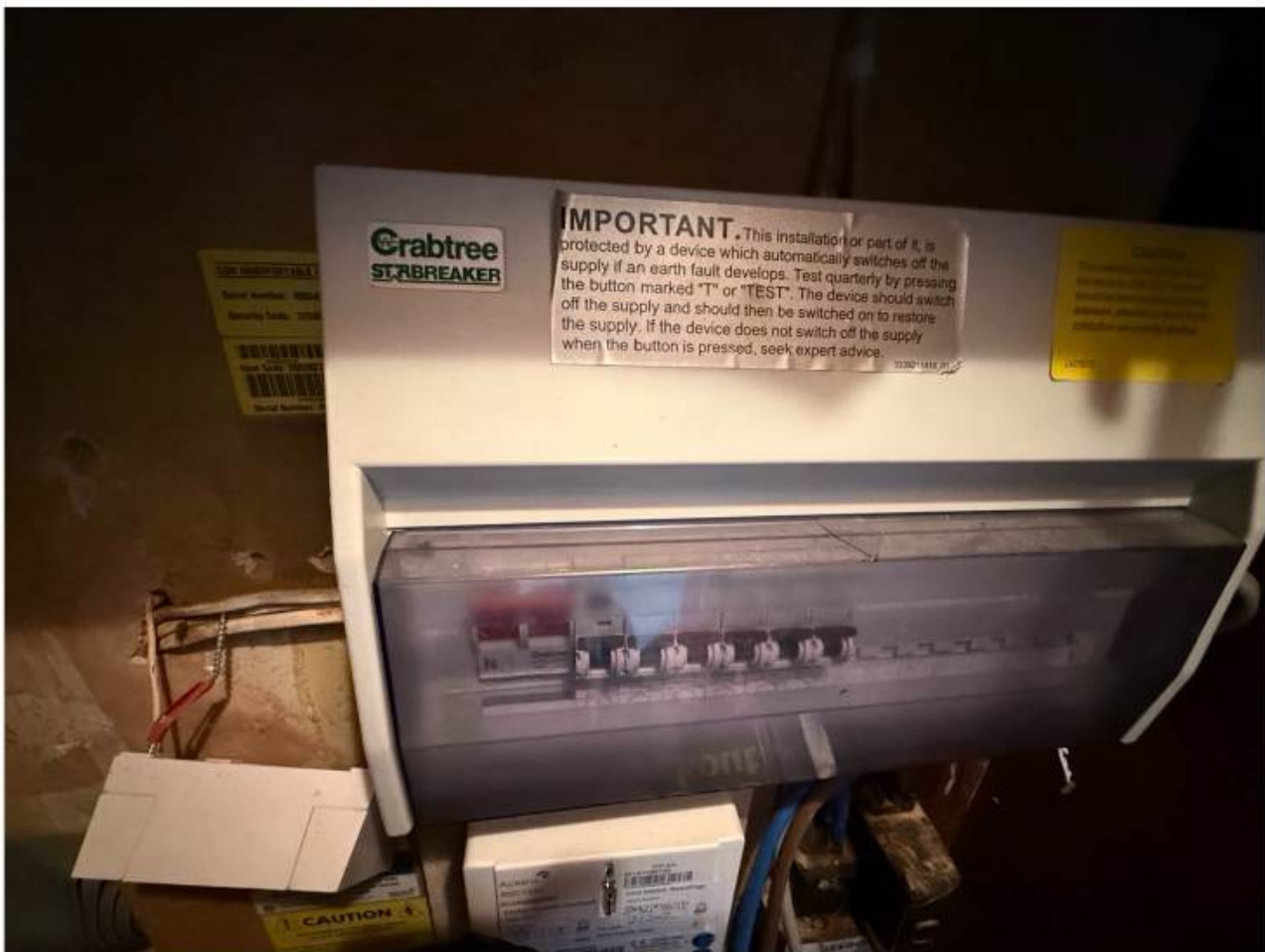
Condition / Defects

- Most wiring is concealed within walls, ceilings and floor voids and could not be inspected.
- The installation was not tested. An Electrical Installation Condition Report should be obtained from a competent registered electrician before exchange of contracts.
- The residual-current devices should be tested using their integral test buttons at the intervals recommended by the manufacturer.

Costing / Scope

We estimate £250 for a competent registered electrician to undertake an Electrical Installation Condition Report.

Red To carry out an EICR We estimate a cost of £250.



Property Address: Green Gardens, Wharlingham, CR8 9PQ

G3 Water

Cold water is supplied directly from the mains. Most internal distribution pipework is concealed within the structure or behind fixed fittings and could not be inspected.

3**Condition / Defects**

- No obvious evidence of significant leakage was identified at the time of inspection, although concealed defects cannot be excluded.
- The internal stopcock could not be located. It is assumed to be within the cupboard beneath the stairs or below the kitchen sink, and its position should be confirmed.

Costing / Scope

We estimate £0 for immediate repairs.

Red Estimated cost of repair: £0

G4 Heating

Heating and hot water are provided by a Worcester gas-fired combination boiler located within a hallway cupboard adjoining the kitchen. Based on its design and appearance, the appliance is estimated to be between 10 and 15 years old.

3**Condition / Defects**

- The boiler displayed low system pressure at the time of inspection and requires investigation by a Gas Safe registered engineer.
- Evidence of recent annual servicing was not available. The appliance and heating installation should be inspected and serviced at the change of ownership.
- The boiler is approaching the latter part of its typical serviceable life, and provision should be made for repair or replacement in the medium term.

Costing / Scope

We estimate £300 for a Gas Safe registered engineer to service the boiler and undertake gas-soundness and appliance-connection checks.

Estimated cost of repair: £300.

Red



G5 Hot Water

Domestic hot water is produced on demand by the gas-fired combination boiler.

Condition / Defects

- The hot-water function was not tested and should be checked when the boiler and heating installation are serviced.

Costing / Scope

We estimate £0 within this section because the inspection allowance is included within Section G4.

Red Estimated cost of repair: £0

3**G6 Drainage**

No drainage inspection chamber was identified within the property boundaries. The underground drainage runs were therefore concealed and could not be inspected.

Condition / Defects

- The condition, alignment and capacity of the underground drainage runs could not be confirmed without a CCTV survey.
- A specialist drainage contractor should locate the accessible runs and undertake a CCTV inspection before exchange of contracts if assurance is required.

Costing / Scope

We estimate £130 to locate and inspect the accessible drainage runs and a further £200 for a CCTV survey, giving a total allowance of £330.

Red

Total: £330

3**G7 Common Services**

Not applicable.

Costing / Scope

We estimate £0 because no common services are present.

NA Estimated cost of repair: £0

NA**G8 Other (Smoke and Carbon Monoxide Alarms)**

Smoke and carbon-monoxide alarms were present within the property, including detectors adjoining the boiler. Their age and remaining service life could not be confirmed.

Condition / Defects

- The age of the existing alarms is unknown. Life-safety alarms should be replaced in accordance with the manufacturers' specified service lives.
- The alarms should be tested regularly and suitable hard-wired smoke and carbon-monoxide detection installed where required by a competent electrician.

Costing / Scope

We estimate £250 for a competent electrician to install suitable hard-wired replacement alarms.

Red Estimated cost of repair: £250 for an electrician to hardwire new units

3

H

Grounds

Limitations to inspection

External inspection has been from ground level within the boundaries or from public highways or rights of way.

1 2 3 NI

H1 Garages

Not applicable.

Costing / Scope

We estimate £0 because no garage is present.

NA Estimated cost of repair: £0

NA

H2 Permanent structures

A large timber shed is positioned within the rear garden. It is clad with feather-edge boarding and covered with a single layer of shed felt.

Condition / Defects

- The accessible structure and roof covering were in satisfactory condition, with no significant defects identified.

Costing / Scope

We estimate £0 for immediate repairs.

Green Estimated cost of repair: £0

1



Property Address: Green Gardens, Wharlingham, CR8 9PQ



Property Address: Green Gardens, Wharlingham, CR8 9PQ

H3 Other (Boundaries)

The boundaries were inspected visually from within the accessible grounds. No detailed measurements were undertaken to establish their precise legal positions.

Condition / Defects

- The physical boundary positions should be compared with the title plan and register supplied by your Legal Adviser.
- Responsibility for maintaining, repairing or replacing individual fences and walls could not be established during the inspection.
- Specialist boundary advice should be obtained before undertaking work close to a disputed or uncertain boundary.

Costing / Scope

We estimate £0 for immediate repairs.

Green Estimated cost of repair: £0

1

Issues for your Legal Advisers

We do not act as 'the Legal Adviser' and will not comment on any legal documents. However, if during the inspection we identify issues that your legal advisers may need to investigate further, we may refer to these in the report (for example, check whether there is a warranty covering replacement windows). You should show your legal advisers this section of the report.

I1 Regulation

We recommend that you ask your Legal Adviser to obtain all records relative to the property in relation to:

- Confirmation of planning permissions
- Building control applications and certificates of completion
- All services servicing records
- Installation records and certification
- Any other information in relation to the property.

I2 Guarantees

We would ask your Legal Adviser to obtain any guarantees and warranties that are transferable to you at the change of ownership.

I3 Other matters

- Confirmation of Leasehold or Freehold
- Relevant information regarding Easements and Wayleaves

*(In simple, but non-legal terms, **An Easement**: is the right of one landowner to make use of another nearby piece of land for the benefit of his own land. An example may be that of a right of way across land belonging to another to gain access to a garage or gate. **A Wayleave**: is a right for someone usually a utility company to take pipes, wires or cables across another's land.)*

Further advice in relation to:

- Liabilities for maintaining the boundaries
- Rights of way
- Confirmation of status of drainage and responsibilities for maintenance and repair of private and shared sections.
- Confirmation of responsibility for maintenance and ownership of boundaries, fences and trees.

J

Risks

This section summarises defects and issues that present a risk to the building or grounds or a safety risk to people. These may have been reported, and condition rated against more than one part of the property or may be of a more general nature, having existed for some time and which cannot be reasonably changed.

J1 Risks to the building

Structural movement: No evidence of structural movement.

Dampness: No evidence of dampness.

Timber defects: No evidence of timber defects

J2 Risks to the grounds

For assurance on this point, it is recommended that you arrange for a close inspection of the land and site boundaries. You should ask your Legal Adviser to ask whether there is a Japanese Knotweed management plan or any associated warranty/guarantee relating to the property or neighbouring properties.

Contamination:

I am not aware of any contamination affecting the property, but it is recommended that an Environmental Search Report be obtained.

Flooding:

According to the Environment Agency (the Government organisation responsible for flood control), the property is in an area that is:

Rivers and Seas:

Very Low - means less than 0.1% likelihood of flooding.

Surface Water – sometimes known as ‘Flash Flooding’:

Very Low - means less than 0.1% likelihood of flooding within 15 m radius of the property.

Rivers and the sea
[More about your rivers and sea flood risk](#)

Yearly chance of flooding
☒ Very low ☐ Low ☐ Medium ☐ High

Yearly chance of flooding between 2036 and 2069
☒ Very low ☐ Low ☐ Medium ☐ High

What makes rivers and sea flooding more likely

Low-lying areas that are close to rivers or the sea are more likely to flood when water levels rise.

Surface water
[More about your surface water flood risk](#)

Yearly chance of flooding
☒ Very low ☐ Low ☐ Medium ☐ High

Yearly chance of flooding between 2040 and 2060
☒ Very low ☐ Low ☐ Medium ☐ High

What surface water is

Surface water flooding is sometimes known as flash flooding. It happens when rainwater cannot drain away through normal drainage systems.

Japanese Knotweed:

Japanese Knotweed is a highly invasive non-native plant which is now widespread throughout the UK. The plant has extensive root systems from which it easily regenerates, and it is very easily spread, even from small sections of stem or root. The plant is very difficult and costly to eradicate once established and can cause damage to building structures, underground services such as drains and paved areas. No specific site inspection or survey has been carried out for Knotweed. If you require assurance on this point, it is recommended that you arrange for a close inspection of the land and site boundaries.

We would ask your Legal Adviser to ask whether there is a Japanese Knotweed management plan or any associated warranty/guarantee relating to the property or neighbouring properties.

J3 Risks to people

Asbestos:

No evidence of possible asbestos was noted.

Health and safety advice:

No issues or trip hazard found.

Radon

Radon is a natural radioactive gas, which enters buildings from the ground. Exposure to high concentrations increases the risk of lung cancer. Public Health England (PHE) recommends that radon levels should be reduced in homes where the annual average is at or above 200 becquerels per cubic metre (200 Bq/m³). From public records the subject property is in an area that has less than 1% radon potential which is a low risk.

Radon potential band (%)	General risk	Affected area?	Test advised?
0 - 1	Low	No	No
1 - 3	Medium	Yes	Yes
3 - 5	Medium	Yes	Yes
5 - 10	Medium	Yes	Yes
10 - 30	High	Yes	Yes
Over 30	High	Yes	Yes

GU15 4JR

Highest radon potential in 1 km grid square

All parts of this 1km grid square are in the lowest band of radon potential. Less than 1% of homes at or above the Action Level.

What Is Radon and Why Is It a Concern?

Radon is a colourless, odourless radioactive gas that naturally forms from the decay of uranium found in all rocks and soils. It is present both outdoors and indoors, but levels vary depending on location and building structure.

Health Risks Radon gives off radiation as it decays. When inhaled, radioactive particles can damage lung tissue and increase the risk of lung cancer. The danger grows with higher levels of exposure.

Where Is It Found? Radon is everywhere, but indoor levels can be higher, especially in certain geographic areas. UK radon maps highlight areas with increased risk—darker areas indicate a higher chance of elevated levels, though not all buildings in those areas are affected.

What Is a Safe Level? Radon levels are measured in becquerels per cubic metre (Bq/m³). The UK average is 20 Bq/m³. Levels below 100 Bq/m³ are generally considered low risk, but the risk increases with higher concentrations.

What Is Radiation? Radiation is energy released during the breakdown of radioactive elements like uranium and radon. It comes in different forms—alpha, beta, and gamma—with alpha particles being the most damaging when inhaled due to their high energy and limited range.

Everyday Exposure We're all exposed to radiation from both natural and man-made sources. Radon alone accounts for about half of our annual radiation exposure in the UK. Knowing the radon level in your home or workplace is important to manage long-term health risks.

J4 Other risks or hazards

Please see our comments in Section G8.

K

Energy efficiency

This section describes energy-related matters for the property. It takes account of a broad range of energy related features and issues already identified in the previous sections of this report and discusses how they may be affected by the condition of the property.

This is not a formal energy assessment of the building but part of the report that will help you get a broader view of this topic. Although this may use information obtained from an available EPC, it does not check the certificate's validity or accuracy.

K1 Insulation

The property's thermal efficiency could be improved by retrofitting cavity wall insulation, for example with Rockwool. The roof insulation was measured at 270 mm, which meets current Building Regulations and was seen to be in satisfactory condition.

K2 Heating

Heating is provided by a combination Worcester boiler, now approaching the end of its serviceable lifespan, though it appeared to be in working order at the time of inspection. We recommend the boiler is serviced to ensure continued safe operation.

K3 Lighting

Low energy lighting in all fixed outlets.

K4 Ventilation

Ventilation within the property was found to be limited. We recommend the installation of a humidity-controlled extractor fan in the bathroom to better manage internal humidity levels. Trickle vents were noted to be present throughout the property, supporting natural ventilation. No evidence of black mould was observed.

K5 General

It is important to try to reduce your carbon footprint and to reduce your energy costs. We ask that you review your EPC recommendations in this respect and consider having an audit of the insulation and heating and electrical systems carried out with a competent thermal modelling and specialist designer to establish if there are any techniques that can improve the overall thermal performance of the property.



Surveyor's declaration

"I confirm that I have inspected the property and prepared this report."

Signature

Tom Samuels

**For and on behalf of
Company**

Vanguard Building Surveyors Ltd

Address

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Email

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Client's Name

Mr Bloggs

Property address

Green Gardens, Wharlingham, CR8 9PQ

Date this report was produced

Thursday, 03 September 2026

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What to do now

If you are a prospective or current homeowner who has chosen a Home Survey, you should carefully consider the findings, condition ratings and risks stated in the report.

Getting quotations

You should obtain reports and at least two quotations for all the repairs and further investigations that the surveyor has identified. These should come from experienced contractors who are properly insured. You should also:

- ask them for references from people they have worked for.
- describe in writing exactly what you will want them to do; and
- get the contractors to put the quotations in writing.

Some repairs will need contractors with specialist skills and who are members of regulated organisations (for example, electricians, gas engineers or plumbers). Some work may also need you to get Building Regulations permission or planning permission from your local authority. Your surveyor may be able to help.

Further investigations

If the surveyor is concerned about the condition of a hidden part of the building, could only see part of a defect or does not have the specialist knowledge to assess part of the property fully, the surveyor may have recommended that further investigations should be carried out (for example, by structural engineers or arboriculturists) to discover the true extent of the problem.

Who you should use for these further investigations

Specialists belonging to different types of organisations will be able to do this. For example, qualified electricians can belong to five different government-approved schemes. If you want further advice, please contact your surveyor.

What the further investigations will involve

This will depend on the type of problem, but to do this properly, parts of the home may have to be disturbed. If you are a prospective purchaser, you should discuss this matter with the current owner. In some cases, the cost of investigation may be high.

This guidance does not claim to provide legal advice. You should consult your legal Advisors before entering into any binding contract or purchase.

Description of the Level 3 Home Survey Service

The service

The Level 3 Home Survey includes:

- a thorough inspection of the property (see A2 About the inspection);
- a detailed report based on the inspection (see A1 About the report).

The surveyor who provides the Level 3 Home Survey aims to:

- help you make a reasoned and informed decision when purchasing the property, or when planning for repairs, maintenance or upgrading the property.
- provide detailed advice on condition.
- describe the identifiable risk of potential or hidden defects.
- where practicable and agreed, provide an estimate of costs for identified repairs; and
- make recommendations as to any further actions or advice which need to be obtained before committing to purchase consider what further advice you should take before committing to purchase the property.

Any extra services provided that are not covered by the terms and conditions of this report must be covered by a separate contract.

The inspection

The surveyor carefully and thoroughly inspects the inside and outside of the main building and all permanent outbuildings, recording the construction and defects (both major and minor) that are evident. This inspection is intended to cover as much of the property as physically accessible. Where this is not possible an explanation is provided in the 'Limitations to inspection' box in the relevant sections of the report.

The surveyor does not force or open up the fabric without owner consent, or if there is a risk of causing personal injury or damage. This includes taking up fitted carpets, fitted floor coverings or floorboards, moving heavy furniture, removing the contents of cupboards, roof spaces, etc., removing secured panels and/or hatches or undoing electrical fittings. The under-floor areas are inspected where there is safe access.

If necessary, the surveyor carries out parts of the inspection when standing at ground level from adjoining public property where accessible. This means the extent of the inspection will depend on a range of individual circumstances at the time of inspection, and the surveyor judges each case on an individual basis.

The surveyor uses equipment such as a damp meter, binoculars, and a torch, and uses a ladder for flat roofs and for hatches no more than 3 m above level ground (outside) or floor surfaces (inside) if it is safe to do so.

The surveyor also carries out a desktop study and makes oral enquiries for information about matters affecting the property.

Services to the property

Services are generally hidden within the construction of the property. This means that only the visible parts of the available services can be inspected, and the surveyor does not carry out specialist tests other than through normal operation in everyday use. The visual inspection cannot assess the efficiency or safety of electrical, gas or other energy sources; the plumbing, heating, or drainage installations (or whether they meet current regulations); or the internal condition of any chimney, boiler, or other flue. Intermittent faults of services may not be apparent on the day of inspection.

Outside the property

The surveyor inspects the condition of boundary walls, fences, permanent outbuildings, and areas in common (shared) use. To inspect these areas, the surveyor walks around the grounds and any neighbouring public property where access can be obtained. Where there are restrictions to access, these are reported, and advice is given on any potential underlying risks that may require further investigation. Buildings with swimming pools and sports facilities are treated as permanent outbuildings and therefore are inspected, but the surveyor does not report on the leisure facilities, such as the pool itself and its equipment internally and externally, landscaping, and other facilities (for example, tennis courts and temporary outbuildings).

Flats

When inspecting flats, the surveyor assesses the general condition of outside surfaces of the building, as well as its access and communal

areas (for example, shared hallways and staircases) and roof spaces, but only if they are accessible from within the property or communal areas. The surveyor also inspects (within the identifiable boundary of the flat) drains, lifts, fire alarms and security systems, although the surveyor does not carry out any specialist tests other than through normal operation in everyday use.

Dangerous materials, contamination, and environmental issues.

The surveyor makes enquiries about contamination or other environmental dangers. If the surveyor suspects a problem, he or she recommends further investigation.

The surveyor may assume that no harmful or dangerous materials have been used in the construction and does not have a duty to justify making this assumption. However, if the inspection shows that these materials have been used, the surveyor must report his/her concerns and ask for further instructions.

The surveyor does not carry out an asbestos inspection and does not act as an asbestos inspector when inspecting properties that may fall within the Control of Asbestos Regulations 2012. With flats, the surveyor assumes that there is a 'duty holder' (as defined in the regulations), and that in place are an asbestos register and an effective management plan which does not present a significant risk to health or need any immediate management, repair or removal. The surveyor does not consult the duty holder.

The report

The surveyor produces a report of the results of inspection for you to use but cannot accept any liability if it is used by anyone else. If you decide not to act on the advice in the report, you do this at your own risk. The report is aimed at providing you with a detailed understanding of the condition of the property to allow you to make an informed decision on serious or urgent repairs, and on maintenance of a wide range of issues reported. Purely cosmetic and minor maintenance defects that have no effect on performance might not be reported. The report is not a warranty.

The report is in a standard format and includes the following sections.

- A About the inspection
- B Summary of condition ratings
- C Overall opinion and condition ratings
- D About the property
- E Outside the property
- F Inside the property
- G Services
- H Grounds (including shared areas for flats)
- I Issues for your legal advisers
- J Risks
- K Energy efficiency
- L Surveyor's declaration
- What to do now
- Description of the Level 3 Home Survey service
- Standard terms of engagement
- Typical house diagram

Condition ratings

The surveyor gives condition ratings to the main parts (or 'elements') of the main building, garage, and some outside elements. The condition ratings are described as follows.

Condition rating 3 - defects that are serious and/or need to be repaired, replaced, or investigated urgently.

Condition rating 2 - defects that need repairing or replacing but are not considered to be either serious or urgent. The property must be maintained in the normal way.

Condition rating 1 - no repair is currently needed. The property must be maintained in the normal way.

NI - not inspected.
N/A - not applicable.

The surveyor notes in the report if it was not possible to check any parts of the property that the inspection would normally cover. If the surveyor is concerned about these parts, the report tells you about any further investigations that are needed.

The surveyor may report on the cost of any work to put right defects (where agreed) but does not make recommendations on how these repairs should be carried out. However, there is General advice in the 'What to do now' section at the end of the report.

Energy

The surveyor has not prepared the Energy Performance Certificate (EPC) as part of *"The Service"* for the property. If the surveyor has seen the current EPC, he or she will provide the Energy Efficiency Rating in this report but will not check the rating and so cannot comment on its accuracy. Where possible and appropriate, the surveyor will include additional commentary on energy-related matters for the property as a whole in the K Energy efficiency section of the report, but this is not a formal energy assessment of the building.

Issues for legal advisers

The surveyor does not act as 'the legal adviser' and does not comment on any legal documents. If, during the inspection, the surveyor identifies issues that your legal advisers may need to investigate further, the surveyor may refer to these in the report (for example, check whether there is a warranty covering replacement windows).

To the extent that any part of this notification is a restriction of liability within the meaning of the Consumer Rights Act 2015 it does not apply to death or personal injury resulting from negligence.

If the property is leasehold, the surveyor gives you General advice and details of questions you should ask your legal advisers.

Risks

This section summarises defects and issues that present a risk to the building or grounds, or a safety risk to people. These may have been reported, and condition rated against more than one part of the property or may be of a more general nature, having existed for some time and which cannot reasonably be changed.

If the property is leasehold, the surveyor gives you General advice and details of questions you should ask your legal advisers in relation to risks.

Standard terms of engagement

The service – the surveyor provides only the standard Level 3 Home Survey Service ('the service') described here, unless you and the surveyor agree in writing before the inspection that the surveyor will provide extra services. Any extra service will require separate terms of engagement to be entered into with the surveyor. Examples of extra services include:

- re-inspection
- detailed specific issue reports

- 1 **Before the inspection** – this period forms an important part of the relationship between you and the surveyor. The surveyor will use reasonable endeavours to contact you regarding your particular concerns about the property and explain (where necessary) the extent and/or limitations of the inspection and report. The surveyor also carries out a desktop study to understand the property better.
- 2 **Terms of payment** – the fee for this service has been quoted to you via email and should be paid via Bank Transfer or Credit/Debit card (over the phone) before the survey takes place.
- 3 **Cancelling this contract** – You have 14 days in which to cancel this contract which starts from the date on which this contract is entered into. You agree to the services commencing from the date of this contract, even if this is within the cancellation period. You understand that you will lose your right to change your mind in relation to the services once the services are complete and you will be required to pay for any services provided within the cancellation period. Should you wish to cancel this service, please inform us in writing using the following format:

CUSTOMER CANCELLATION NOTICE

Name of Customer:

Address of Customer:

I/We hereby give notice that I/We wish to cancel my/our contract dated:

Customer Signature:

Date:

This notice should be sent to Vanguard Building Surveyors Ltd, 2-5 Croxted Mews, 286/288 Croxted Road, London, SE24 9DA

Tel: 07359 548939

Email:

Refund Policy: No survey - No fee. We request full payment ahead of the Survey - this must be done at least 48 hours prior to guarantee the slot. If you decide to cancel, you will be refunded in full and will not be charged a cancellation fee.

- 4 The surveyor does not provide the service (and reports this to you as soon as possible) if, after arriving at the property, the surveyor decides that:
 - (a) he or she lacks enough specialist knowledge of the method of construction used to build the property; or
 - (b) it would be in your best interests to have a Level 2 Home Survey Report, rather than the Level 3 Home Survey.

If you cancel this contract, the surveyor will refund any money you have paid for the service, except for any reasonable expenses. If the surveyor cancels this contract, he or she will explain the reason to you.

- 5 **Liability** – the report is provided for your use, and the surveyor cannot accept responsibility if it is used, or relied upon, by anyone

else, errors and omissions excepted. Vanguard Property Surveyors Ltd expressly forbid the report or any of its contents to be sold on to any other party.

Complaints Handling Procedure:

We have in place a CHP which meets the regulatory requirements. Our CHP has two stages.

Stage one of the CHP gives our firm the opportunity to review and consider your complaint in full. Our firm will try to resolve your complaint to your satisfaction. If you are not happy with our response, you will have the opportunity to take your complaint to stage two. Stage two gives you, the client, the opportunity to have your complaint reviewed and considered by an independent redress provider, approved by RICS.

Stage One:

If you have spoken to us about your complaint, please put the details of your complaint in writing. Any complaints regarding a report should be made within 14 days of receipt of the report.

We ask that you put your complaint in writing to make sure that we have a full understanding of the reasons for your complaint.

Please send your written complaint to:
Rosanna Quagliari, Director, Vanguard Building Surveyors Ltd
2-5 Croxted Mews, 286/288 Croxted Road, London, SE24 9DA

Tel: 0203 662 6586

Email:

Website:

We will consider your complaint as quickly as possible and will acknowledge receipt of your complaint within 7 days. If we are not able to give you a full response, we will update you within 28 days.

Stage Two:

If we are unable to agree on how to resolve your complaint, then you should address your complaint to the:

CEDR (Centre for Effective Dispute Resolution) <https://www.cedr.com/consumer/rics/>
an ADR (Alternative Dispute Resolution) provider, as approved by RICS Regulatory Board.

DISCLAIMERS

The report is prepared by Vanguard Building Surveyors Ltd, Company No 14911677. The statements and opinions expressed in the report are expressed on behalf of the company, who accepts full responsibility for these.

To the extent that any part of this notification is a restriction of liability within the meaning of the Consumer Rights Act 2015, it does not apply to death or personal injury resulting from negligence.

Vanguard Building Surveyors Ltd gives no representations or warranties, express or implied, and no responsibility or liability is accepted for the accuracy or completeness of the information inserted in the document or any other written or oral information given to any interested party or its advisers. Any such liability is expressly disclaimed.

These terms form part of the contract between you and the surveyor.

Property Diagram

This diagram illustrates where you may find some of the building elements referred to in the report.

