



Up Close Inspections LLC

214 W Thompson Road
Payson, AZ 85541
928-978-7157
www.UpCloseInspections.org

EXAMPLE Home Inspection Report



EXAMPLE REPORT: 102 N This away
AZ

Prepared for John2 Doe2
Date of Inspection: 01/01/2024

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Inspection Agreement

Inspection Company Name: Up Close Inspections LLC

Inspector's Name: Edward Padilla

Address: 214 W Thompson Road, Payson, AZ 85541

Client Name: John2 Doe2

Inspected Property Address EXAMPLE REPORT: 102 N This away, AZ

1. The Client understands and agrees that this Agreement is a part of the Inspection Report and acceptance of or payment for the Inspection Report by the Client will confirm this agreement, even if Client was not present at the inspection and/or has not signed this agreement.

2. The Client understands that this report and any information therein is intended for the sole use of the Client and shall not substitute for, replace or be used in lieu of any required Transfer Disclosure Statements and shall not be disclosed to any person or persons other than the parties to the transaction for which this Inspection report was ordered.

3. Nothing in the Inspection Report, and no opinion of the Inspector, shall be construed as advice to the Client to purchase, or not to purchase, the property.

4. The Visual Inspection Service is performed in accordance with the Arizona Standards of Practice (Adopted by AZ ASHI Effective January 1, 2002). The specific systems and components of a building to be inspected are listed in these Standards of Practice. See link below

https://btr.az.gov/sites/default/files/documents/files/standards_of_professional_practice.pdf

5. Any area which is not exposed to view, or is concealed, or is inaccessible because of soil, walls, floors or coverings, ceilings, furnishings or any other thing, is NOT included in this inspection. Client agrees to assume all the risk for all conditions which are concealed from view at the time of the inspection.

6. The following are NOT included in the inspection

- a) Recalls or Callbacks of any kind and from any source: Latent or concealed defects.
- b) Environmental hazards or conditions, including, but not limited to, toxic, reactive, combustible, or corrosive contaminants, wildfire, odors, noise, flood potential, electromagnetic fields, underground storage tanks, asbestos, radon gas, lead paint, urea formaldehyde, PCB's, water or air quality, the proximity to toxic waste sites, or other environmental or health hazards
 - Structural, geological, soil or hydrological stability, survey, engineering, analysis or testing. Permit research or validation, code, installation or zoning violations.
 - The examination of conditions related to animals, rodents, insects, wood destroying insects organisms, mold and mildew, or the damage caused thereby. However, the Inspector may suggest having further inspections done if these suspects are found during the inspection.
 - Radio controlled devices or low-voltage systems or relays
 - Security or intercom systems.
 - Elevators, lifts or dumbwaiter's
 - Thermostatic, time clock or photoelectric controls.
 - Water softener or purifier systems
 - Furnace heat exchangers, solar heating systems and freestanding appliances

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- Window coverings, such as curtains, blinds, shades...
- The examination or operation of any sewage disposal system or component including, but not limited to, septic tanks, cesspools, and/or any underground system or portion thereof, or ejector pumps for rain or waste
- Landscape or farm irrigation systems
- The condition and/or irrigation of trees, shrubs or vegetation of any kind
- Any item which is hidden from view or impractical to test
- Any system or component not listed in the Standards of Practice of the American Society of Home Inspectors as an observation requirement
- Any system or component, condition, or application noted in the report as not inspected, not determined, or not reported on.

7. Pools and Spas

- a) It is agreed that pool(s) and/or spa(s) will be observed for an additional fee. The following sets forth the limitations of the pool and/or spa observation:
- Without disassembly the inspector will observe the enclosure and/or related gates, alarms, the hard scape and drainage related to the inspected pool or spa, the condition of visible portions of systems, structures, or components, the normally necessary and present equipment such as lights, pumps, heaters, filters, and related mechanical and electrical connections. The inspector will report on any conditions limiting or otherwise inhibiting the inspection.
 - The inspector is not required to determine structural integrity or leakage of any kind, evaluate thermostat(s) or their calibration, heating elements, chemical dispensers, water chemistry or conditioning devices, low voltage or computer controls, timers, sweeps or cleaners, pool or spa covers and related components.
 - The inspector does not operate or evaluate filter backwash systems. Unless agreed upon, the inspector is not required to examine any above-ground, movable, freestanding or otherwise non-permanently installed pool or spa, or self-contained equipment or to come into contact with pool or spa water to examine the system, structure, or components or to determine adequacy of spa jet water force or bubble effect.

8. The Client agrees to immediately contact the Inspection Company for copies of any pages found to be missing from any part of the report.

9. The report is the professional opinion of the Inspector, based on the accessibility of the certain fixed components surveyed. Without dismantling parts of the building and/or its components, and without full use of all utilities, the Inspector may extrapolate conclusions which cannot be confirmed during the inspection.

10. The Inspection Company does not offer any warranty or insurance to the Client or any other person in connection with the Inspection Report. **THERE IS NO WARRANTY, EXPRESSED OR IMPLIED, OF THE INSPECTION SERVICE OR INSPECTION REPORT.** The payment for the subject inspection is based solely on the value of the service provided by the Inspector/Inspection Company in the performance of its limited visual inspection and production of a written inspection report as described herein, that it is impracticable and extremely difficult to fix the actual damages, if any, which may result from a failure to perform such services, and a resulting loss that the Inspector/Inspection Company's and its officers,' agents,' or employees' liability hereunder shall be limited and fixed in

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an amount equal to one hundred fifty percent (150%) of the inspection fee, as liquidated damages, and not as penalty, and this liability shall be exclusive.

11. The Client agrees to submit to the Inspection Company, in written form, any claims or complaints prior to taking any action thereupon. Any legal action or proceeding of any kind, whether sounding in tort or contract, against the Inspector/Inspection Company or its officers, agents, or employees, must be brought within one (1) year from the date of the inspection or will be deemed waived and forever barred.

12. Any dispute, controversy, interpretation or claim including claims for, but not limited to, breach of contract, any form of negligence, fraud or misrepresentation arising out of, from or related to, this contract or arising out of, from or related to the inspection or inspection report shall be submitted to final and binding arbitration under the Rules and Procedures of the Expedited Arbitration by an agreed upon arbitration service. The decision of the Arbitrator appointed there under shall be final and binding and judgment of the Award may be entered in any Court of competent jurisdiction.

14. Upon requested and payment, Up Close Inspections LLC will provide an infrared thermal imaging/scanning for reference to the client for informational purposes only. Thermal Imaging/Scan measures temperature differences or variations of the visible, safely and readily accessible areas of the home by means of a non-invasive thermal digital camera; minor and cosmetic defects may be listed in the report for maintenance purposes but it is not the intent, nor will the inspection report identify and list all minor and cosmetic defects. The inspection and report are performed and prepared for the sole, confidential and exclusive use and possession of the customer. The inspection report is not transferable. Thermal scan measures the surface temperature and the temperature differences or variations of readily accessible portions of the home. The inspector will not dismantle and/or move equipment, systems, furniture, appliances, floor coverings, finished or fastened surfaces or components, personal property or other items to conduct this inspection or otherwise to expose concealed or inaccessible conditions. The inspection will not include destructive testing of any kind. Although Infrared Thermal Imaging is a far better diagnostic tool than the naked eye, it does not guarantee 100% accuracy.

Date of Inspection:01/01/2024

Inspection Costs: Home Inspection Cost \$420.00

Thermal Scan \$50.00

Paid Online (\$470.00)

Total: \$0.00

_____ Date: _____

Client's Name: John2 Doe2

_____ Date: _____

Inspector's Name: 58227: Edward Padilla

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PROPERTY INFORMATION

Property Address: EXAMPLE REPORT: 102 N This away, AZ

Date of Inspection: 01/01/2024

Approximate Year:

Square Footage:

Structure Type: Stick Built (Wood
framed)

Weather: Clear with recent rain

Approximate Temperature: 46

Taken during inspection

Buyer's Information

BUYER

Name: John2 Doe2

Phone Number: 123-123-1234

Email: 123456@hotmail.com

Client Attended:

Others Attended:

REAL ESTATE AGENTS

BUYER'S AGENT:

Name: Best Agent

Phone Number:

Email:

Agent Attended:

SELLER'S AGENT:

Name: Best Agent

Phone Number:

Email:

Agent Attended:

INSPECTION COMPANY

Company Name: Up Close Inspections LLC

Company Address: 214 W Thompson Road, Payson AZ 85541

Inspector's Name: Edward Padilla

Licence Number: 58227

Phone Number: 928-978-7157

Email: Edward@UpCloseInspections.org

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DEFINITION PAGE

STATUS is used at the top of each category. Status may also be next to some items as well which gives it a type of ranking. The different types of status definitions are as follows:

ACCEPTABLE	Functional with no obvious signs of defect. Serviceable at the time of inspection.
PARTIAL	is used when a component can only be partially inspected for numerous reasons.
MARGINAL	Item may not be fully functional, requires repair, or servicing. Typically in the color blue.
DEFECTIVE	Could be a small or major defect or components primary function is not working properly.
HAZARD	Defect should be considered hazardous. Correction by a qualified licensed contractor is advised.
NOT APPLICABLE	Does not apply to the home inspection or no information given
NOT PRESENT	components or items that are not present, missing, or not found at the time of inspection.
NOT INSPECTED	components or items not inspected, typically because they are beyond the scope of a home inspection. They may also not be accessible.
OPERATIONAL	Is used the same as ACCEPTABLE (see above).

THE REPORT can be looked at in its entirety or/and the Summary Sheets. The Summary Sheets are basically the main issues with the rankings of "Marginal", "Defective" and "Hazard".

SERVICEABLE AT THE TIME OF INSPECTION is used throughout the report. This means it fulfilling its function, working at the time of the inspection. Many time its used as a generalization that the item appears to be satisfactory.

1.0 LOTS AND GROUNDS

ELEVATIONS STATUS - listed below to the left



North Elevation



East Elevation



South Elevation



West Elevation

Items in this section have been inspected and are in ACCEPTABLE CONDITION.
Issues may be listed below this section.

- : No issues noted
- - Not touching the building
- GATES material Metal Chain Link
- ADDRESS - posted and visible

DRAINAGE/GRADE

Defective

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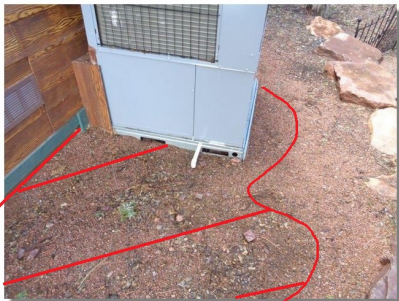
Location: West Right of Building

Comments: **DOWNSPOUT DRAINS NEXT TO BUILDING** - A splash block may be considered and placed so water is directed away from the building.



Location: Backside of garage

Comment: **MOISTURE NOTED:** at the back door from roof downspout and grading. Grading should fall 6" in 10 ft from the foundation. Recommend repair. This is causing water to enter the garage.



Location: West Right of Building. Next to HVAC system

Comments: **GRADE FAULTY, NEEDS TO SLOPE AWAY FROM FOUNDATION** - a minimum 6 inch fall within the first 10 feet. Arrows indicate water flow or points where grade is deficient. The use of a swale is allowed if physical barriers or lot lines prohibit the 6 inches fall in 10 feet.

Moisture found in crawlspace.

VEGETATION **Defective**

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Location: Roof, Southwest Corner of Building

Comments: **BRANCHES TOUCHING BUILDING** - recommend cutting back so they do not touch the building. This can be bridge for pest or can damage siding and roof.



Location: North Front of Building

Comments: **BRANCHES TOUCHING BUILDING** - recommend cutting back so they do not touch the building. This can be bridge for pest or can damage siding and roof.

TERMITE INSPECTION RECOMMENDED

FENCES AND GATES

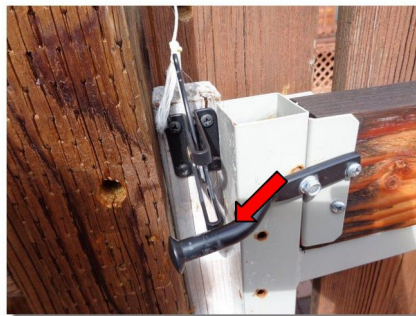
Defective

Fence Material: Wood
Gate Material: Not Installed



Location: South Rear of Garage

Comments: **STAINING ON FENCE** - from the neighbors hot tub drain.



Location: North Front of Garage

Comments: **GATE LATCH** - does not latch to post

2.0 STRUCTURAL

MANUFACTURE HOME FOUNDATION STATUS - listed below to the left

GENERAL INFORMATION

Acceptable

Items in this section have been inspected and are in ACCEPTABLE CONDITION. Issues may be listed below this section.



- Foundation Types: Engineer jack stands with skirting

- **INSTALLATION CERTIFICATE** - Present. Under the kitchen Sink

Note: Identify whether a home was built according to the HUD Manufactured Home Construction and Safety Standards (HUD code) and, if so, how it was designed and constructed.

website: <https://www.ibts.org>

- **TIE DOWNS** - Are they put in place? Yes Not Unknown

Note: Tie-downs are systems of heavy-duty straps and anchors designed to stabilize manufactured homes during high winds. Failure to properly install and maintain tie-downs results in reduced capacity to resist sliding and overturning. The inspector observes they are installed and reports as such. However, the inspector does not ensure they were installed correctly, that would fall under an engineer certificate. Buyer should get the Engineer Certificate from the Seller if available. If needed, Up Close Inspections can provide a certificate for a separate fee. Typically about \$300 to \$400.

- Skirting Type of material: Pressure Treated Plywood

HUD Tags/label

Defective

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Location: South Rear of Building

HUD TAGS - one of them is covered up. These numbers are used by the state and insurance companies. Recommend revealing the one that is covered.

Note: These were required after June 15, 1976 each transportable section of a manufactured home shall have a permanent HUD label(s) and a Data Plate/Compliance Certificate affixed to it that is readable.

CRAWL SPACE / SUB-AREA STATUS - listed below to the left

GENERAL INFORMATION

Acceptable

Items in this section have been inspected and are in ACCEPTABLE CONDITION. Issues may be listed below this section.



- Crawl space access location: West Right of Building
Access door: Crawl Space meets the min 18x24 inch
Inspected from: From inside the crawl space
- Floor framing type: Metal Frame with wood floor decking
- Ventilation: Foundation Vents

Moisture Noted

Defective



Comments: **MOISTURE IN CRAWLSPACE.** See "Lots and Grounds" for grade issues.

HVAC Ducting
Defective



Comments: **DUCT TOUCHING THE GROUND** - this can cause the duct material to degrade faster. Recommend repair.



Comments: **DUCT WORK CREASED** - this restricts air flow. Recommend having an HVAC contractor do the repairs.

WALLS CONSTRUCTION STATUS - listed below to the left

GENERAL INFORMATION

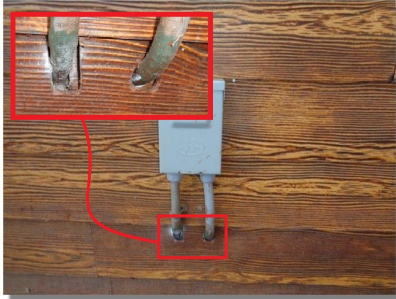
Acceptable

Items in this section have been inspected and are in ACCEPTABLE CONDITION. Issues may be listed below this section.

Note: See interior Surface for more details

- Construction Type: Wood Framed
- Exterior Cladding/Siding type(s): Wood Siding
- Trim: Material Type: Wood
- Flashing: Material Type: Metal
- Vapor Retarder: House wrap

Siding/Cladding
Defective



- Location: West Right of Building, disconnect for HVAC

Comments: **SIDING HOLED FOR PIPING** - should be sealed around the pipe so no moisture can enter the wall system, which can cause damage.

BEAM(S) and COLUMNS
Defective

Location: Garage

Post/Column Construction Material: Wood Are they visible: Yes No Partly



Garage top corners

BRACKET MISSING FASTENERS - recommend installation.

FASTENERS WRONG TYPE - wood screws are not strong enough.



Back side of garage

POST DRY ROT - Recommend repair

ROOF STATUS - listed below to the left

GENERAL INFORMATION

Acceptable

Items in this section have been inspected and are in ACCEPTABLE CONDITION. Issues may be listed below this section.



Visible inspection Type: Walked on roof

- Roof Style: Gable, Lean-to
- Pitch/Slope: 3/12 to 4/12 pitch
- Framing type: Trusses
- Roof sheathing or roof deck material: Unable to verify. Covered
- Roof covering(s): Metal panels
- Layers on Roof: 1
- Eave and soffit Types: Covered Eaves
- Roof Flashing Material Type(s): Metal
- Flashing around penetrations: Material Type(s): Metal
- Pipes material Type(s): ABS
- Vents material Type(s): Metal
- Chimney(s) flashing: Metal

Drainage System(s)

Defective

Material Type(s): Metal gutters and downspouts



Location: East Left of Building

GUTTERS NEED CLEANING - The following are some possible problems

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Comments: **GUTTERS LEAKING** - seams leaking over entry way. Recommend repair. Appears repairs were tried before, however its still leaking.. with clogged gutters .



Location: Multiple areas

Comments: **GUTTER FASTENERS COMING LOOSE** - recommend repair.

ATTIC SPACE STATUS - listed below to the left

Manufactured Homes

Not Inspected

Manufactured Home: No attic noted. Typical mobiles do not have attics. The following items could NOT be inspected.

- Type of construction - plywood, OSB, framing, trusses...
- Insulation - depth and type
- Ductwork - connections and type
- Ventilation - no attic to vent
- Electrical - wiring, light connections...

PESTS

Marginal, Defective



Location: Garage

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Comments: **EVIDENCE
OF WOOD-BORING
ORGANISM** - see termite
report.

3.0 EXTERIOR

GENERAL INFORMATION

Acceptable

Items in this section have been inspected and are in ACCEPTABLE CONDITION. Issues may be listed below this section.

Exterior Doors

Main entry door: Solid Wood

Other exterior doors: Metal Skin with wood core

DECKS/PORCHES/BALCONIES STATUS - listed below to the left

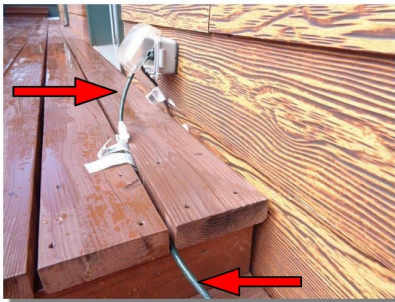
Deck boards and flashing

Hazard

Deck Type: Attached Detached

Deck Flashing: Installed Missing. Between deck and structure.

Decking Material: Wood



Location: East Left of Building

Comments: **Electrical extension cord on stairs. This can be a tripping hazard.**



Comment: **FLASHING MISSING BETWEEN DECK AND SIDING** – this helps reduce dry rot.



Deck/Patio Cover or Roof

Acceptable

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Location: South Rear of Building

Comments: Awning is operational

HANDRAILS

Hazard

Construction Material: Wood and Composit



Location: North Front of Building, East Left of Building

Comments: **HANDRAIL MISSING** - Stairs with 4 or more risers require a graspable handrail. A guardrail is not considered a handrail. The key word is graspable. A handrail should be provided on at least one side of stairways. Handrail ends should be returned to the wall or into a newel post. These can be hazards.

RISERS NOT UNIFORMED - from the bottom step to the top step. Riser(s) should not exceed 3/8 inch difference from the tallest riser to the smallest risers. This is a hazard.

4.0 GARAGE

GENERAL INFORMATION

Acceptable

Items in this section have been inspected and are in ACCEPTABLE CONDITION unless otherwise noted.

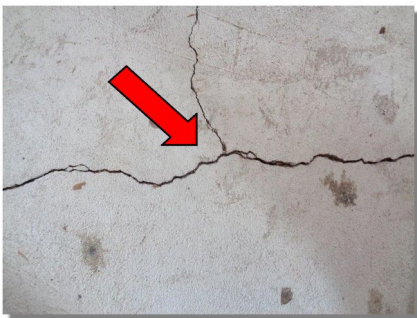


- Structure Type: Detached
- Location of entry: North
- Foundation Type: Concrete slab
- Floor: Concrete Poured slab
- Vehicle Door Type: Barn Door side-to-side.
- Exterior siding: Material Type: Wood T&G (Tongue and Groove)
- Roof: Shingle (Asphalt)
- Electrical: No issues noted in garage.

FLOOR

Marginal

Material Type: Concrete Poured slab



Location: Garage

Comments: **CONCRETE SLAB CRACKED** - recommend sealing cracks. Its possible the moisture going under the slab could have caused shifting in the ground there by cracking the slab.

FIRE SEPARATION

Hazard



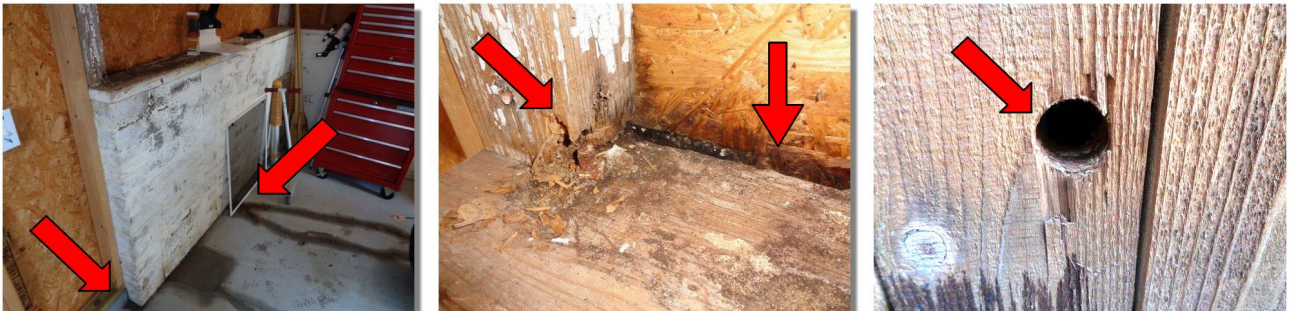
Location: South Rear of Garage

Definition of Fire Separation - a construction assembly that acts as a barrier against the spread of fire."

Comments: **FIRE SEPARATION MISSING** - missing 1/2" type x gypsum board which is required on walls between properties. This is a life safety issue."

WALLS AND CEILING

Defective



- Walls: Open framing
- Ceiling: Open framing

● Comments: South side of garage

MOISTURE COMING THROUGH WALL - to the point its running across the floor and out the other side of the garage. This should be repaired.

DRY ROT - noted at the bottom of siding. Recommend repair. Possible wood destroying insects. See Termite report.

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East side of garage

SIDING HOLED - appears a hole was drilled into the siding; however, the siding should be sealed to prevent critters, insects, and moisture from entering the wall system.

ELECTRICAL

Hazard



Location: Back side of garage. Switches outside

Comments: **UNKNOWN SWITCH USE** - recommend asking the seller or sellers agent what these switch(es) are used for.

SWITCH NOT IN WEATHER PROOF BOX - this is a safety issue.

5.0 INTERIOR

GENERAL INFORMATION

FLOORS

CEILINGS

DOOR(S)

Defective

- Interior door Construction: Hollow core



Location: Guest Bathroom

Comments: **DOOR LATCH DOES NOT CATCH PLUNGER** - Recommend repair.

7.0 KITCHEN

GENERAL INFORMATION

Acceptable

Items in this section have been inspected and are in ACCEPTABLE CONDITION. Issues may be listed below this section.



- Cooktop Energy Source: LP Liquid Propane
- Stove Source: Electric
- Microwave: Location: Mounted over the cooktop
- Refrigerator: Operational
Water Dispenser: Present Not Present
- Dishwasher: Operational with no leaking noted.
- Counter Tops: Laminate
- Cabinets: Wood
- Sinks: Stainless steel
- Faucet Style: Single handled faucet
- Water Lines: PEX (or crosslinked polyethylene)
- P-Trap and Drains: PVC
- Electrical: GFCI Outlet(s) in place
- Floors: Wood Flooring (Could be simulated)

APPLIANCES STATUS - listed below to the left

Ventilation

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Marginal

Type of ventilation for the stove: Ventless filtered hood to the inside
Condition: Operational



Comment: **VENTING PARTLY BLOCKED** - venting to the inside is ok. However, part of the vent is blocked by the cabinet above. It is designed to vent to the outside if desired.

COUNTER TOPS

Defective



Construction Material: Laminate

Comments: **SEALANT NEEDED** - where back splash and countertop meet.

8.0 BATHROOM(S)

GENERAL INFORMATION

Acceptable

Items in this section have been inspected and are in ACCEPTABLE CONDITION. Issues may be listed below this section.



- Type of doors: Hollow core
- Counter top: Construction Material: Granite
 - Cabinets: Construction Material: Wood
 - Sink Material(s): Porcelain with top mount
 - Faucet Style: Wide spread handled
 - Water lines: Pipe Material: PEX (or crosslinked polyethylene)
 - P-traps and Drains: Pipe Material: PVC
 - Functional drainage- It was observed that the waste system has functional drainage by running the water through the drains for at least 5 minutes.
 - Tubs and Showers: Material Type: Fiberglass - no cracks at the time of inspection.
 - Electrical: Outlets are GFCI protected. Lights operational
 - Toilets: No issued noted. Toilet tight to the floor.
 - Ventilation: Fan and Window
 - Floors: Wood (Could be simulated)

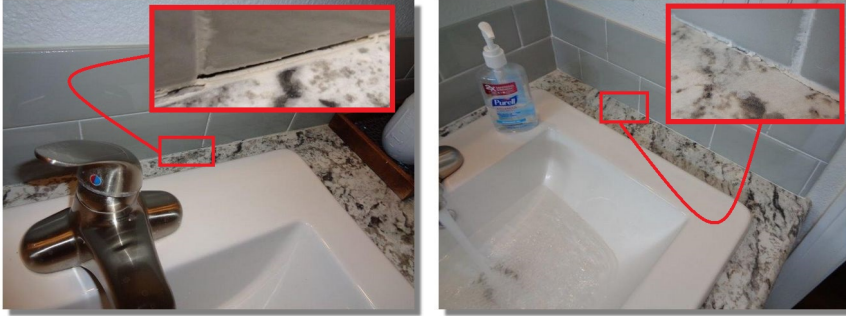
COUNTER TOPS

Defective

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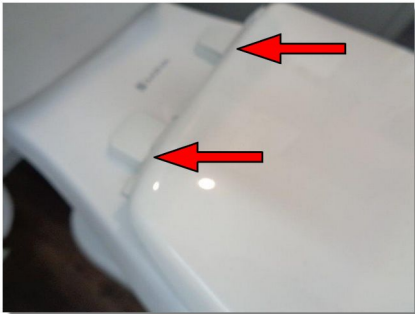
Location: Both bathrooms
Construction Material: Granite
Comments: **SEALANT NEEDED** - where back splash
and countertop meet.

TUBS AND SHOWERS STATUS - listed below to the left

TOILETS

Marginal

Toilet Type: Down-flush



Location: Guest Bathroom
Comments: **TOILET LID LOOSE** - recommend repair.

9.0 LAUNDRY ROOM/AREA

GENERAL INFORMATION

Acceptable

Items in this section have been inspected and are in ACCEPTABLE CONDITION.
Issues may be listed below this section.



- Washer: Ran one cycle through the washing machine for the inspection
Washer Energy Type: Electric
Washer Hose Bibs: No issues noted. No leaks noted.
Dryer: Ran one cycle through the dryer for the inspection
Dryer Energy Type: Electric
Dryer Vent: No issues noted
- Ventilation: Exhaust Fan: Fan only

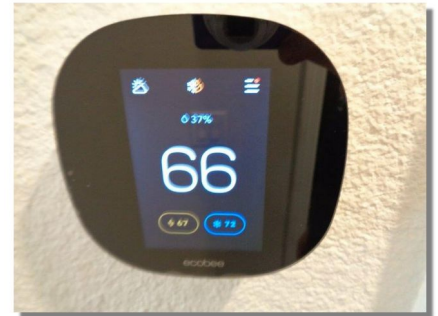
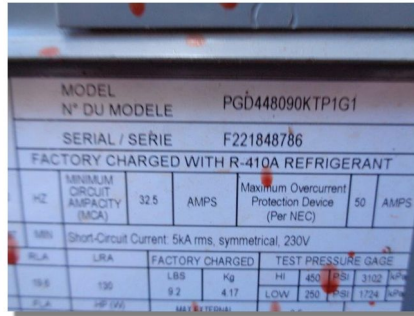
10.0 HVAC HEATING AND COOLING

HEATING STATUS - listed below to the left

GENERAL INFORMATION

Acceptable

Items in this section have been inspected and are in ACCEPTABLE CONDITION.
 Issues may be listed below this section.



Location: West Right of Building

- Equipment Type: Dual Pack / Gas-Pack (gas heat, electric cooled)
- Manufacture: Day and Night
- Data Plate: Shows more information
 Year Manufactured: 2022
 Model Number: PGD448090KTP1G1
 Serial Number: F221848786
- Energy Type: Electric Gas
- Capacity or Size: 4 Ton
- Controls: Thermostat. Located: Living room
- Automatic Safety Controls: Hi Lo limit switch are present Yes No Not visible
- Distribution: Flexible Ductwork
- Heat source: Present in each room

Platform

COOLING STATUS - listed below to the left

GENERAL INFORMATION

Acceptable

Items in this section have been inspected and are in ACCEPTABLE CONDITION.
 Issues may be listed below this section.

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- Type of Coolant: R-410A or HCFC R-410A
- Refrigerant Lines: Coolant lines have Insulation around them.
- Air Filter: Disposable fiberglass filter
- Air Handler: Located: Attached to unit.. Fin condition: No issues noted
- Removal of condensate thru: PVC.

Temperature Differentials

Partial

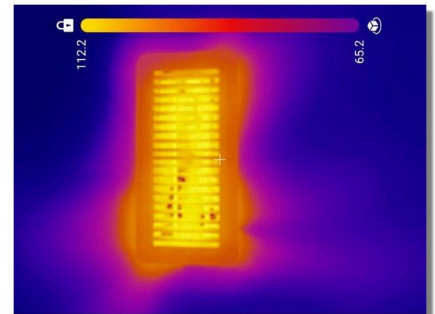
COOLING



RETURN AIR



HEATING



HEATING DIFFERENTIAL: noted at the time of inspection. Measurements are taken from the Return Air (intake air) to one of the registers (output). Heating should be close to 30 degrees higher than the return air and a cooling difference of 14 (older) to 20 (Newer) lower than the air return. Buyer may want to get an HVAC contractor if the differentials are far from the ideal. Measured differentials were:

Heating differential 44 degrees Fahrenheit

Comments: **COOLING DIFFERENTIAL NOT TAKEN:** When the ambient temperatures are below 65 degrees, the cooling will not give a 20 degree difference because the load is not great enough to pull the temperatures lower. This can also damage the unit.

11.0 PLUMBING SYSTEM

GENERAL INFORMATION

Acceptable

Items in this section have been inspected and are in ACCEPTABLE CONDITION. Issues may be listed below this section.



- WATER SUPPLY
 - Located: Laundry room
 - Supplied by: RV Park Mutual Supply
 - Shut off Valve Type: Quarter turn valve
 - Back flow Installed: Yes No Unknown
 - Anti-syphon devices installed Yes No

- WATER LINES
 - Water Line material: PEX (or crosslinked polyethylene).
 - Water Pressure: 48 PSI
 - Water Flow (Functional Flow): 05 gallons per minute. Flow meter used.
 - Pipe Supports: Yes No Issue
 - Pipe Insulation: Yes No Issue

- SEWER/WASTE WATER
 - Sewer Type: Septic System. Should be inspected by a qualified Plumber.
 - Septic Location: Unknown
 - Pipe Material: ABS

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Functional drainage- It was observed that the waste system has functional drainage by running the water through the drains for at least 5 minutes.

Clean out locations: West Right of Building, Garage, East

Vents Pipes: ABS

- WATER HEATER - should be flushed once a year for optimal water quality.
Location: Outside closet
Water Heater Type: Electric Gas
Year Manufactured: 2020
Capacity : 40 gallon tank
Area Served: Whole House
Drain pan: drains to the outside.

FAUCETS/SPIGOTS

Defective



- Location: West Right of Building around the building.
- Faucet Type(s): Gate Valve

Comments:

ANTI SIPHON DEVICE MISSING - This prevents water from siphoning back into the water supply in case of a water brake.

FAUCET EXPOSED TO COLD WEATHER - can freeze during winter months. This is not a frost free faucet. What works for some people is placing a frost free hydrant that is two feet under ground. Insulation does not keep it from freezing.

12.0 WATER HEATER

Defective

Temperature Pressure Relief Valve



Location: Water heater closet

Comments: **TPRV NOT PIPED TO THE OUTSIDE** - Temperature Pressure Relief valve (TPRV) and drain pan should discharge to the outside and termination at a point that is readily observable by occupants. Currently piped to the crawl space which is not acceptable.

Defective



Location: Water heater closet

Comments: **COLD WATER VALVE MISSING** - from water heater. This helps when installing a new water heater.

13.0 ELECTRICAL

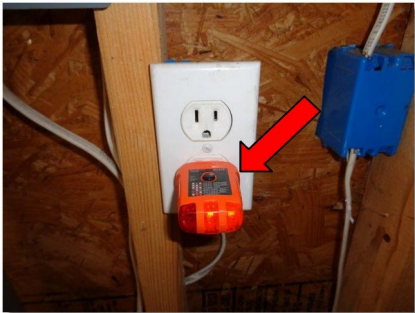
GENERAL INFORMATION

GFCI(s)

Hazard

GFCI (Ground Fault Circuit Interrupt) - check mark means there is an issue, see comments below.

- Bathroom / Restroom
- Kitchen outlets
- All exterior outlets (should also be in weather protected box).
- Garage outlets
- Shed(s)
- Crawlspace



Location: Garage

Comments: **GFCI OUTLETS MISSING** - this is a hazard.
Recommend installation.

ARC FAULTS

Hazard

Note: An arc fault interrupters are designed for an unintended arc created by current flowing through an unplanned path. These started be required in 1999. Regardless of when they were required, they should be considered for the safety of the occupants. They are required in the following locations:

- Kitchens
- Family rooms
- Dining rooms
- Living rooms
- Parlors
- Libraries
- Bedrooms
- Sunrooms
- Recreations rooms
- Closets
- Hallways
- Laundry areas

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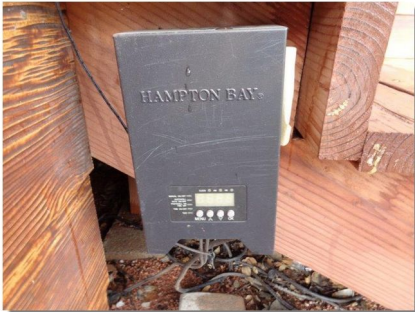
- Dens
- Similar rooms



Comments: **ARC FAULTS MISSING** - These started being required in bedrooms about 2005. However; Arc faults should be considered in bedrooms as a safety precaution regardless of when they were required.

LIGHTS

Not Inspected



A representative number of lights were inspected.

Location: Under deck stairs

Comments: **Yard lighting controller** - This is beyond the scope of this inspection.

SMOKE DETECTORS

Hazard

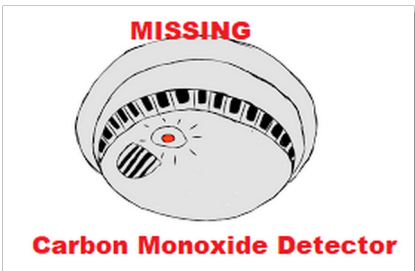


Location: Hallway

Comments: **SMOKE ALARM(S) MISSING** - should be in each bedroom and outside each bedroom. This is a life safety issue.

CARBON MONOXIDE ALARMS

Hazard



CARBON MONOXIDE LOCATIONS - required locations. Check marks means there is an issue, see comment below..

- One in each bedroom
- In the immediate area outside of each bedroom

Comments: **CARBON MONOXIDE DETECTION MISSING** - recommend installation. This is a life safety issue.

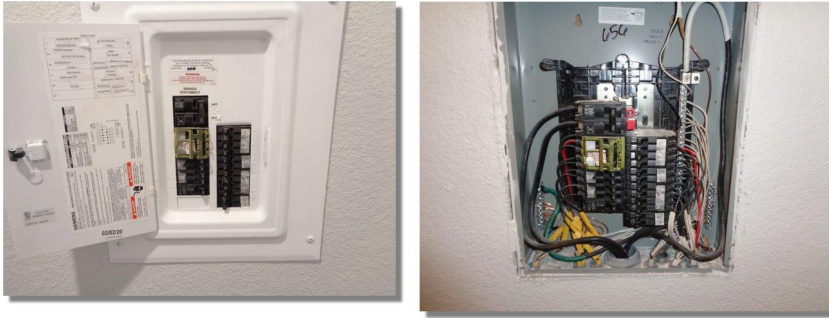
SUB PANEL 1

Acceptable

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Location of Panel: Laundry room
Manufacture: Seimens
Labeled as required.
Electrical wiring appears to be serviceable at the time of inspection. Unless otherwise noted.
There are 1 additional breaker slots left in the panel.
Thermal Scan shows not hot spots.

SUB PANEL 2

Hazard

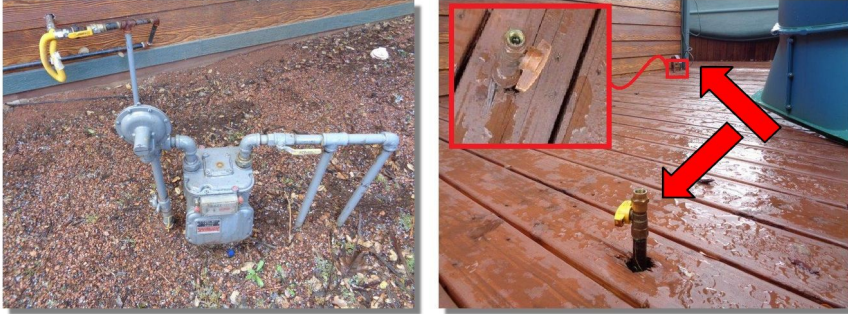


Location of Panel: Garage
Manufacture: Square D
Electrical wiring appears to be serviceable at the time of inspection.
There are 5 additional breaker slots left in the panel.
Thermal Scan shows no hot spots.

Comment: **LABELING INSUFFICIENT** - Panel not labeled to current standards, some or all breakers need labeling. This is a safety hazard.

15.0GAS

GAS SUPPLY



Location: East Left of Building

Gas Supply:

- Tank Meter
- (LP) Liquid Propane
- Natural Gas

Comment:

GAS METER - The gas meter is beyond the scope of this inspection and is the responsibility of the gas supplier. Gas was on during inspection and gas appliances were checked. Photo is provided to show placement of the meter.

16.0 SPA

GENERAL INFORMATON

Cleaning System

Gauges and Controls

Water Supply and Drains

Electrical

Blower

Safe Devices