

63-67 NEWINGTON CAUSEWAY

1. INTRODUCTION - TRIBE & ACA STUDIOS

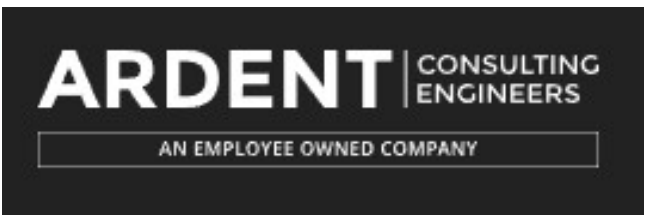
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Your Tribe was established in 2020 to help solve the undersupply of student housing in the capital. Since then, they have acquired 11 sites across London, of which 2 are now open and operational, an additional 4 have planning permission and are under construction, 3 are pending determination having been submitted for planning in 2023, and 2 more are currently in pre-app. Tribe work with universities and operators to deliver schemes in the right locations for students, in close proximity to campuses and public transport, and to provide high quality design, amenity space and importantly the workspaces that modern students desire.

- Relationships with:
- University of London
 - University of the Arts London
 - London South Bank University
 - Imperial College
 - Kings College London
 - University of Greenwich



ACA Studios is an award-winning practice known for its innovative designs and its ability to deliver complex schemes that enhance their environment. We have a diverse portfolio of projects, ranging from residential, commercial, hospitality, and institutional buildings to urban regeneration and master planning. Our design philosophy focuses on creating functional, environmentally responsible spaces that meet the needs of our clients and the communities they serve. Our proposals examine how developments respond on a variety of scales within the context and incorporate sustainable design principles throughout the process. We also place a strong emphasis on collaboration, working closely with clients, stakeholders, and other design professionals to create integrated and holistic solutions.



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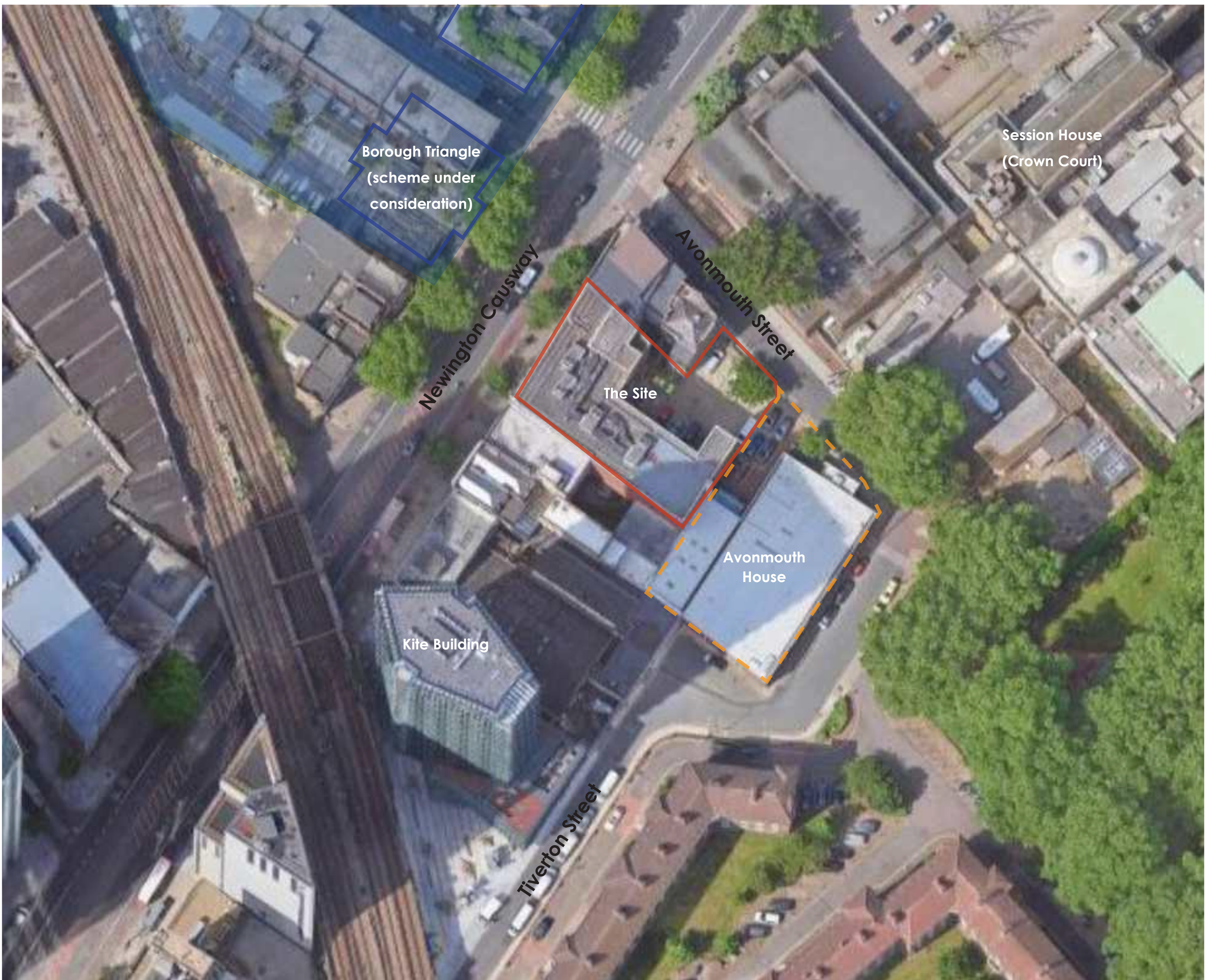
2. CONTEXTUAL ANALYSIS

- The site is located in the Elephant and Castle Regeneration area and is very well connected to public transport with a PTAL of 6b.
- There are a number of significant recent new developments in the area as well as some recent planning approvals of a variety of heights and uses.
- There is also a major new development proposed directly opposite our site at the Borough Triangle which has been submitted for planning.
- The site has two street aspects with access available from both Newington Causeway and Avonmouth Street.
- Avonmouth House, which sits to the southeast of the site, is currently under construction. This will be a 16-storey building containing 226 PBSA rooms and office space. This building has been developed and will be operated by Tribe when completed.

Neighbouring Developments - Proposed/Emerging



^ Rockingham Street ^ Avonmouth House



^ Aerial view from above (www.google.co.uk/maps/)



^ Harper Road ^ Borough Triangle



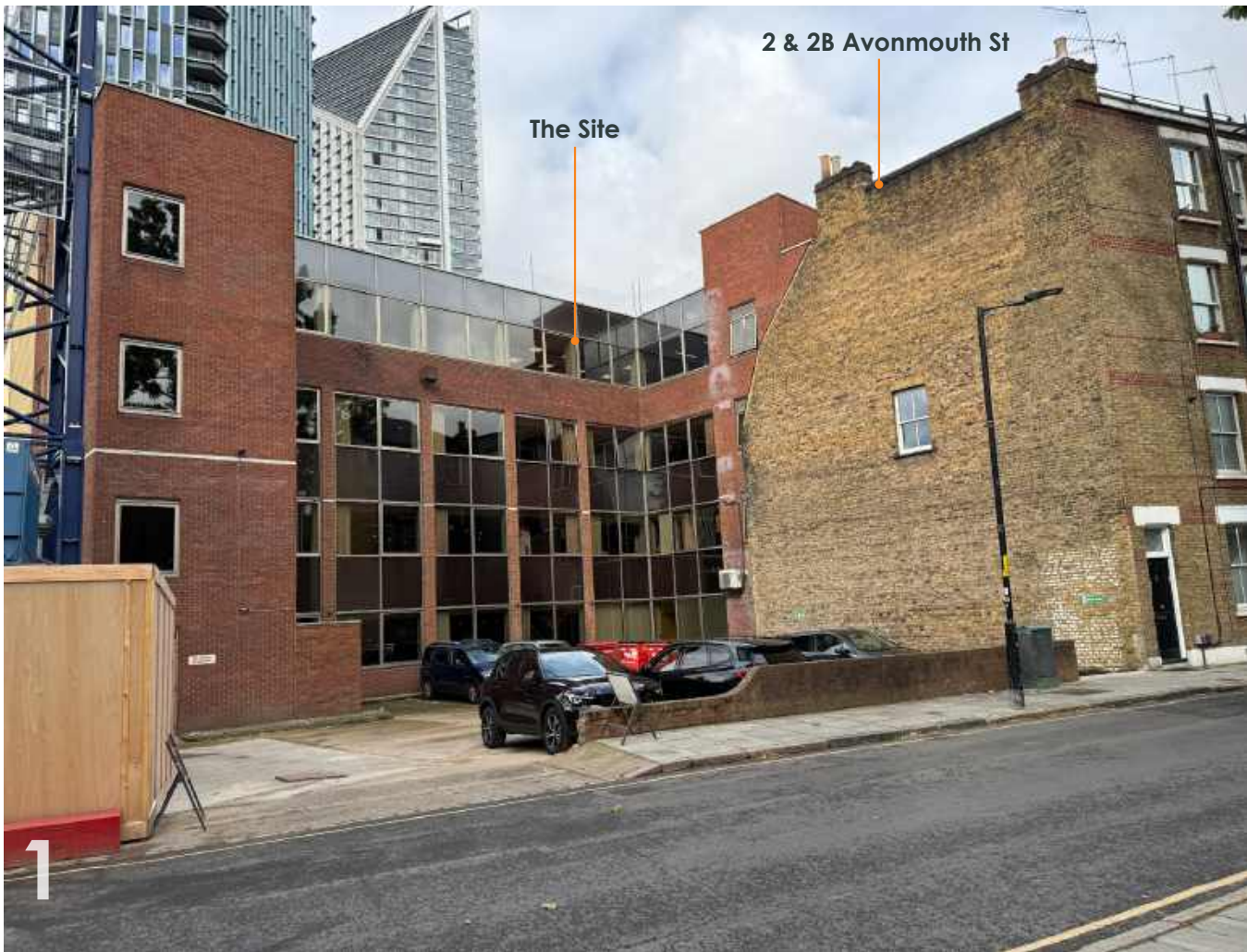
^ Aerial view from East (www.google.co.uk/maps/)



^ Aerial view from West (www.google.co.uk/maps/)



^ Aerial view from South (www.google.co.uk/maps/)



^ Site Photo - Avonmouth Street



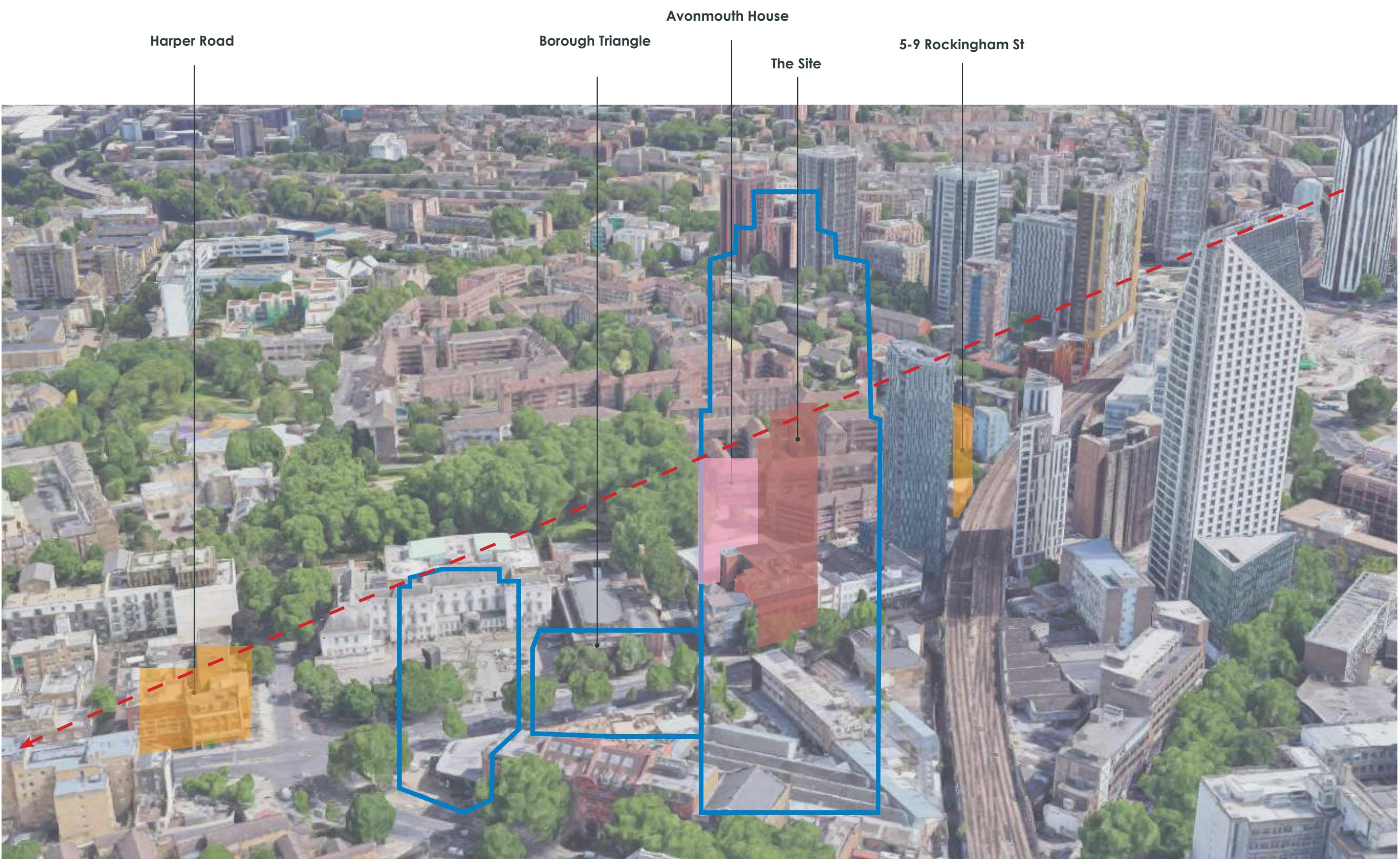
^ Site Photo - Newington Causeway

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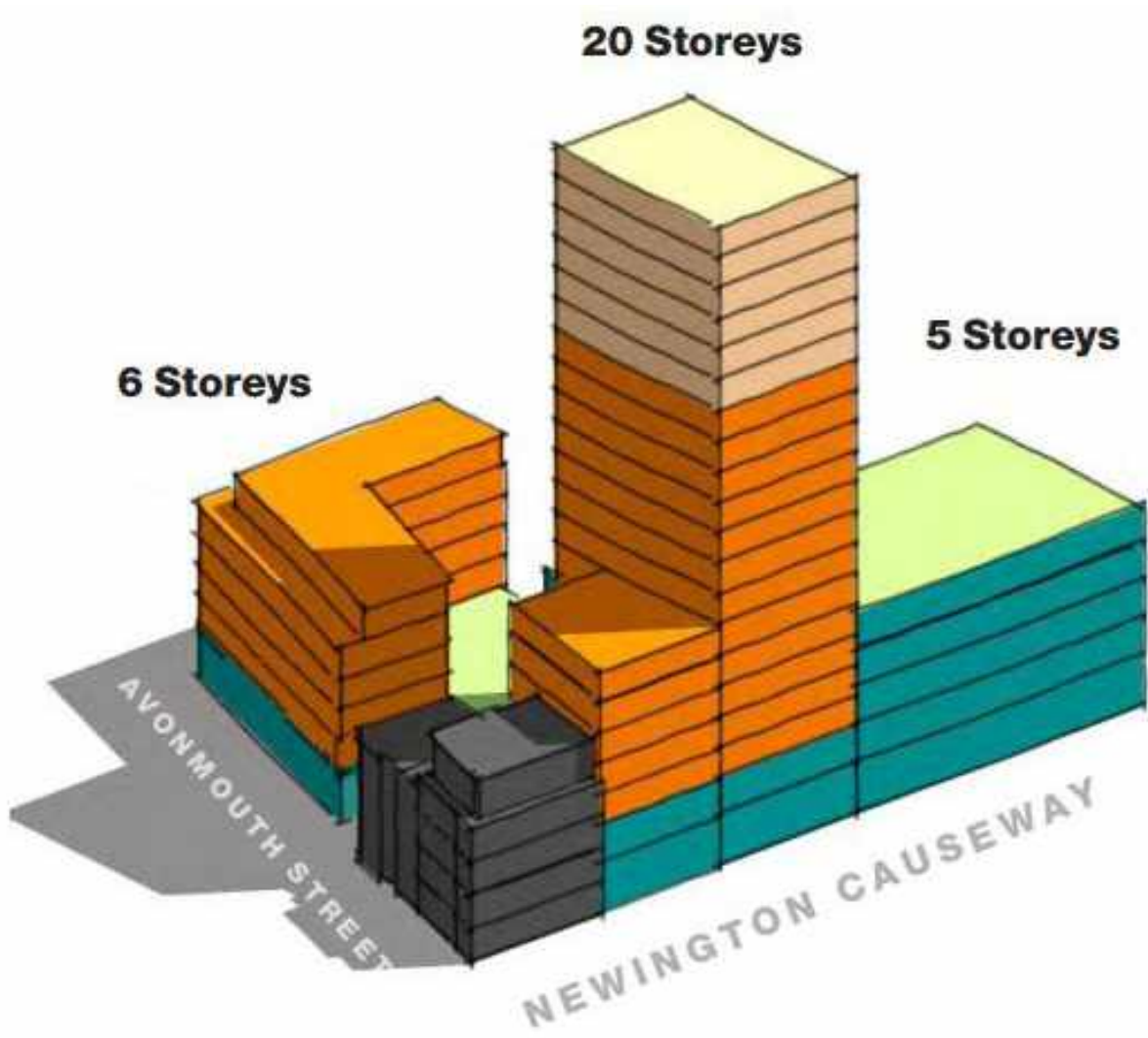
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3. CONTEXTUAL ANALYSIS

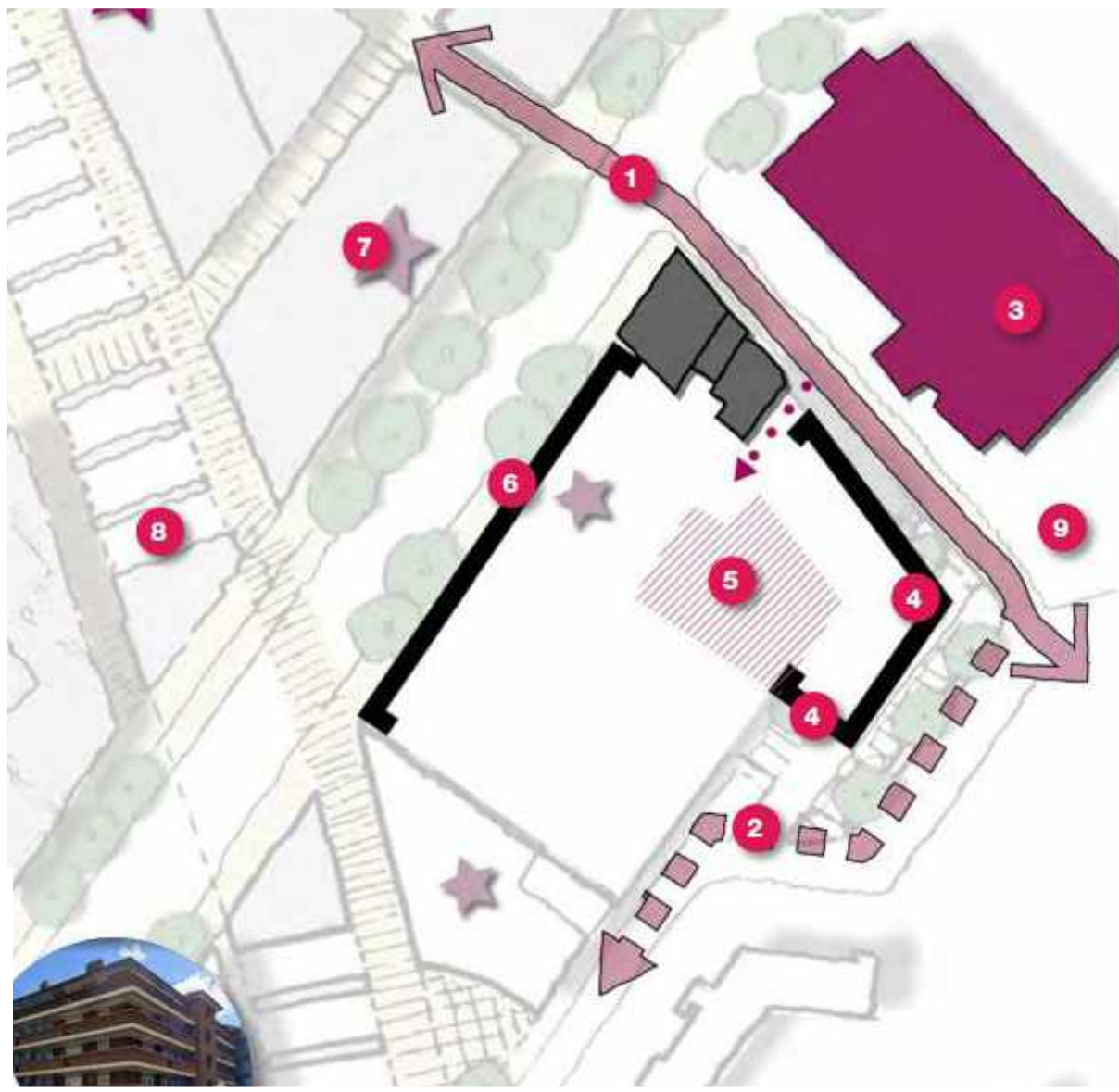
- In 2021 a Framework Masterplan for the Elephant and Castle Town Centre was prepared by Tibbalds in collaboration with Southwark Council to explore future development potential within the Town Centre. It must be noted that the framework masterplan does not hold any policy status, and therefore attracts little weight. Notwithstanding this, principles from the framework document were reflected within the Site Allocation requirements for NSP46, namely the requirement to activate frontages on Newington Causeway and for proposals to consider the settings of nearby heritage assets.
- Regarding height within the NSP46 allocation, the framework masterplan demonstrated that Coburg House could support a development of circa 20 storeys as part of a massing hierarchy approach to development on Newington Causeway. It advocated for development on the perimeter of the Town Centre boundaries being at a lower height (e.g. Avonmouth House), with development then 'stepping in scale' as one would move south along Newington Causeway past Coburg House, the Kite building, and to a maximum height at the Signal building. This approach is again considered appropriate when viewing the Town Centre from the east, with Avonmouth House again at the lowest height, then a step up in scale to Coburg House, with another transition to a maximum height within the Borough Triangle development.
- This Tibbalds framework masterplan has assisted us in testing the maximum height potential of the proposed development whilst still being compliant with the key requirements identified within Site Allocation NSP46.



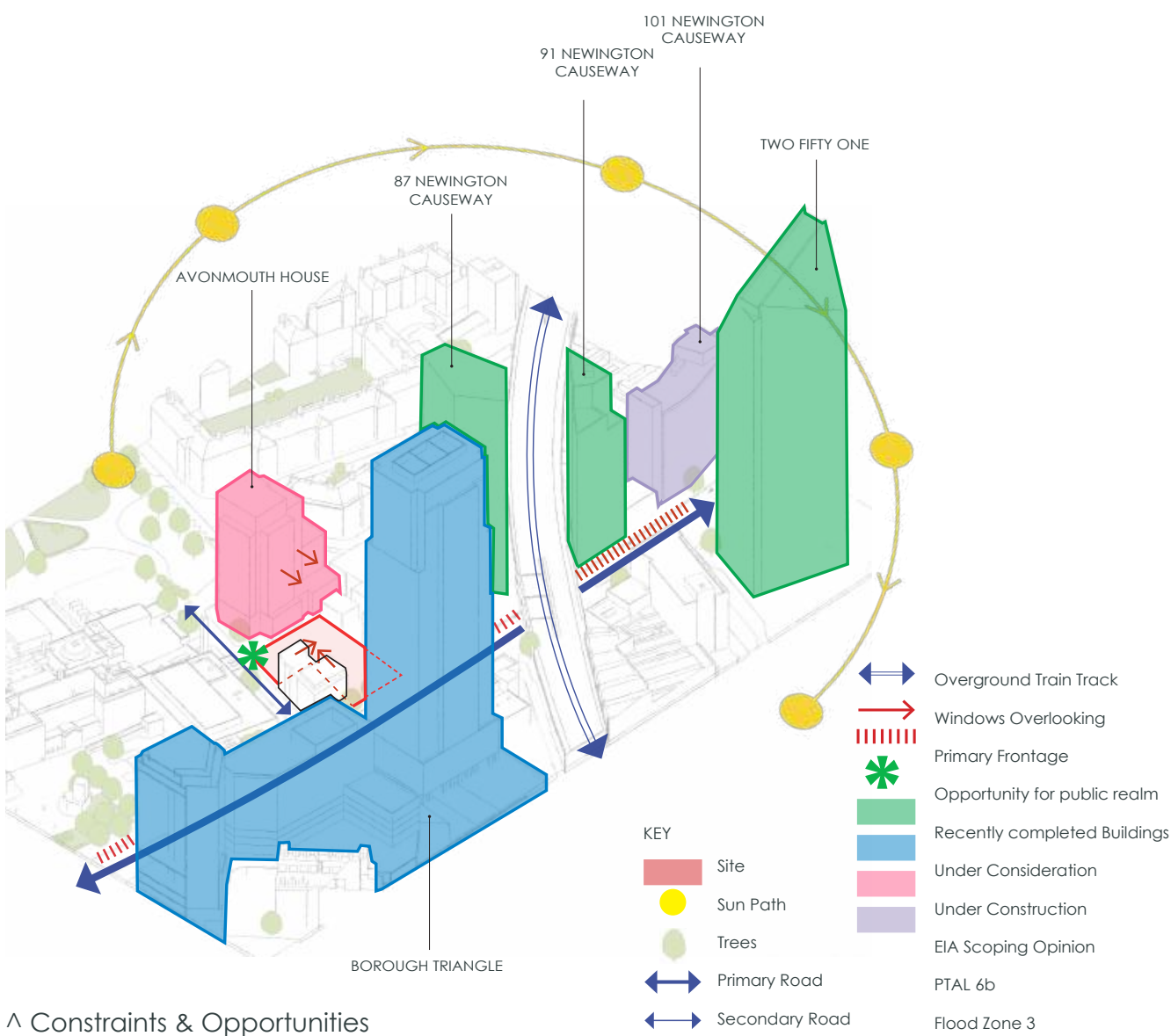
Masterplan Proposal Overview



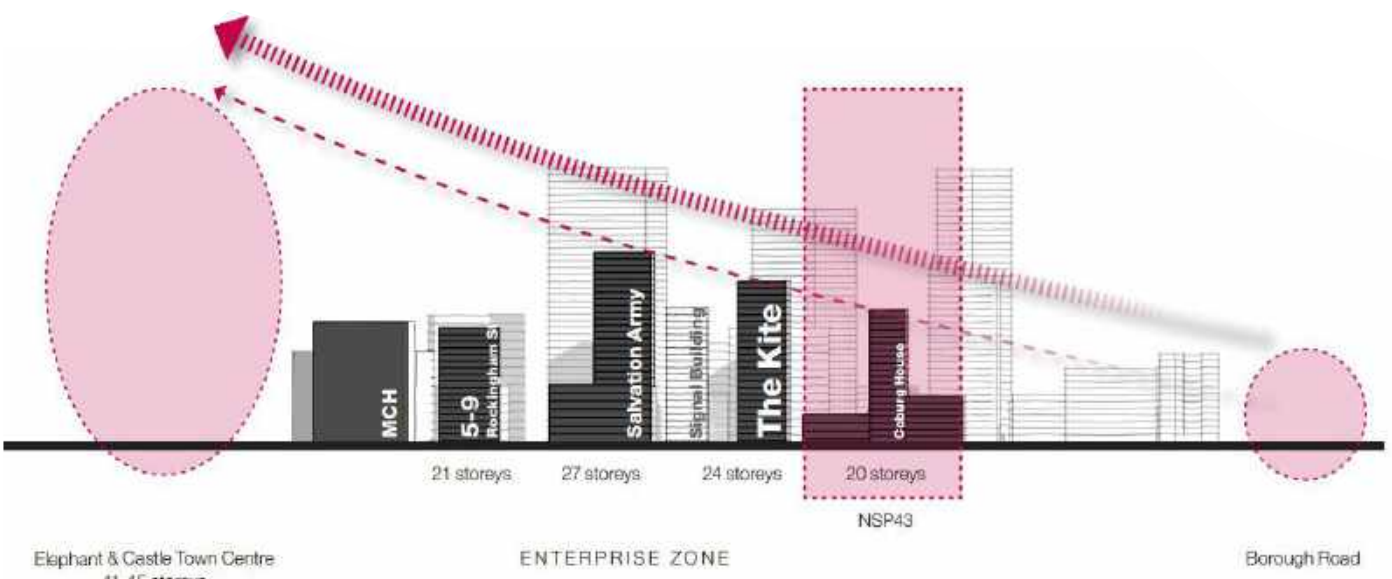
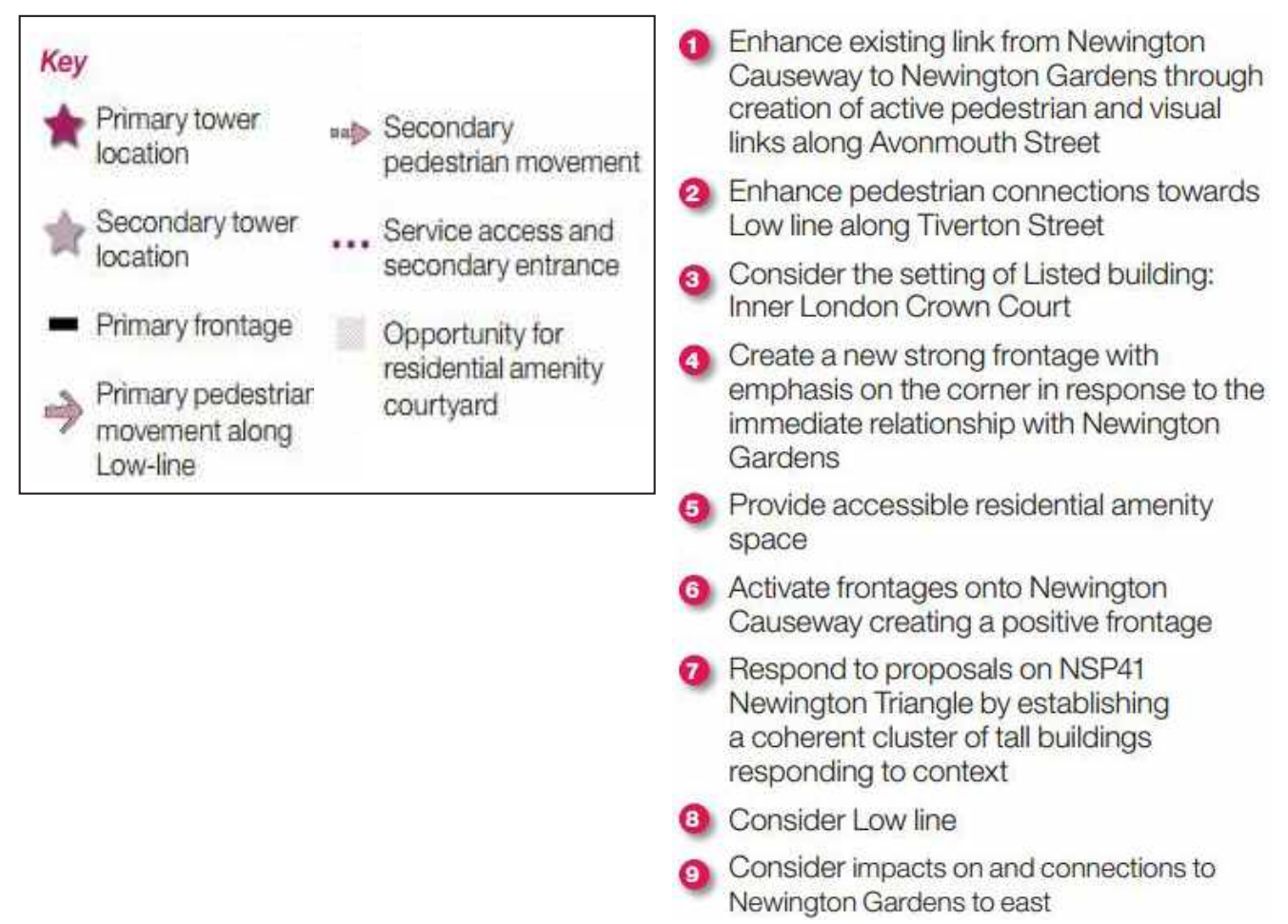
Urban Design Framework: Envelope concept & massing



Urban Design Framework: Site Specific Analysis



^ Constraints & Opportunities



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4. VISION & DESIGN DEVELOPMENT

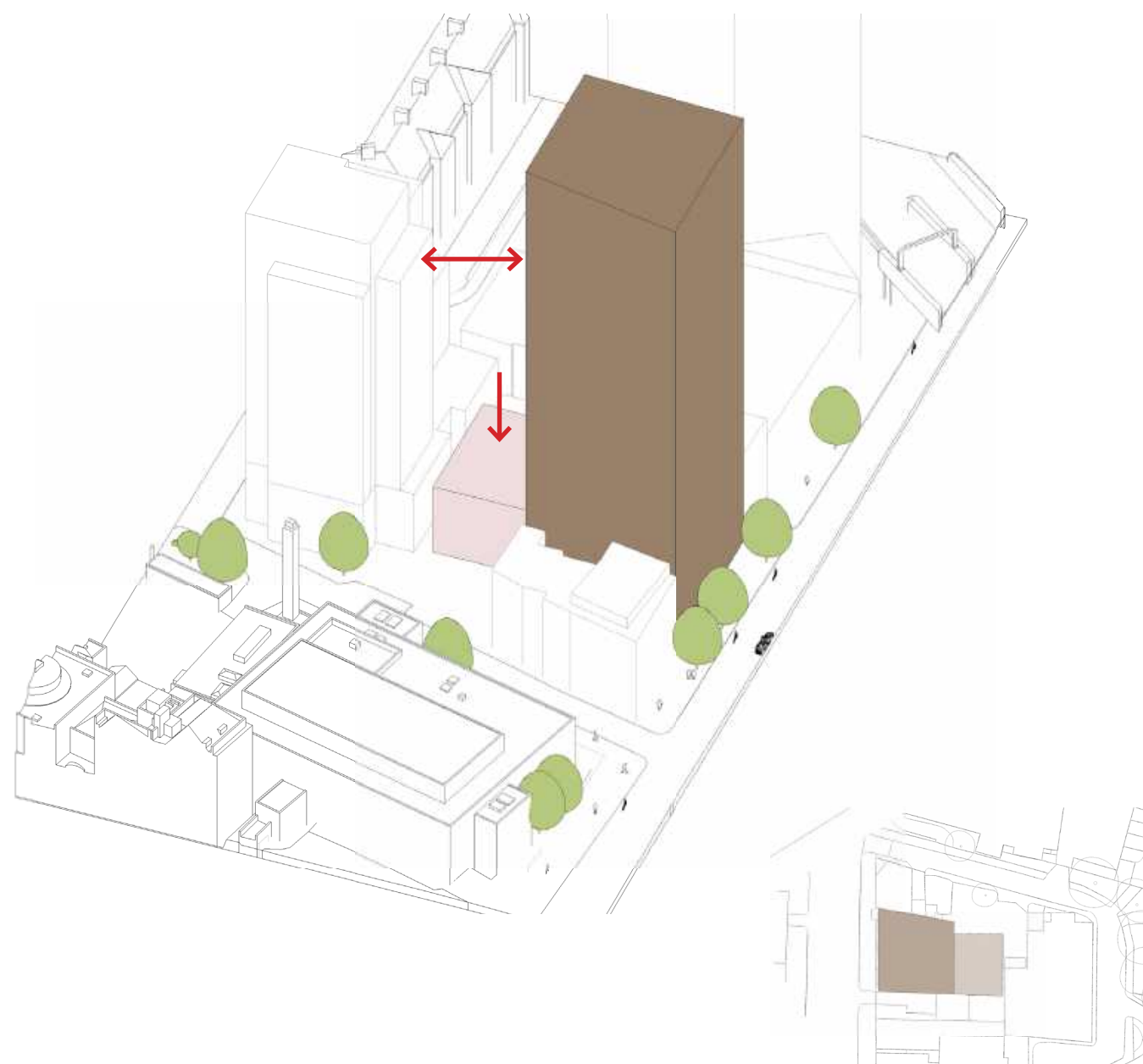
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Our vision is to re-provide the existing office with high quality space upgraded to modern standards. To meet the regeneration aspirations of the borough we are proposing student accommodation above as the location is ideally located with good access to public transport, in close proximity to a number of universities and neighbouring the Avonmouth House building currently under construction.

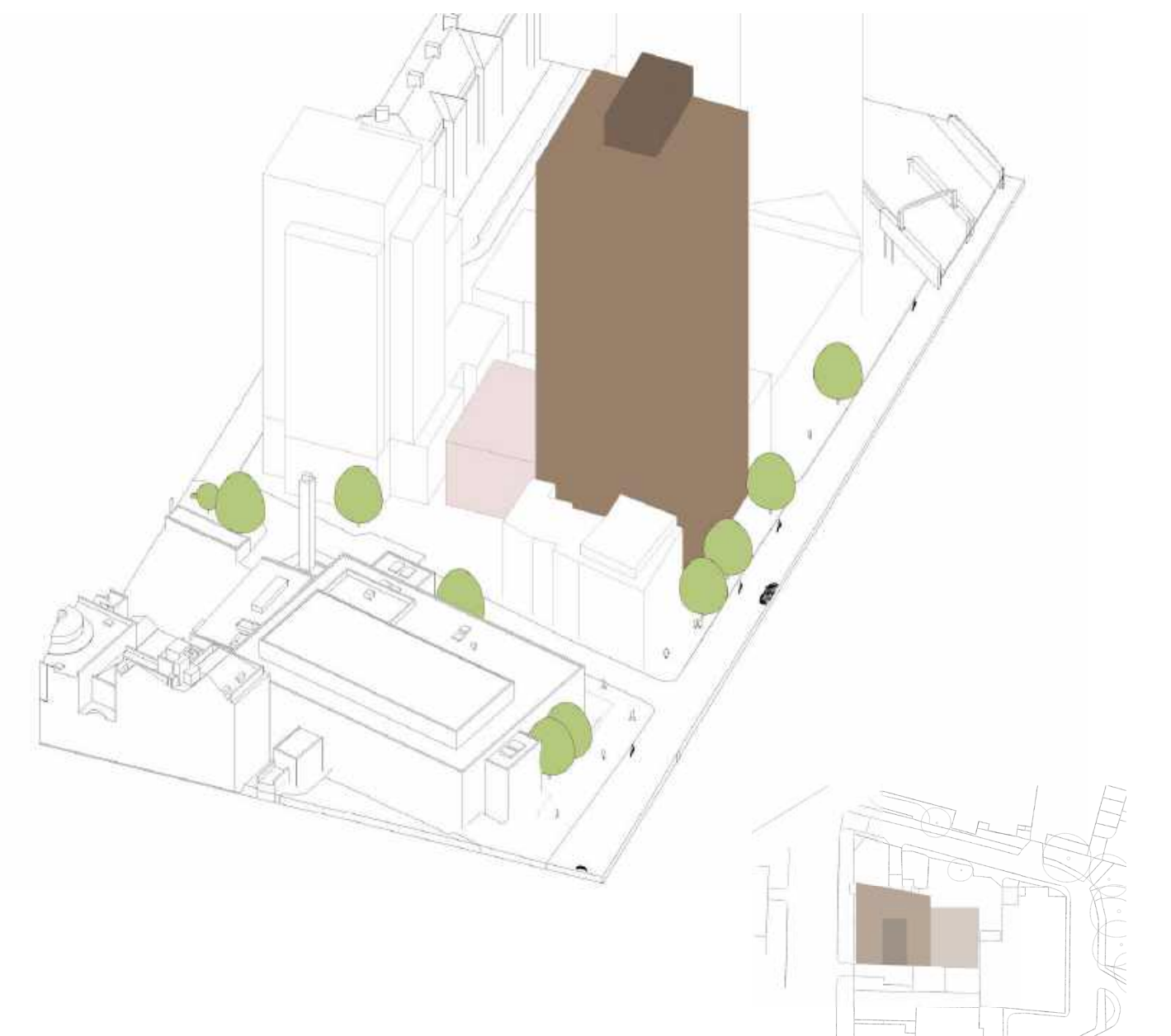
When looking at alternative uses on the site we quickly established that a standard residential development only allowed for four flats per floor which made the development very inefficient.

Key initial drivers for the design were:

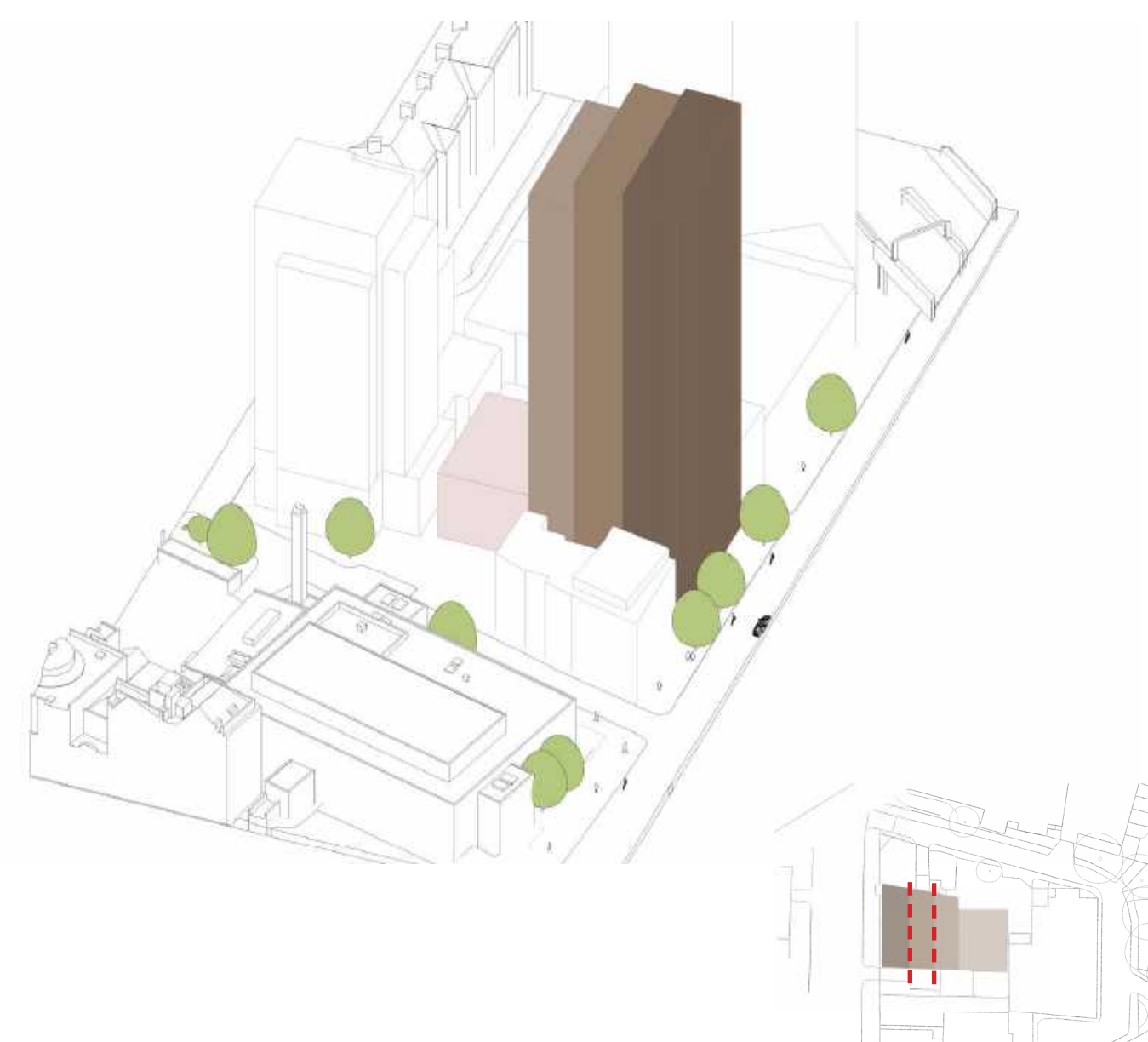
- Separating the two uses by utilising the opportunity of the two the separate street frontages.
- An unbroken commercial frontage to Newington Causeway for the commercial use
- PBSA entrance and amenity located off Avonmouth Street with a relationship with Avonmouth House
- An awareness of the proximity of neighbouring windows and modelling the building form to minimise any impacts, particularly at 2 Avonmouth Street.
- How the building will fit into Newington Causeway and integrate into the shoulder of the existing street
- Key heritage and townscape views in particular from Trinity Church Square and the Crown Court.
- Awareness of recent buildings and the emerging context in the area and how our proposal will fit into this changing part of the city
- Requirement for off street servicing from Avonmouth Street due to restrictions on Newington Causeway
- Fire safety and the requirement for dual staircases and separate escape routes from each of the uses due to the project being a Higher Risk Building.



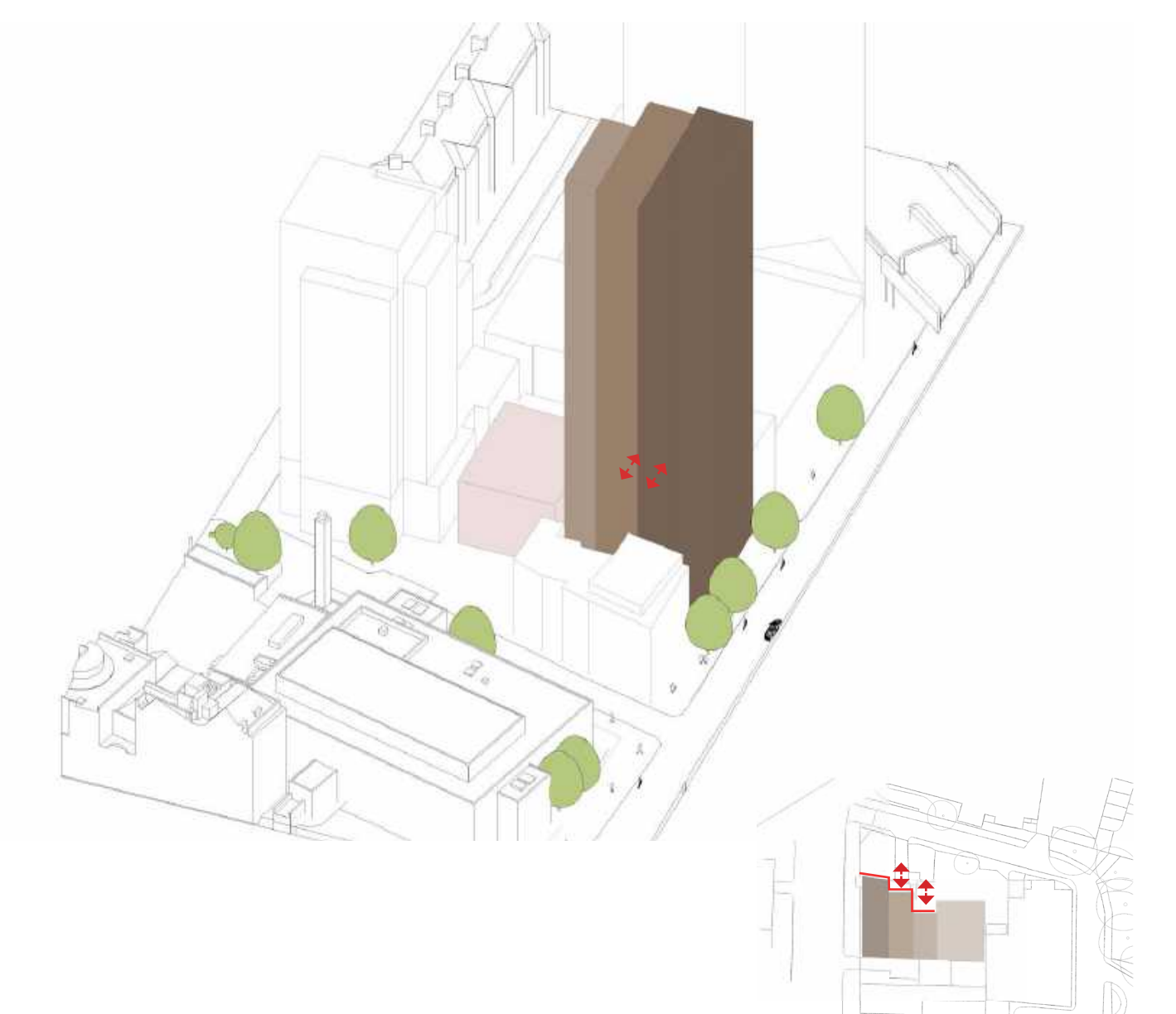
1. Establishing Heights: Proposed scheme height to correspond to the neighbouring buildings. Reduction in height of the rear to provide space between proposal and Avonmouth House.



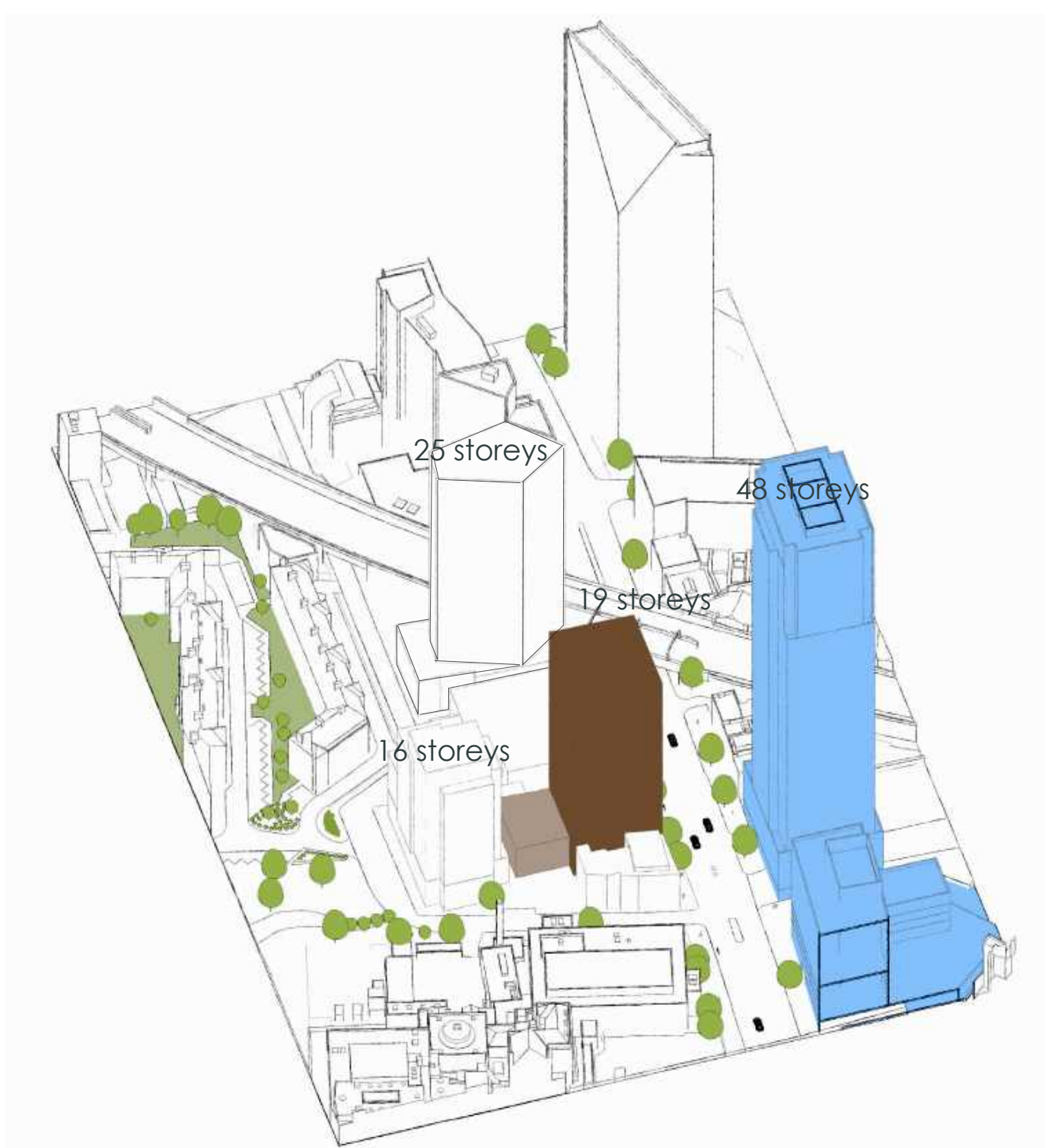
2. Core Allocation: A central core is the most logical position for an efficient layout, while also having the potential to act as an expressed element that provides verticality to the facade



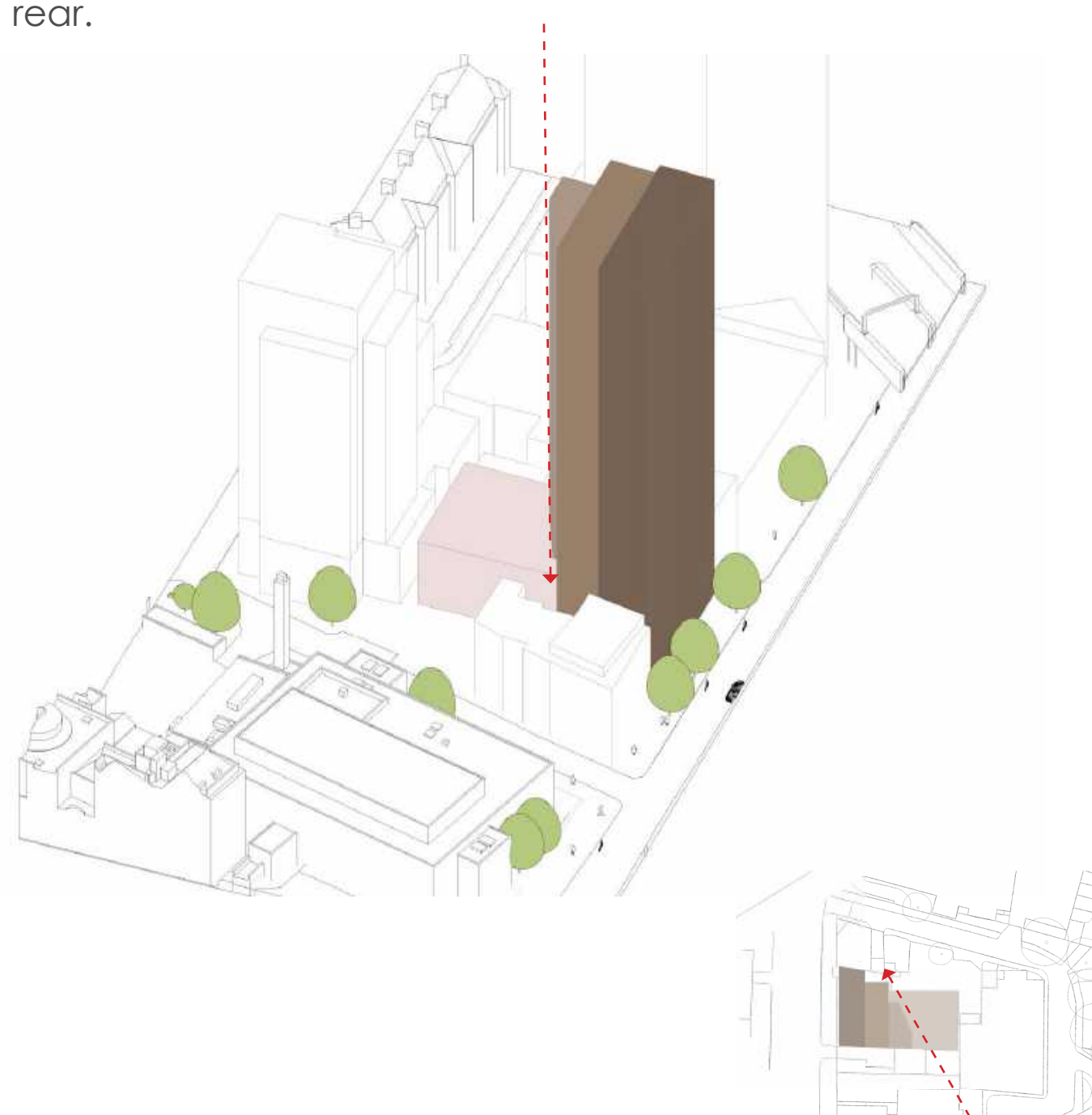
3. Massing Division: We explored dividing the length of the building vertically and reduced the mass of the building to the rear.



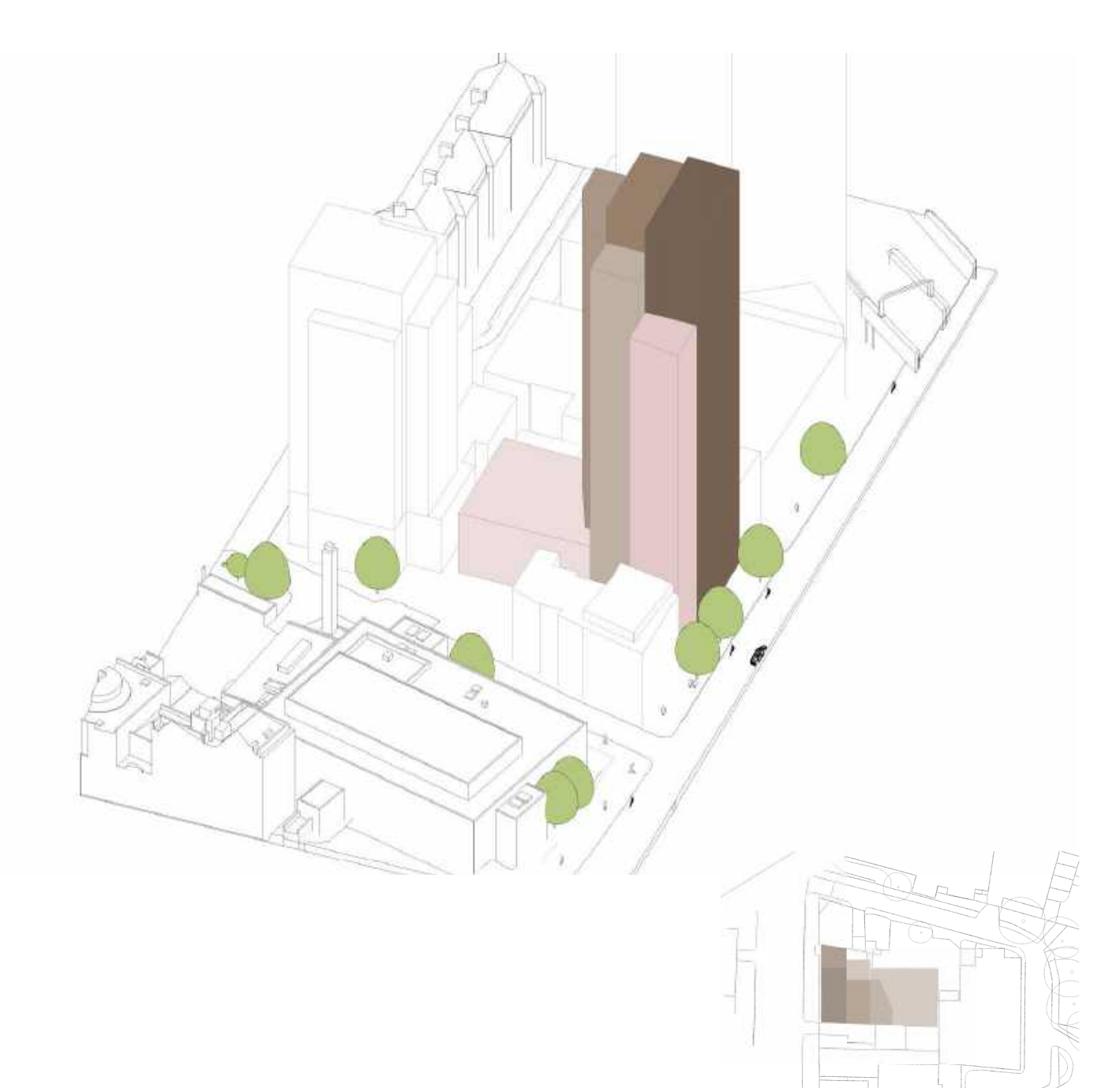
4. Set Back: Pulling away from the properties facing Avonmouth Street further modulated these vertical elements.



▲ Massing Evolution



5. Allow Visibility: Cutting away the rear vertical form to allow daylight to penetrate further into neighbouring windows.



6. Massing Refinement: Breaking down these vertical elements further has the potential to express the different functions of these spaces, and break up the shape of the building on the skyline.

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5. DESIGN DEVELOPMENT

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PRE APP 1

We presented a scheme that was well received

Benefits:

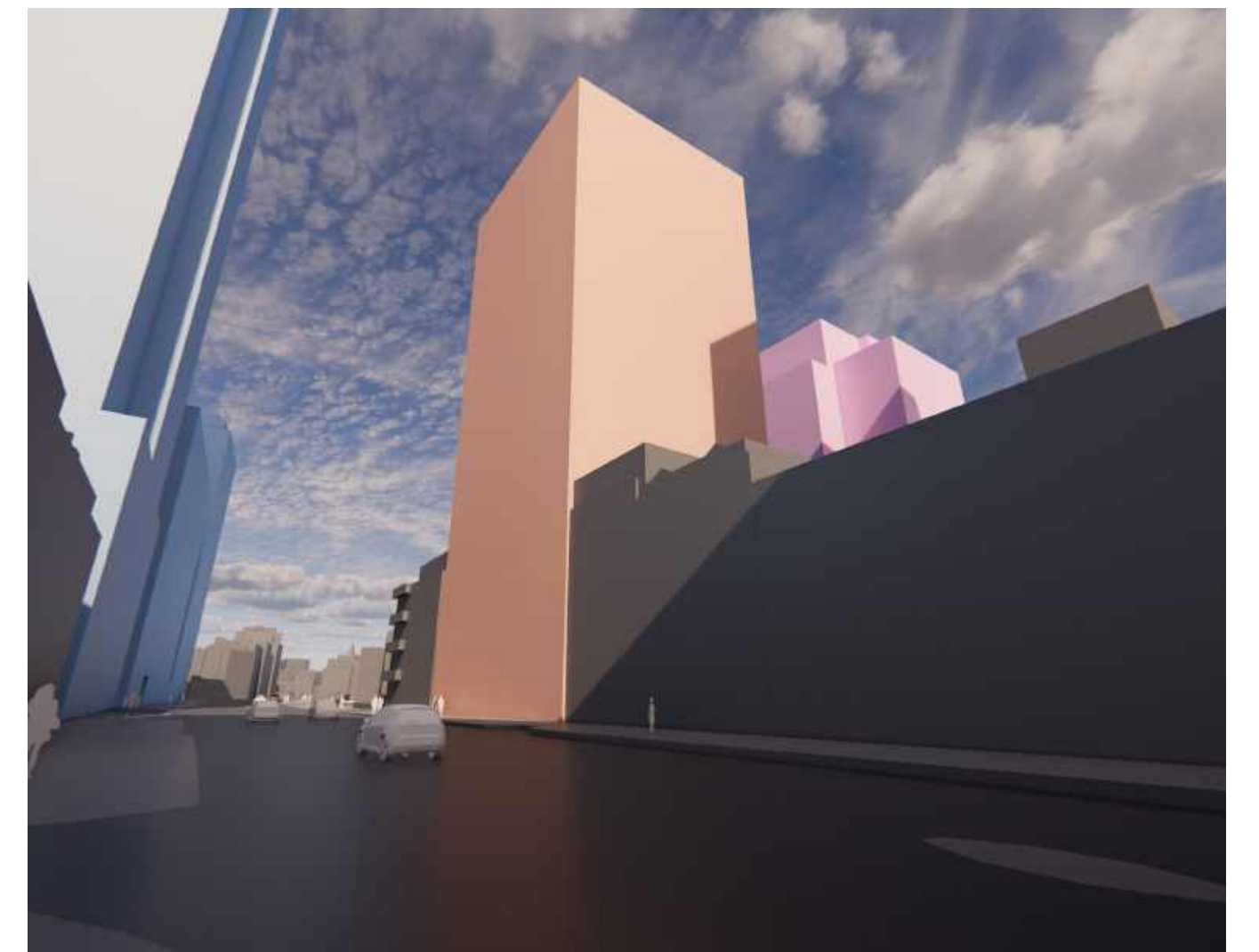
- The plan form was felt to be good but it was suggested that a few more options were to be explored to pull away from the boundaries. This would allow an increase windows on the flanks
- Reducing the distance between the rear of the proposal and Avonmouth House was suggested could be explored.

Drawbacks:

- It was felt that the proposal was too high and had impact on heritage assets, therefore officers were inclined towards a height reduction of the proposal.
- Due to the footprint of the proposal it was suggested it was not necessary to step the upper floors of the building.
- There was concern that the basement commercial space would be dark and of poor quality.



^ Typical Sitewide Floor Plan



^ Newington Causeway Street View

PRE APP 2 - Option testing 1

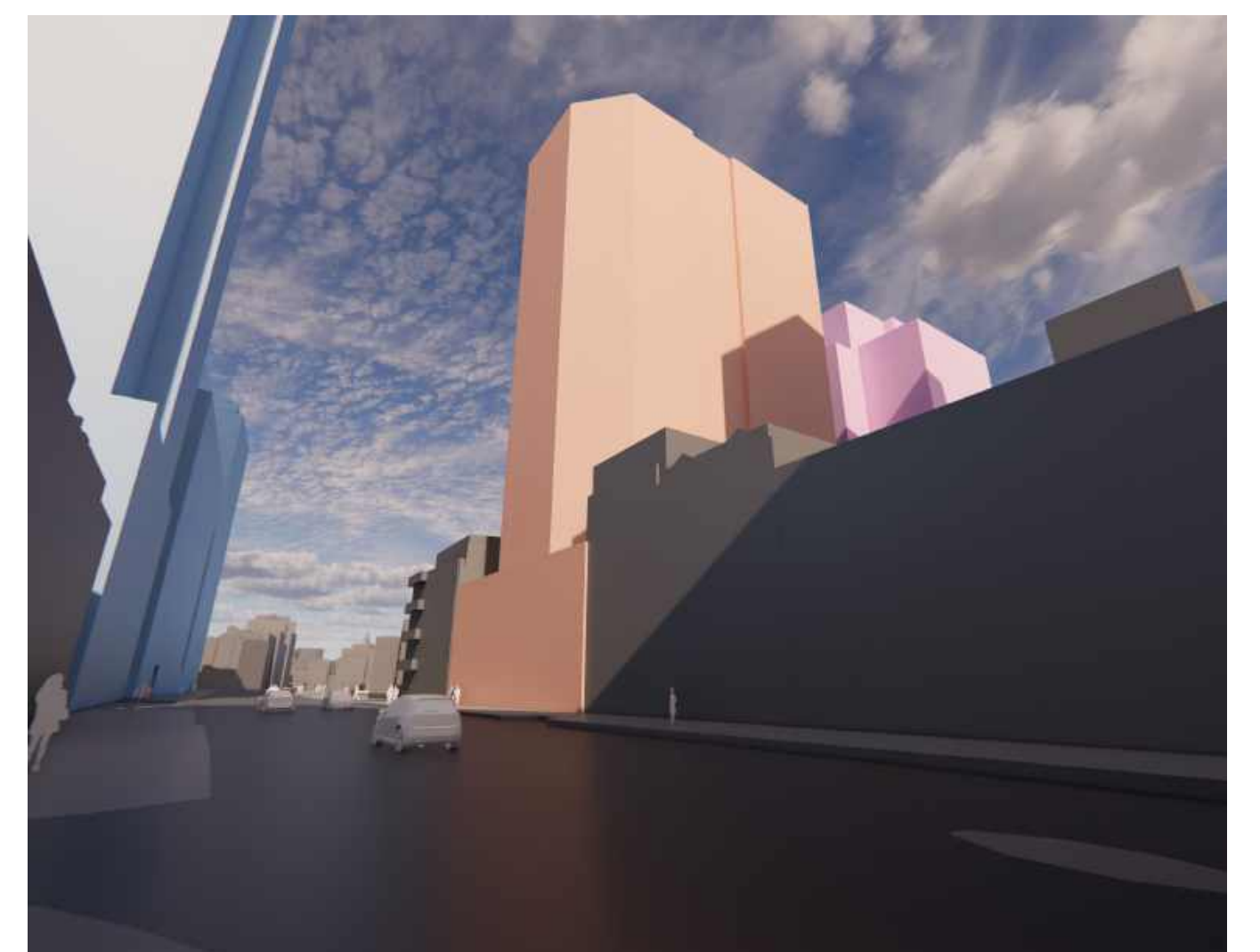
We explored an alternative layout that pushed closer to 6 Avonmouth Street but kept a blank facade facing it. The plan orientated predominantly NE and SW with dual aspect.

Benefits:

- Pulled in from the boundary edges so a large amount of windows could be achieved on the NE facade
- Simple geometric form that compliments the Kite building
- Efficient plan form

Drawbacks:

- Closer to 6 Avonmouth Street
- Flank elevation very prominent from Harper Road
- Does not optimize site capacity



PRE APP 2 - Option testing 2

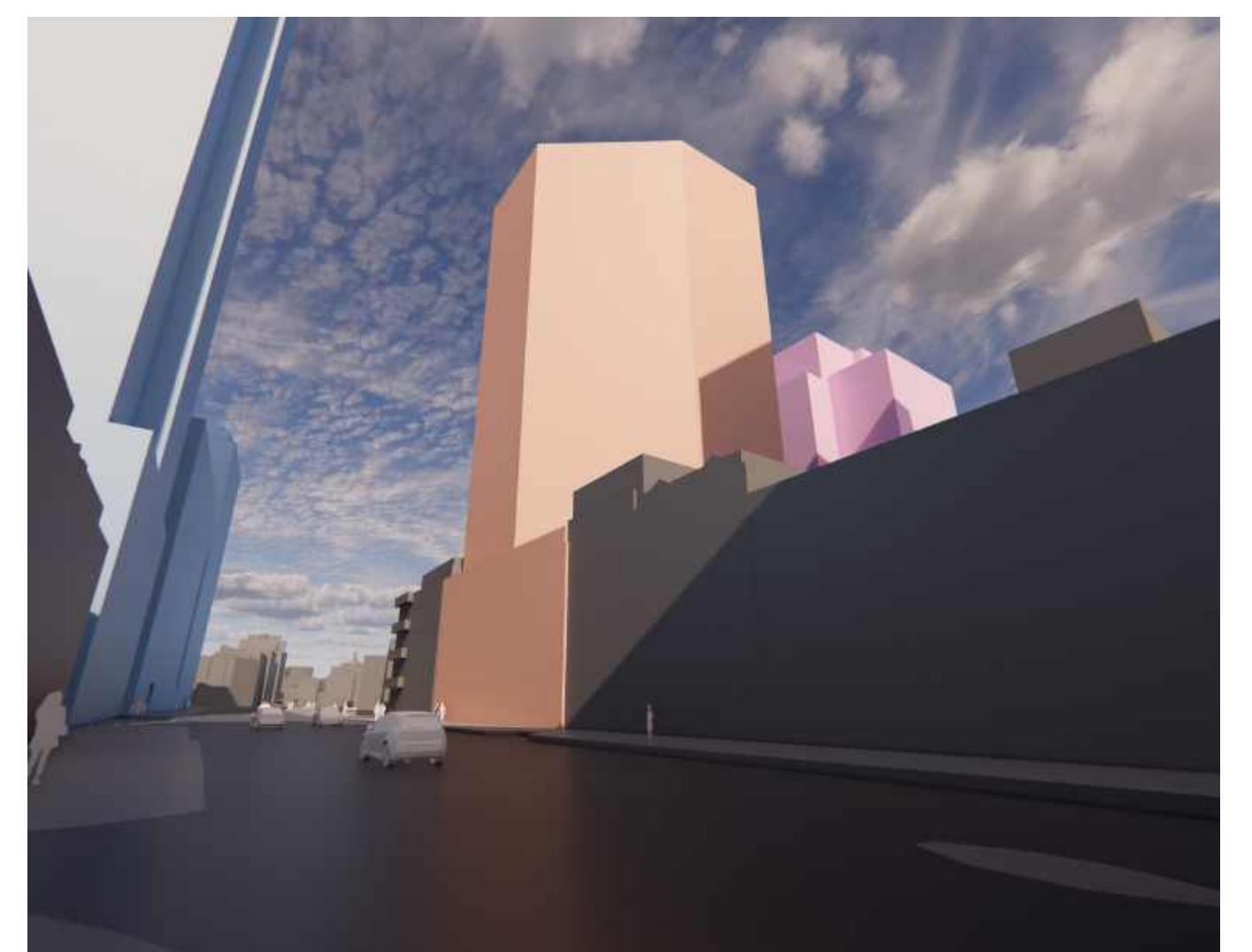
We explored a further iteration of this geometric form that provided a number of benefits but had a significant number of disadvantages.

Benefits:

- Pulled in from the boundary edges so a large amount of windows could be achieved on the facade
- Simple geometric form that compliments the Kite building

Drawbacks:

- Flank elevation very prominent from Harper Road
- Large gap onto Newington Causeway elevation
- 13m proximity from the rear of proposal to 6 Avonmouth street
- Awkward junction of upper floors with the shoulder
- Does not optimise site capacity.



PRE APP 2

A more rectilinear approach was settled upon as it was felt it sat more comfortably with the square nature of the site.

Benefits:

- Overall, the height and plan form were broadly acceptable, although there were some concerns about the impact on neighbouring properties.
- Daylight in communal corridors was a positive design feature

Drawbacks:

- Concerns remained about the width of the flank elevation when viewed from the south
- The crown treatment was felt to be heavy, and there were concerns about its impact on neighbours and daylight into the office basement space.



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6. CURRENT PROPOSAL

- The current proposal is for 2108 sq m of modern flexible office space and 250 PBSA bedrooms with ancillary communal amenity areas and landscaping.
- The upper floors are formed of ensuite cluster rooms and wheelchair accessible studio rooms which sit around a central core.
- The rear section of the building has been reduced by one floor at the 18th floor, resulting in five fewer bedrooms compared to the footprint below. This adjustment further distinguishes the front and rear volumes, enhancing visual differentiation in key views. This reduction in height at the rear, the step in plan, and development of the facade detail on the flank works enhance the perception of a more slender vertical building form.
- Throughout the design development, a fire engineer and M&E engineer have reviewed each iteration of the layout plans to advise on the suitability and compliance of the fire strategy in terms of core layouts, travel distances and ventilation/plant allowances.



^Example of a Studio



^ Proposed Sitewide Typical Floor Plan



^ Proposed Ground Floor Plan

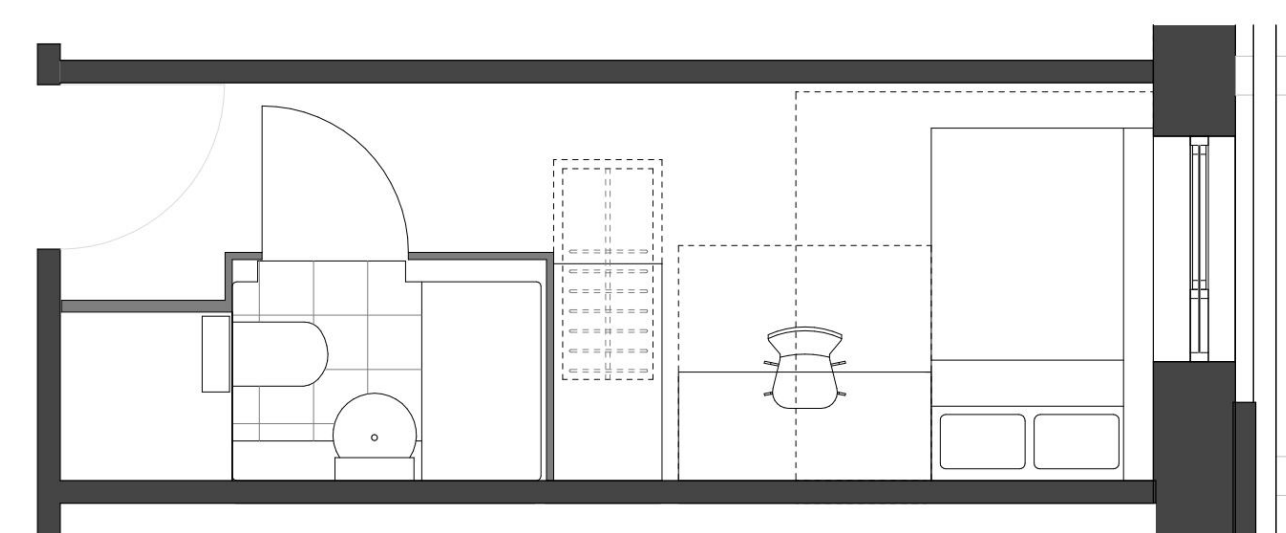
Ensuite	PBSA Amenity
KLD	Commercial Core
Studio	Commercial
PBSA Core	



^ Proposed 3rd Floor Plan



^ Proposed 18th Floor Plan



^A Proposed Ensuite Bedroom Floor Plan



^ Example of Ensuite Bedroom on Ilderton Road



^ Examples of Ensuite Bedroom - Axo on Ilderton Road

^ Proposed Roof Floor Plan

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7. HERITAGE AND TOWNSCAPE

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The heritage assets at the image on the right identifies all the relevant heritage assets near the site and colour codes their designation level, such as Grade I,II* or II. They have been mapped based on information from relevant LB Southwark conservation area appraisals, Historic England's National Heritage List for England, and LB Southwark's identification of undesignated heritage assets.

Conservation areas:

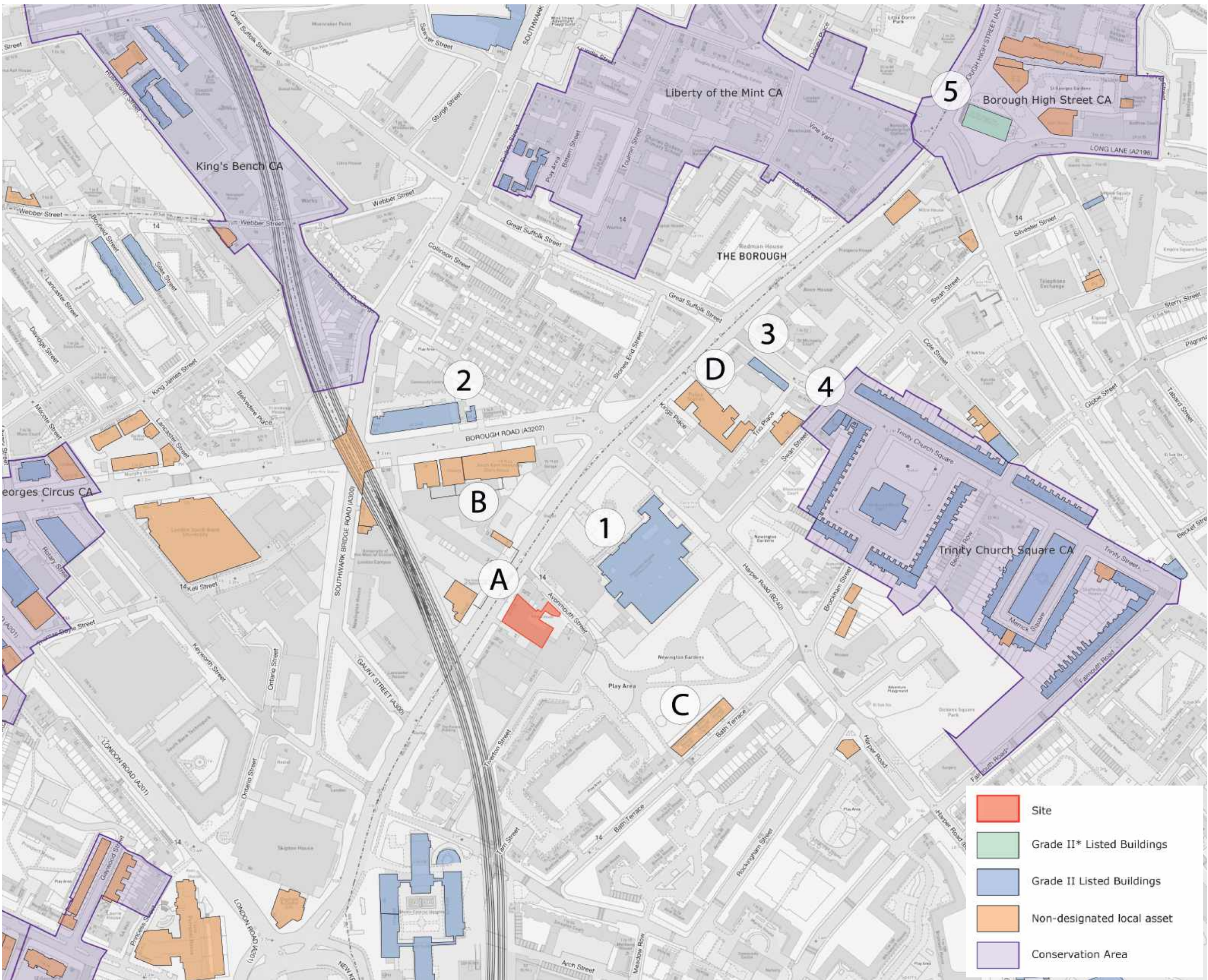
- Trinity Church Square CA
- Borough High Street CA

Listed buildings:

1. Inner London Sessions Court (Grade II)
2. Group - No. 62 Borough Road: Hanover House: and the Duke of York Public House (Grade II)
3. 2-12 Trinity Street (Grade II)
4. Trinity Arms Public House (Grade II)
5. St. George the Martyr Church (Grade II*)

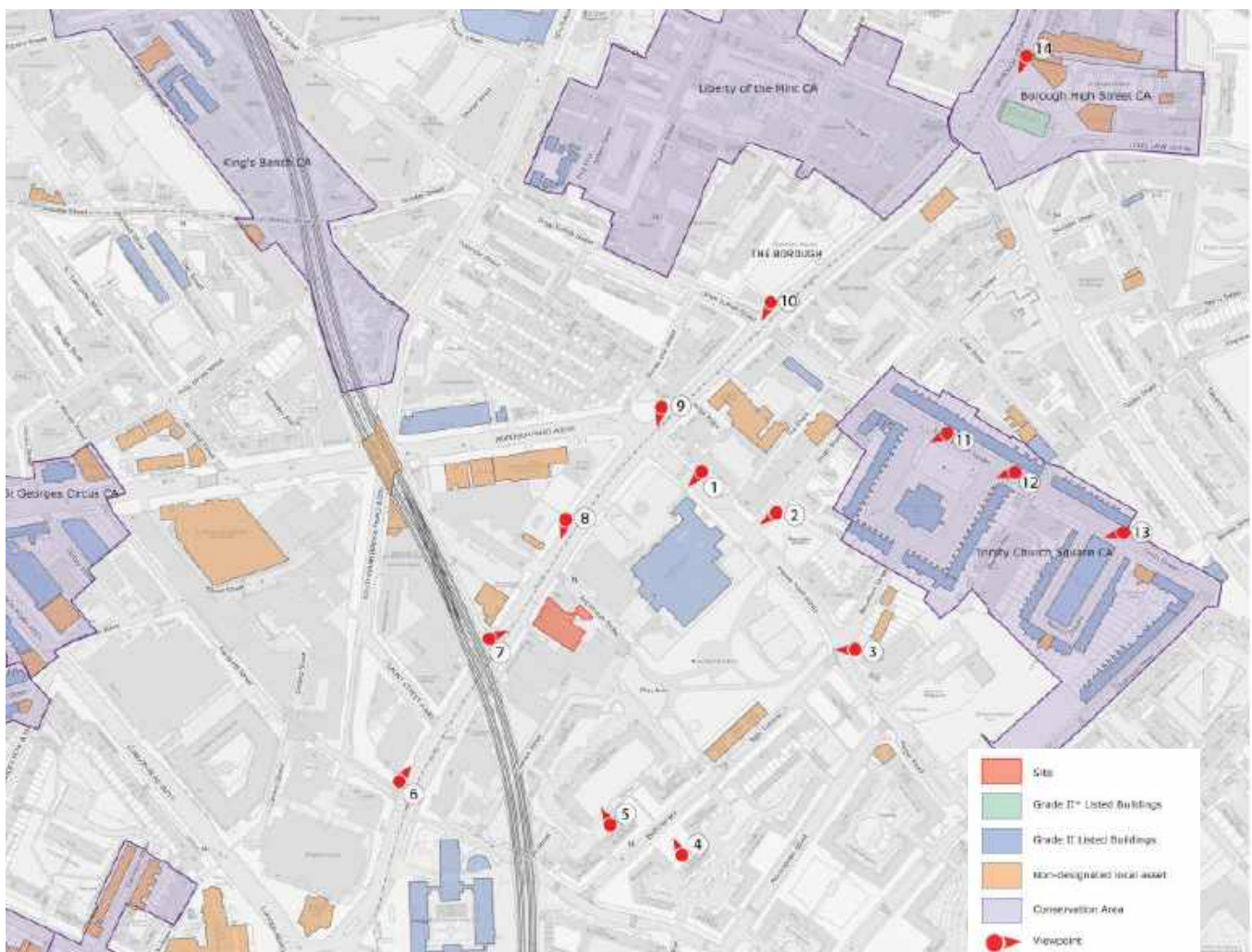
Non-designated Heritage Assets:

- A) Group - 56-62 Newington Causeway and 38 Newington Causeway
- B) Group - Diary House: 82 Borough Road: and 83 Borough Road
- C) Devonshire House, Bath House, Trinity House
- D) Southwark Police Station



^ Map showing designated and non-designated heritage assets

Key Townscape Views



^ Map showing Viewpoints marked on Site



^ VIEW 1 : HARPER ROAD - Opposite Inner London Session Court Car Park



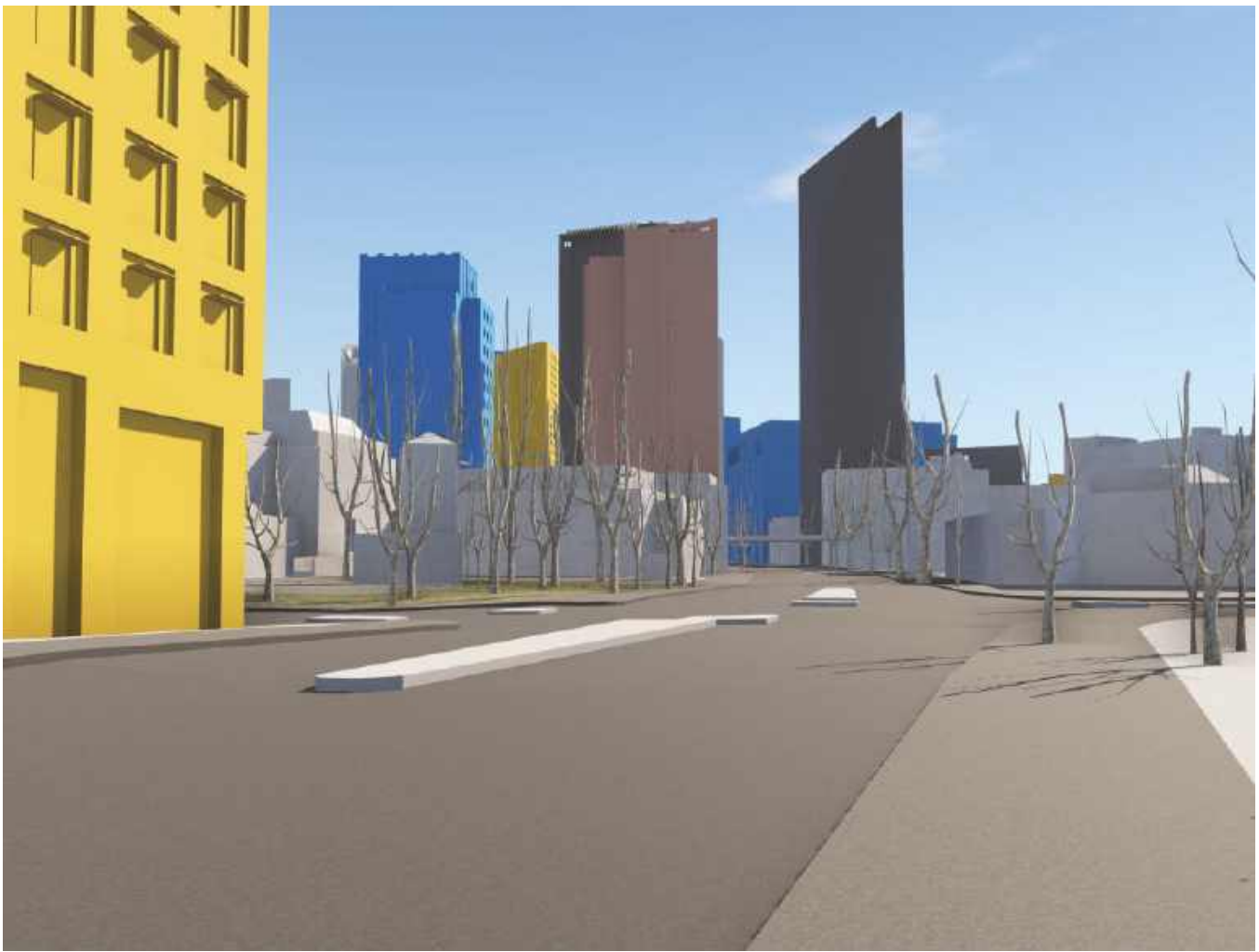
VIEW 11: 58/59 Trinity Church Square



^ VIEW 6: NEWINGTON CAUSEWAY - Southwark Bridge Road



^ VIEW 7: NEWINGTON CAUSEWAY - Newington CT



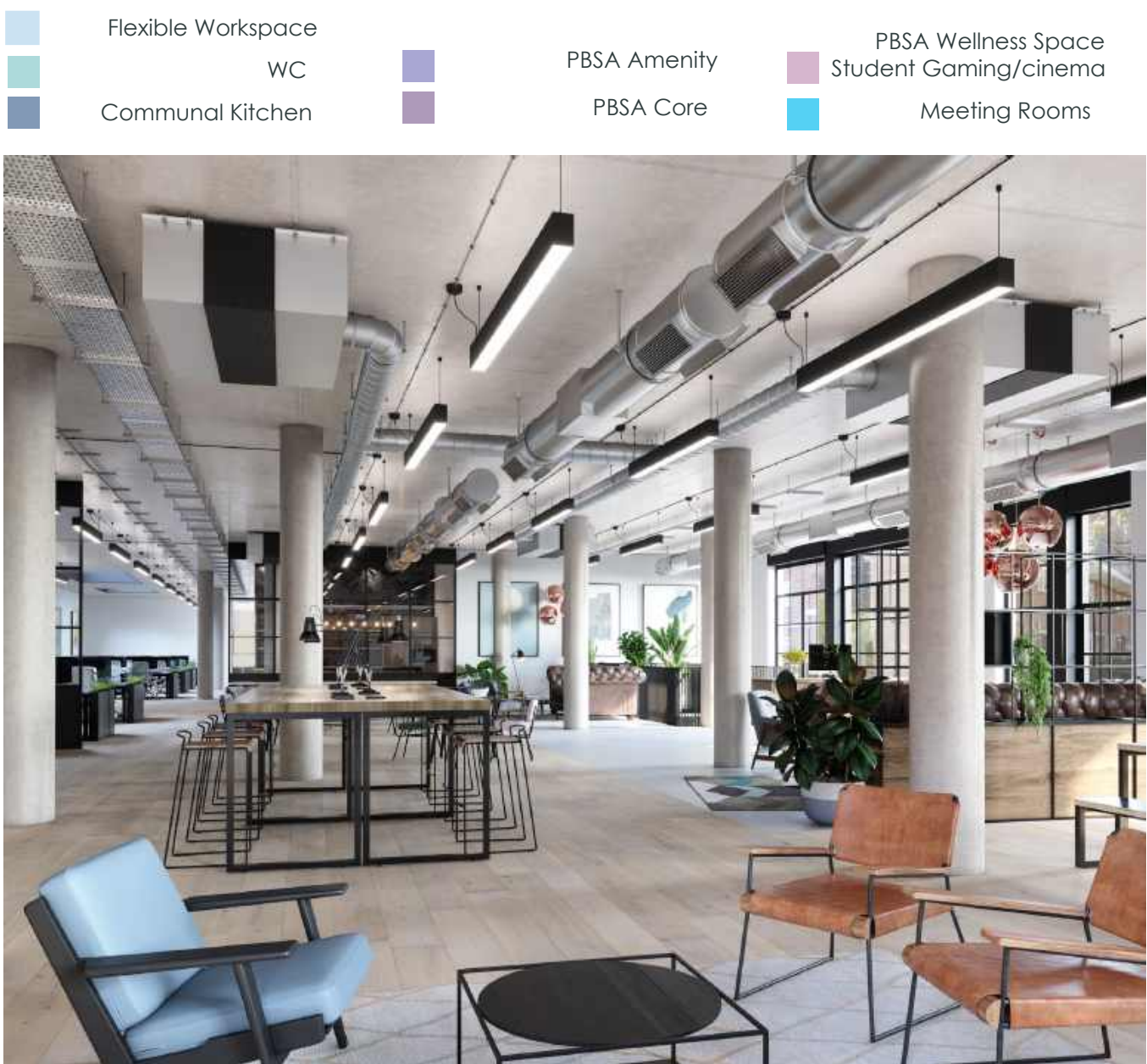
^ VIEW 9: NEWINGTON CAUSEWAY - Outside the ship

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8. COMMERCIAL SPACE

- The proposal has an office frontage to Newington Causeway with a separate student entrance from Avonmouth Street through a new landscaped public realm space. There are two basement storeys which contain plant, cycle storage and one storey of commercial space.
- The office element completes the shoulder of the buildings along Newington Causeway and extends a full three storeys to the rear of the site. The ground floor at the rear is the entrance to the PBSA and contains a variety of student amenity spaces and services.



^ Examples of Commercial spaces/offices by Tribe



^ Proposed First and Second Floor Plan



^ Examples of Commercial spaces/offices by Tribe



^ Proposed Basement 01 Plan



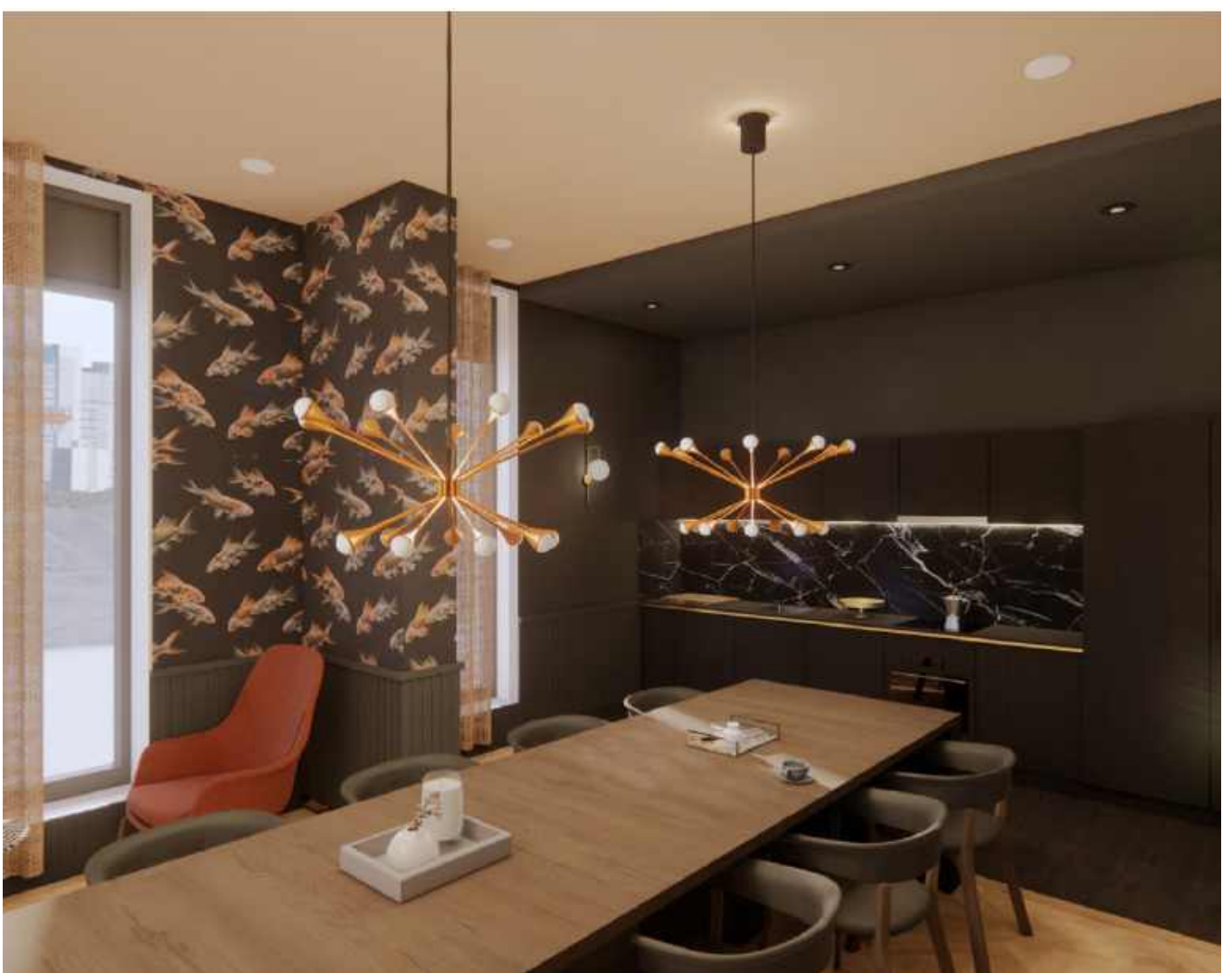
^ Proposed Ground Floor Plan



^ Example of Shared Amenity Space developed by Tribe



^ Example of Shared Amenity Space developed by Tribe



^ Example of Shared Amenity Space developed by Tribe

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9. ELEVATION DESIGN EVOLUTION

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Once we had established a mass and plan form. We explored a number of options of the Newington Causeway facade, as the most prominent elevation on the project. All of the other elevations follow the lead of this elevation.

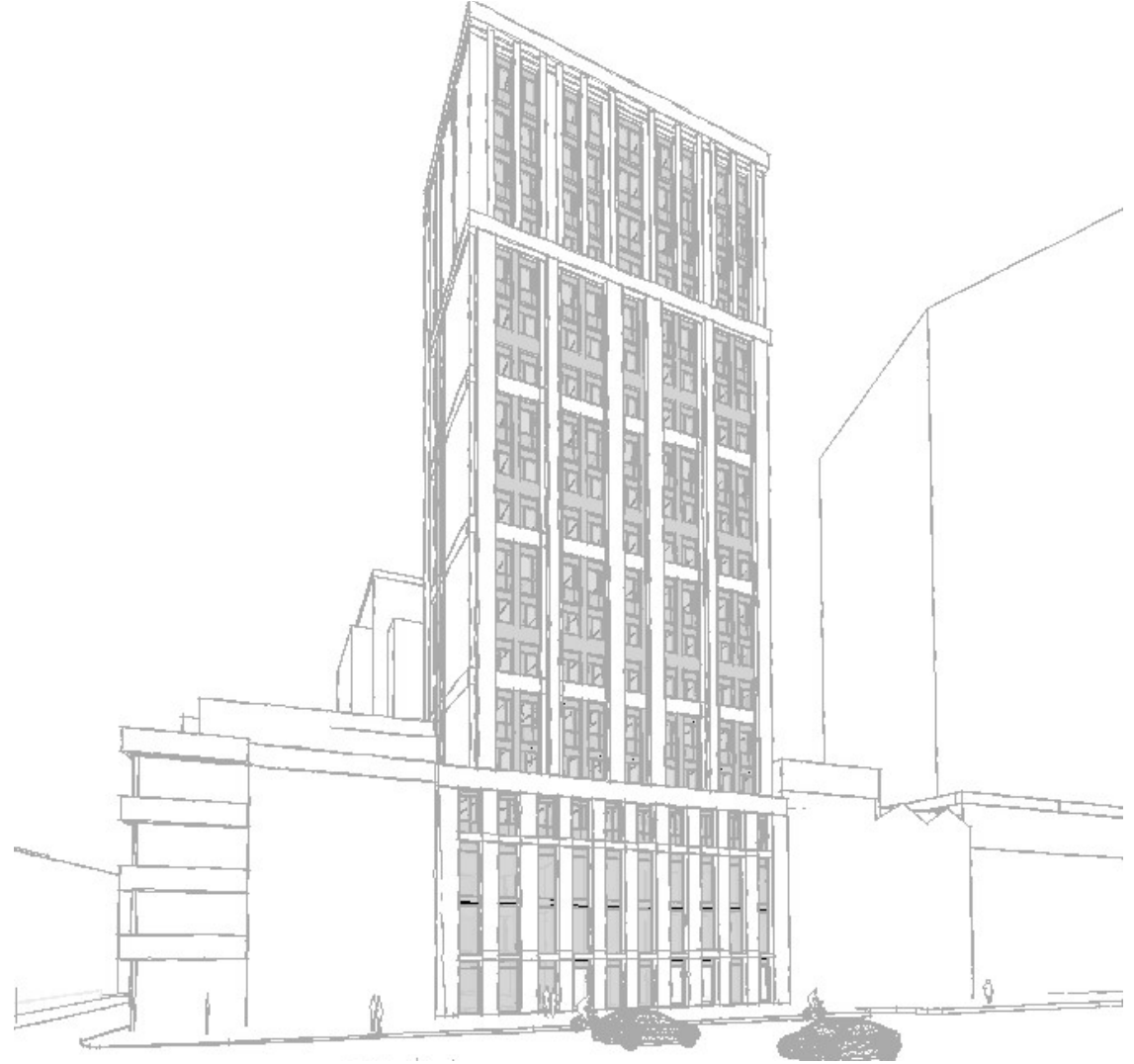
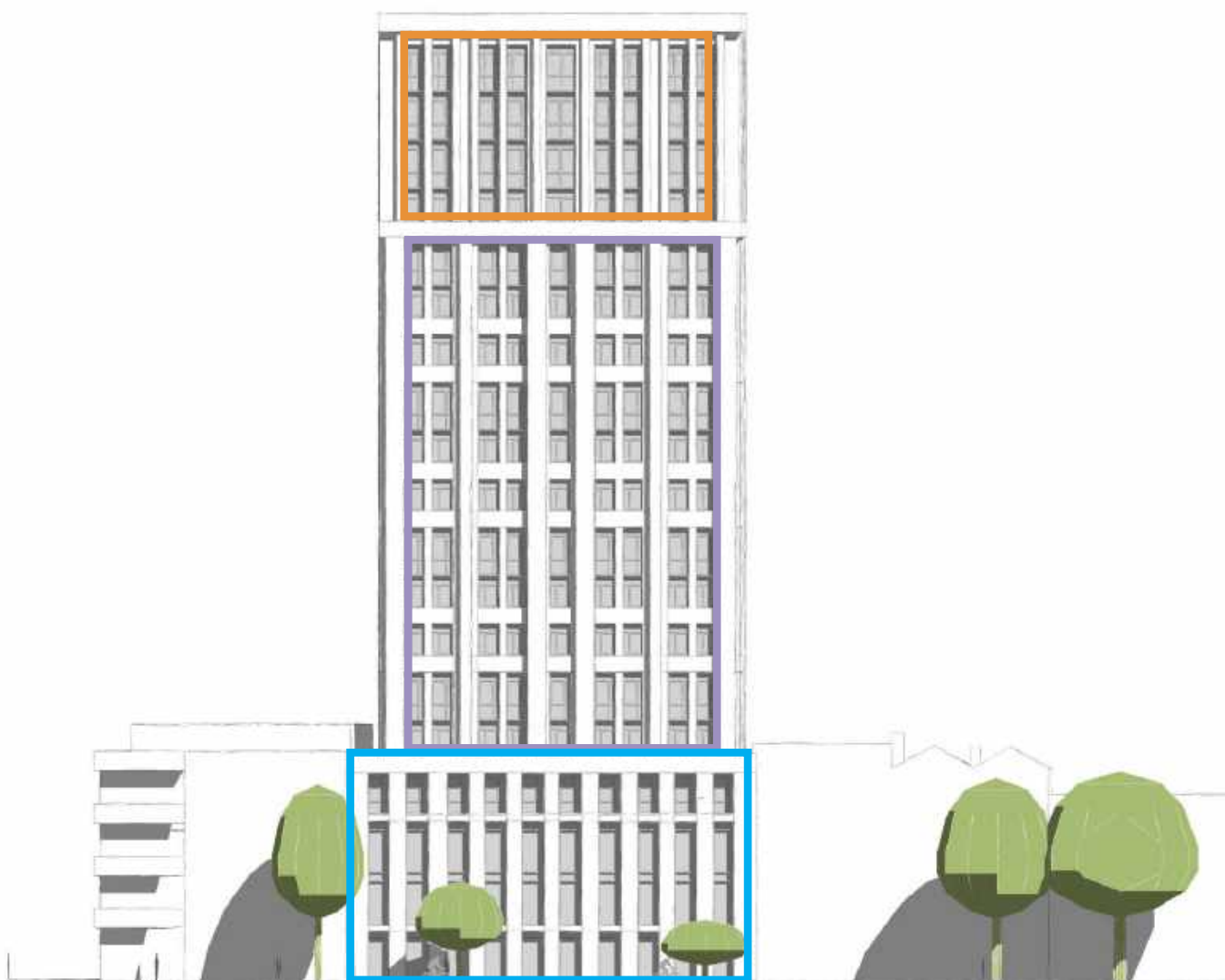
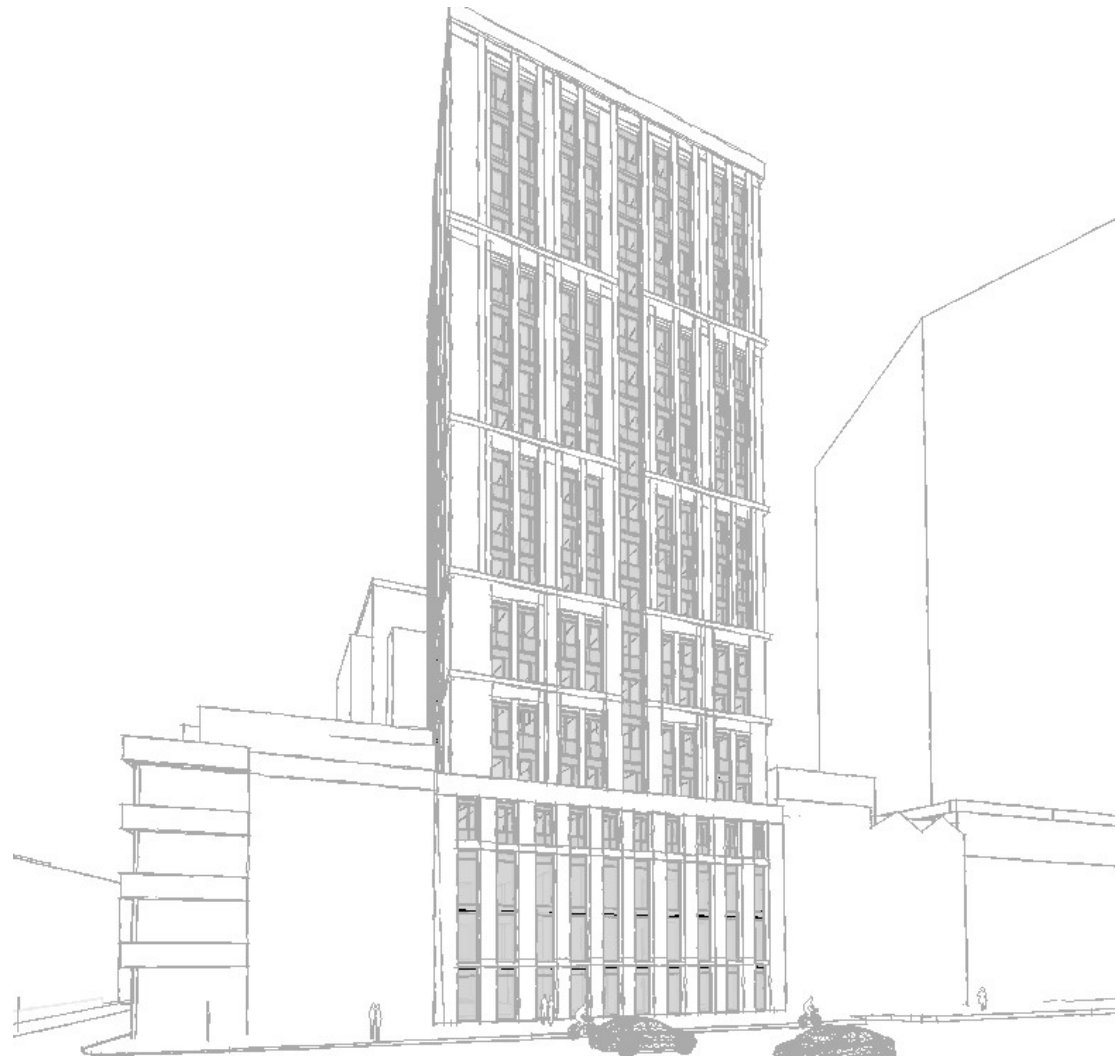
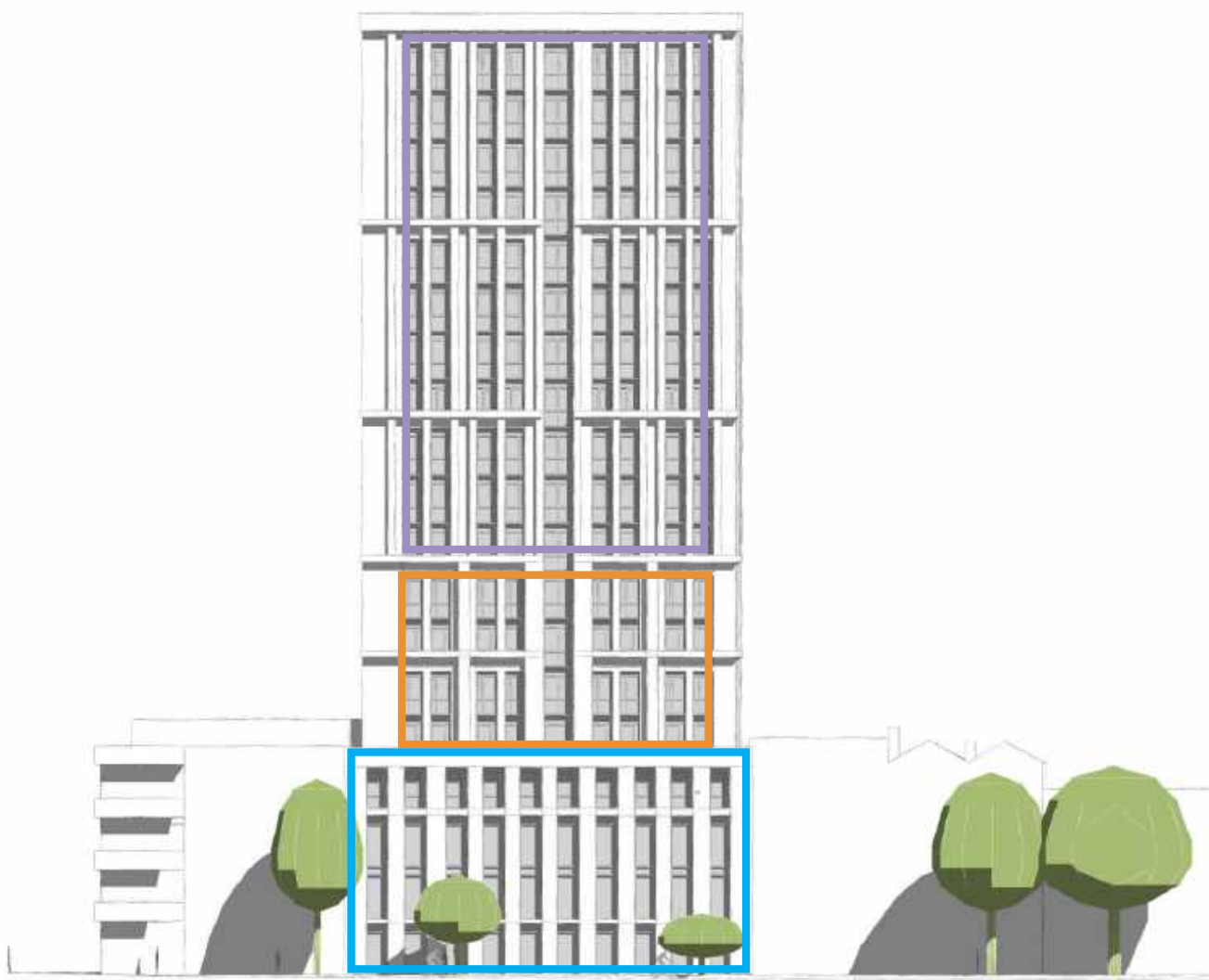
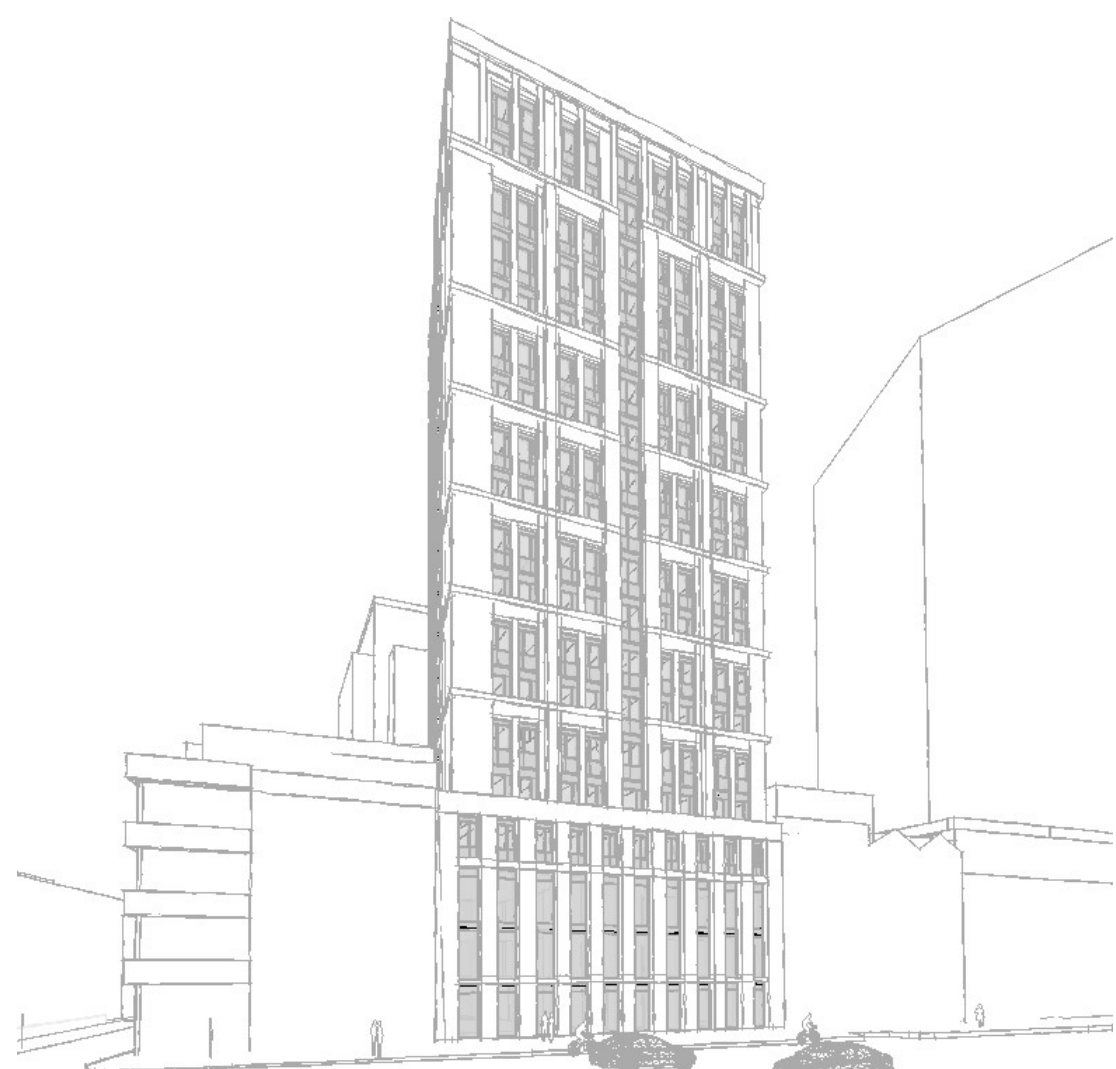
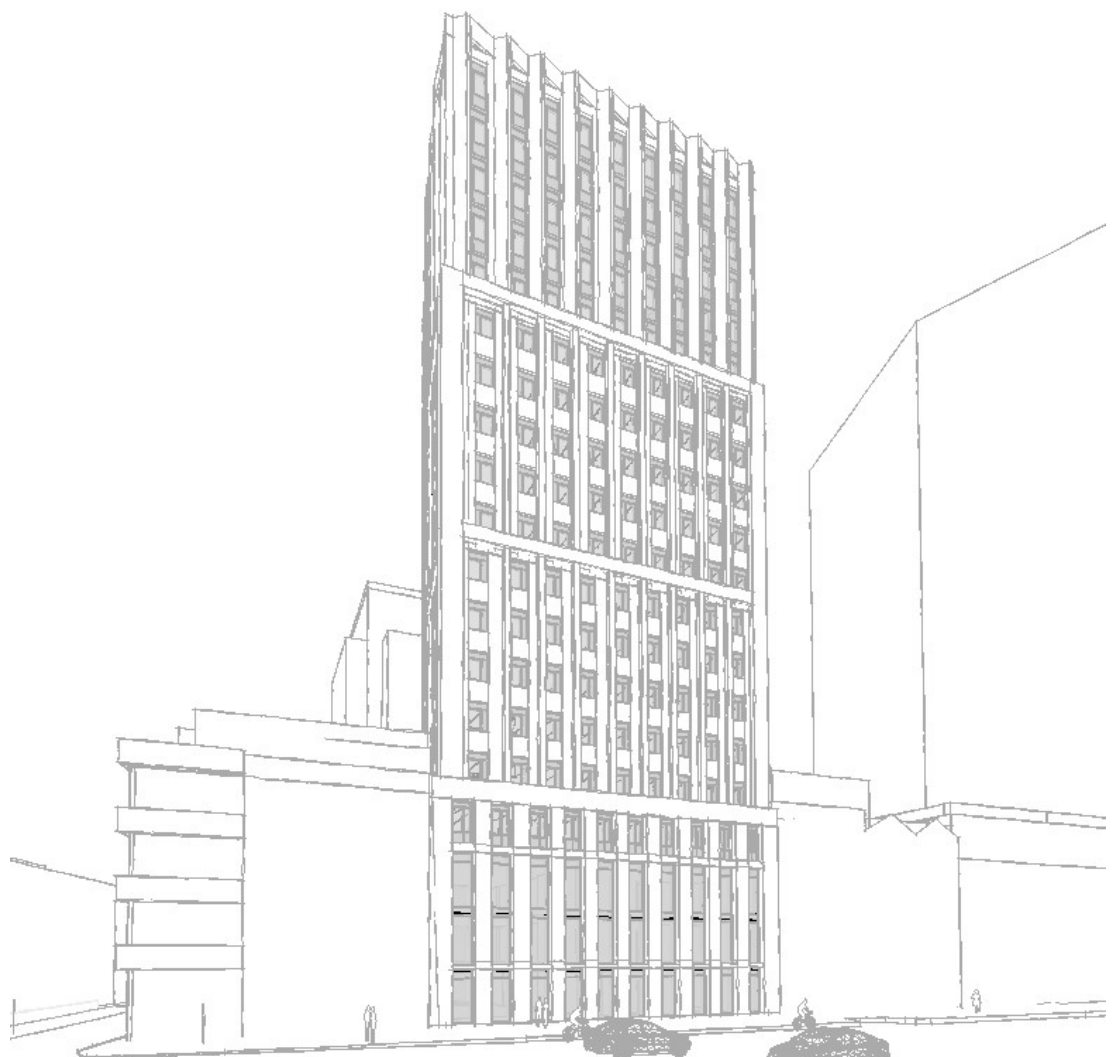
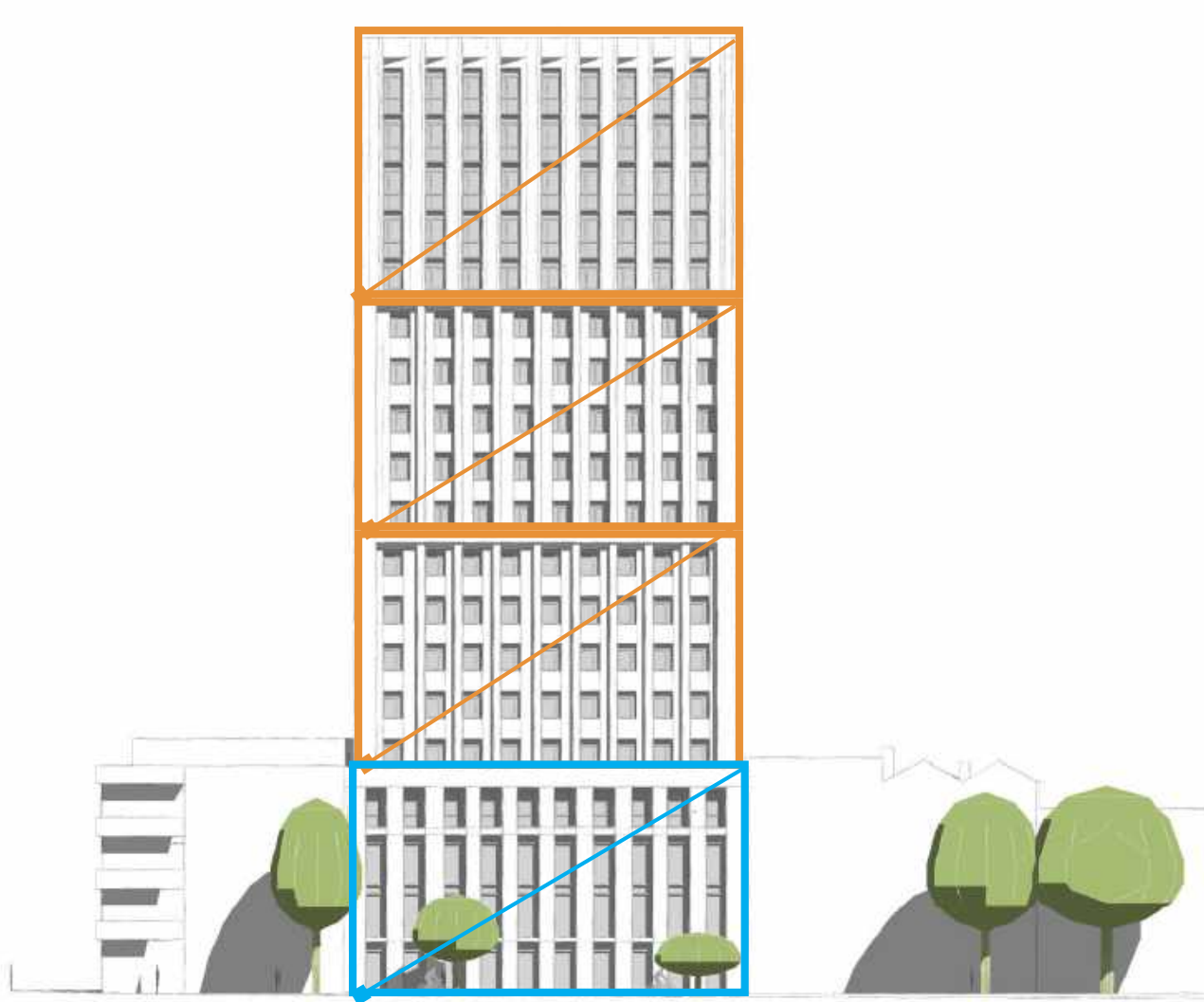
The shoulder element has remained consistent with all these studies as we felt it was right for the site and we focussed on the proportions of the upper floors

Our initial thoughts divided the upper facade into three elements with varying fenestration types in each element but it was felt that this was too top heavy and had too much of a horizontal emphasis.

As we progressed more a vertical option we established that the proportions of the golden section could work well. A central section of fenestration with horizontal breaks across the facade made

We began looking at the golden section proportion relating to the openings rather than the building itself, first testing the golden section on the upper floor of the building which we again felt was still too horizontal and top heavy.

We then reversed this division and emphasised the verticality which we felt was more successful and also helped divide the facade into distinct elements of top middle and bottom.

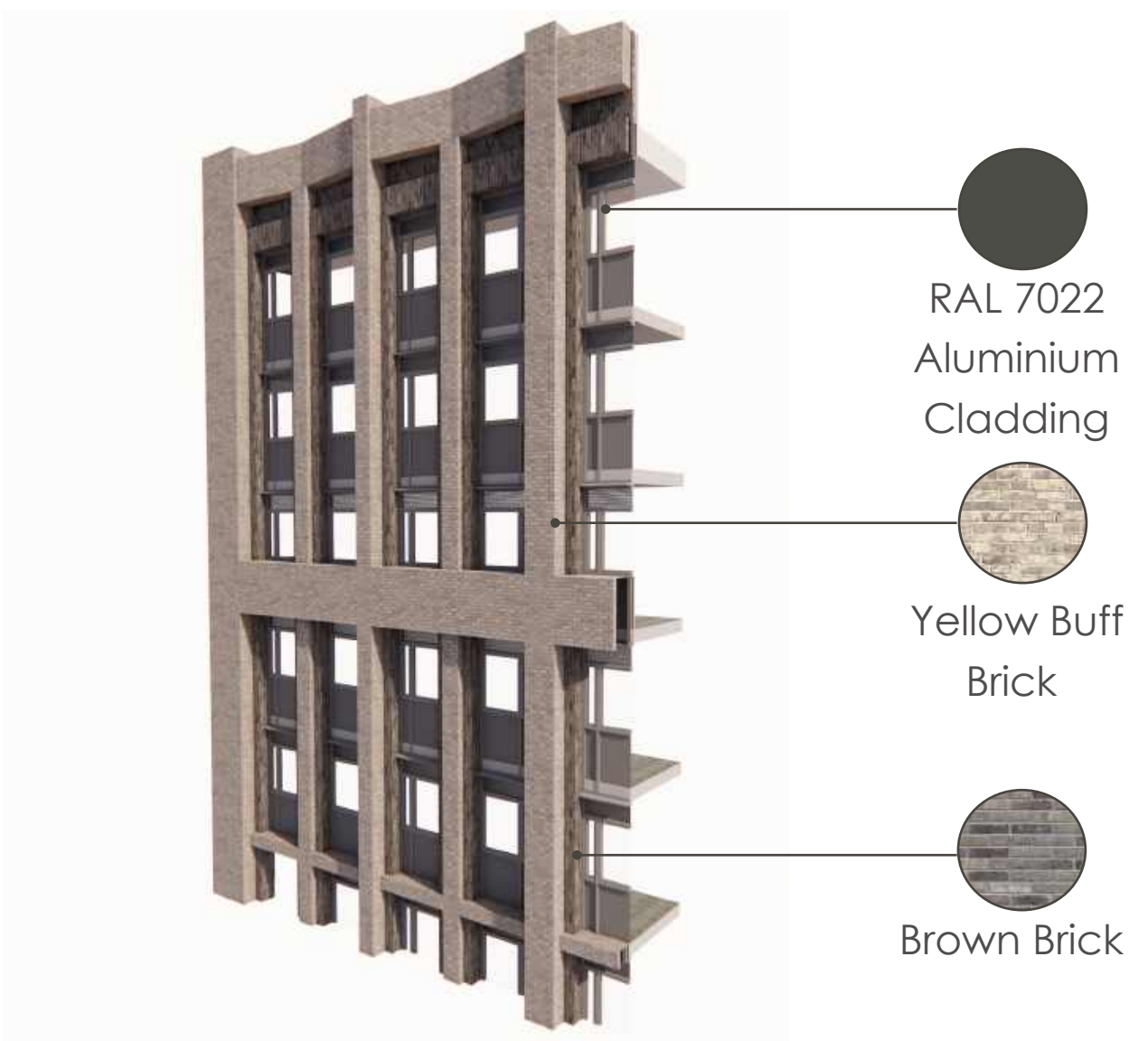
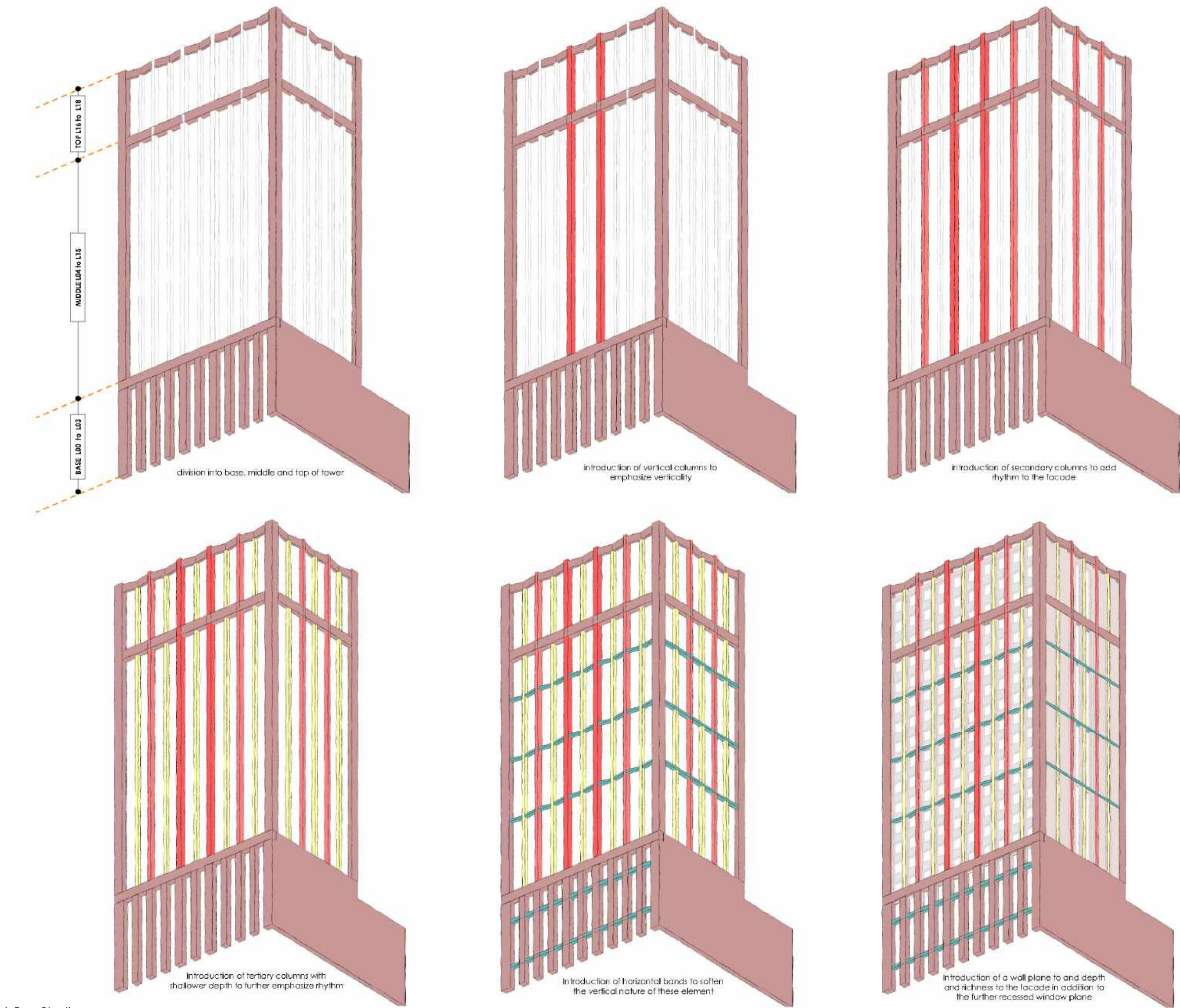
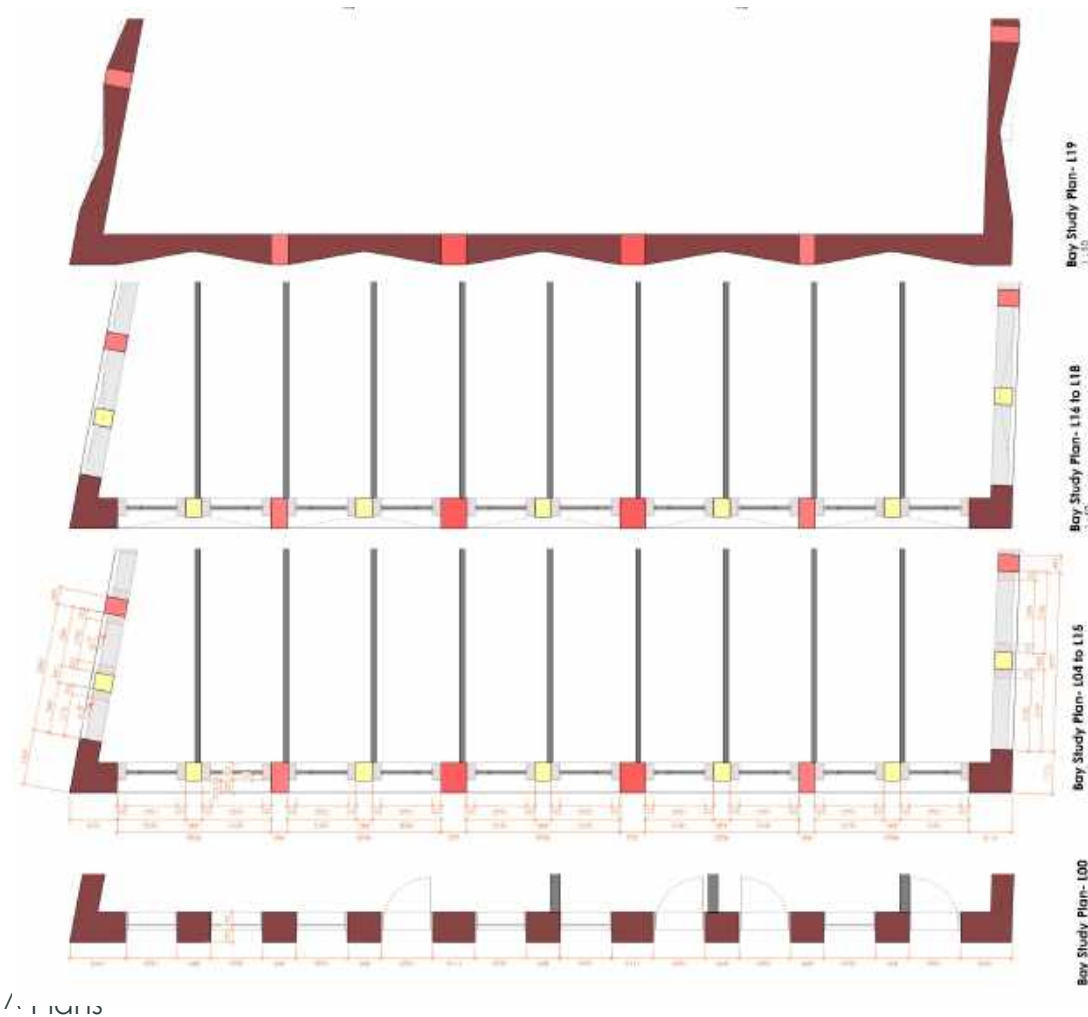


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10. ELEVATION DETAIL

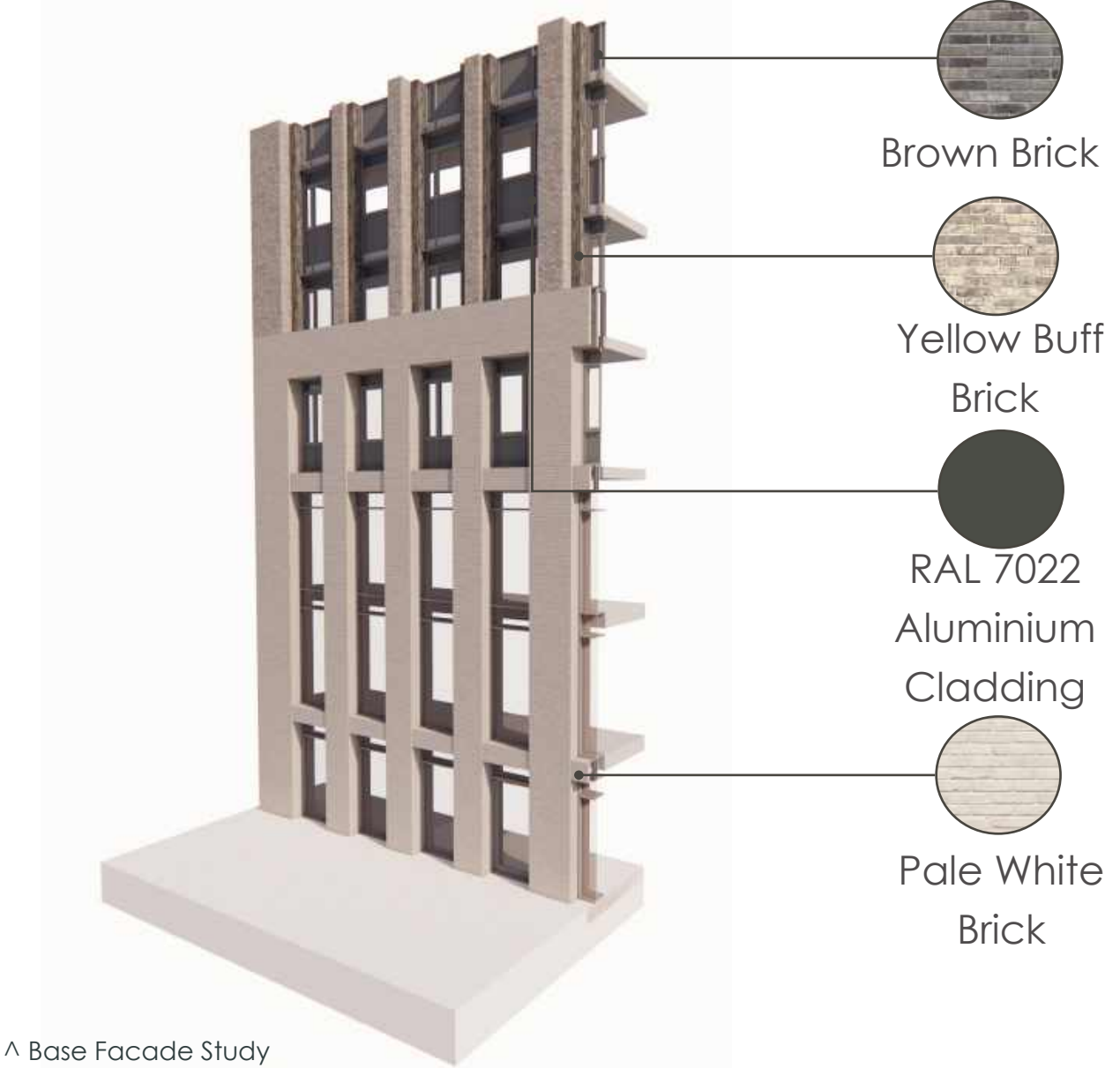
- The middle element of the elevation celebrates the repetitious nature of the PBSA accommodation and has been designed to the proportion of the golden section.
- The base element ties into the shoulder of neighbouring buildings. These openings will contain different fenestration with less mullions and transoms that will further differentiate this element from the upper floors.
- The top has been considered as a three-storey volume which is markedly different to the lower floors. We have added a playful scalloped element to the parapet which will give different play of shadow on the facade compared to the lower floors.
- The front facade has varying layers of detail that set back from the main face of the building dividing this central element into smaller elements. These varying planes and materials provide a futher richness to the facade.



^ Crown Facade Study



^ Precedents Photos



^ Base Facade Study

Servicing:

This servicing layout provides two service/delivery bays within a dedicated servicing area within the site, which utilises the existing crossover from Avonmouth Street, and allow forward in/forward out manoeuvres. This allows for a dedicated pedestrian access from Avonmouth Street to the building, and it is intended that change in surfacing type/colour would be used to demarcate the zone, rather than physical barriers.

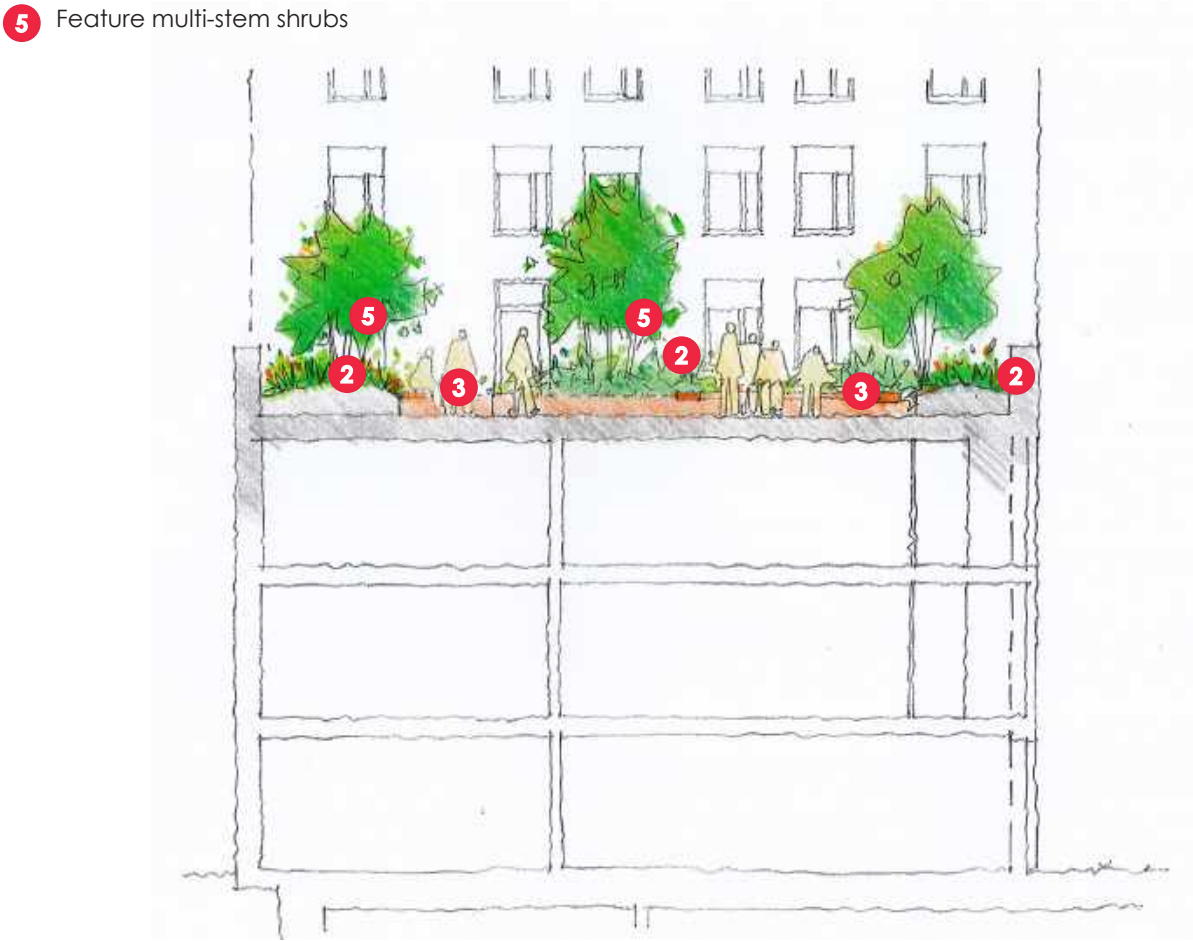


^ Servicing sweep plan - Option 1



^ Proposed Ground Floor Plan

- 1 Biodiverse planting to edge of terrace level rooms
- 2 New shrub & perennial planting co-ordinated with parapet edge
- 3 Break out social areas integrated with planter edge
- 4 Timber lounging deck with pergola
- 5 Feature multi-stem shrubs



^ Proposed section through External Amenity space



Landscape:

The landscape design at ground level is designed to accommodate the servicing and vehicle access requirements whilst establishing a green frontage and a safe, clear pedestrian route from Avonmouth Street to the building entrances. The courtyard is set out for two parked service vehicles and one blue badge parking space. At the level three, an external amenity terrace provides space for students to relax and socialise.

Lush planting envelops a series of break out spaces with integrated seating, raised timber deck and pergola. Biodiverse planting provides a defensible edge to the terrace level rooms. A biosolar roof will also contribute to the site's biodiversity and overall Urban Greening Factor of 0.3%. Baseline studies have been undertaken and the scheme will be targeting at least a 10% Biodiversity Net Gain through the measures identified at ground and roof levels. In addition, ecological enhancement measures will be incorporated into the landscaping and the building.



^ Proposed 3rd Floor Plan

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12. PUBLIC REALM & SUSTAINABILITY

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The key routes diagram shows the main key routes that occupiers of the commercial and student accommodation are likely to be taking on a regular basis. The site's high PTAL rating (6b) means that the public transport access is excellent for occupiers travelling to and from the site without private vehicles, and the site location also means that a lot of student occupiers are likely to be able to walk to their Higher Education Institutions and other key destinations.

- Route 1**

Elephant & Castle Station
- Route 2**

Sainsbury's Superstore
- Route 3**

LSBU Library
University of Arts/UAL/LCC
- Route 4**

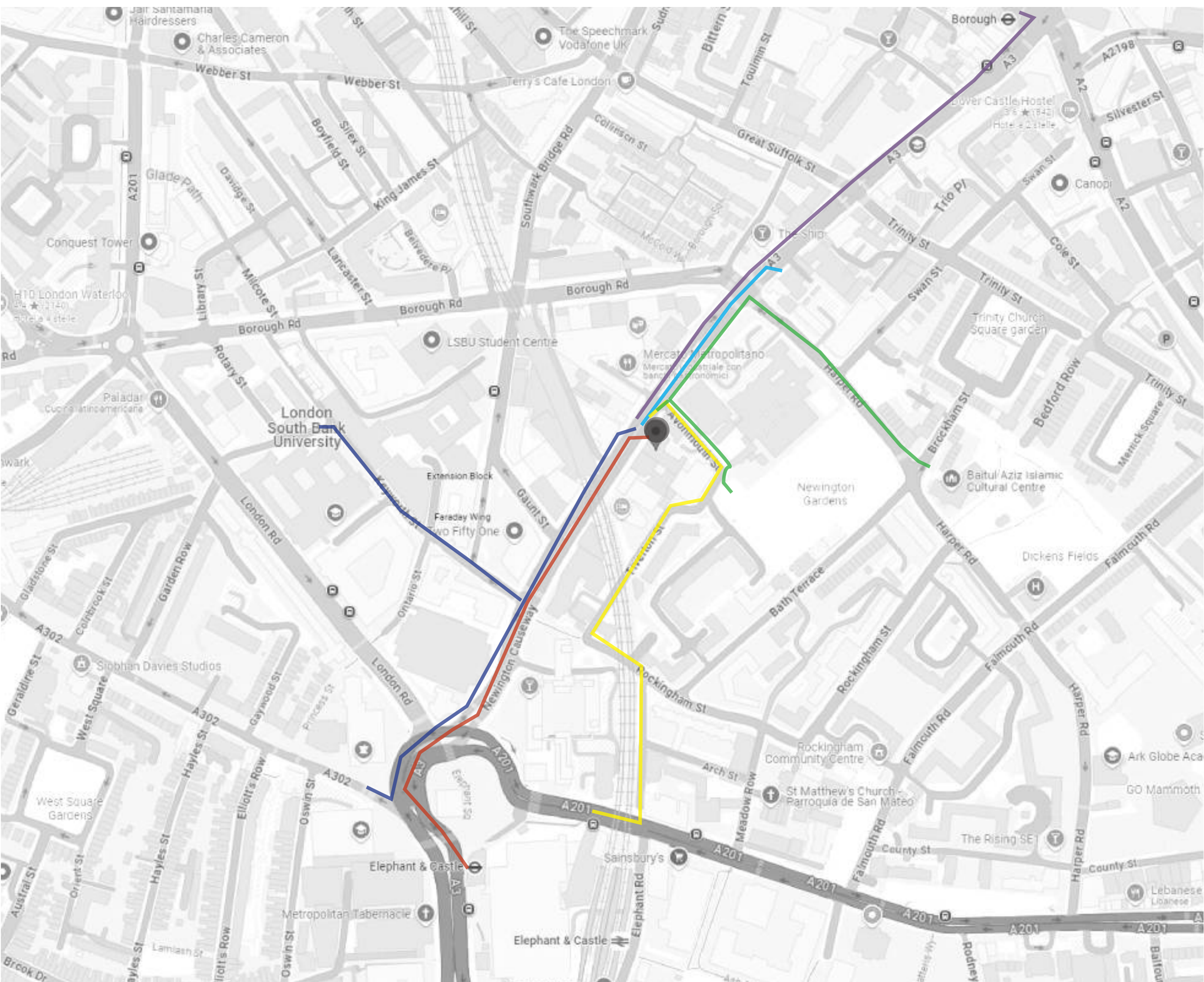
Borough Medical centre
- Route 5**

Borough Station
- Route 6**

Newington Gardens
Dickens Field



1. Newington Gardens
2. Dickens Fields
3. Tabard Gardens
4. Elephant Park
5. West Square



^ ASHP



^ PV biodiverse roof

The proposal includes sustainable design features and construction methods that aim to minimize environmental and community impact, aligning with sustainable development principles and planning policies.

Embodied Carbon:

- Simplified material use and design to reduce embodied carbon
- Modular construction techniques for facades and interior units to enhance efficiency and minimize waste.
- Standardized, repeating facade elements for consistency and resource efficiency.

Operational Carbon:

- Passive cooling via openable windows, cross-ventilation, solar control glazing and shading to prevent overheating.
- Use of air source heat pumps and mechanical ventilation with heat recovery (MVHR) systems.
- Thermal modeling and a reduced building form factor to improve energy efficiency.

OVERHEATING AND VENTILATION

- Promote natural ventilation where possible
- Dynamic thermal modelling analysis is being undertaken as part of the pre-planning design process.

RATIONALISED STRUCTURE

- Slab thickness reduction
- Column alignment to provide continuous vertical structure with no transfer slabs
- Testing material quality versus efficiency in construction and fabrication.
- Low carbon concrete mix design to be explored

RETENTION OF EXISTING FABRIC

- Reuse and recycling of existing fabric where feasible

FABRIC FIRST APPROACH

- Use of modular construction techniques
- High efficiency building fabric
- Reduced building form factor
- Standardised and repeating design elements across the facade

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13. PHOTOMONTAGE OF PROPOSAL

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