



All Star Inspections
(330) 920-9023
www.allstarinspections.net

All-Star Inspection Report
1001 Sample Drive
Parma, OH 44130

Inspected By: Joe Sanzone

Prepared For: Sample Report
Inspected On Thu, Jul 11, 2024 at 2:00 PM

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Inspection Information

Inspector

Joe Sanzone - Lic. #OHI.2021008511

Amount Due

\$425.00

Amount Received

\$425.00

Payment Form

Credit/Debit Card, Online Invoice

Buying Agent

Name

Mary Smith

Brokerage

Keller Williams

Listing Agent

Name

Randy Jones

Brokerage

Howard Hanna

Style

Single Family, Split-Level

Approximate Age

40 years (1984)

Occupied

No

Furnished

No

People Present

Client, Buying Agent

Weather

Sunny

Temperature

75-80 Degrees

Soil Condition

Dry

Property Faces

North

General Appearance

Satisfactory

Utilities On During Inspection

Electric, Gas, Water

Exterior

The visible condition of exterior coverings, trim, entrances and drainage are inspected with respect to their effect on the condition of the building.

Driveway

Concrete, Settling cracks in several areas, Settled

Condition: Satisfactory

Service Walks

Concrete, Settled, Trip Hazard, Safety Hazard, Recommend repairing

Exterior Covering

Wood Siding, Brick, Vinyl Siding

Condition: Satisfactory

Exterior Trim Material

Aluminum, Vinyl, Wood, Flaking paint, Recommend painting

Condition: Satisfactory

Gutters

Metal, Need cleaned out, Recommend cleaning out to ensure proper water drainage

Windows

Vinyl, Glass Block

Condition: Satisfactory

Caulking

Satisfactory, Recommend monitoring and sealing areas as needed

Front Stoop/Steps

Masonry, Concrete, Loose bricks, Recommend repairing

Rear Deck

Wood, Previous repairs made, Flaking paint, Recommend prepping and painting to prevent further deterioration

Condition: Satisfactory

Landscaping Affecting Foundation

None observed, Ensure all sides of soil around house are sloping away from foundation walls

Hose Bibs

Present, Operate, No anti-siphon valve(s), Recommend upgrading to anti-siphon style hose bib(s)

Exterior Electrical

Underground main, Exterior outlet(s) are not GFCI protected, Safety Hazard, Recommend upgrading to GFCI protected outlets, No power at exterior outlet at front of house. Recommend repairing as needed

Exterior Comments

Comment 1
Information

General pictures of exterior of house.



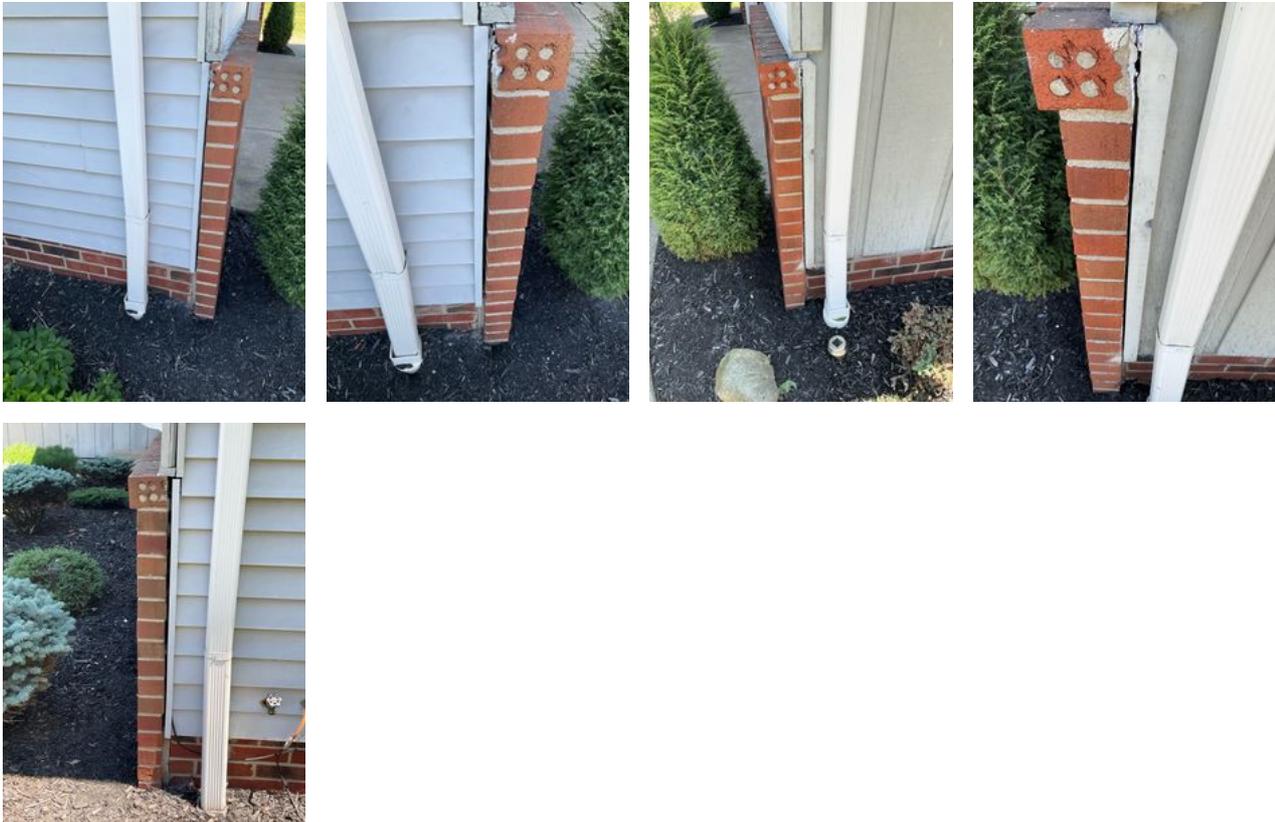
Comment 2
Safety Hazard

Front walkway has settled, creating a potential trip hazard where it meets the driveway. Safety Hazard. Recommend repairing.



Comment 3
Maintenance Item

Recommend sealing gaps where brick veneer and siding join to prevent moisture and/or pest intrusion.



Comment 4
Deficiency

Deteriorated/missing mortar joints and loose bricks present at the front stoop. Recommend tuck pointing repairs.



Comment 5

Deficiency

Flaking paint and exposed wood present at the wood trim at front of house. Recommend prepping and painting to prevent premature deterioration.



Comment 6

Deficiency

No power at this exterior GFCI protected outlet at front of house. Recommend repairing or replacing as needed.



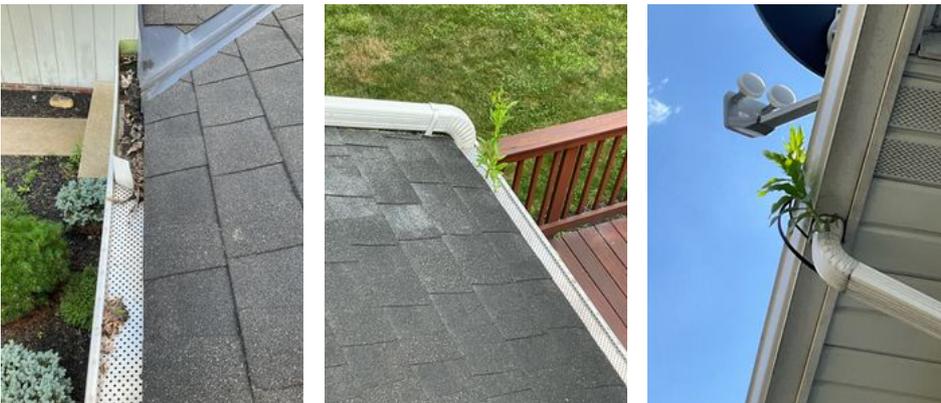
Comment 7
Deficiency

Stinging insect hives present at front of house. Hives appear to be dormant at time of inspection. Recommend removing.



Comment 8
Maintenance Item

Gutters need cleaned out. Recommend cleaning out gutters and gutter screens to ensure proper water drainage.



Comment 9
Maintenance Item

Recommend sealing all house penetrations (gas line pictured) to prevent water intrusion or pests.



Comment 10
Deficiency

Loose section of vinyl siding at rear of house. Recommend repairing.



Comment 11
Maintenance Item

Recommend trimming any shrubs/bushes away from the house.



Comment 12
Safety Hazard

Exterior outlet at rear of house is not GFCI protected. Safety Hazard. Recommend upgrading to a GFCI protected outlet.



The visible condition of the roof covering, flashings, skylights, chimneys and roof penetrations are inspected. The purpose of the inspection is to determine general condition, NOT to determine life expectancy.

Roof Visibility

All

Inspection Method

On the roof

Style Of Roof

Gable

Roof Pitch

Medium

Roofing Material

3 Dimensional Shingles

Estimated Layers

1

Estimated Age Of Roof

20+ years

Ventilation Present

Ridge Vents, Soffit Vents

Roof Condition

Marginal, Deteriorated shingles, Granule loss, Algae staining, Moss buildup, Recommend treating the roof for algae and moss, Recommend monitoring and repairing or replacing the roof when needed

Flashing Material

Metal, Minimal visibility of roof flashing

Valley Material

Metal

Condition: Satisfactory

Plumbing Vent

Present, Satisfactory

Roofing Comments

Comment 13
Information

General pictures of garage roof.



Comment 14
Information

General pictures of house roof.





Comment 15
Information

1 layer of roofing material present at roof.



Comment 16
Deficiency

Algae staining (black streaks) present in multiple areas of the house and garage roof. Moss developing at the garage roof.

Recommend having a professional roof cleaning company perform a low pressure roof cleaning to remove any algae and moss from the shingles.





Comment 17
Deficiency

Deterioration and granule loss present at roof shingles. No active leaks or evidence of roof leaks at time of inspection. Recommend monitoring and repairing or replacing the roof when needed.



Chimney

Chimney Chases

Brick, Metal framed

Condition: Satisfactory

Flue

Tile, Metal

Condition: Satisfactory

Inspected From

Roof

Chimney Comments

**Comment 18
Information**

General pictures of chimneys.



Type

2 car, Attached

Mechanical Opener

Present, Operates

Electronic Motion Sensors

Present, No

Overhead Door

Metal

Condition: Satisfactory

Service Door

Present, Satisfactory

Floor

Concrete, Typical Cracks, Spalling

Condition: Satisfactory

Sill Plates

Elevated, Not visible

Electrical

Present, Not GFCI protected, Garage outlet(s) are not GFCI protected, Safety Hazard, Recommend upgrading to GFCI protected outlets, Loose electrical outlet. Recommend repairing

Firewall Between Garage & House

Present

Fire Door

Satisfactory

Garage Comments

Comment 19
Information

General picture of garage.



Comment 20
Safety Hazard

Garage outlets are not GFCI protected. Safety Hazard. Recommend upgrading to GFCI protected outlets.



Comment 21

Deficiency

Loose electrical outlet. Recommend repairing.



Access

Pulldown ladder

Inspected From

Inside the attic

Location

Garage ceiling

Flooring

Complete

Insulation

Loose, 3-6 inches

Insulation Installed In

Floor

Vent Fans

None present

Roof Structure

Wood rafters / joists, Collar ties

Roof Sheathing

Plywood

Structural Problems Observed

None

Electrical

Satisfactory, No electrical deficiencies observed

Attic Above Garage Comments

Comment 22
Information

General pictures of attic space above garage.





Access

Scuttlehole

Inspected From

Access panel

Location

Bedroom closet ceiling

Flooring

None

Insulation

Batts, 3-6 inches

Insulation Installed In

Floor

Vent Fans

None present

Roof Structure

Wood rafters / joists, Collar ties

Roof Sheathing

Plywood

Fans Exhausted

Not visible, Ensure the bathroom exhaust fan is venting to the outside

Structural Problems Observed

Cracked rafter. Recommend repairing

Electrical

Satisfactory, No electrical deficiencies observed

Attic Above House Comments

Comment 23
Information

General pictures of attic space above house.





Comment 24
Deficiency

Evidence of potential microbial growth/mold present at roof sheathing in several areas. Recommend mold remediation by a qualified mold remediation contractor.

The staining appears to be isolated to the West facing side of the upper tier roof.





Comment 25

Deficiency

Cracked rafter at the roof. Recommend repairing.



Interior Rooms

The interior inspection is limited to readily accessible areas that are not concealed by furnishings or stored items. A representative number of windows and doors will be inspected.

General Window Condition

Satisfactory

Window Materials

Vinyl

Insulated glass seal failure

Yes, Location: Lower bedroom

Entry Doors

Satisfactory

Entry Door Materials

Wood, Metal, Composite, Glass Slider

Smoke & Carbon Monoxide Detectors

Smoke detector(s) present, Missing smoke detectors, Recommend at least 1 smoke and 1 carbon monoxide detector on each floor, Ensure all smoke and carbon monoxide detectors are working properly at all times

Bedroom #1

Walls & Ceiling

Satisfactory

Flooring

Satisfactory

Ceiling Fan / Lights

Satisfactory

Electrical

Switches operate, Outlets operate, Outlets are grounded

Heat Source Present

Yes

Doors & Windows

Satisfactory

Bedroom #1 Comments

Comment 26
Information

Front Corner Bedroom.



Bedroom #2

Walls & Ceiling

Satisfactory

Flooring

Satisfactory

Ceiling Fan / Lights

Satisfactory

Electrical

Switches operate, Outlets operate, Outlets are grounded

Heat Source Present

Yes

Doors & Windows

Entry door does not properly latch and the bottom hinge is loose and missing a screw. Recommend repairs

Bedroom #2 Comments

Comment 27
Information

Front Middle Bedroom.



Comment 28
Deficiency

Entry door does not properly latch and the bottom hinge is loose and missing a screw. Recommend repairs.



Bedroom #3

Walls & Ceiling

Satisfactory

Flooring

Satisfactory

Ceiling Fan / Lights

Satisfactory

Electrical

Switches operate, Outlets operate, Outlets are grounded

Heat Source Present

Yes

Doors & Windows

Satisfactory

Bedroom #3 Comments

**Comment 29
Information**

Rear Corner Bedroom.



Bedroom #4

Walls & Ceiling

Satisfactory

Flooring

Satisfactory

Ceiling Fan / Lights

N/A

Electrical

Switches operate, Outlets operate, Outlets are grounded

Heat Source Present

Yes

Doors & Windows

Satisfactory, Evidence of insulated glass seal failure, Recommend replacing as needed

Bedroom #4 Comments

**Comment 30
Information**

Lower Level Bedroom.



**Comment 31
Deficiency**

Evidence of insulated glass seal failure at window. Recommend replacing as needed.



Living Room

Walls & Ceiling

Satisfactory

Flooring

Satisfactory

Ceiling Fan / Lights

Satisfactory

Electrical

Switches operate, Outlets operate, Outlets are grounded

Heat Source Present

Yes

Doors & Windows

Satisfactory

Living Room Comments

Comment 32

Information

Living Room.



Dining Room

Walls & Ceiling

Satisfactory

Flooring

Satisfactory

Ceiling Fan / Lights

Satisfactory

Electrical

Switches operate, Outlets operate, Outlets are grounded

Heat Source Present

Yes

Doors & Windows

Satisfactory

Dining Room Comments

**Comment 33
Information**

Dining Room.



Family Room

Walls & Ceiling

Satisfactory

Flooring

Satisfactory

Ceiling Fan / Lights

Satisfactory

Electrical

Switches operate, Outlets operate, Outlets are grounded

Heat Source Present

Yes

Doors & Windows

Satisfactory

Family Room Comments

**Comment 34
Information**

Family Room.



Fireplace

Location

Family Room

Type

Wood

Insert

Steel insert

Damper Door

Present, Operates

Built-In Blower

Present, Operates

Hearth

Satisfactory

Mantle

Satisfactory

Smoke & Carbon Monoxide Detectors

Missing smoke detector, Missing carbon monoxide detector, Recommend adding a smoke detector, Recommend adding a carbon monoxide detector

Fireplace Comments

**Comment 35
Information**

Fireplace.



**Comment 36
Information**

Damper door present. Tested and operated properly.



**Comment 37
Information**

Recommend having fireplace and chimney flue evaluated and cleaned as needed by a certified chimney sweep prior to using.

Basement Room

Walls & Ceiling

Satisfactory

Flooring

Satisfactory, Damaged area of carpet

Ceiling Fan / Lights

Satisfactory

Electrical

Switches operate, Outlets operate, Outlets are grounded

Heat Source Present

Yes

Doors & Windows

Satisfactory

Basement Room Comments

Comment 38 Information

Basement Room.



Kitchen

Countertops

Satisfactory, Needs sealed at backsplash, Recommend sealing

Cabinets

Satisfactory

Plumbing

Faucet leaks: NO, Drain leaks: NO

Drainage

Satisfactory

Water Pressure

Satisfactory

Walls & Ceiling

Satisfactory

Floor

Satisfactory

Electrical

Switches work properly, Outlets present, GFCI protected, Operate

Kitchen Comments

Comment 39 Information

Kitchen.



Comment 40
Maintenance Item

Countertop backsplash seam needs sealed to prevent water intrusion. Recommend sealing.



Appliances

This is a cursory check only of the specified appliances. The accuracy or operation of timers, temperature or power level controls is beyond the scope of this inspection.

Disposal

Present, Operates

Range / Stovetop

Present, Operates, Low flame output at the right rear burner. Recommend repairing as needed

Oven

Present, Operates

Gas Shutoff Valve

Present, Within 6ft

Refrigerator

Present, Operates, Loose door handles. Recommend fastening securely

Microwave

Present, Operates

Range Hood/Exhaust Fan

Present, Operates, Vented to the outside

Dishwasher

Present, Operates

Appliances Comments

Comment 41
Information

Appliances present at time of inspection.



Comment 42
Deficiency

Low flame output at the right rear burner. Recommend repairing as needed.



Bathroom

Sink

Faucet leaks: NO, Drain leaks: NO

Tub

Faucet leaks: NO, Drain leaks: NO

Shower

Faucet leaks: NO, Drain leaks: NO

Shower/Tub Area

Plastic, Satisfactory

Toilet

Working properly

Drainage

Satisfactory

Water Pressure

Satisfactory

Moisture Stains

None present

Doors & Windows

Satisfactory

Electrical

Switches work properly, Outlets present, GFCI protected, Operates

Exhaust Fan

Present, Operates

Heat Source Present

Yes

Bathroom Comments

**Comment 43
Information**

2nd Floor Bathroom.



Half Bathroom

Sink

Faucet leaks: NO, Drain leaks: NO, Slow drain, Recommend cleaning drain

Toilet

Working properly

Water Pressure

Satisfactory

Moisture Stains

None present

Doors & Windows

Satisfactory

Electrical

Switches work properly, Outlets present, GFCI protected, Operate

Exhaust Fan

Present, Operates

Heat Source Present

No

Half Bathroom Comments

Comment 44
Information

Half Bathroom.



Comment 45
Deficiency

Slow drain at the sink. Recommend cleaning the drain.



Laundry Room

Laundry Sink

Present, Faucet leaks: NO, Drain leaks: NO, Satisfactory

Appliances Present

Washer, Dryer

Dryer

Electric, Vented out wall

Electrical

Laundry area outlet is not GFCI protected. Safety Hazard. Recommend upgrading to a GFCI protected outlet

Laundry Room Comments

Comment 46

Information

Laundry area with washer & dryer (not tested).



Comment 47

Deficiency

Improper drain line present at utility sink. Corrugated flexible drain lines are prone to clogging and leaking. No active leaks at time of inspection. Recommend replacing with a solid PVC drain line.



Comment 48

Safety Hazard

Laundry area outlet within 6 feet of a water source is not GFCI protected. Safety Hazard. Recommend upgrading to a GFCI protected outlet.



The visible condition of the structural components is inspected. The determination of adequacy of structural components is beyond the scope of a home inspection.

Foundation Types

Basement

Foundation Materials

Concrete block

Floor Structure

Wood Framed

Subflooring

Plywood

Wall Structure

Wood Framed

Stairs

Satisfactory

Handrail

Satisfactory

Headway Over Stairs

Satisfactory

Basement Comments

Comment 49

Safety Hazard

Missing plate cover with exposed live wires at the top of the basement stairs. Safety Hazard. Recommend repairing.



Foundation Walls

Building Material

Concrete block

Vertical Cracks

Present, Recommend monitoring

Step Cracks

None observed

Horizontal Cracks

Present, Recommend monitoring

Movement Apparent

None apparent

Covered Walls

South, West, Partially finished basement

Condition

Satisfactory

Additional Structural Supports

None present

Foundation Walls Comments

Comment 50

Information

General pictures of visible interior foundation walls.

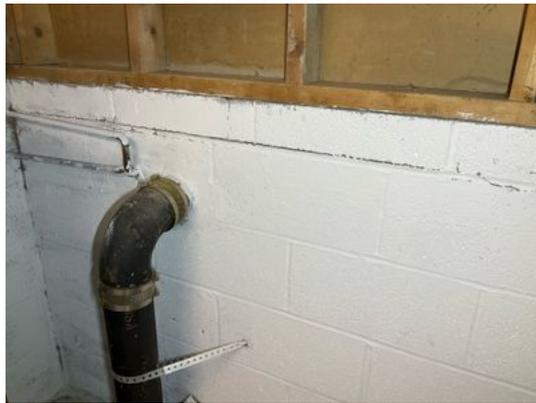




Comment 51

Deficiency

Vertical and horizontal settling cracks present at the visible foundation walls. No structural deficiencies or concerns observed. Recommend monitoring and repairing as needed.





Comment 52
Information

Some of the interior foundation walls were not visible due to the finished walls.



Floor

Building Material

Concrete, Typical cracks, Carpet

Condition: Satisfactory

Basement Drainage

Indications of Moisture

Efflorescence present at block walls, Recommend monitoring and repairing as needed, as well as completing any exterior water control measures as needed

Sump Pump

Not present

Floor Drains

Present near the furnace, Not tested

Basement Waterproofing System

None present

Girders & Columns

Building Material

Steel, Minimal visibility due to finished walls

Additional Supports

None present

Joists / Trusses

Building Material

Wood, Joists, Finished ceiling(s), some areas not visible

Condition: Satisfactory

Additional Supports

None present

Heating

The heating system is inspected visually and operated by normal controls to determine general condition, not life expectancy. The capacity or adequacy of the heating system is beyond the scope of a home inspection. A licensed HVAC contractor should be consulted if in question.

Manufacturer

Bryant

Type

Forced Air

Approx. Age / Manufacturer's Date

41 years (1983)

Energy Source

Gas

Gas Shut off Valve

Present, Within 6ft

Hot Air Systems

Direct drive

Type of Distribution

Metal Ducting

Flue Piping

Metal, Satisfactory

Filter

Standard, Paper, Needs replaced, Recommend replacing with a new air filter

Controls

Disconnect switch, Safety switch

Operation

Fired, Satisfactory

Thermostat Location

Dining Room

Heating Comments

Comment 53
Information

Furnace and manufacturer's data label.



Comment 54
Deficiency

Air filter size - 20x25x1.

Air filter needs replaced. Recommend replacing with a new air filter.



Comment 55
Information

Furnace operation was satisfactory at time of inspection.



Comment 56
Information

Due to age (1983), recommend having the furnace evaluated and serviced by an HVAC technician upon initial acquisition.



Comment 57
Information

Recommend having the furnace and A/C serviced by an HVAC technician twice a year. In the Spring before using the A/C all Summer, and in the Fall before using the furnace all Winter.

Cooling

The cooling system is inspected by operation of the equipment by normal controls to determine general condition, not life expectancy. The capacity or adequacy of cooling system is beyond the scope of a home inspection. A licensed HVAC contractor should be consulted if in question.

Energy Source

Electric

Type of Equipment

Air cooled

Type of Distribution

Metal Ducting

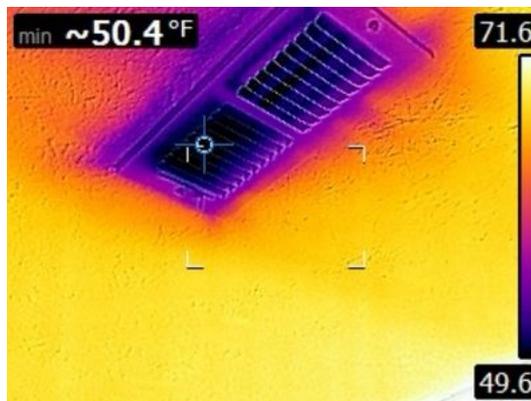
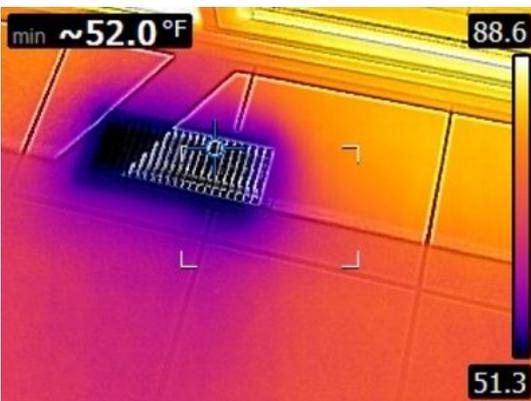
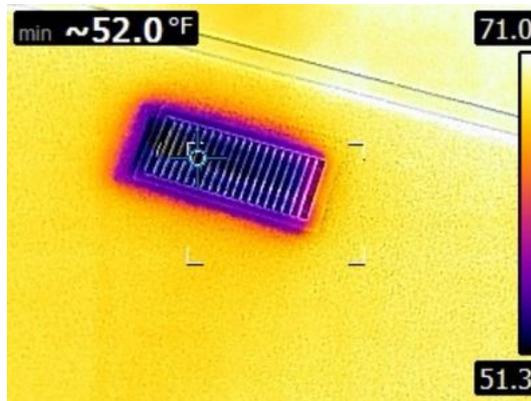
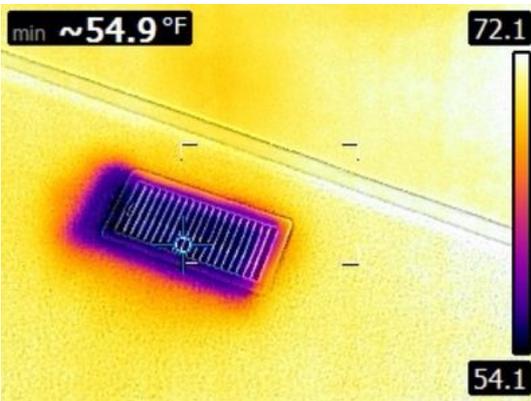
Operated

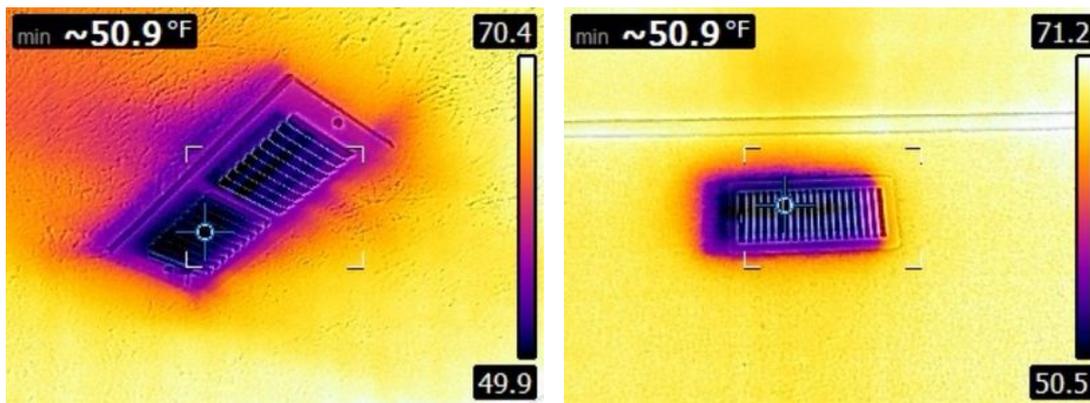
Yes

Cooling Comments

Comment 58 Information

Air conditioning was blowing below 60 degrees at the vents.





A/C Condenser

Manufacturer

Tempstar

Approx. Age / Manufacturer's Date

30 years (1994)

Max Breaker

30

Level

Yes

Refrigerant Line

Needs sealed at house penetration, Recommend sealing

A/C Condenser Comments

Comment 59
Information

A/C unit and manufacturer's data label.



Comment 60
Deficiency

Refrigerant line needs sealed at house penetration. Recommend sealing.



Comment 61

Deficiency

Due to age (1994), recommend having the air conditioning evaluated and serviced by an HVAC technician upon initial acquisition.



Service Panel Location

Basement

Service Panel Manufacturer

Siemens

Service Amperage

100 amps

Overcurrent Devices

Breakers

Main Disconnect Location

Service Panel

Sub-Panel Locations

N/A

Appears Grounded

Yes

Main Wire

Copper

Branch Wiring

Copper

AFCI Breaker(s)

None present

GFCI Breaker(s)

None present

Panel Condition

Satisfactory, Missing knockout cover at left side of panel. Safety Hazard. Recommend adding a knockout cover

Electrical Comments

Comment 62
Information

Electrical Panel.



Comment 63
Safety Hazard

Missing knockout cover at left side of panel. Safety Hazard. Recommend adding a knockout cover.



Plumbing

The plumbing system is inspected visually and by operating a representative number of fixtures and drains. Private water and waste systems are beyond the scope of a home inspection.

Location of Water Shutoff

In the basement

Water Entry Piping

Copper

Water Lines

Copper

Water Flow

Satisfactory

Water Pressure

Satisfactory

Drain Lines

Cast iron, Copper

Water Discharge

Satisfactory

Gas Lines

Black iron

Water Softener

Not present

Water Source

Public

Water Heater

Manufacturer

A.O. Smith

Approx. Age / Manufacturer's Date

Less than 1 year (2024)

Heat Source

Gas

Gas Shutoff Valve

Present, Within 6ft

Capacity

50 gallons

Relief Valve

Present, Proper length extension

Vent Pipe

Metal, Satisfactory

Water Heater Comments

**Comment 64
Information**

Water heater and manufacturer's data label.



**Comment 65
Safety Hazard**

Hot water at the sink was measured at 140+ degrees. Potential Safety Hazard. Recommend turning down the water heater thermostat to obtain hot water closer to 120-125 degrees.



TEMPERATURE SCALDING CHART	
Water Temperature (°F)	Approximate TIME for 1st Degree Burn
100	Safe for bathing
120	8 minutes
125	2 minutes
130	17 seconds
140	3 seconds
155	Instant
160	Instant

Comment 66
Information

Main gas meter and shutoff, located outside.



Comment 67
Information

Main electrical shutoff, located in the basement.



Comment 68
Information

Main water shutoff, located in the basement.



Summary

Items Not Operating

Exterior electrical outlet

Major Concerns

None apparent

Potential Safety Hazards

Trip hazard, Outlets near water that are not GFCI protected, Missing plate cover with exposed live wires, Missing knockout cover at the electrical panel, Water heater thermostat set too high

Deferred Cost Items (Budget To Potentially Repair Or Replace In Next 5 Years Due To Age)

Roof that is 15+ years, Furnace that is 15+ years, A/C that is 10+ years

Items Not Tested

Washer & Dryer

Items listed in this report may have inadvertently been left off the summary list. Please review the entire report, including the remarks.

Deficiency

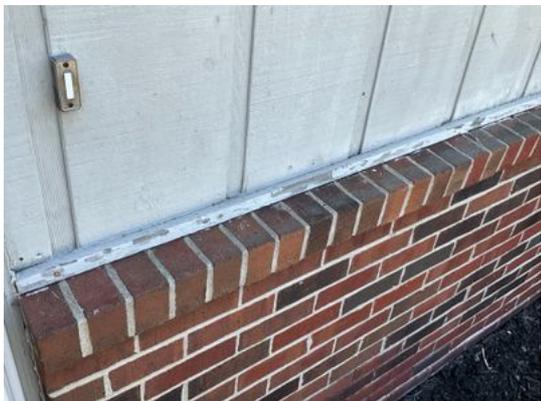
Exterior

Deteriorated/missing mortar joints and loose bricks present at the front stoop. Recommend tuck pointing repairs.



Exterior

Flaking paint and exposed wood present at the wood trim at front of house. Recommend prepping and painting to prevent premature deterioration.



Exterior

No power at this exterior GFCI protected outlet at front of house. Recommend repairing or replacing as needed.



Exterior

Stinging insect hives present at front of house. Hives appear to be dormant at time of inspection. Recommend removing.



Exterior

Loose section of vinyl siding at rear of house. Recommend repairing.



Roofing

Algae staining (black streaks) present in multiple areas of the house and garage roof. Moss developing at the garage roof.

Recommend having a professional roof cleaning company perform a low pressure roof cleaning to remove any algae and moss from the shingles.





Roofing

Deterioration and granule loss present at roof shingles. No active leaks or evidence of roof leaks at time of inspection. Recommend monitoring and repairing or replacing the roof when needed.



Garage

Loose electrical outlet. Recommend repairing.



Attic Above House

Evidence of potential microbial growth/mold present at roof sheathing in several areas. Recommend mold remediation by a qualified mold remediation contractor.

The staining appears to be isolated to the West facing side of the upper tier roof.



Attic Above House

Cracked rafter at the roof. Recommend repairing.



Interior Rooms: Bedroom #2

Entry door does not properly latch and the bottom hinge is loose and missing a screw. Recommend repairs.



Interior Rooms: Bedroom #4

Evidence of insulated glass seal failure at window. Recommend replacing as needed.



Kitchen: Appliances

Low flame output at the right rear burner. Recommend repairing as needed.



Bathrooms: Half Bathroom

Slow drain at the sink. Recommend cleaning the drain.



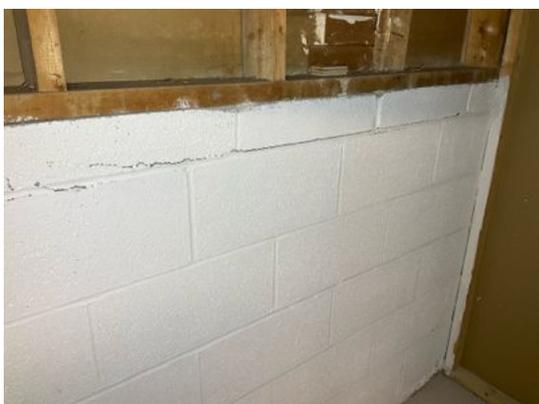
Laundry Room

Improper drain line present at utility sink. Corrugated flexible drain lines are prone to clogging and leaking. No active leaks at time of inspection. Recommend replacing with a solid PVC drain line.



Basement: Foundation Walls

Vertical and horizontal settling cracks present at the visible foundation walls. No structural deficiencies or concerns observed. Recommend monitoring and repairing as needed.



Heating

Air filter size - 20x25x1.

Air filter needs replaced. Recommend replacing with a new air filter.



Cooling: A/C Condenser

Refrigerant line needs sealed at house penetration. Recommend sealing.



Cooling: A/C Condenser

Due to age (1994), recommend having the air conditioning evaluated and serviced by an HVAC technician upon initial acquisition.



Safety Hazard

Exterior

Front walkway has settled, creating a potential trip hazard where it meets the driveway. Safety Hazard. Recommend repairing.



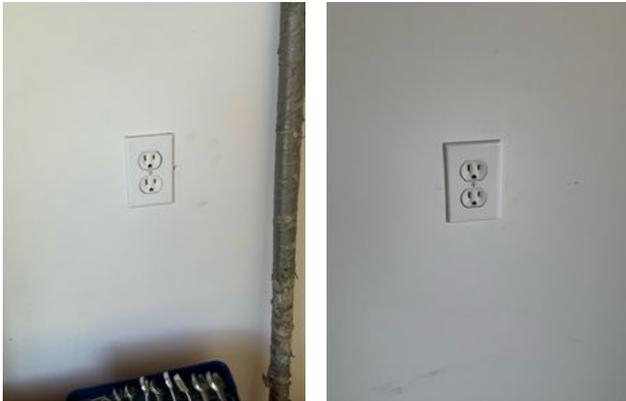
Exterior

Exterior outlet at rear of house is not GFCI protected. Safety Hazard. Recommend upgrading to a GFCI protected outlet.



Garage

Garage outlets are not GFCI protected. Safety Hazard. Recommend upgrading to GFCI protected outlets.



Laundry Room

Laundry area outlet within 6 feet of a water source is not GFCI protected. Safety Hazard. Recommend upgrading to a GFCI protected outlet.



Basement

Missing plate cover with exposed live wires at the top of the basement stairs. Safety Hazard. Recommend repairing.



Electrical

Missing knockout cover at left side of panel. Safety Hazard. Recommend adding a knockout cover.



Plumbing: Water Heater

Hot water at the sink was measured at 140+ degrees. Potential Safety Hazard. Recommend turning down the water heater thermostat to obtain hot water closer to 120-125 degrees.



TEMPERATURE SCALDING CHART	
Water Temperature (°F)	Approximate TIME for 1st Degree Burn
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130	17 seconds
140	3 seconds
155	Instant
160	Instant

Maintenance Item

Exterior

Recommend sealing gaps where brick veneer and siding join to prevent moisture and/or pest intrusion.





Exterior

Gutters need cleaned out. Recommend cleaning out gutters and gutter screens to ensure proper water drainage.



Exterior

Recommend sealing all house penetrations (gas line pictured) to prevent water intrusion or pests.



Exterior

Recommend trimming any shrubs/bushes away from the house.



Kitchen

Countertop backsplash seam needs sealed to prevent water intrusion. Recommend sealing.

