

	MLS #	Status	Address	Price	County	Municipi	Complex	Model	Apx SqFt	# Car Garage	Apx Year Built	Bedroo	Total Baths	Basem	Days On Market
1	224119	Closed	30 Tahoe Ln	\$725,00	Ocean	Stafford	Colony Lakes		1,676	1	1985	3	2.1	N	2
2	223270	Closed	121 Timberla Dr	\$765,00	Ocean	Stafford	Colony Lakes		2,412	2	1984	4	2.1	N	127
3	224206	Closed	276 Jenning Rd	\$820,00	Ocean	Stafford	Colony Lakes		1,916	1	1981	3	2.1	N	13
4	224025	Closed	25 Aspen Ln	\$931,00	Ocean	Stafford	Colony Lakes			1		4	2.1	N	119

Information is deemed to be reliable, but is not guaranteed. © 2024 [MLS](#) and [FBS](#). Prepared by Scott McSorley, , Scott McSorley on Friday, November 01, 2024 5:32 PM.

30 Tahoe Ln, Manahawkin, NJ 08050-4622, Ocean County  
APN: 31-00147-101-00052 CLIP: 1016018204

**OWNER INFORMATION**

Owner Name	Varga John P	Tax Billing Zip	08050
Owner Name 2	Summers Susan	Tax Billing Zip+4	4622
Tax Billing Address	30 Tahoe Ln	Owner Occupied	Yes
Tax Billing City & State	Manahawkin, NJ		

**COMMUNITY INSIGHTS**

Median Home Value	\$725,516	School District	STAFFORD TOWNSHIP S CHOOL DISTRICT
Median Home Value Rating	8 / 10	Family Friendly Score	92 / 100
Total Crime Risk Score (for the neighborhood, relative to the nation)	85 / 100	Walkable Score	33 / 100
Total Incidents (1 yr)	13	Q1 Home Price Forecast	\$779,178
Standardized Test Rank	74 / 100	Last 2 Yr Home Appreciation	23%

**LOCATION INFORMATION**

Township	Stafford Twp	Carrier Route	C005
School District Name	Stafford Township SD	Block #	147.101
Subdivision	Village Harbour Sec 12-A	Lot #	52
Zoning	R75	Flood Zone Date	12/16/2021
Census Tract	7351.06	Flood Zone Panel	34029C0492G

**TAX INFORMATION**

Tax ID	<a href="#">31-00147-101-00052</a>	Tax Appraisal Area	31
Alt APN	31-00147-0101-00052	Lot Number	52
% Improved	46%	Block ID	147.1
Tax Area	31		
Legal Description	80X183IRR		

**ASSESSMENT & TAX**

Assessment Year	2024	2023	2022
Assessed Value - Total	\$337,000	\$337,000	\$337,000
Assessed Value - Land	\$182,300	\$182,300	\$182,300
Assessed Value - Improved	\$154,700	\$154,700	\$154,700
YOY Assessed Change (%)	0%	0%	
YOY Assessed Change (\$)	\$0	\$0	

Tax Year	Total Tax	Change (\$)	Change (%)
2021	\$7,825		
2022	\$7,933	\$108	1.38%
2023	\$8,287	\$354	4.46%

CHARACTERISTICS			
Lot Frontage	80	Bedrooms	3
Lot Depth	183	Total Baths	Tax: 3 MLS: 2.1
Estimated Lots Acres	0.336	Full Baths	Tax: 3 MLS: 2
Estimated Lot Area	14,640	Half Baths	MLS: 1
Lot Shape	Irregular	Parking Type	Undefined Type - 1 Car Garage
Style	Contemporary	Garage Capacity	1
Stories	2	Exterior	Frame
Estimated Building Square Feet	1,676	Year Built	1985

FEATURES
Feature Type
Z03
Z47
Ab8
Z42
Ab8
Aa4
Ad9
Z52

SELL SCORE			
Rating	High	Value As Of	2024-10-27 04:38:44
Sell Score	710		

ESTIMATED VALUE			
RealAVM <sub>LC</sub>	\$745,100	Confidence Score	89
RealAVM <sub>LC</sub> Range	\$672,800 - \$817,300	Forecast Standard Deviation	10
Value As Of	10/21/2024		

- (1) RealAVM™ is a CoreLogic® derived value and should not be used in lieu of an appraisal.
- (2) The Confidence Score is a measure of the extent to which sales data, property information, and comparable sales support the property valuation analysis process. The confidence score range is 50 - 100. Clear and consistent quality and quantity of data drive higher confidence scores while lower confidence scores indicate diversity in data, lower quality and quantity of data, and/or limited similarity of the subject property to comparable sales.
- (3) The FSD denotes confidence in an AVM estimate and uses a consistent scale and meaning to generate a standardized confidence metric. The FSD is a statistic that measures the likely range or dispersion an AVM estimate will fall within, based on the consistency of the information available to the AVM at the time of estimation. The FSD can be used to create confidence that the true value has a statistical degree of certainty.

RENTAL TRENDS			
Estimated Value	3263	Cap Rate	2.7%
Estimated Value High	3748	Forecast Standard Deviation (FSD)	0.15
Estimated Value Low	2778		
<p>(1) Rental Trends is a CoreLogic® derived value and should be used for information purposes only.</p> <p>(2) The FSD denotes confidence in an Rental Trends estimate and uses a consistent scale and meaning to generate a standardized confidence metric. The FSD is a statistic that measures the likely range or dispersion a Rental Amount estimate will fall within, based on the consistency of the information available to the Rental Amount at the time of estimation. The FSD can be used to create confidence that the true value has a statistical degree of certainty.</p>			

LISTING INFORMATION			
MLS Listing Number	22411908	MLS Sale Date	06/13/2024
MLS Status	Closed	MLS Sale Price	\$725,000
MLS Status Change Date	06/13/2024	MLS List. Agent Name	35814-Robert P Sinopoli
MLS Listing Date	05/01/2024	MLS List. Broker Name	EXP REALTY
MLS Current List Price	\$749,000	MLS Selling Agent Name	09990-Non Member Morr
MLS Orig. List Price	\$749,000	MLS Selling Broker Name	NON MEMBER

LAST MARKET SALE & SALES HISTORY				
Recording Date	06/19/2024	Deed Type	Deed (Reg)	
Settle Date	Tax: 06/12/2024 MLS: 06/13/2024	Owner Name	Varga John P	
Sale Price	\$725,000	Owner Name 2	Summers Susan	
Document Number	19713-937	Seller	Ryerson Donald & Patricia	
Recording Date	06/19/2024	06/05/2002		
Sale Price	\$725,000	\$345,000	\$185,000	\$123,125
Buyer Name	Varga John P	Ryerson Donald & Patricia	Rauchut Charles & Loretta	Marino Roger & Maryann
Seller Name	Ryerson Donald & Patricia	Rauchut Charles W & Loretta O	Marino Roger & Mary	Lpc Village Harbour Inc
Document Number	19713-937	10867-1530	4506-791	4382-144
Document Type	Deed (Reg)	Deed (Reg)	Deed (Reg)	Deed (Reg)

MORTGAGE HISTORY		
Mortgage Date	07/14/2020	08/05/2010
Mortgage Amount	\$107,800	\$107,800
Mortgage Lender	Bank Of America Na	Bank Of America
Mortgage Type	Refi	Refi



2048x1365-30\_Tahoe\_Ln\_Manahawkin\_NJ\_08



2048x1365-30\_Tahoe\_Ln\_Manahawkin\_NJ\_08



2048x1365-30\_Tahoe\_Ln\_Manahawkin\_NJ\_08



2048x1365-30\_Tahoe\_Ln\_Manahawkin\_NJ\_08



-2048x1366-2F9A2000



2048x1365-30\_Tahoe\_Ln\_Manahawkin\_NJ\_08



2048x1365-30 Tahoe Ln Manahawkin NJ\_08



2048x1365-30 Tahoe Ln Manahawkin NJ\_08



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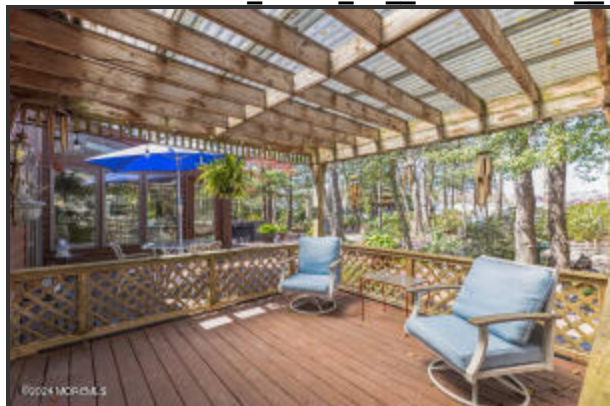


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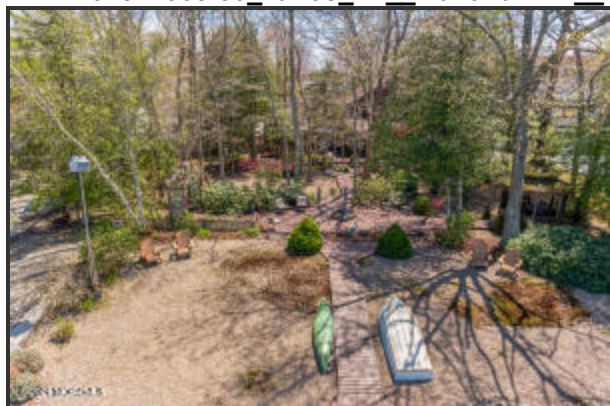




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**-2048x1366-2F9A1930**



**-2048x1366-2F9A2009**



**2048x1365-30\_Tahoe\_Ln\_Manahawkin\_NJ\_08**



**2048x1365-30\_Tahoe\_Ln\_Manahawkin\_NJ\_08**



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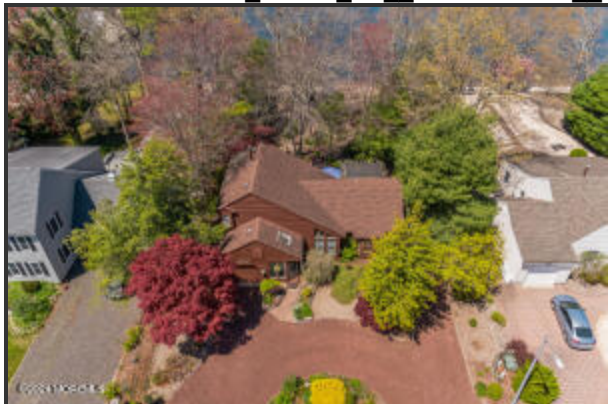


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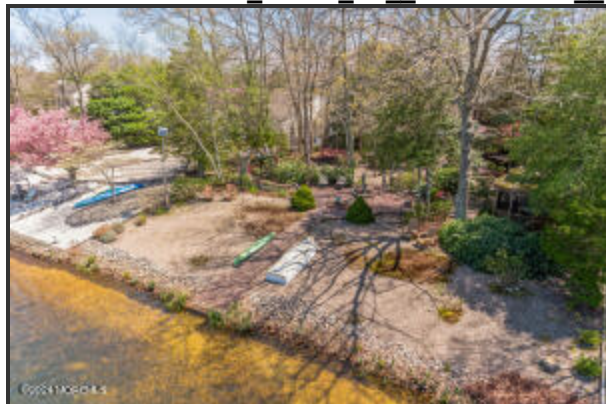
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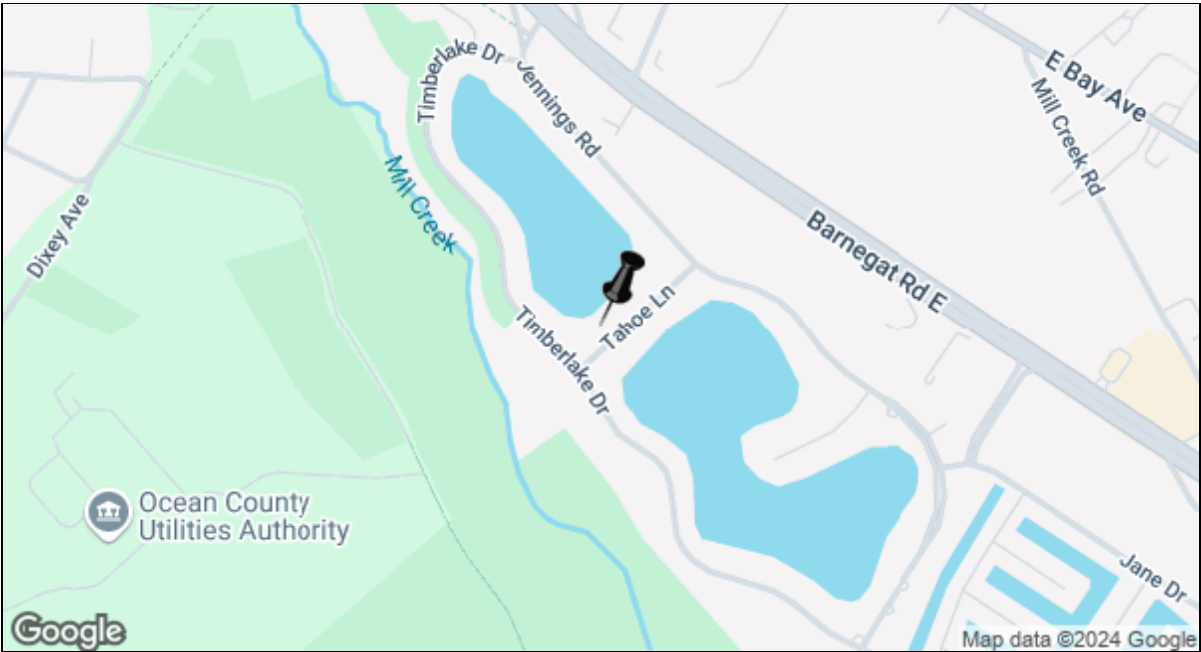
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2048x1365-30 Tahoe Ln Manahawkin NJ\_08







121 Timberlake Dr, Manahawkin, NJ 08050-4604, Ocean County  
APN: 31-00147-100-00067    CLIP: 3927469027

#### OWNER INFORMATION

Owner Name	Kudoba John R	Tax Billing Zip	08050
Owner Name 2	Kudoba Jacqueline	Tax Billing Zip+4	4604
Tax Billing Address	121 Timberlake Dr	Owner Occupied	Yes
Tax Billing City & State	Manahawkin, NJ		

#### COMMUNITY INSIGHTS

Median Home Value	\$725,516	School District	STAFFORD TOWNSHIP S CHOOL DISTRICT
Median Home Value Rating	8 / 10	Family Friendly Score	92 / 100
Total Crime Risk Score (for the neighborhood, relative to the nation)	85 / 100	Walkable Score	33 / 100
Total Incidents (1 yr)	13	Q1 Home Price Forecast	\$779,178
Standardized Test Rank	74 / 100	Last 2 Yr Home Appreciation	23%

#### LOCATION INFORMATION

Township	Stafford Twp	Carrier Route	C005
School District Name	Stafford Township SD	Block #	147.100
Subdivision	Village Harbour Ph Iv-A Sec 12	Lot #	67
Zoning	R75	Flood Zone Date	12/16/2021
Census Tract	7351.06	Flood Zone Panel	34029C0511G

#### TAX INFORMATION

Tax ID	<a href="#">31-00147-100-00067</a>	Tax Appraisal Area	31
Alt APN	31-00147-0100-00067	Lot Number	67
% Improved	50%	Block ID	147.1
Tax Area	31		
Legal Description	72.66X138IRR		

#### ASSESSMENT & TAX

Assessment Year	2024	2023	2022
Assessed Value - Total	\$355,600	\$355,600	\$355,600
Assessed Value - Land	\$179,400	\$179,400	\$179,400
Assessed Value - Improved	\$176,200	\$176,200	\$176,200
YOY Assessed Change (%)	0%	0%	
YOY Assessed Change (\$)	\$0	\$0	

Tax Year	Total Tax	Change (\$)	Change (%)
2021	\$8,257		
2022	\$8,371	\$114	1.38%
2023	\$8,744	\$373	4.46%

CHARACTERISTICS			
Lot Frontage	72.66	Bedrooms	4
Lot Depth	138	Total Baths	Tax: 3 MLS: 2.1
Estimated Lots Acres	0.2301	Full Baths	Tax: 3 MLS: 2
Estimated Lot Area	10,027	Half Baths	MLS: 1
Lot Shape	Irregular	Parking Type	Undefined Type - 2 Car Garage
Style	Colonial	Garage Capacity	2
Stories	2	Exterior	Frame
Estimated Building Square Feet	2,412	Year Built	1984

FEATURES	
Feature Type	
Ac5	
Aa4	
Ad9	
Z42	

SELL SCORE			
Rating	High	Value As Of	2024-10-27 04:38:44
Sell Score	676		

ESTIMATED VALUE			
RealAVM <sup>TM</sup> ,¢	\$795,500	Confidence Score	82
RealAVM <sup>TM</sup> ,¢ Range	\$718,300 - \$872,700	Forecast Standard Deviation	10
Value As Of	10/21/2024		

<b>(1) RealAVM<sup>TM</sup> is a CoreLogic® derived value and should not be used in lieu of an appraisal.</b>			
<b>(2) The Confidence Score is a measure of the extent to which sales data, property information, and comparable sales support the property valuation analysis process. The confidence score range is 50 - 100. Clear and consistent quality and quantity of data drive higher confidence scores while lower confidence scores indicate diversity in data, lower quality and quantity of data, and/or limited similarity of the subject property to comparable sales.</b>			
<b>(3) The FSD denotes confidence in an AVM estimate and uses a consistent scale and meaning to generate a standardized confidence metric. The FSD is a statistic that measures the likely range or dispersion an AVM estimate will fall within, based on the consistency of the information available to the AVM at the time of estimation. The FSD can be used to create confidence that the true value has a statistical degree of certainty.</b>			

RENTAL TRENDS			
Estimated Value	3386	Cap Rate	2.6%
Estimated Value High	3956	Forecast Standard Deviation (FSD)	0.17

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(2) The FSD denotes confidence in an Rental Trends estimate and uses a consistent scale and meaning to generate a standardized confidence metric. The FSD is a statistic that measures the likely range or dispersion a Rental Amount estimate will fall within, based on the consistency of the information available to the Rental Amount at the time of estimation. The FSD can be used to create confidence that the true value has a statistical degree of certainty.

**LISTING INFORMATION**

MLS Listing Number	22327038	MLS Sale Date	02/26/2024
MLS Status	Closed	MLS Sale Price	\$765,000
MLS Status Change Date	02/26/2024	MLS List. Agent Name	51665-Alexis Neris
MLS Listing Date	09/28/2023	MLS List. Broker Name	WARD WIGHT SOTHEB Y'S INTERNATIONAL REA LTY
MLS Current List Price	\$765,000	MLS Selling Agent Name	28576-Candace Golembes ki
MLS Orig. List Price	\$795,000	MLS Selling Broker Name	RE/MAX REVOLUTION

**LAST MARKET SALE & SALES HISTORY**

Recording Date	03/04/2024	Deed Type	Executor's Deed
Settle Date	Tax: 02/23/2024 MLS: 02/2 6/2024	Owner Name	Kudoba John R
Sale Price	\$765,000	Owner Name 2	Kudoba Jacqueline
Document Number	19621-53	Seller	Wilson William A

Recording Date	03/04/2024	01/21/2003	04/14/1994	
Sale Price	\$765,000	\$420,000	\$151,000	\$37,500
Buyer Name	Kudoba John R & Jacq ueline	Wilson William A & Ro semary	Turco Robert I & Victor ia	Lynn Dan
Seller Name	Wilson William A	Turco Robert I & Victor ia	Home Loan & Inv Asso ciates	Lpc Village Harbour In c
Document Number	19621-53	11195-549	5154-352	4129-233
Document Type	Executor's Deed	Deed (Reg)	Deed (Reg)	Deed (Reg)

**MORTGAGE HISTORY**

Mortgage Date	03/04/2024	07/25/2001	04/14/1994
Mortgage Amount	\$265,000	\$100,000	\$120,000
Mortgage Lender	Nj Lenders Corp	First Union Nat'l Bk	Constellation Bk
Mortgage Type	Resale	Refi	Resale

Courtesy of SCOTT MCSORLEY, Monmouth Ocean Regional REALTORS

Generated on: 11/01/24

The data within this report is compiled by CoreLogic from public and private sources. The data is deemed reliable, but is not guaranteed. The accuracy of the data contained herein can be independently verified by the recipient of this report with the applicable county or municipality.

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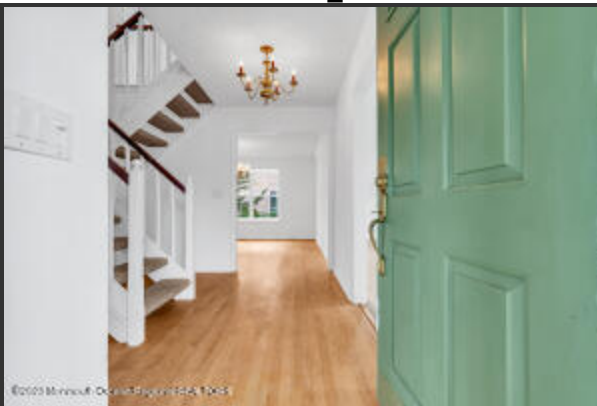




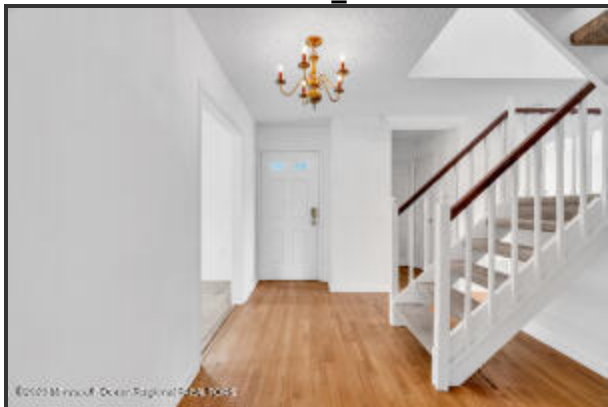
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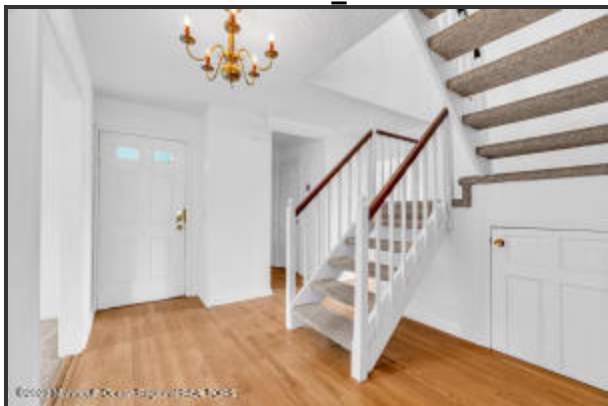
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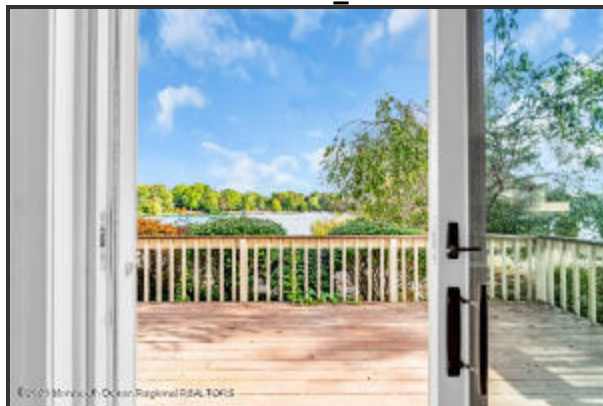
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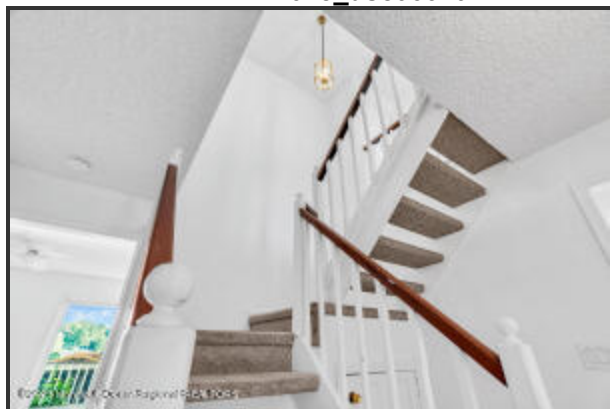
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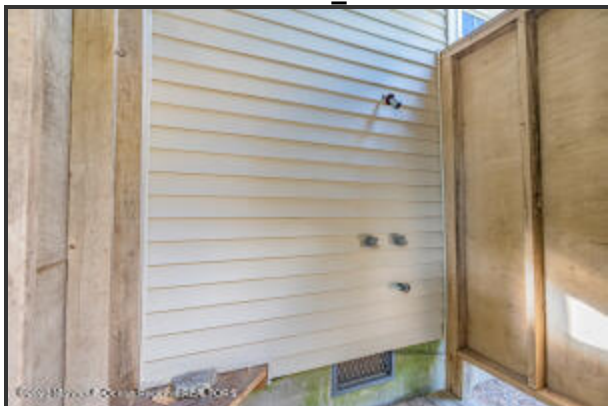
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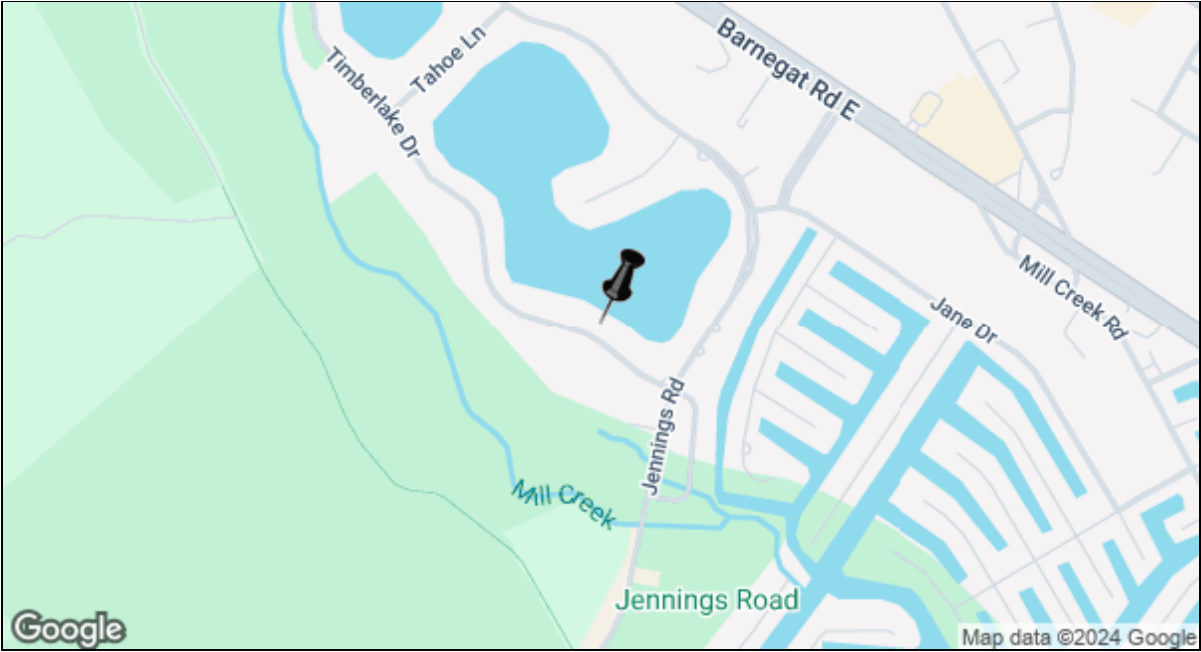


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276 Jennings Rd, Manahawkin, NJ 08050-4612, Ocean County  
APN: 31-00147-100-00004 CLIP: 1161604152

**OWNER INFORMATION**

Owner Name	Saggese Joseph W	Tax Billing Zip	08050
Owner Name 2	Saggese Theresa C	Tax Billing Zip+4	4612
Tax Billing Address	276 Jennings Rd	Owner Occupied	Yes
Tax Billing City & State	Manahawkin, NJ		

**COMMUNITY INSIGHTS**

Median Home Value	\$725,516	School District	STAFFORD TOWNSHIP S CHOOL DISTRICT
Median Home Value Rating	8 / 10	Family Friendly Score	92 / 100
Total Crime Risk Score (for the neighborhood, relative to the nation)	85 / 100	Walkable Score	33 / 100
Total Incidents (1 yr)	13	Q1 Home Price Forecast	\$779,178
Standardized Test Rank	74 / 100	Last 2 Yr Home Appreciation	23%

**LOCATION INFORMATION**

Township	Stafford Twp	Carrier Route	C005
School District Name	Stafford Township SD	Block #	147.100
Subdivision	Village Harbour Sec 12-A Ph 01	Lot #	4
Zoning	R75	Flood Zone Date	12/16/2021
Census Tract	7351.06	Flood Zone Panel	34029C0511G

**TAX INFORMATION**

Tax ID	<a href="#">31-00147-100-00004</a>	Tax Appraisal Area	31
Alt APN	31-00147-0100-00004	Lot Number	4
% Improved	48%	Block ID	147.1
Tax Area	31		
Legal Description	82X119IRR		

**ASSESSMENT & TAX**

Assessment Year	2024	2023	2022
Assessed Value - Total	\$334,000	\$334,000	\$334,000
Assessed Value - Land	\$174,100	\$174,100	\$174,100
Assessed Value - Improved	\$159,900	\$159,900	\$159,900
YOY Assessed Change (%)	0%	0%	
YOY Assessed Change (\$)	\$0	\$0	

Tax Year	Total Tax	Change (\$)	Change (%)
2021	\$7,755		
2022	\$7,862	\$107	1.38%
2023	\$8,213	\$351	4.46%

CHARACTERISTICS			
Lot Frontage	82	Total Baths	Tax: 3 MLS: 2.1
Lot Depth	119	Full Baths	Tax: 3 MLS: 2
Estimated Lots Acres	0.224	Half Baths	MLS: 1
Estimated Lot Area	9,758	Parking Type	Undefined Type - 1 Car Ga rage
Lot Shape	Irregular	Garage Capacity	1
Style	Contemporary	Exterior	Frame
Stories	2	Pool	Vinyl
Estimated Building Square Feet	1,916	Year Built	1981
Bedrooms	3		

FEATURES
Feature Type
Z11
Ad9
Ad9
Aa4
Z48
Ac9
Z09

SELL SCORE			
Rating	Moderate	Value As Of	2024-10-27 04:38:44
Sell Score	517		

ESTIMATED VALUE			
RealAVM <sup>™</sup>	\$770,600	Confidence Score	89
RealAVM <sup>™</sup> Range	\$688,100 - \$853,100	Forecast Standard Deviation	11
Value As Of	10/21/2024		

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RENTAL TRENDS			
Estimated Value	3369	Cap Rate	2.8%
Estimated Value High	3890	Forecast Standard Deviation (FSD)	0.15
Estimated Value Low	2848		
<p><b>(1) Rental Trends is a CoreLogic® derived value and should be used for information purposes only.</b></p> <p><b>(2) The FSD denotes confidence in an Rental Trends estimate and uses a consistent scale and meaning to generate a standardized confidence metric. The FSD is a statistic that measures the likely range or dispersion a Rental Amount estimate will fall within, based on the consistency of the information available to the Rental Amount at the time of estimation. The FSD can be used to create confidence that the true value has a statistical degree of certainty.</b></p>			

LISTING INFORMATION			
MLS Listing Number	22420624	MLS Sale Date	09/10/2024
MLS Status	Closed	MLS Sale Price	\$820,000
MLS Status Change Date	09/11/2024	MLS List. Agent Name	37948-Jennifer Bernabeo
MLS Listing Date	07/18/2024	MLS List. Broker Name	EXP REALTY
MLS Current List Price	\$775,000	MLS Selling Agent Name	37948-Jennifer Bernabeo
MLS Orig. List Price	\$775,000	MLS Selling Broker Name	EXP REALTY

LAST MARKET SALE & SALES HISTORY				
Recording Date	04/29/2003	Deed Type	Deed (Reg)	
Settle Date	MLS: 09/10/2024	Owner Name	Saggese Joseph W	
Sale Price	\$343,000	Owner Name 2	Saggese Theresa C	
Document Number	11374-445	Seller	Moftah Michael	
Recording Date	04/29/2003	10/14/1988		
Sale Price	\$343,000	\$208,500	\$165,000	\$100,000
Buyer Name	Saggese Joseph W	Moftah Michael	Neff George & Frances	Degennaro Frank
Seller Name	Moftah Michael	Neff George & Frances	Degennaro Frank & Maybelle	Lpc Village Harbour Inc
Document Number	11374-445	4705-194	4463-190	4147-632
Document Type	Deed (Reg)	Deed (Reg)	Deed (Reg)	Deed (Reg)

MORTGAGE HISTORY					
Mortgage Date	05/13/2013	04/29/2003	10/14/1988		
Mortgage Amount	\$135,000	\$210,000	\$118,000	\$122,000	\$25,000
Mortgage Lender	Valley Nat'l Bk	Fleet Nat'l Bk	Vision Mtg	Genstar Mtg	Universal Svgs Bk
Mortgage Type	Refi	Resale	Resale	Resale	Resale

**Waterfront Living**



**Welcome to 276 Jennings**



**Welcome to 276 Jennings**



**Waterfront Living**



**Welcome to 276 Jennings**



**Welcome to 276 Jennings**





**Foyer**



**Living Room**



**Kitchen**



**Kitchen**



**Kitchen**



**Dining Room**



**First Floor Half Bath**



**Laundry Room**



**Primary Suite**



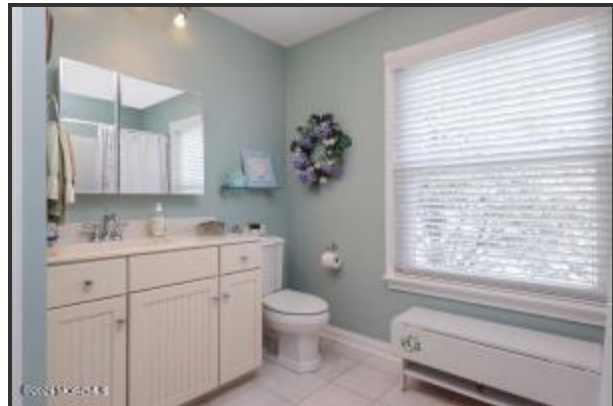
**Primary Suite**



**Primary Ensuite Bath**



**Hall Bath**



**Bedroom 2**



**Bedroom 3**



**Heated Saltwater Pool**



**Heated Saltwater Pool**



**Private Dock**



**Private Dock**





DJI\_0960\_1\_2\_3\_4



DJI\_0970\_1\_2\_3\_4



DJI\_0915\_6\_7\_8\_9

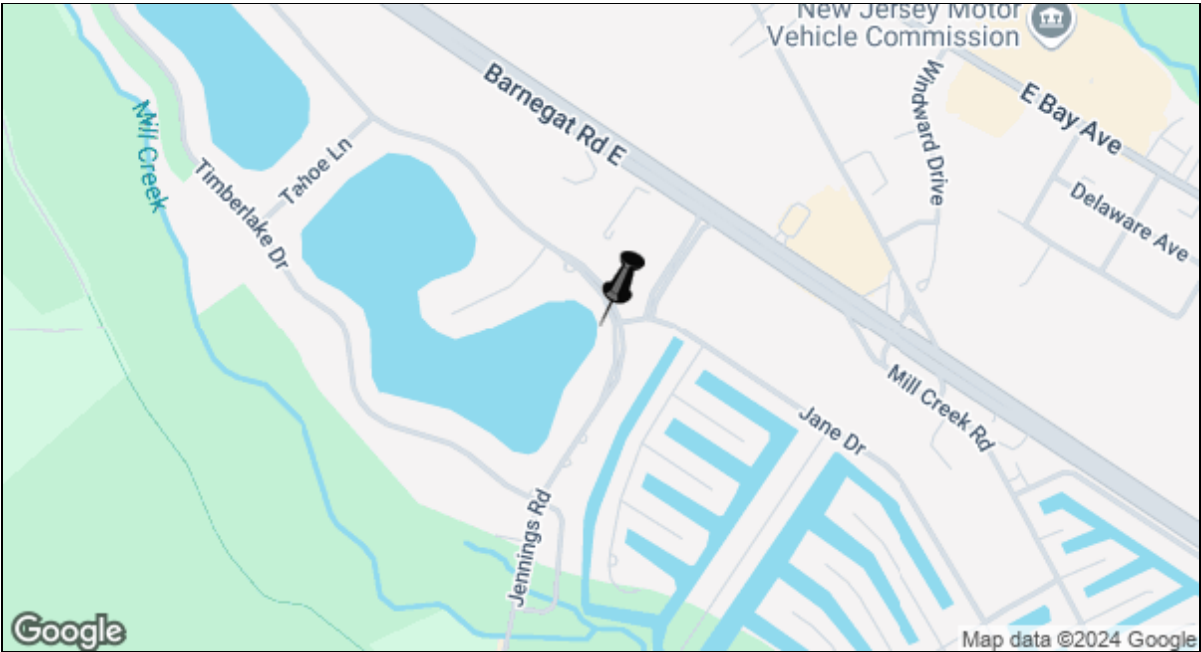
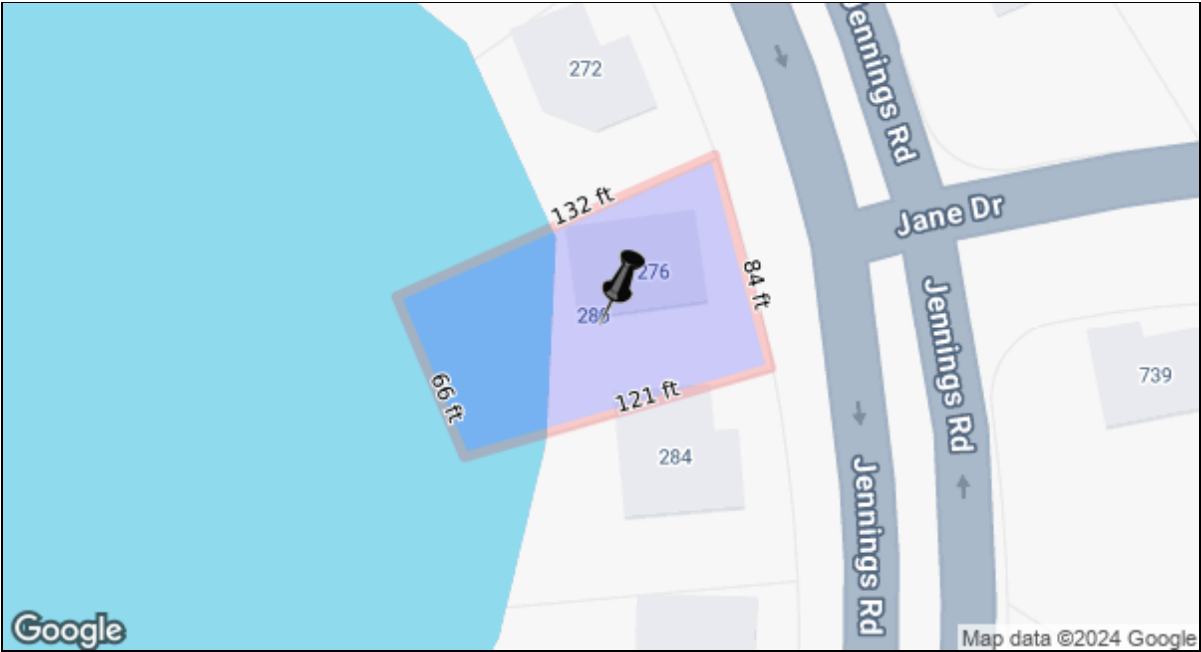


Community Beach and Playground



Exclusive access for Colony Lake residents





25 Aspen Ln, Manahawkin, NJ 08050-4626, Ocean County

APN: 31-00147-75-00051    CLIP: 5822753076

OWNER INFORMATION			
Owner Name	Evangelista Louis	Tax Billing Zip	08050
Owner Name 2	Evangelista Lorraine	Tax Billing Zip+4	4626
Tax Billing Address	25 Aspen Ln	Owner Occupied	Yes
Tax Billing City & State	Manahawkin, NJ		

COMMUNITY INSIGHTS			
Median Home Value	\$725,516	School District	STAFFORD TOWNSHIP S CHOOL DISTRICT
Median Home Value Rating	8 / 10	Family Friendly Score	92 / 100
Total Crime Risk Score (for the neighborhood, relative to the nation)	85 / 100	Walkable Score	33 / 100
Total Incidents (1 yr)	13	Q1 Home Price Forecast	\$779,178
Standardized Test Rank	74 / 100	Last 2 Yr Home Appreciation	23%

LOCATION INFORMATION			
Township	Stafford Twp	Carrier Route	C005
School District Name	Stafford Township SD	Block #	147.75
Subdivision	Village Harbour Sec 12a	Lot #	51
Zoning	R75	Flood Zone Date	12/16/2021
Census Tract	7351.06	Flood Zone Panel	34029C0511G

TAX INFORMATION			
Tax ID	31-00147-75-00051	Tax Appraisal Area	31
Alt APN	31-00147-0075-00051	Lot Number	51
% Improved	52%	Block ID	147.7
Tax Area	31		
Legal Description	75X100		

ASSESSMENT & TAX			
Assessment Year	2024	2023	2022
Assessed Value - Total	\$383,500	\$383,500	\$383,500
Assessed Value - Land	\$182,500	\$182,500	\$182,500
Assessed Value - Improved	\$201,000	\$201,000	\$201,000
YOY Assessed Change (%)	0%	0%	
YOY Assessed Change (\$)	\$0	\$0	

Tax Year	Total Tax	Change (\$)	Change (%)
2021	\$8,905		
2022	\$9,028	\$123	1.38%
2023	\$9,430	\$403	4.46%

CHARACTERISTICS			
Lot Frontage	75	Total Baths	Tax: 3 MLS: 2.1
Lot Depth	100	Full Baths	Tax: 3 MLS: 2
Estimated Lots Acres	0.1722	Half Baths	MLS: 1
Estimated Lot Area	7,501	Parking Type	Undefined Type - 1 Car Garage
Style	Colonial	Garage Capacity	1
Stories	2	Exterior	Frame
Estimated Building Square Feet	2,296	Pool	Vinyl
Bedrooms	4	Year Built	1986

FEATURES
Feature Type
Ab8
Ac5
Aa4
Ad9
Z48
Z09
Ac9
Z52

SELL SCORE			
Rating	High	Value As Of	2024-10-27 04:38:44
Sell Score	783		

ESTIMATED VALUE			
RealAVM <sub>z</sub>	\$942,100	Confidence Score	93
RealAVM <sub>z</sub> Range	\$844,400 - \$1,039,800	Forecast Standard Deviation	10
Value As Of	10/21/2024		

- (1) RealAVM™ is a CoreLogic® derived value and should not be used in lieu of an appraisal.
- (2) The Confidence Score is a measure of the extent to which sales data, property information, and comparable sales support the property valuation analysis process. The confidence score range is 50 - 100. Clear and consistent quality and quantity of data drive higher confidence scores while lower confidence scores indicate diversity in data, lower quality and quantity of data, and/or limited similarity of the subject property to comparable sales.
- (3) The FSD denotes confidence in an AVM estimate and uses a consistent scale and meaning to generate a standardized confidence metric. The FSD is a statistic that measures the likely range or dispersion an AVM estimate will fall within, based on the consistency of the information available to the AVM at the time of estimation. The FSD can be used to create confidence that the true value has a statistical degree of certainty.

RENTAL TRENDS			
Estimated Value	3551	Cap Rate	2.3%
Estimated Value High	4241	Forecast Standard Deviation (FSD)	0.19
Estimated Value Low	2861		
<p><b>(1) Rental Trends is a CoreLogic® derived value and should be used for information purposes only.</b></p> <p><b>(2) The FSD denotes confidence in an Rental Trends estimate and uses a consistent scale and meaning to generate a standardized confidence metric. The FSD is a statistic that measures the likely range or dispersion a Rental Amount estimate will fall within, based on the consistency of the information available to the Rental Amount at the time of estimation. The FSD can be used to create confidence that the true value has a statistical degree of certainty.</b></p>			

LISTING INFORMATION			
MLS Listing Number	22402528	MLS Sale Date	09/06/2024
MLS Status	Closed	MLS Sale Price	\$931,000
MLS Status Change Date	09/06/2024	MLS List. Agent Name	49263-Maureen Gottlieb
MLS Listing Date	02/01/2024	MLS List. Broker Name	KELLER WILLIAMS REALTY LANGHORNE
MLS Current List Price	\$975,000	MLS Selling Agent Name	34203-Howard Gottlieb
MLS Orig. List Price	\$1,000,000	MLS Selling Broker Name	KELLER WILLIAMS REALTY LANGHORNE

LAST MARKET SALE & SALES HISTORY			
Recording Date	09/13/2024	Deed Type	Deed (Reg)
Settle Date	Tax: 07/25/2024 MLS: 09/06/2024	Owner Name	Evangelista Louis
Sale Price	\$931,000	Owner Name 2	Evangelista Lorraine
Document Number	19790-809	Seller	Gambino Gerald & Debra
Recording Date	09/13/2024		
Sale Price	\$931,000		\$195,925
Buyer Name	Evangelista Louis & Lorraine		Gambino Gerald & Debra
Seller Name	Gambino Gerald & Debra		Lpc Village Harbar Inc
Document Number	19790-809		4514-974
Document Type	Deed (Reg)		Deed (Reg)

MORTGAGE HISTORY					
Mortgage Date	12/23/2020	02/17/2016	06/08/2010	11/09/2007	07/07/2005
Mortgage Amount	\$360,650	\$383,847	\$417,000	\$250,000	\$150,000
Mortgage Lender	Quicken Lns	Quicken Lns Inc	First Hallmark Mtg Corp	Amtrust Bk	Ohio Svgs Bk
Mortgage Type	Refi	Refi	Refi	Refi	Refi
Mortgage Date	10/04/2002		03/14/2002		03/14/2002
Mortgage Amount	\$320,000		\$10,000		\$101,000
Mortgage Lender	Commerce Bk/Shore		Ohio Svgs Bk		Lighthouse Mtg Svcs

Mortgage Type	Refi	Refi
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Courtesy of SCOTT MCSORLEY, Monmouth Ocean Regional REALTORS

Generated on: 11/01/24

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Copy of DSC\_3932



Front

Copy of DSC\_3946



Front

Copy of DSC\_3960



Front

Copy of DSC\_3939



Front

Copy of DSC\_3918



Front

DSC\_3939



Front



20240224\_134524



Front

20240224\_134625



Living room

20240313\_114946\_resized\_1



Living room

20230921\_144936-2B



Front

20240224\_134645



Living room

20240313\_115001\_resized\_1



Living room

20240313\_115018\_resized\_1



Living room

20240313\_115028\_resized\_1



Living room

20240224\_134730



Living Room

20240313\_115422\_resized\_1



Living room

20240313\_115434\_resized\_1



Living room

20240224\_134758



Living room

20240313\_115109\_resized\_1



Kitchen

20240313\_115130\_resized\_1



Kitchen

20240108\_132504-2B



Kitchen

20240313\_115127\_resized\_1



Kitchen

20240313\_115325\_resized\_1



Kitchen

20240224\_134822



Kitchen



20240108\_132520-2B



Kitchen

20240108\_132543-2B



Kitchen

20240108\_132558-2B



Kitchen

20240108\_132613-2B



Kitchen

20240108\_132654-2B



Kitchen

20240313\_115040\_resized\_1



Dining area

20240313\_115057\_resized\_1



Dining area

20240106\_140816\_1



Dining room

20240106\_140845-2B



Dining room

20240106\_140816



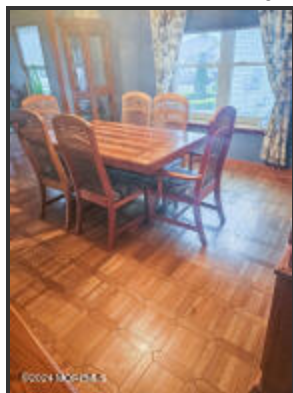
Dining room

20240106\_140845



Dining room

20240106\_140902-2B



Dining room

20240106\_141346



Powder room  
**20240106\_140954**



Sunroom  
20240313\_115258\_resized\_1

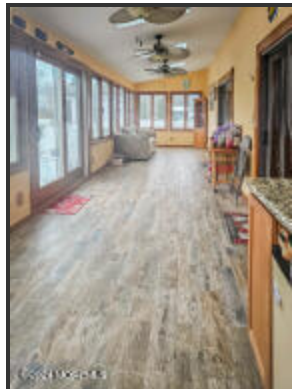


## Sunroom

0



Powder room  
20240106\_140954-2B



Sunroom  
20240313\_115233\_resized\_1



Sunroom



20240313\_115227\_resized\_1



Sunroom

20240313\_115822\_resized\_1



Main bedroom

20240313\_115835\_resized\_1



Main bedroom

20240313\_115250\_resized\_1



Sunroom

20240313\_115757\_resized\_1



Main bedroom

20240313\_115902\_resized\_1



Main bedroom

20240313\_115616\_resized\_1



Bedroom

20240313\_115717\_resized\_1



Bedroom

20240313\_115746\_resized\_1



Bedroom

20240313\_115728\_resized\_1B



Bedroom

20240313\_115638\_resized\_1



Bedroom

20240108\_131844-2B



Bedroom 4

20240108\_132021-2B



Bedroom 4

20231224\_141416-2B



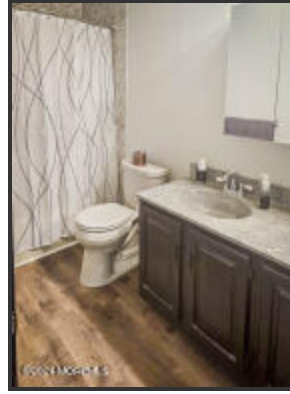
Bathroom

20240108\_130527-2B



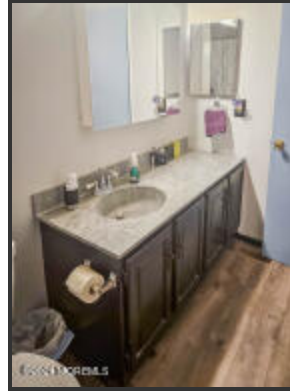
Bathroom

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Bathroom

20231224\_141427-2B



Bathroom

20240108\_130535-2B



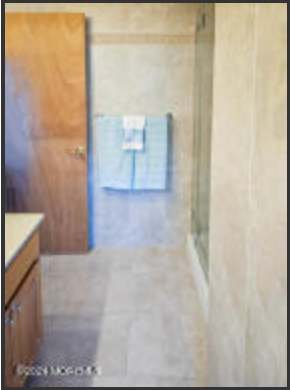
Bathroom

20240108\_130613-2B



Bathroom

20240108\_130602-2B



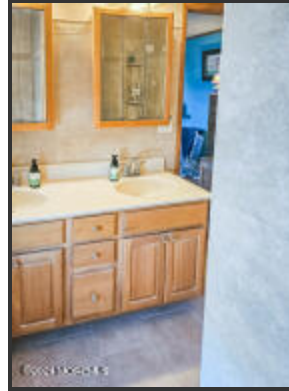
Bathroom

20240106\_141149-2B



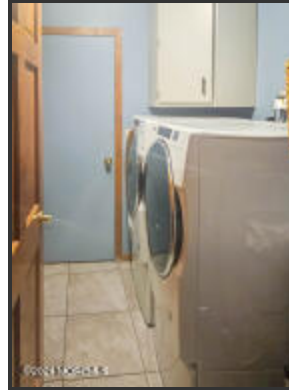
Laundry room

20240108\_130549-2B



Bathroom

20240106\_141132-2B



Laundry

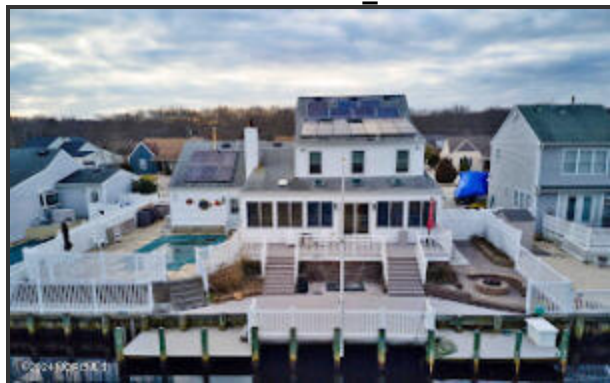
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Laundry room



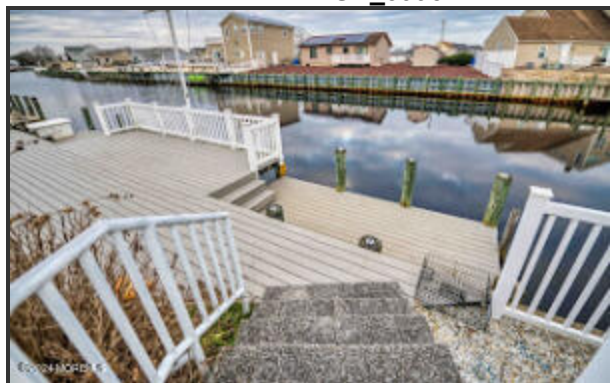
DJI\_0159



Ariel view  
DJI\_0161

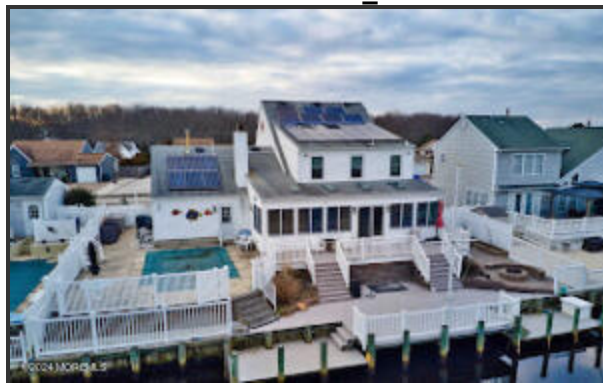


Ariel view  
DSC\_3995



Back deck

DJI\_0160



Ariel view  
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Back view  
IMG\_2056



Back deck

**DSC\_4009**



Back deck  
**DSC\_4023**



Back deck  
**DSC\_4037**



Back fire pit area

**DSC\_4016B**



Back deck  
**DSC\_4030**



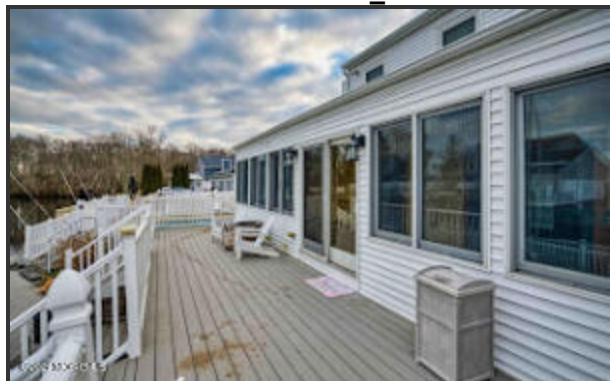
Back view  
**DSC\_4002**



Back fire pit area



**DSC\_4051**



Back deck  
**DSC\_4065**

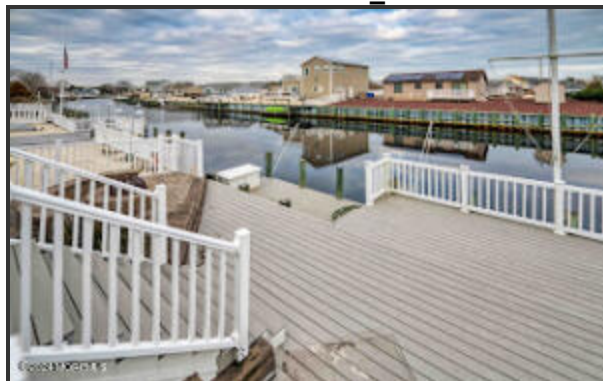


Back deck  
**IMG\_2056**

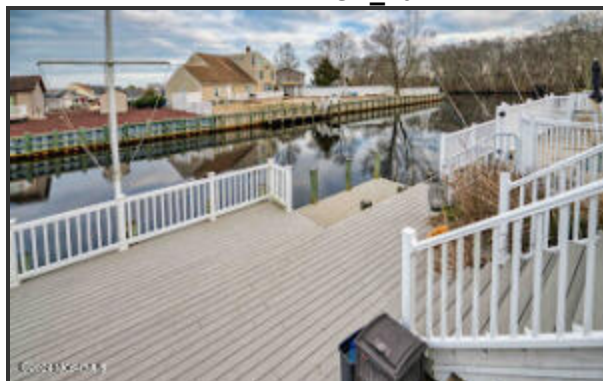


Back deck

**DSC\_4058**



Back deck  
**DSC\_4072**



Back deck  
**20240224\_135052**



Dock/Lagoon

**Copy of DSC\_4002**



Back deck

**Copy of DSC\_4016**



Back deck

**Copy of DSC\_4030**



Back view

**Copy of DSC\_4009**



Back deck

**Copy of DSC\_4023**



Back deck

**Copy of DSC\_4037**



Fire pit



**Copy of DSC\_4044**



Upper deck

**Copy of DSC\_4051**



Upper deck

**Copy of DSC\_4058**



Deck

**Copy of DSC\_4072**



Back deck

**Copy of DSC\_4065**



Back view

**Copy of DJI\_0159**



Copy of DJI\_0160



Copy of DJI\_0161



Copy of DJI\_0164



DJI\_0160



DJI\_0161

20240313\_115653\_resized\_1



