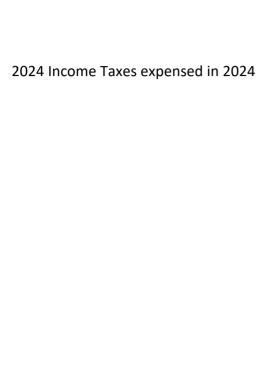
Enclave HOA Income Statement Jan - Mar 2025

| | Actual | Budget |
|--|-----------|-----------|
| HOA Dues | \$221,145 | \$885,600 |
| Admin Income Fines, Late Fees, Rental Fees | \$16,751 | \$16,050 |
| Total Income | \$237,896 | \$901,650 |
| | 4.4. | • • • • • |
| General Admn - Board expense | 1,456 | 3,000 |
| Master Assoc Fee-Berwick | 31,463 | 29,000 |
| Other-Bank Fees | 513 | 500 |
| Legal Services | 632 | 25,000 |
| Management Fees | 19,050 | 82,300 |
| State/Fed Income Tax | - | 2,200 |
| Trash - Atlantic Waste | 10,197 | 42,700 |
| Cable Service - Comcast | 8,989 | 26,150 |
| Electric - Georgia Power | 33,687 | 125,000 |
| Water - Consolidated | 2,582 | 5,000 |
| Committees | | |
| Clubhouse | 145 | - |
| Social | 1,333 | 6,000 |
| Beautification | 209 | 6,000 |
| Fitness & Recreation | - | 6,000 |
| Insurance Premiums | 15,189 | 32,000 |
| Grounds/Landscaping-ProCuts | 9,600 | 38,400 |
| Landscape pine straw-ProCuts | - | 11,000 |
| Tree Maintenance | 235 | 9,000 |
| Fountains/Ponds/Lake Services | 1,355 | 10,000 |
| Emergency Management | - | 40,000 |
| General Repair & Maintenance | 5,795 | 80,000 |
| Pool Supplies/Repair & Maintenance | 5,013 | 5,000 |
| Propane -Spa-Strickland Properties | - | 3,500 |
| Road Repairs | 33,874 | 5,000 |
| Property/Real Estate Tax | - | 1,500 |
| Total | 181,317 | 594,250 |
| Contracted Expenses | | |
| Elevator Services-Cavinder Elevator | 593 | 2,500 |
| Pest Control/Termite | 175 | 5,000 |
| Pool - Coastal Pool | 3,551 | 35,000 |
| Janitorial Services-360Brands | 3,420 | 17,000 |
| Gate Services - Custom Security | 5,191 | 20,000 |
| Safety/Security-Security Management | 31,403 | 145,000 |
| Vector Security Alarm monitor | 210 | 6,000 |

| Net Income | (30,037) | - |
|--------------------------------------|-----------|-----------|
| Total Expense/Reserves | \$267,933 | \$901,650 |
| Refund Reserve Account | 9,200 | 9,200 |
| Drainage | - | 15,000 |
| Tennis/Basketball/Pickleball Courts | 3,000 | 3,000 |
| Clubhouse | 3,000 | 3,000 |
| Pool | 5,000 | 5,000 |
| Roads | 20,000 | 20,000 |
| Capital Reserves | | |
| Total Operating Expenses | 227,733 | 846,450 |
| | 46,416 | 252,200 |
| HVAC | | 10,000 |
| Rugs - Cleaning 2 x year | - | 1,700 |
| Fitness Rm Serv Maint-Island Fitness | 1,873 | 5,000 |
| Fire Prevent & Protection-Fee | - | 5,000 |



splash pad