

Enclave HOA
Income Statement
Jan - Mar 2025

	Actual	Budget
HOA Dues	\$221,145	\$885,600
Admin Income Fines, Late Fees, Rental Fees	\$16,751	\$16,050
Total Income	\$237,896	\$901,650
General Admn - Board expense	1,456	3,000
Master Assoc Fee-Berwick	31,463	29,000
Other-Bank Fees	513	500
Legal Services	632	25,000
Management Fees	19,050	82,300
State/Fed Income Tax	-	2,200
Trash - Atlantic Waste	10,197	42,700
Cable Service - Comcast	8,989	26,150
Electric - Georgia Power	33,687	125,000
Water - Consolidated	2,582	5,000
Committees		
Clubhouse	145	-
Social	1,333	6,000
Beautification	209	6,000
Fitness & Recreation	-	6,000
Insurance Premiums	15,189	32,000
Grounds/Landscaping-ProCuts	9,600	38,400
Landscape pine straw-ProCuts	-	11,000
Tree Maintenance	235	9,000
Fountains/Ponds/Lake Services	1,355	10,000
Emergency Management	-	40,000
General Repair & Maintenance	5,795	80,000
Pool Supplies/Repair & Maintenance	5,013	5,000
Propane -Spa-Strickland Properties	-	3,500
Road Repairs	33,874	5,000
Property/Real Estate Tax	-	1,500
Total	181,317	594,250
Contracted Expenses		
Elevator Services-Cavinder Elevator	593	2,500
Pest Control/Termite	175	5,000
Pool - Coastal Pool	3,551	35,000
Janitorial Services-360Brands	3,420	17,000
Gate Services - Custom Security	5,191	20,000
Safety/Security-Security Management	31,403	145,000
Vector Security Alarm monitor	210	6,000

Fire Prevent & Protection-Fee	-	5,000
Fitness Rm Serv Maint-Island Fitness	1,873	5,000
Rugs - Cleaning 2 x year	-	1,700
HVAC	-	10,000
	46,416	252,200
Total Operating Expenses	227,733	846,450
Capital Reserves		
Roads	20,000	20,000
Pool	5,000	5,000
Clubhouse	3,000	3,000
Tennis/Basketball/Pickleball Courts	3,000	3,000
Drainage	-	15,000
Refund Reserve Account	9,200	9,200
Total Expense/Reserves	\$267,933	\$901,650
Net Income	(30,037)	-

2024 Income Taxes expensed in 2024

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