

Incorporated village of Woodsburgh Board of Zoning Appeals

In the matter of the application of owner name(s) as per the Deed: **Micha & Lika Kalbo**

For a variance of section(s): **VILLAGE CODE(S) §150-10 Front Yard, §150-13.1 Front Height/Setback Ratio, §150-39.A.1. Lot Coverage, §150-39.B. Impervious Surface Coverage, §150-139.E, §150-39.1. A(I), §150-47.B, §150-47.H, and §150-50.B** of the Village Code of the Incorporated Village of Woodsburgh.

To: The Board of Zoning Appeals Incorporated Village of Woodsburgh

The petition of **Micha & Lika Kalbo** respectfully alleges as follows:

The petitioner(s) owns the property which is the subject of this application located at **100 Woodmere Blvd South, Woodmere, NY 11598**. The premises is also designated as Section **41**, Block **61**, Lot(s) **8** on the Nassau County land and tax map. The subject premises is located within the Residence District "**Residence A**".

1. The petitioner(s) seeks a variance of the Village Code(s) of the Incorporated Village of Woodsburgh, to **construct new additions to existing residence, new Swimming Pool, Pavement, Retaining walls with fencing and piers. (Building is a corner lot at edge of Woodmere zoning district, requirements of two front yards on trapezoid shaped corner lot restrict buildable area significantly. Majority of variances sought are related to the 2nd Front yard at Broward Point property line that abuts the Town of Hempstead zoning which has less restrictive zoning requirements for front yards. Grade at front property lines is lower than residence which increases the noncompliance of the setback ratios for the new additions. Decreased width of lot near rear property line also increases the noncompliance of the front yard distances & setback ratios. Tapered property shape decreases total lot area making lot coverage and site coverage ratios non-compliant)**

2. The subject property has not had prior variance requests.

3. The subject property was granted previous variances of: N/A

4. The subject property was denied previous variances of: N/A

5. The petitioner's architect/engineer **Rachael Judge, RA – Judge Architecture, PC**, - located at **66 Wyoming Avenue, Long Beach, NY 11561** has prepared plans for, **(renovation of existing residence with new 2nd story addition over existing garage, new 2 story entry foryer, new bedroom addition at 2nd story of main residence, new pool & spa with new paving, pool fencing with retaining walls, fencing and piers, new outdoor kitchen, new pergola, new children's play structure, new open fencing at front & side yard).**

6. The application for **(Additions, Alterations, Swimming Pool, Pavement, Retaining walls with fencing and piers)** was made and denied by the Building Inspector for the following:

A. §150-10 Front Yard. No building shall be hereafter erected or altered which shall have its front wall nearer to the street line than 50 feet. In case of a corner lot, a front yard shall be required on each street upon which the lot abuts.

Proposed:

- | | |
|--------------------------------------|-----------|
| 1. Addition over the garage is | 40.6 ft. |
| 2. Entry roof overhang is | 41.4 ft. |
| 3. Foyer addition is | 45.39 ft. |
| 4. 2 nd Floor addition is | 34.47 ft. |
| 5. 2 nd Story deck is | 30.52 ft. |
| 6. Pergola is | 20.25 ft. |

B. 150-13.1 Front Height/Setback Ratio. The maximum building height to front yard setback ratio shall be 0.420.

Proposed:

- | | |
|---|------------------------|
| 7. Garage addition (Woodmere Blvd S) is | 0.436 |
| 8. Garage addition (Browsers Point Branch) is | 0.4826 at the peak |
| 9. Garage addition (Browsers Point Branch) is | 0.533 at the low point |
| 10. Foyer addition (Brower Point Branch) is | 0.54 |
| 11. 2nd Floor addition (Browsers Point Branch) is | 0.534 at the peak |
| 12. 2nd Floor addition (Browsers Point Branch) is | 0.63 at the low point |

C. 150-39.A.1. Lot Coverage. The areas occupied by all buildings and structures and accessory uses which extend above the grade of the property shall not exceed 15% or 3,441.36 square feet.

Proposed:

13. 24.65% or 5,655.5 square feet an overage of 2,214.14 square feet.

D. 150-39.B. Impervious Surface Coverage. The maximum permitted impervious site coverage shall be 7,265.94 square feet.

Proposed:

14. 10,685.8 square feet, an overage of 3,419.86 square feet.

E. 150-139.E Accessory buildings and structures not greater than 100 square feet in floor area and not more than 10 feet in height measured to the highest point of the building or structure shall be located not closer than 1/3 of the side yard and rear yard dimensions applicable in the district in which the lot is located. Accessory buildings and structures are not permitted in a front yard.

Proposed:

15. Play set located 11 feet from the southern property line. - where 13.33 feet is the minimum required.
16. Play set is in a front yard.
17. Pergola is in a front yard.
18. Pool Shed located 8.333 feet from the property line - where 13.33 feet is the minimum required.

F. 150-39.1. A(I). No owner or occupant of property in the Village, and no other person, shall engage in or permit any of the following activities to occur or take place in the front yard of any property in the Village: (1) Installation, placement or maintenance of a barbecue, or other cooking facility or equipment, whether permanent or portable.

Proposed:

19. Outdoor kitchen is partially located in the front yard.

G. **150-47.B.** No swimming pool shall be constructed or erected unless a permit for the same shall have been issued by the Board of Appeals of the Village of Woodsburgh.

Proposed:

20. Inground swimming pool with attached spa.

H. **150-47.H.** No swimming pool shall be built or maintained except in a rear yard as defined by the Building Zone Ordinance of the village. The pool, including the fences surrounding it and the foundation for the purifying apparatus, if any, shall be located not less than 25 feet from the rear lot line and not less than 25 feet from the side property lines of the premises or, in the case of a corner lot, not less than 25 feet from any property line along an abutting street.

Proposed:

21. Pool & Spa partially located in the front yard.

22. Pool equipment located in the front yard.

23. Pool fencing on top of retaining wall located in the front and side yard.

24. Pool fencing on top of retaining wall located 5 feet from the Browers Point Branch Property line.

25. Pool fencing on top of retaining wall located 3 feet 9 inches from the easterly property line.

26. Pool fencing on top of retaining wall located 5 feet from the southerly property line.

27. Pool & spa located 20.32 feet from the front property line.

28. Pool & spa located 22.77 feet from the side property line.

I. **150-50.B** No fence or wall in excess of four feet in height, as measured from the natural grade adjacent to such fence or wall, shall be permitted.

Proposed:

29. Fence on top of retaining wall varies in height due to the grade, the lowest height it 4 feet and the highest is 4 feet 7 inches.

7. The requested variance will have no adverse effect upon the surrounding properties, will provide for a reasonable use of the subject premises compatible with the surrounding properties and in conformity with the standards prescribed for granting of such a variance, as set forth in the building zone ordinance of the incorporated village of Woodsburgh.

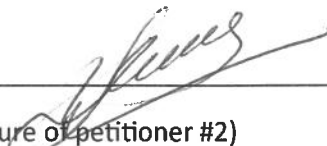
8. Wherefore, petitioner(s) respectfully request(s) that the board of zoning appeals grant the variance(s) as requested herein along with such other and further relief as may be just and proper.

Dated: 08/02/2027



(Signature of petitioner)

Dated: 05/02/2023



(Signature of petitioner #2)

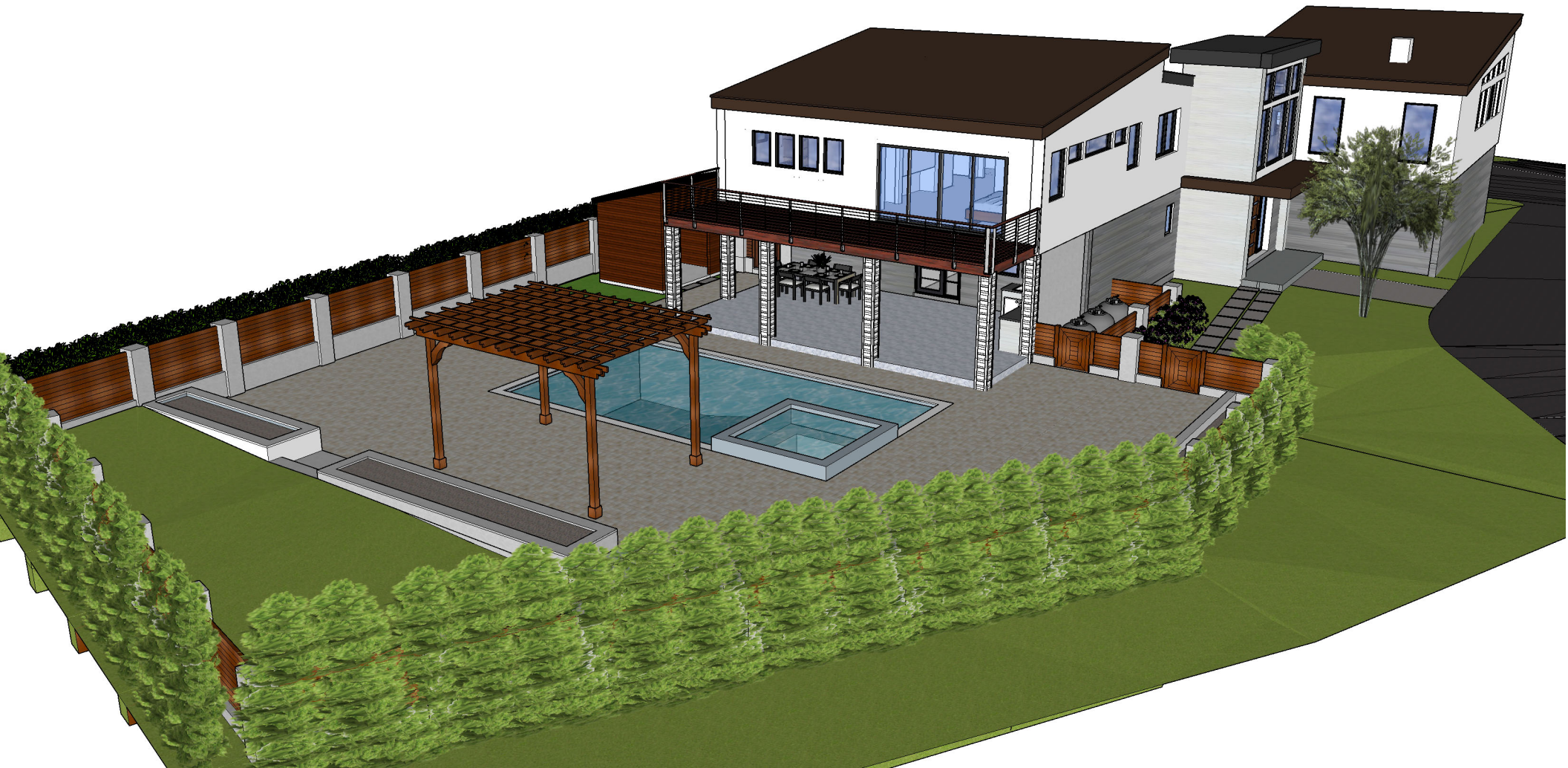
On the 2nd of May 2023
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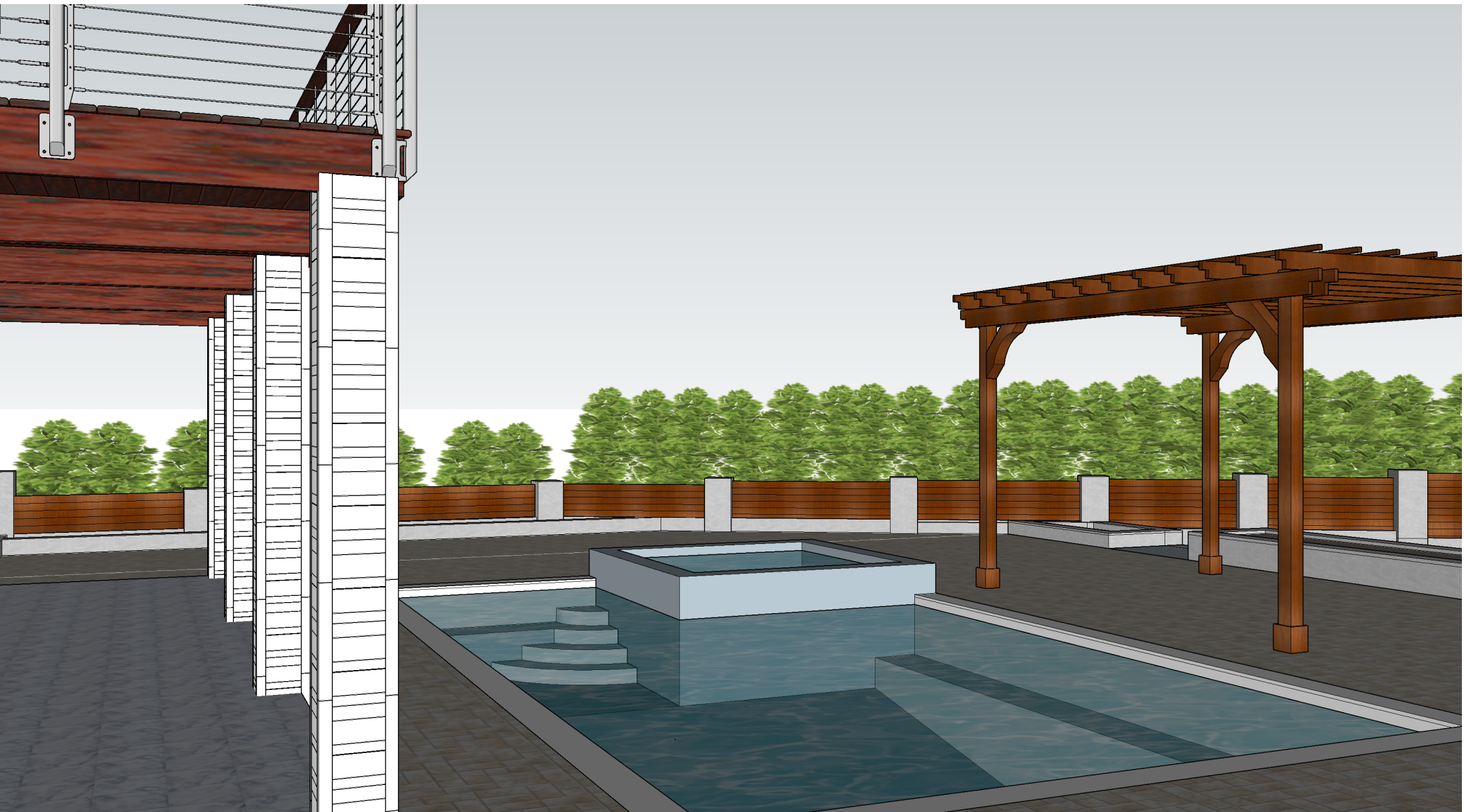












ZONING INFORMATION

SECTION	41
BLOCK	61
LOT	8
ZONE	RESIDENCE A
HOUSE NO.	100 WOODMERE BLVD SOUTH
HAMLET	INCORPORATED VILLAGE OF WOODSBURG
OCCUPANCY GROUP	SINGLE FAMILY RESIDENTIAL
LOT AREA	22,942.4 SQ FT

THIS PROJECT REQUIRES VARIANCES - SEE SHEET A002 FOR ADDITIONAL ZONING INFORMATION

DRAWING INDEX

#	PAGE	NAME
1 OF 20	A001	COVER SHEET / DRAWING INDEX SCOPE OF WORK DESCRIPTION PLOT PLAN
2 OF 20	A002	ZONING ANALYSIS
3 OF 20	A003	GENERAL NOTES
4 OF 20	A004	FRAMING NOTES / DETAILS
5 OF 20	EN100	ENERGY CODE TABULAR ANALYSIS
6 OF 20	A100	SITE PLAN DRYWALL NOTES & DETAILS
7 OF 20	A101	FOUNDATION PLAN
8 OF 20	A102	1ST FLOOR PLAN 2ND FLOOR PLAN
9 OF 20	A103	ROOF PLAN DECK FRAMING PLAN & DETAILS
10 OF 20	A104	REFLECTED CEILING / LIGHTING PLANS 1ST & 2ND FLOORS
11 OF 20	A105	EXTERIOR LIGHTING PLAN
12 OF 20	A201	EXTERIOR ELEVATIONS (NORTH & WEST)
13 OF 20	A202	EXTERIOR ELEVATIONS (SOUTH & EAST)
14 OF 20	A203	SECTIONS
15 OF 20	A204	SECTIONS @ POOL / PERGOLA & REAR YARD FENCE ELEVATION
16 OF 20	A300	PLUMBING RISER DETAILS
17 OF 20	A400	STAIR DETAILS
18 OF 20	A401	STAIR DETAILS
19 OF 20	E101	ELECTRICAL PLANS
20 OF 20	M101	MECHANICAL PLANS

SCOPE OF WORK

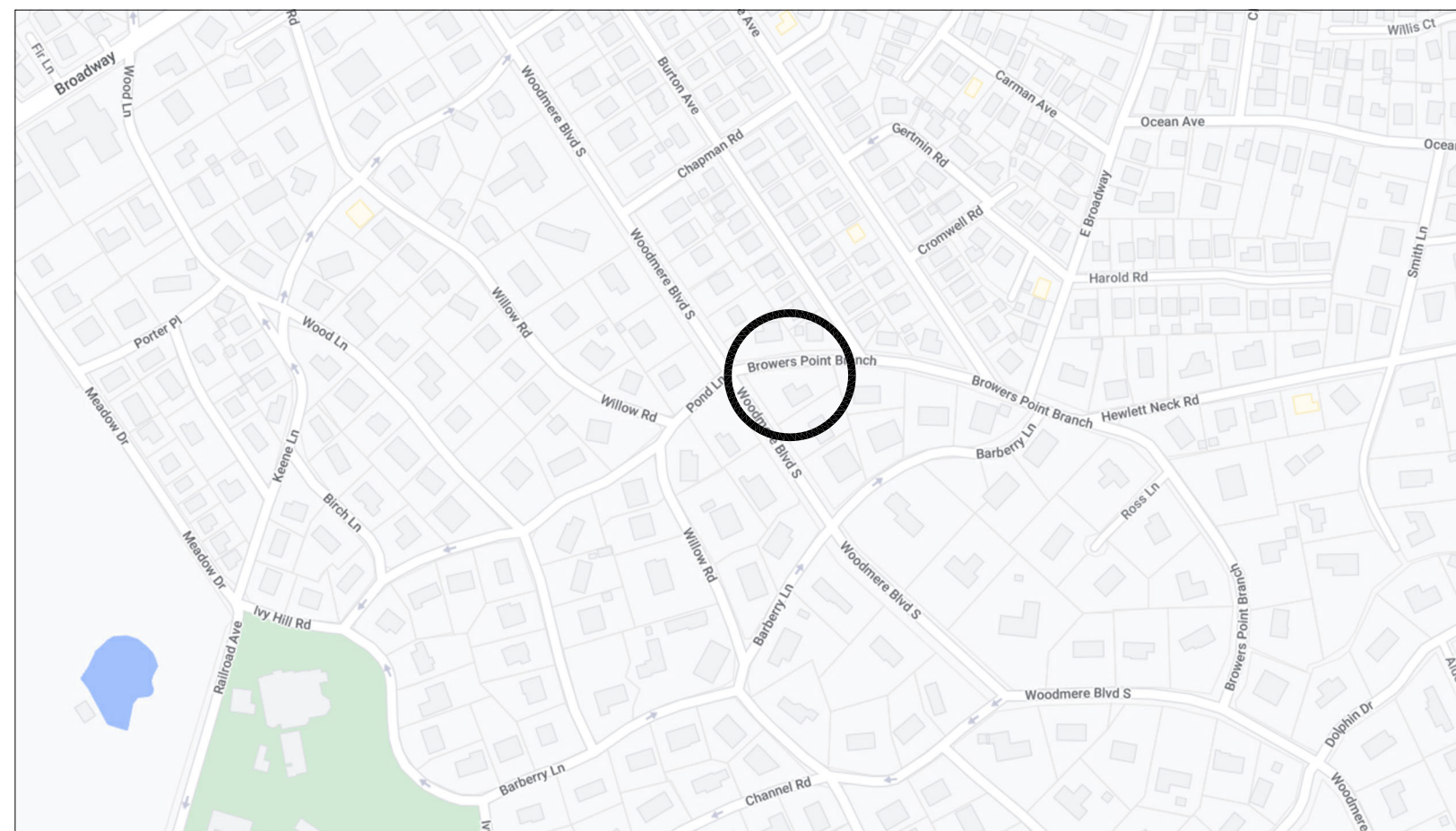
2ND FLOOR ADDITION ABOVE GARAGE - NEW FAMILY ROOM & LAUNDRY ROOM, MASTER SUITE ADDITION OVER EXISTING BEDROOMS, 1ST & 2ND FLOOR ENTRY AREA ADDITION, NEW DECK, RECONFIGURE EXISTING BEDROOMS, REBUILD EXISTING STAIRS, NEW FLOORING & RADIANT HEATING THROUGHOUT, NEW STANDING SEAM METAL ROOFING, NEW STONE & STUCCO AT FACADE, NEW WINDOWS & DOORS AT AREAS OF WORK ONLY

EXTERIOR WORK - NEW RETAINING WALLS & FENCING, NEW OUTDOOR KITCHEN, NEW POOL & SPA, NEW PAVING (BOTH PERVIOUS & IMPERVIOUS), NEW CHILDREN'S PLAYHOUSE, NEW DRY WELLS, NEW SHED, NEW PERGOLA, NEW PLANTING BEDS

MECHANICAL - NEW MINI SPLIT SYSTEM MECHANICAL UNITS

PLUMBING - NEW RADIANT FLOORING THROUGHOUT, NEW 2ND FLOOR LAUNDRY ROOM, NEW MASTER BATHROOM - 3 EXISTING BATHROOMS TO REMAIN - EXISTING KITCHEN & 1ST FLOOR LAUNDRY TO REMAIN

VICINITY MAP



PROJECT LOCATION



AREA OF THE PARCEL = 22,942.4 SQ FT = 0.527 ACRES

INFORMATION FROM
SURVEY DATED 24 AUG 2021
& 29 NOV 2022

TAX DESIGNATION

SECTION: 41
BLOCK: 61
LOT: 8

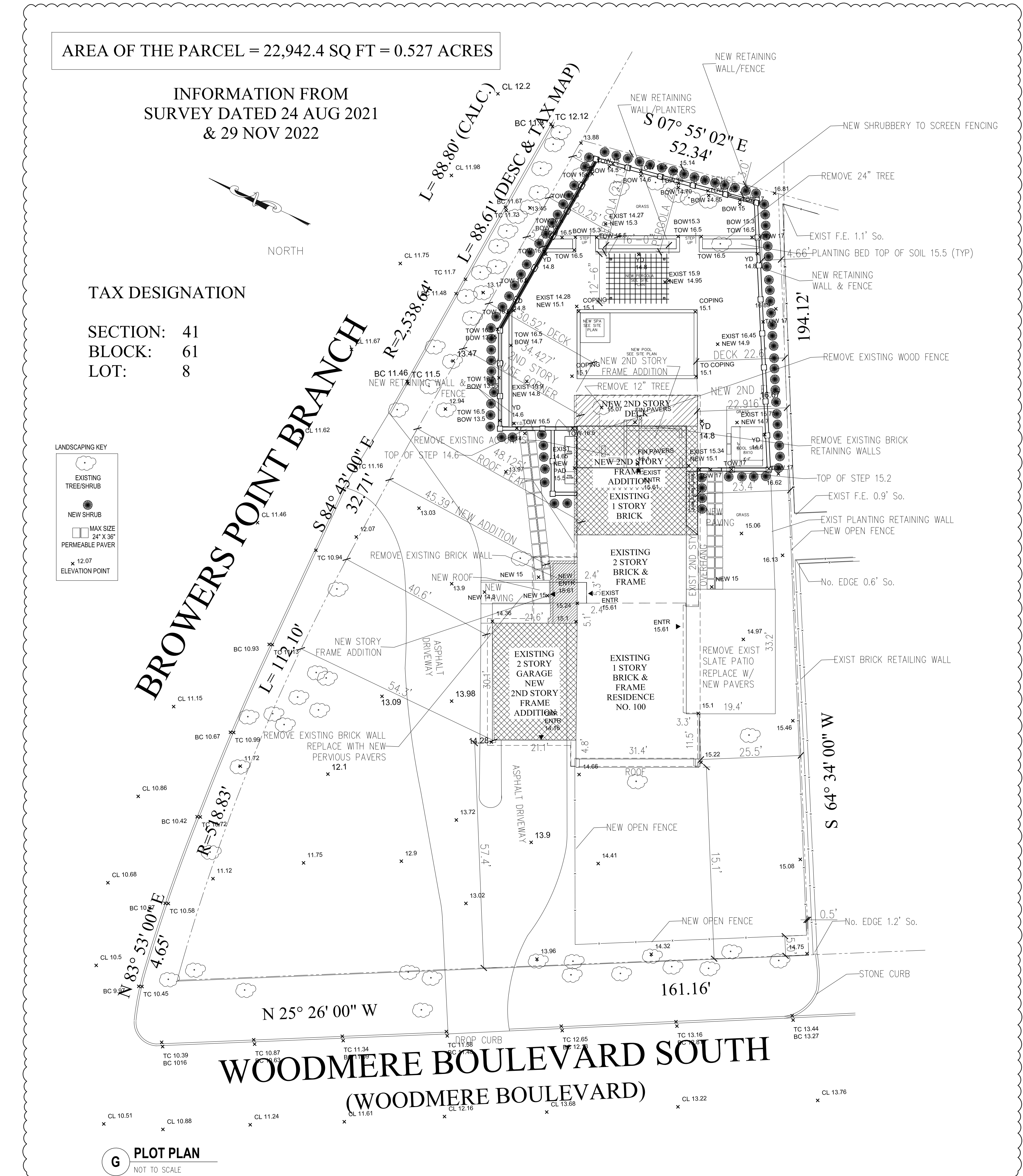
LANDSCAPING KEY

	EXISTING TREE/SHRUB
	NEW SHRUB
	MAX SIZE 24' X 36' PERMEABLE PAVER
	ELEVATION POINT

BROWERS POINT BRANCH

**WOODMERE BOULEVARD SOUTH
(WOODMERE BOULEVARD)**

G PLOT PLAN
NOT TO SCALE



CONSULTANTS:

PROJECT NAME:
KALBO RESIDENCE
100 WOODMERE BLVD SOUTH
WOODSBURG, NY 11598

© R. JUDGE 2022

NOTES:

3 MAR 23	DOB REVIEW	RJ	
25 JAN 23	DOB REVIEW	RJ	
NO	DATE	REVISIONS	BY

**COVER SHEET
PLOT PLAN**

PAGE 1 OF 20

DATE: 19 JULY 2022
PROJECT No: 2022-1
DRAWING BY: RJ
CHK BY:
SCALE: AS NOTED
DWG No:

A-001.00

SEAL & SIGNATURE



DOB APPROVAL

ZONING ANALYSIS

ZONING ANALYSIS:	CODE SECTION:	PERMITTED	EXISTING	PROPOSED	COMPLIANT / NON-COMPLIANT
LOT AREA (SF)	150-8	20,000 MIN	22,942.40	22,942.40	COMPLIANT
USE	150-6	SINGLE FAMILY RESIDENTIAL	SINGLE FAMILY RESIDENTIAL	SINGLE FAMILY RESIDENTIAL	COMPLIANT
HEIGHT	150-7	28' PITCHED ROOF/ 25' OTHER ROOF	20'-3"	24'-9"	COMPLIANT
STORIES	150-7	2.5 STORIES MAX	2.0 STORIES	2.0 STORIES	COMPLIANT
HABITABLE FLOOR AREA (MIN) ⁽¹⁾	150-13	2,400 MIN	3,373.75	3,373.75	COMPLIANT
FLOOR AREA (MAX) ⁽²⁾	150.13.3	5,297.90	3,373.75	3,373.75	COMPLIANT
LOT COVERAGE (SF) ⁽³⁾	150-39(A)	15% (3,441.36)	15.07% (3,458.58)	24.65% (5,655.5)	NON-COMPLIANT
IMPERVIOUS SITE COVERAGE (SF)	150-39(B)	7,265.94	7,084.65	10,685.8	NON-COMPLIANT
FRONT YARD 1 (WOODMERE BLVD)	150-19	50'	51.1' 57.4'	51.1' @ FRONT DEN (FROM WOODMERE BLVD) 47.4' @ EXISTING GARAGE / NEW ADDITION (FROM WOODMERE BLVD)	COMPLIANT COMPLIANT
CORNER LOT FRONT YARD 2 (BOWERS POINT BRANCH)	150-19	50'	40.6' 41.375' 34.916' 31'	40.6' @ GARAGE 2ND FL EXTENSION (FROM BROWERS PT) 41.375' @ FRONT ENTRY ROOF OVERHANG (FROM BROWERS PT) 34.916' @ 2ND FLOOR EXTENSION (FROM BROWERS PT) 31' @ 2ND FLOOR DECK (FROM BROWERS PT)	NON-COMPLIANT - NO CHANGE NON-COMPLIANT NON-COMPLIANT NON-COMPLIANT
SIDE YARD	150-11	20'	23.4'	23.4'	COMPLIANT
REAR YARD	150-9	25'	72.75'	54.8'	COMPLIANT
FRONT HEIGHT SETBACK RATIO	150-13.1	0.42	0.25 - FRONT YARD 1 (WOODMERE BLVD) 0.31 - FRONT YARD 2 (BROWARDS PT)	0.436 - FRONT YARD 1 - GARAGE ADDITION (WOODMERE BLVD) .4826 - FRONT YARD 2 - ROOF PEAK GARAGE ADDITION (BROWARDS) .533 - FRONT YARD 2 - ROOF LOW POINT GARAGE ADDITION (BROWARDS) .54 - FRONT YARD 2 - ENTRY ADDITION (BROWARDS) .534 - FRONT YARD 2 - ROOF PEAK 2ND FL ADDITION (BROWARDS) .63 - FRONT YARD 2 - ROOF LOW POINT 2ND FL ADDITION (BROWARDS)	NON-COMPLIANT NON-COMPLIANT NON-COMPLIANT NON-COMPLIANT NON-COMPLIANT
SIDE HEIGHT SETBACK RATIO	150-13.2	1.05	0.81	0.81	COMPLIANT

ZONING ANALYSIS:	CODE SECTION:	REQUIREMENT	PROPOSED	COMPLIANT / NON-COMPLIANT
AC UNITS	150.50.2	NO AC UNITS ALLOWED IN FRONT YARD. NO UNITS WITHIN 15' OF PROPERTY LINE IN SIDE YARD. UNIT SHALL BE SUFFICIENTLY SCREENED FROM NEIGHBORING PROPERTY.	RELOCATE EXISTING & INSTALL NEW AC UNITS @ SIDE YARD +/- 25' FROM PROPERTY LINE	COMPLIANT
SWIMMING POOL	150-47 (B)	REQUIRES BOARD OF APPEALS APPROVAL	POOL TO BE FILED UNDER SEPARATE APPLICATION - POOL SHOWN FOR SITE PAVING & RUNOFF CALCULATION PURPOSES	COMPLIANT
	150-47 (C)	ABOVE GROUND POOL NOT ALLOWED	POOL TO BE FILED UNDER SEPARATE APPLICATION. POOL SHALL BE IN GROUND TYPE	COMPLIANT
	150-47 (D)	POOL SHALL BE ENCLOSED BY FENCE MIN 4' FROM POOL & FENCE TO BE SCREENED WITH SHRUBS & PANTS OUTSIDE FENCE - FENCE TO BE MIN HEIGHT ALLOWED BY NYS LAW - (NYS RES CODE §105.2.1 MIN 4' HIGH FROM GRADE OUTSIDE POOL AREA)	FENCING SHALL BE MIN 4' FROM POOL. FILED UNDER SEPARATE APPLICATION. FENCE TO BE 4' TALL MEASURED FROM GRADE OUTSIDE POOL AREA	COMPLIANT
	150-47 (E)	POOL SHALL BE DRAINED OR COVERED WHEN NOT IN REGULAR USE	POOL SHALL BE DRAINED OFF SEASON & HAVE SLIDING HARD DECKING COVER	COMPLIANT
	150-47 (F)	IF ABANDONED POOL SHALL BE FILLED IN OR REMOVED RESTORING GROUND TO ORIGINAL GRADE	IF ABANDONED POOL SHALL BE FILLED IN OR REMOVED RESTORING GROUND TO ORIGINAL GRADE	COMPLIANT
150-47 (H)	CORNER LOT POOL SHALL BE NOT LESS THAN 25 FEET FROM ANY PROPERTY LINE ABUTTING A STREET & 25' FROM REAR & SIDE PROPERTY LINES	PROPOSED POOL TO BE FILED UNDER SEPARATE APPLICATION. POOL DIMENSIONS 29' X 16'. REAR YARD SET BACK = 34.95'. SIDE YARD SET BACK = 22.75'. FRONT YARD SET BACK 21.45'	COMPLIANT NON-COMPLIANT NON-COMPLIANT	
FENCES	150-50 (A)	PERMIT IS REQUIRED FOR ALL FENCING	FENCING TO BE FILED UNDER SEPARATE APPLICATION. FENCING SHOWN FOR SITE PAVING PURPOSES	COMPLIANT
	150-50 (B)	FENCING OTHER THAN POOL FENCING SHALL NOT EXCEED FOUR FEET IN HEIGHT MEASURED FROM NATURAL GRADE ADJACENT TO SUCH FENCE OR WALL. POOL FENCING TO BE MINIMUM 4' & MAXIMUM 4'	ALL NON POOL FENCING = MAX 4' TALL. POOL FENCE PIERS @ BROWARD PT 4'-7" TO 4'-3". POOL FENCING @ BROWARD PT 4'-0" TO 4'-3". POOL FENCE PIERS @ REAR YD 4'-7" TO 4'-3". POOL FENCING @ REAR YD - 4'-0" TO 4'-4". POOL FENCE PIERS @ SIDE YD - 4'-2". POOL FENCING @ SIDE YD - 4'-0" TO 4'-0"	COMPLIANT NON-COMPLIANT
	150-50 (C)	NO FENCE ALLOWED WITHIN FIVE FEET (5') OF FRONT PROPERTY LINE - FENCE SHALL NOT EXCEED 50% OF FRONT PROPERTY LINE	FENCE @ FRONT YARD # 1 = 59' - TOTAL FRONT YARD DIMENSION = +/- 161' - 59' = 36.6%. FENCE @ POOL AREA - FACING FRONT YARD LENGTH = 51' + 25' = 76' - TOTAL FRONT YARD DIMENSION +/- 238' 76' = 31.9%. FENCE @ FRONT YARD # 2 = 59' - TOTAL FRONT YARD DIMENSION = +/- 161' - 59' = 36.6%	COMPLIANT COMPLIANT
	150-50 (D)	ALL FENCES AND WALLS SHALL BE MADE OF FIRST-CLASS MATERIALS AND SHALL BE CONSTRUCTED AND INSTALLED IN THE BEST WORKMANLIKE MANNER KNOWN TO THE TRADE. ALL FENCES AND WALLS SHALL BE STURDY, PLUMB, LEVEL AND TRUE. FENCES MAY BE CONSTRUCTED OF WOOD, MASONRY, METALS, PVC PLASTIC, OR COMBINATIONS THEREOF, OR SUCH OTHER MATERIALS AS MAY BE SATISFACTORY TO THE BOARD OF TRUSTEES (WHICH DETERMINATION MAY BE MADE WITHOUT A PUBLIC HEARING). ALL METAL FENCES SHALL HAVE A PROTECTIVE COATING, AND THOSE FENCES OF A STYLE OR TYPE OF CONSTRUCTION KNOWN AS "CHAIN LINK" OR "CYCLONE" SHALL COMPLY WITH THE SPECIFICATIONS OF THE CHAIN LINK MANUFACTURERS' INSTITUTE. ALL WOOD FENCES SHALL HAVE WOOD POSTS SPACED NOT MORE THAN 12 FEET APART, THAT PORTION OF ANY FENCE, OR ITS SUPPORT STRUCTURE, EMBEDDED IN THE GROUND SHALL BE EITHER OF NON-ROTTING MATERIALS OR SHALL BE TREATED IN A MANNER TO PREVENT OR MINIMIZE ROTTING. HORIZONTAL RAILS SHALL BE SECURELY FASTENED TO THE POSTS AND SHALL BE OF SUFFICIENT STRENGTH TO SPAN THE DISTANCE BETWEEN THE POSTS. MASONRY FENCES OR WALLS SHALL BE SET ON A CONCRETE FOOTING AT A DEPTH NOT LESS THAN 18 INCHES INTO THE GROUND.	FENCING SHALL COMPLY WITH MIN REQUIREMENTS OF MATERIALS. POSTS TO BE MIN 10' OC. FOOTING DEPTH TO BE MIN 18"	COMPLIANT
150-50 (F)	FINISHED SIDE OF FENCES SHALL FACE ADJOINING PREMISES OR STREET. FENCES OTHER THAN OPEN TYPE (NOT INCLUDING CHAIN LINK) SHALL BE LOCATED A DISTANCE FROM THE PROPERTY LINE SUFFICIENT TO PERMIT APPROPRIATE LANDSCAPING TO BE PLACED & MAINTAINED ON THE PROPERTY OF THE APPLICANT BETWEEN THE FENCE AND PROPERTY LINE TO SCREEN FENCE	SIDE YARD FENCING TO BE INSTALLED WITH ROOM TO MAINTAIN EXISTING PLANTING WHICH SCREENS NEIGHBORING FENCING	COMPLIANT	
OUTDOOR KITCHEN	150-39.1(A)	NO COOKING FACILITY OR EQUIPMENT IN FRONT YARD	OUTDOOR COOKING AREA PROPOSED IN FRONT YARD (SCREENED FROM FRONT YARD WITH WALL ALIGNING WITH EXTENSION ABOVE - 30.3' SET BACK	NON-COMPLIANT
ACCESSORY STRUCTURE OVER 100' AREA	150-39(F)	LIMITED TO REQUIRED REAR & SIDE YARD SETBACKS REAR 25' / SIDE 20'	PROPOSED OPEN PERGOLA REAR YARD SET BACK 22.25' SIDE YARD SET BACK 25.25' 2ND FRONT YARD SET BACK 20.25'	NON-COMPLIANT COMPLIANT NON-COMPLIANT
ACCESSORY STRUCTURE CHILDREN'S PLAYHOUSE	150-39(F)	NOT ALLOWED IN FRONT YARD LIMITED TO 1/2 OF SIDE & REAR YARD SETBACKS SETBACK DISTANCE 11' FOR STRUCTURES UNDER 100 SF	PROPOSED PLAYHOUSE SIDE YARD SET BACK 11' 11' > 1/2 X 25' (8.3') FRONT YARD SET BACK 36" SET BACK DISTANCE 13.33'	NON-COMPLIANT NON-COMPLIANT
ACCESSORY STRUCTURE 80 SF POOL SHED	150-39(E)	NOT ALLOWED IN FRONT YARD LIMITED TO 1/2 OF SIDE YARD SETBACKS SETBACK DISTANCE 11' FOR STRUCTURES UNDER 100 SF	80 SQ FT (8x10) ROOF RIDGE HEIGHT 10' SIDE YARD SET BACK 9.4' SET BACK DISTANCE 8.333'	COMPLIANT NON-COMPLIANT

(1) MAXIMUM FLOOR AREA 150-13.3 = 3,000 SQ FT + .21X LOT AREA OVER 12,000 SQ FT = LOT AREA = 22,942.4 (10,942.4 OVER) X .21 = 2,297.90 + 3,000.00 = 5,297.90

(2) LOT COVERAGE 150-39(A) = LOT AREA X 15% = 22,942.40 X 15% = 3,441.36

(3) IMPERVIOUS SITE COVERAGE 150-39(B) = 6,560 + 0.24 TIMES BASE LOT AREA OVER 20,001 = LOT AREA = 22,942.4 (2,941.4 OVER) X .24 = 705.94 + 7,265.94 = 7,971.88

(4) MEAN GRADE @ PROPERTY LINE 12.83'

(5) SET BACK RATIO OVER GARAGE: HIGHEST POINT (CLOSEST TO WOODMERE BLVD): HEIGHT 24.8125' GRADE @ GARAGE 14.35' MEAN GRADE @ BROWARD PROPERTY LINE = 12.77' SETBACK 54.6875'
14.35-12.77 = 1.58
1.58 + 24.8125 = 26.3925
26.3925 / 54.6875 = 0.4826 H/s RATIO

LOWEST POINT (FARTHEST FROM WOODMERE BLVD): HEIGHT 20.08' GRADE @ GARAGE 14.35' MEAN GRADE @ BROWARD PROPERTY LINE = 12.77' SETBACK 40.6'
14.35-12.83 = 1.52
1.52 + 20.08 = 21.66
21.66 / 40.6 = 0.533 H/s RATIO

(6) SET BACK RATIO NEW ENTRY: HEIGHT 22.115' GRADE @ ENTRY 15.26' MEAN GRADE @ BROWARD PROPERTY LINE = 12.77' SETBACK 45.39'
15.26-12.77 = 2.49
2.49 + 22.115 = 24.605
24.605 / 45.39 = 0.54 H/s RATIO

(7) SET BACK RATIO @ 2ND FLOOR ADDITION: HIGHEST POINT (CLOSEST TO WOODMERE BLVD): HEIGHT 23.3' GRADE @ HIGH POINT - 15.18' MEAN GRADE @ BROWARD PROPERTY LINE = 12.77' SETBACK 48.125'
15.18-12.77 = 2.41
2.41 + 23.3 = 25.71
25.71 / 48.125 = 0.534 H/s RATIO

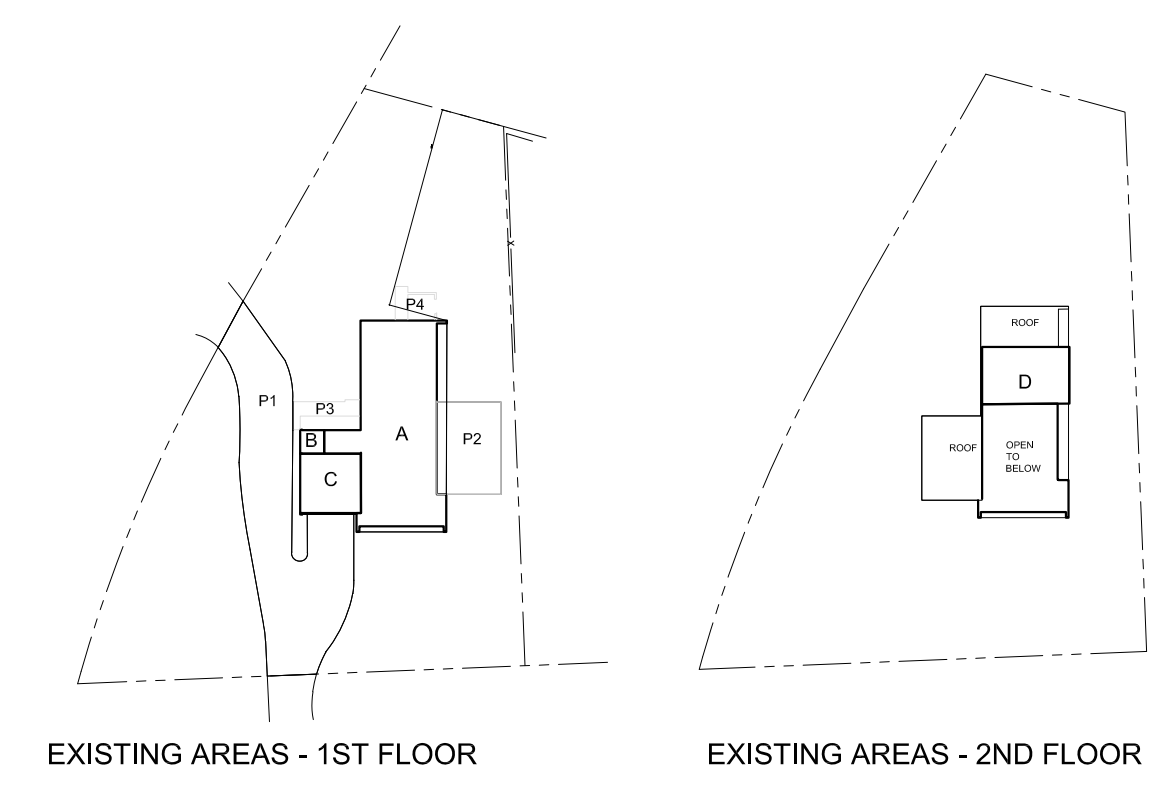
LOWEST POINT (FARTHEST FROM WOODMERE BLVD): HEIGHT 19.3' GRADE @ HOUSE CORNER 15.13' MEAN GRADE @ BROWARD PROPERTY LINE = 12.77' SETBACK 34.427'
15.13-12.77 = 2.36
2.36 + 19.3 = 21.66
21.66 / 34.427 = 0.63 H/s RATIO

(5) SET BACK RATIO OVER GARAGE TO WOODMERE BLVD: HIGHEST POINT: HEIGHT 24.8125' GRADE @ GARAGE 14.35' MEAN GRADE @ WOODMERE PROPERTY LINE = 14.14' SETBACK 57.4'
14.35-14.14 = 0.21
0.21 + 24.8125 = 25.0225
25.0225 / 57.4 = 0.436 H/s RATIO

EXISTING AREAS:
BUILDING AREAS:
 A (1ST FLOOR AREA) - 2,191 SF
 B (BOILER RM AREA) - 73 SF
 C (GARAGE AREA) - 467 SF
 D (2ND FLOOR AREA) - 642.75 SF
TOTAL EXISTING BUILDING AREA - 3,373.75

EXISTING IMPERVIOUS SURFACE COVERAGE:
 BUILDING COVERAGE (AREAS A/B/C/EAVES) - 3,049.95 SF
 P1 - DRIVEWAY AREA - 3,098 SF
 P2 - SIDE YARD PATIO - 768.5 SF
 P3 - FRONT WALKWAY AREA - 142.8 SF
 P4 - REAR RETAINING WALLS & WALKWAY - 64.8 SF
TOTAL EXISTING IMPERVIOUS AREA 7,084.05 SF

EXISTING LOT COVERAGE:
 BUILDING AREAS - 3,373.75 SF
 RETAINING WALLS - 64.8 SF
TOTAL EXISTING LOT COVERAGE 3,458.55 SF



EXISTING AREAS - 1ST FLOOR EXISTING AREAS - 2ND FLOOR

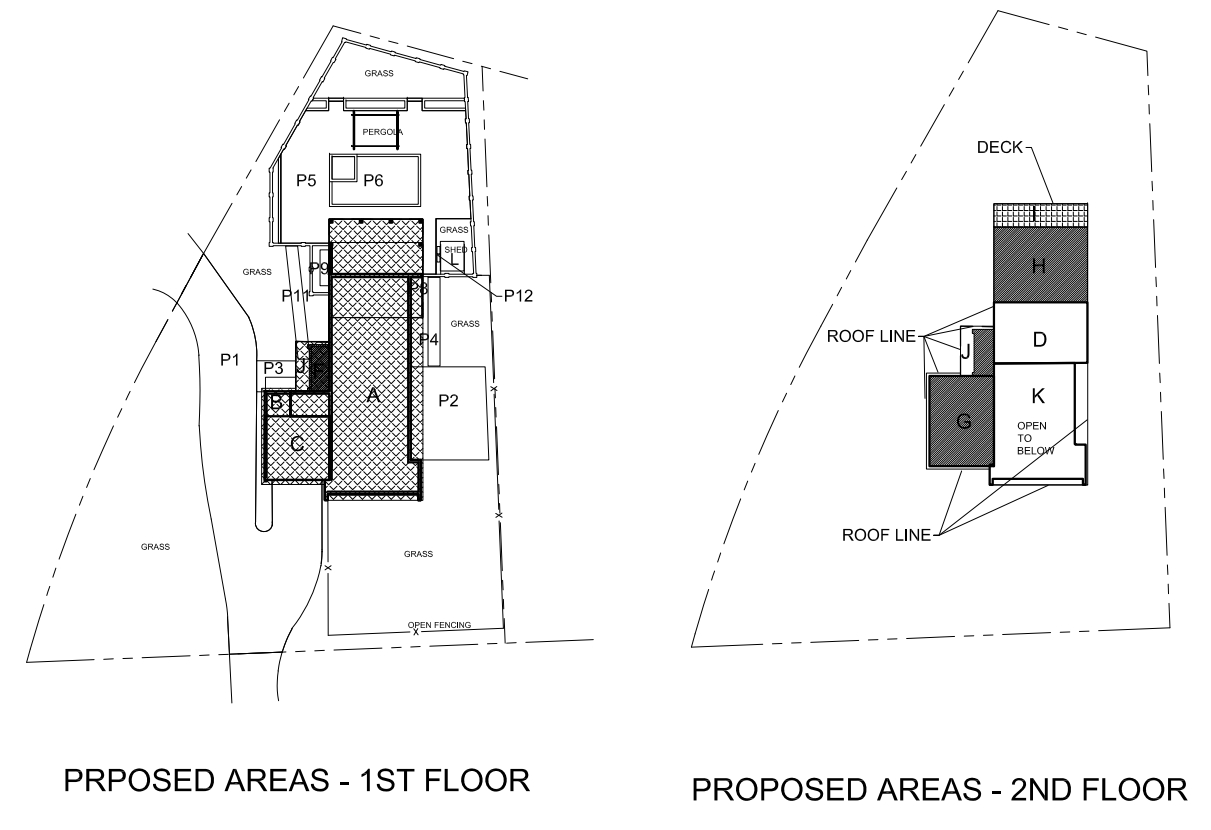
A EXISTING AREA ANALYSIS

PROPOSED AREAS:
BUILDING AREAS:
 A (EXISTING 1ST FLOOR AREA) - 2,191 SF
 B (EXISTING BOILER RM AREA) - 73 SF
 C (EXISTING GARAGE AREA) - 467 SF
 D (EXISTING 2ND FLOOR AREA) - 642.75 SF
 E (EXISTING OPEN TO BELOW) - N/A
 F (1ST FLOOR FOYER EXTENSION) - 106.2 SF
 G (2ND FLOOR OVER GARAGE FAMILY RM) - 764 SF
 H (2ND FLOOR MASTER SUITE) - 794 SF
 I (2ND FLOOR DECK - 246.7 SF)
 J (ENTRY CANOPY - 81.6 SF)
 K (2ND FLOOR OPEN TO BELOW 1,009.4 SF)
TOTAL PROPOSED BUILDING AREA - 5,037.95 SF

OTHER BUILDING AREA:
 PERGOLA 16' X 126' - 200 SF
 POOL SHED 8' X 10' - 80 SF
TOTAL BUILDING AREA WITH PERGOLA & SHED 5,317.95 SF

PROPOSED LOT COVERAGE:
 BUILDING AREA ROOFS & DECKS & OVERHANGS - 3,905.7 SF
 PERGOLA (12.5x16) - 200 SF
 SHED 8x10 WITH 6' ROOF OVERHANG - 99 SF
 RETAINING WALLS - 335.4 SF
 RAISED PAVING @ POOL PATIO AREA IS ABOVE ADJACENT GRADE - 892.5 SF
 SPA @ POOL - 85.5 SF
 POOL EQUIPMENT/RAISED PLATFORM FOR EQUIPMENT - 87.5 SF
 AC EQUIPMENT - 49.9 SF
TOTAL LOT COVERAGE 5,655.5 SF

PROPOSED IMPERVIOUS SURFACE COVERAGE:
 BUILDING COVERAGE (ROOFS & DECK) - 3,905.7 SF
 P1 - EXISTING DRIVEWAY AREA (3,058 LESS 25 SF OF ROOF AREA) - 3,033 SF
 P2 - SIDE YARD PATIO (803.5 SF LESS 127.8 SF OF ROOF AREA) - 675.7 SF
 P3 - FRONT ENTRY WALKWAY AREA (91.6 LESS 25.2 SF ROOF AREA) - 72.4 SF
 P4 - SIDE YARD WALKWAY (PERMEABLE 119.3) - N/A
 P5 - POOL AREA PAVING (2518 LESS 581.4 AREA BELOW ROOF/DECK) - 1936.6 SF
 P6 - POOL SHED WITH 6' ROOF OVERHANG - 540.5 SF
 P7 - RETAINING WALLS & STEPS (INCLUDING PIEBS) - 335.4 SF
 P8 - AC EQUIPMENT PLATFORM (LESS 14.0 OF ROOF AREA) - 0 SF
 P9 - POOL EQUIPMENT PAD - 87.5 SF
 P10 - 8x10 POOL SHED WITH 6' ROOF OVERHANG - 99 SF
 P11 - FRONT YARD TO POOL WALKWAY (PERMEABLE 153 SF)
 P12 - PAVERS AT SHED (PERMEABLE - 5.2 SQ FT)
TOTAL PROPOSED IMPERVIOUS AREA 10,685.8 SF



PROPOSED AREAS - 1ST FLOOR PROPOSED AREAS - 2ND FLOOR

B PROPOSED AREA ANALYSIS

SEE EXTERIOR ELEVATION SHEETS A201 & A202 FOR FRONT & SIDE YARD SET BACK RATIOS

ARCHITECT:
RACHAEL JUDGE, RA
 66 WYOMING AVENUE
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 516-889-1932
 NY LIC. 034068

CONSULTANTS:

PROJECT NAME:
KALBO RESIDENCE
 100 WOODMERE BLVD SOUTH
 WOODSBURG, NY 11598

C R. JUDGE 2022

NO	DATE	REVISIONS	BY
1	9 MAR 23	MEAN GRADE	RJ
2	3 MAR 23	DOB REVIEW	RJ
3	25 JAN 23	DOB REVIEW	RJ

ZONING NOTES, GENERAL NOTES, PARTITION DETAILS

PAGE 2 OF 20
 DATE: 19 JULY 2022
 PROJECT No: 2022-1
 DRAWING BY: RJ
 CHK BY:
 SCALE: AS NOTED
 DWG No:

A-002.00



DOB APPROVAL

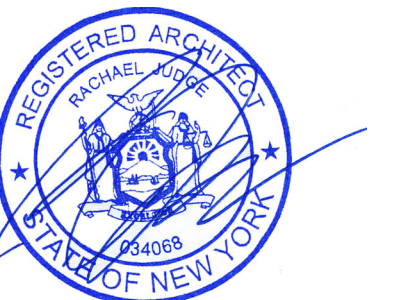
NO.	DATE	REVISIONS	BY
3	MAR 23	DOB REVIEW	RJ
2	JAN 23	DOB REVIEW	RJ

**SITE PLAN
 DRYWELL DETAILS**

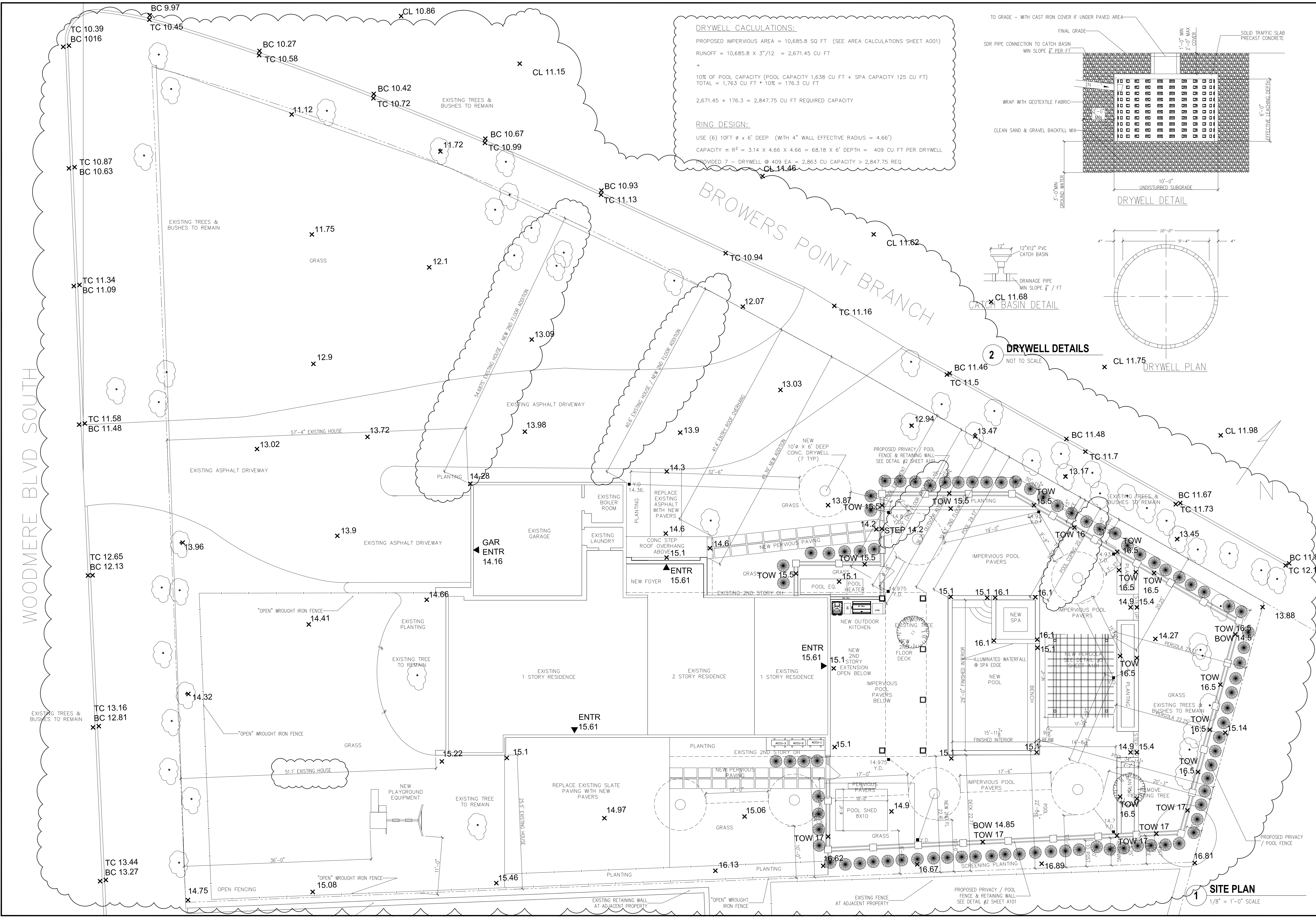
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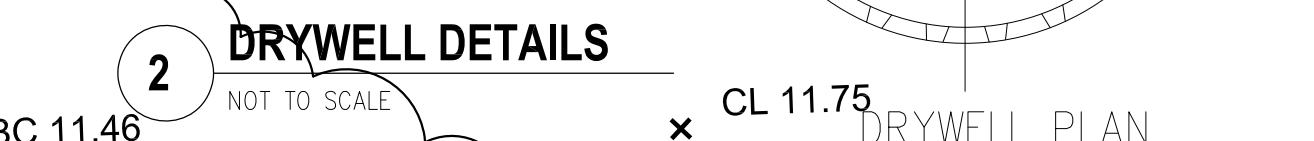
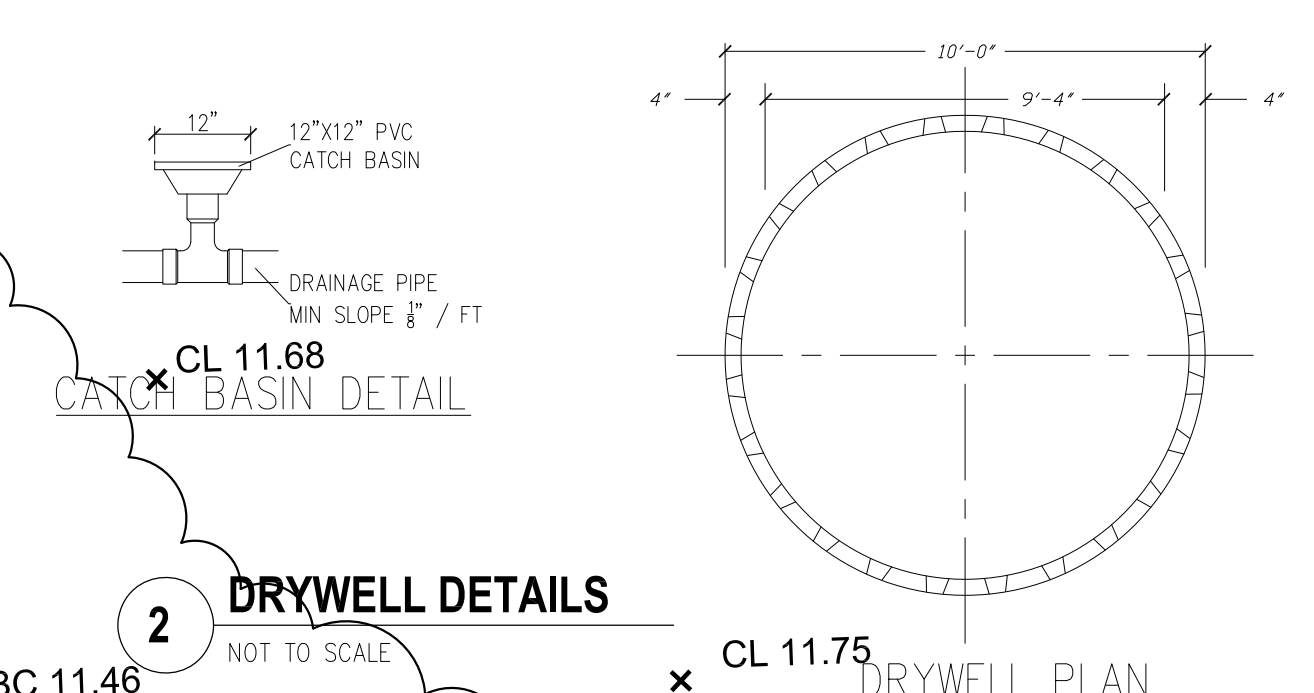
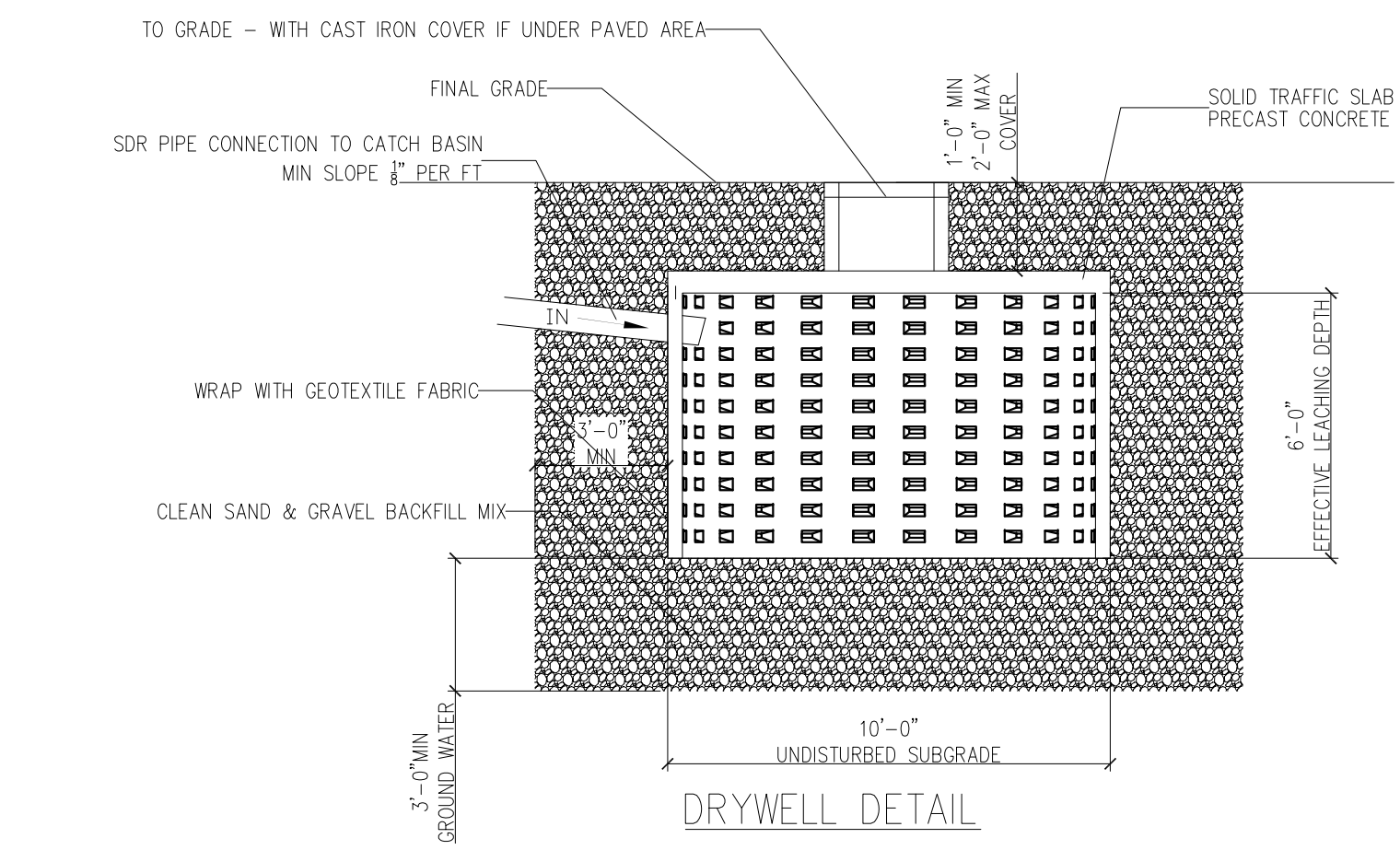
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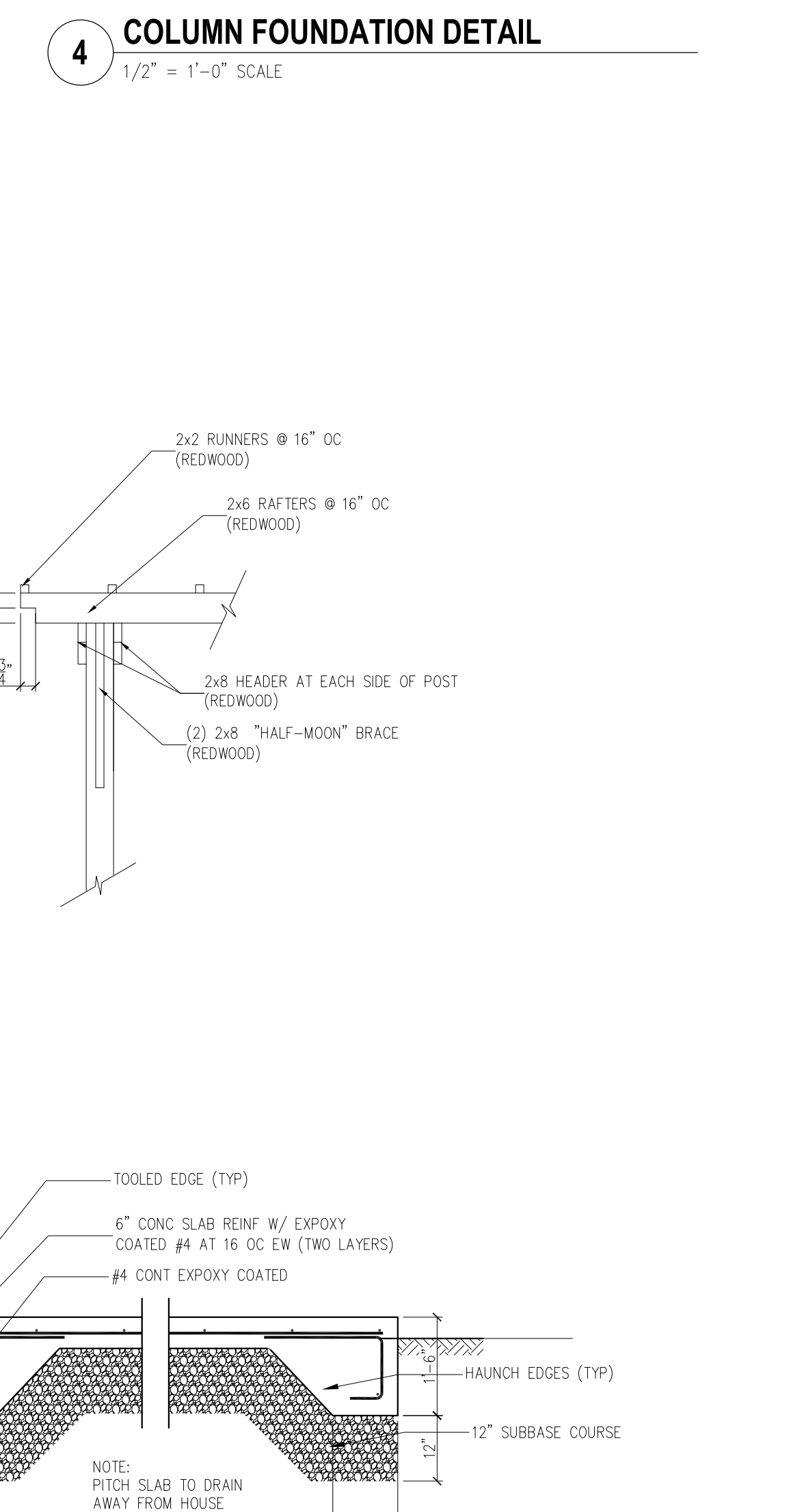
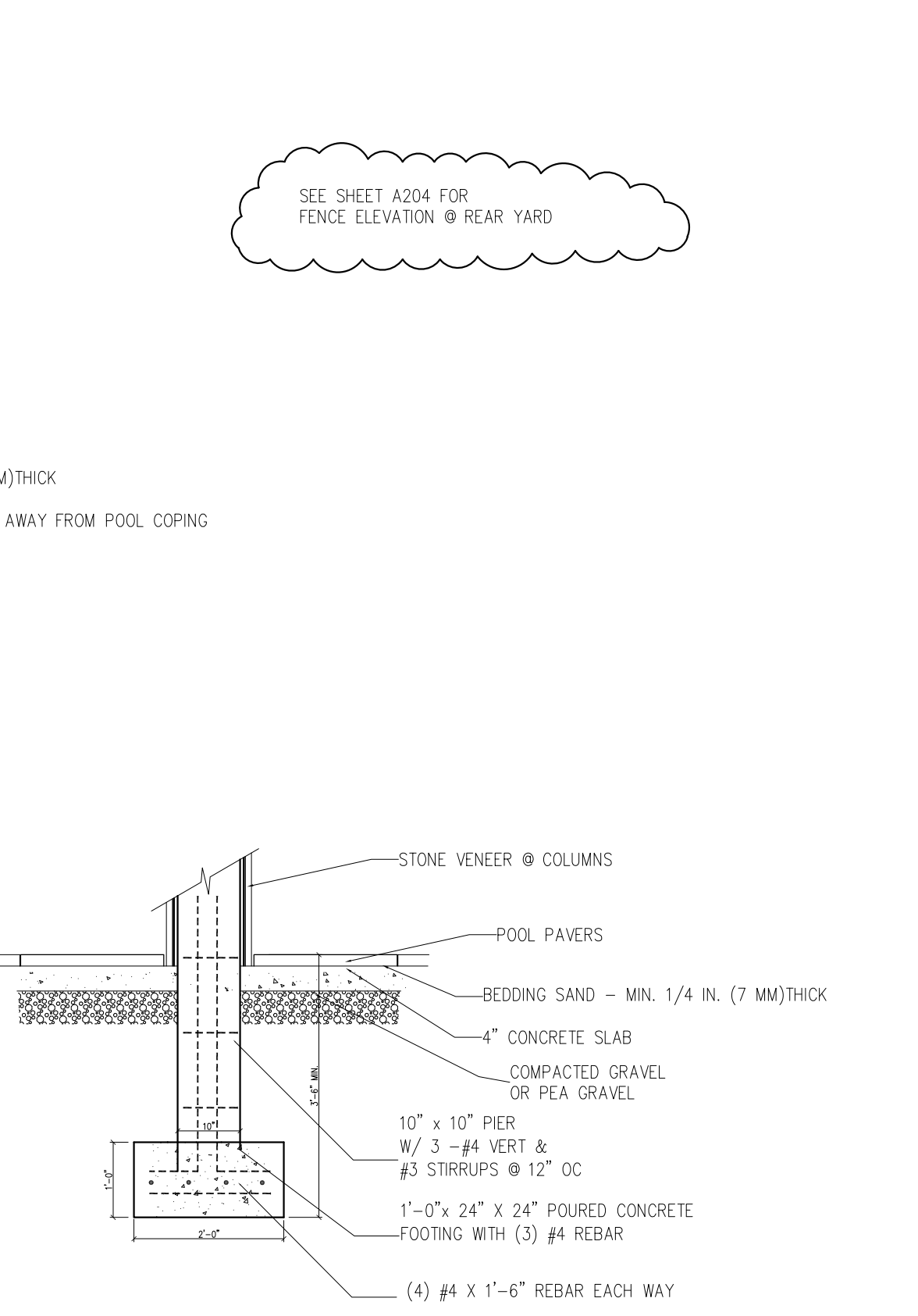
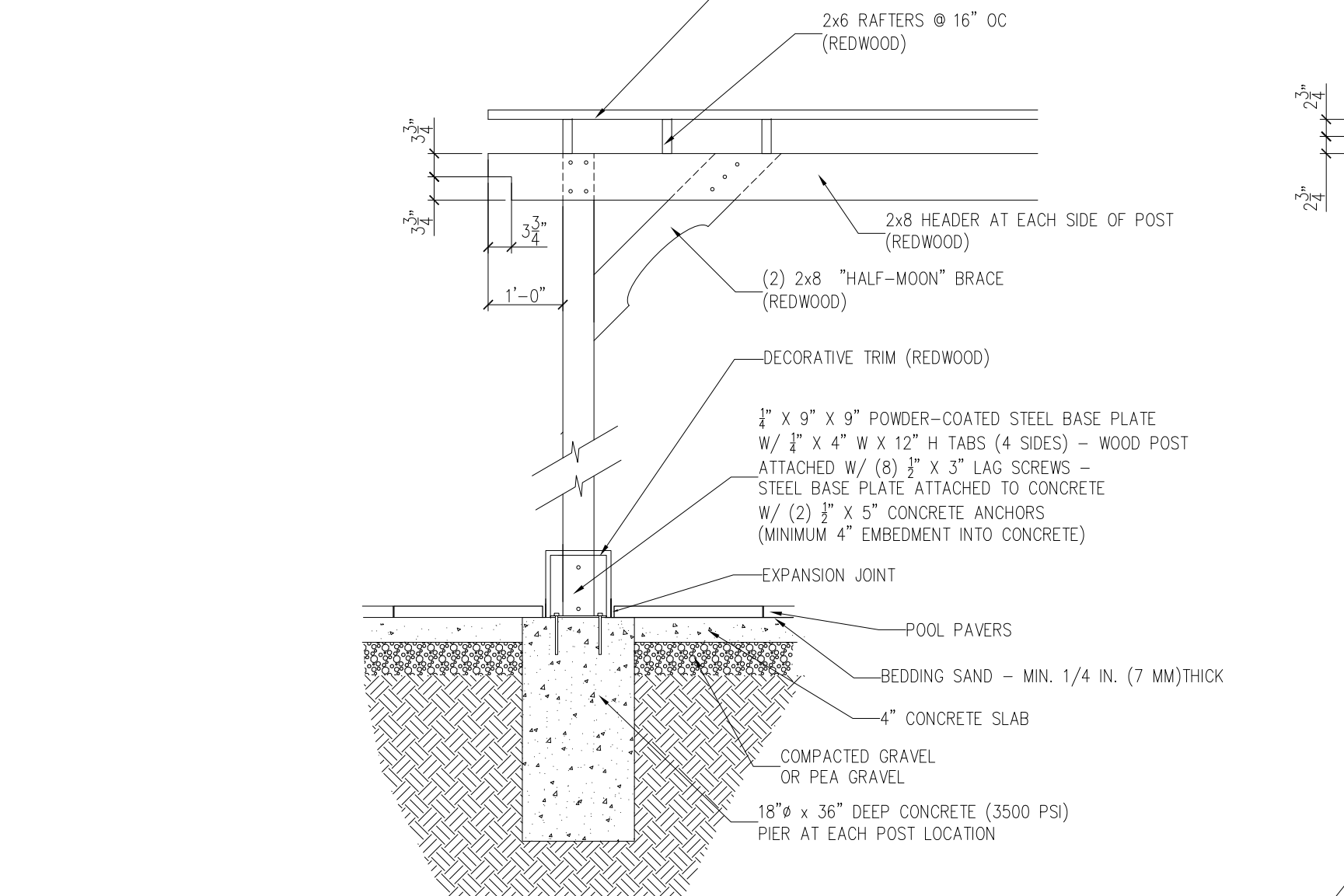
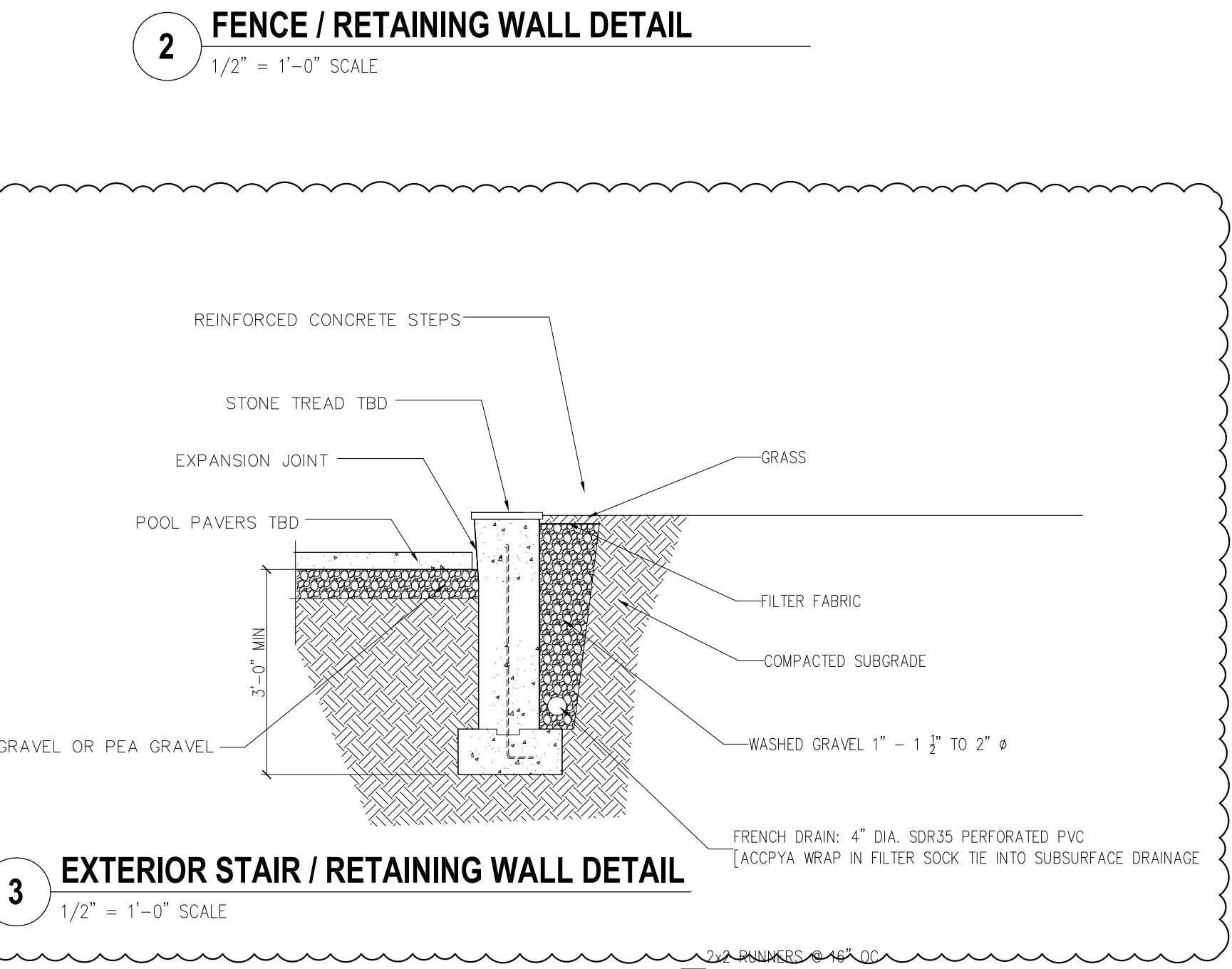
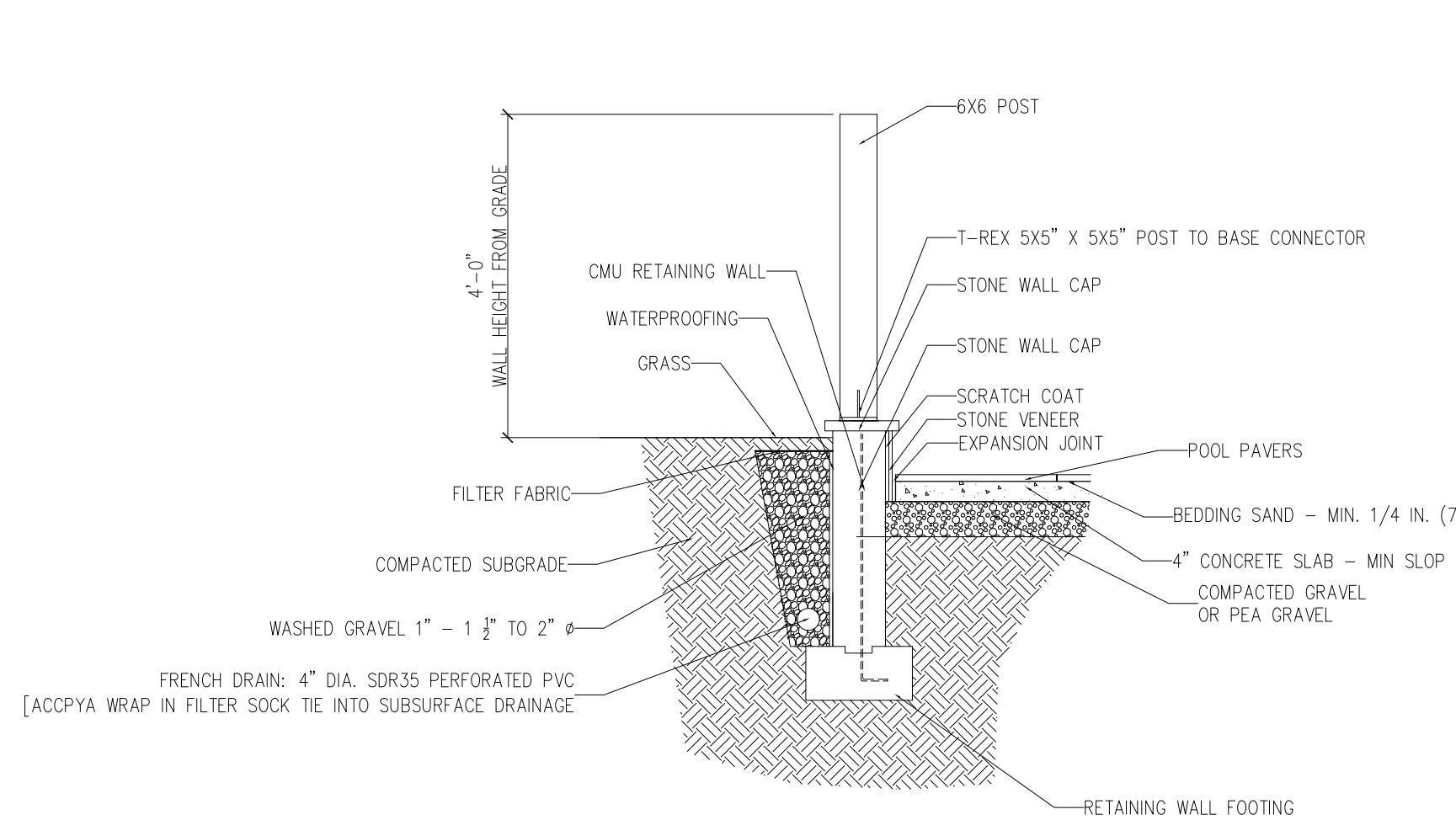
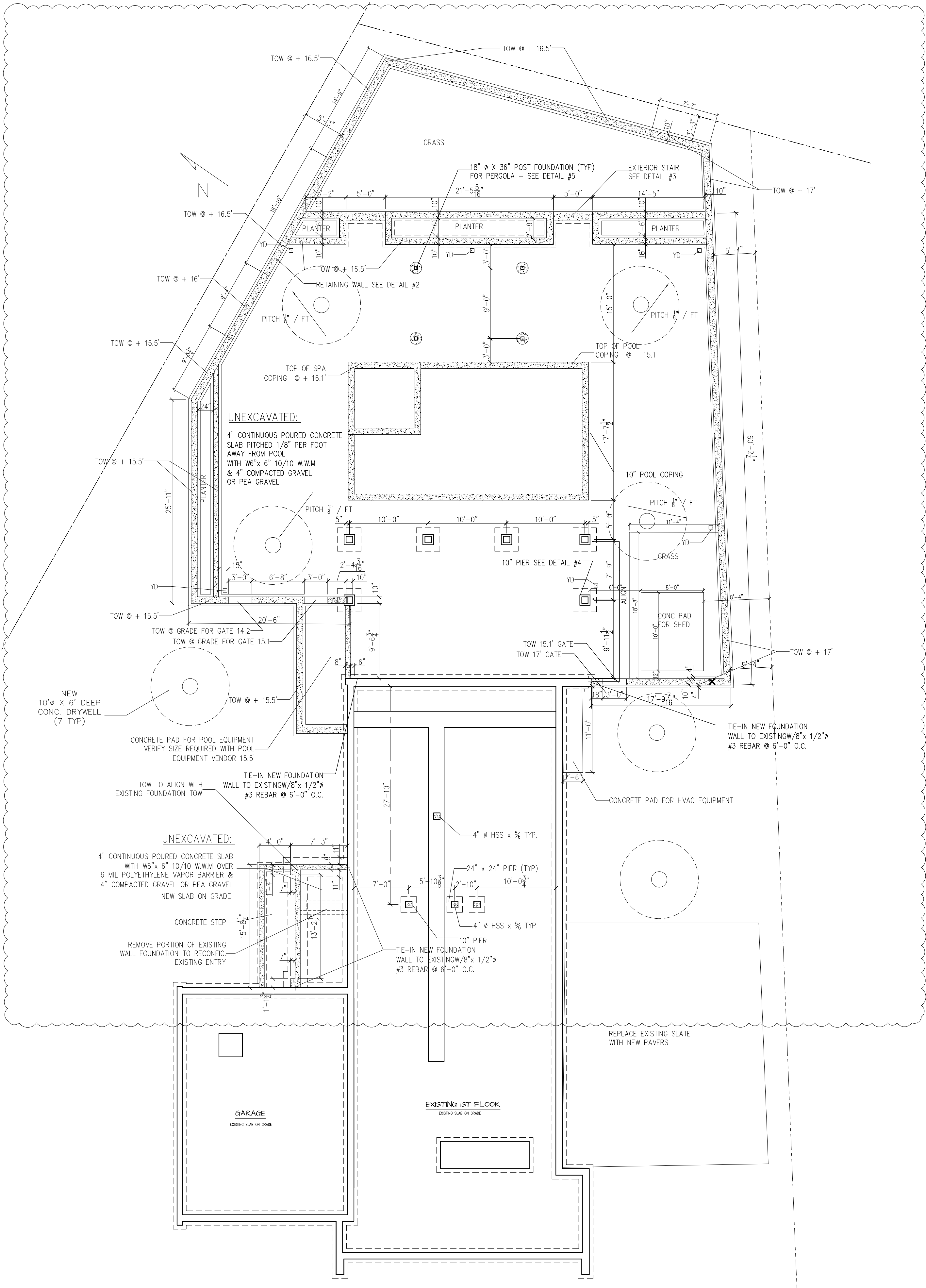


DRYWELL CALCULATIONS:
 PROPOSED IMPERVIOUS AREA = 10,685.8 SQ FT (SEE AREA CALCULATIONS SHEET A001)
 RUNOFF = 10,685.8 X 3"/12 = 2,671.45 CU FT
 +
 10% OF POOL CAPACITY (POOL CAPACITY 1,638 CU FT + SPA CAPACITY 125 CU FT)
 TOTAL = 1,763 CU FT • 10% = 176.3 CU FT
 2,671.45 + 176.3 = 2,847.75 CU FT REQUIRED CAPACITY
RING DESIGN:
 USE (6) 10FT Ø X 6' DEEP (WITH 4" WALL EFFECTIVE RADIUS = 4.66")
 CAPACITY $\pi R^2 = 3.14 \times 4.66 \times 4.66 = 68.18 \times 6' \text{ DEPTH} = 409 \text{ CU FT PER DRYWELL}$
 PROVIDED 7 - DRYWELL @ 409 EA = 2,863 CU CAPACITY > 2,847.75 REQ



2 DRYWELL DETAILS
 NOT TO SCALE

1 SITE PLAN
 1/8" = 1'-0" SCALE



SEE SHEET A204 FOR
 FENCE ELEVATION @ REAR YARD

NO.	DATE	REVISIONS	BY
1	3 MAR 23	DOB REVIEW	RJ
2	25 JAN 23	DOB REVIEW	RJ

**PROPOSED
 1ST & 2ND FLOOR
 PLANS**

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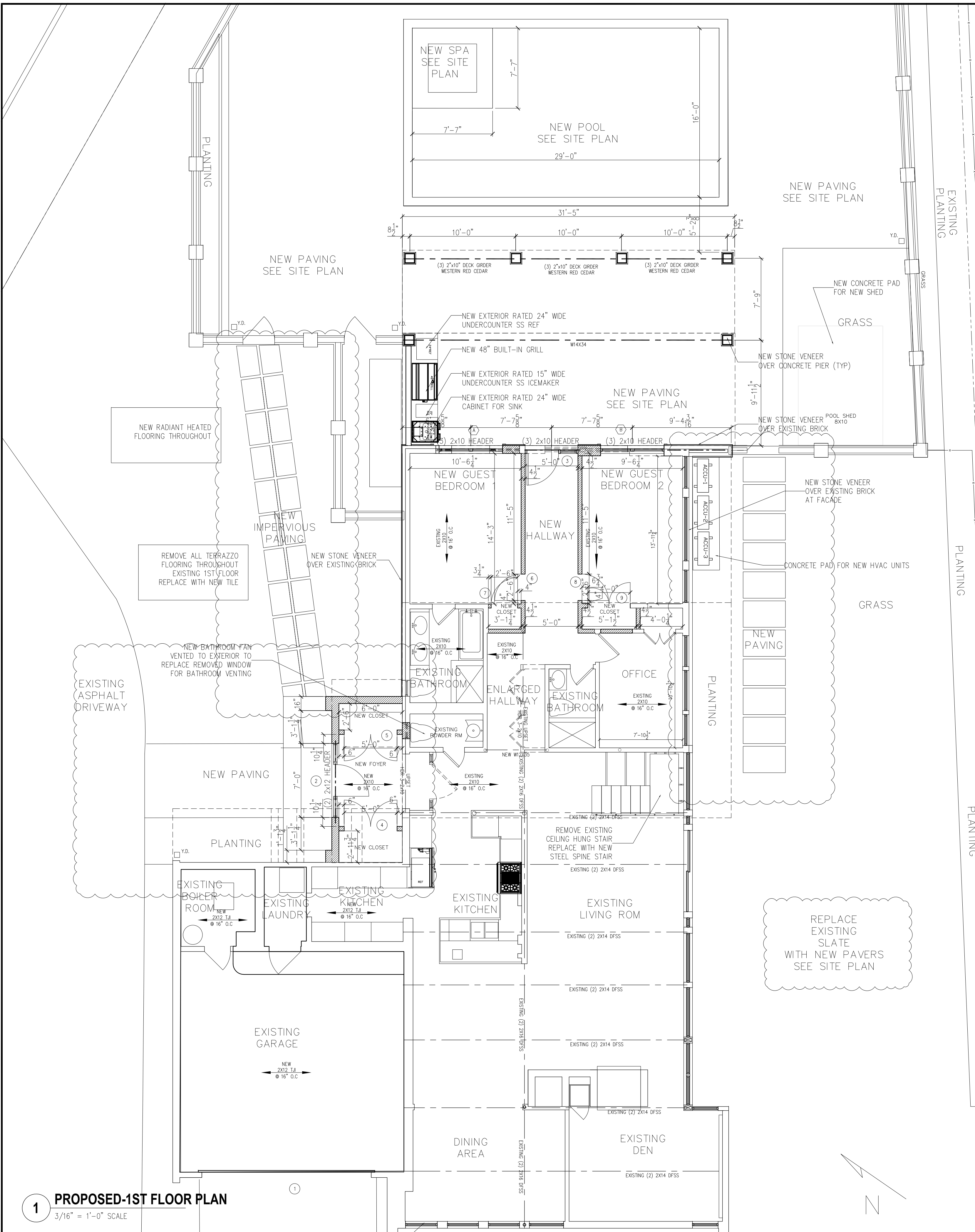
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 PROJECT No: 2022-1
 DRAWING BY: RJ
 CHK BY:
 SCALE: AS NOTED
 DWG No:

A-102.00

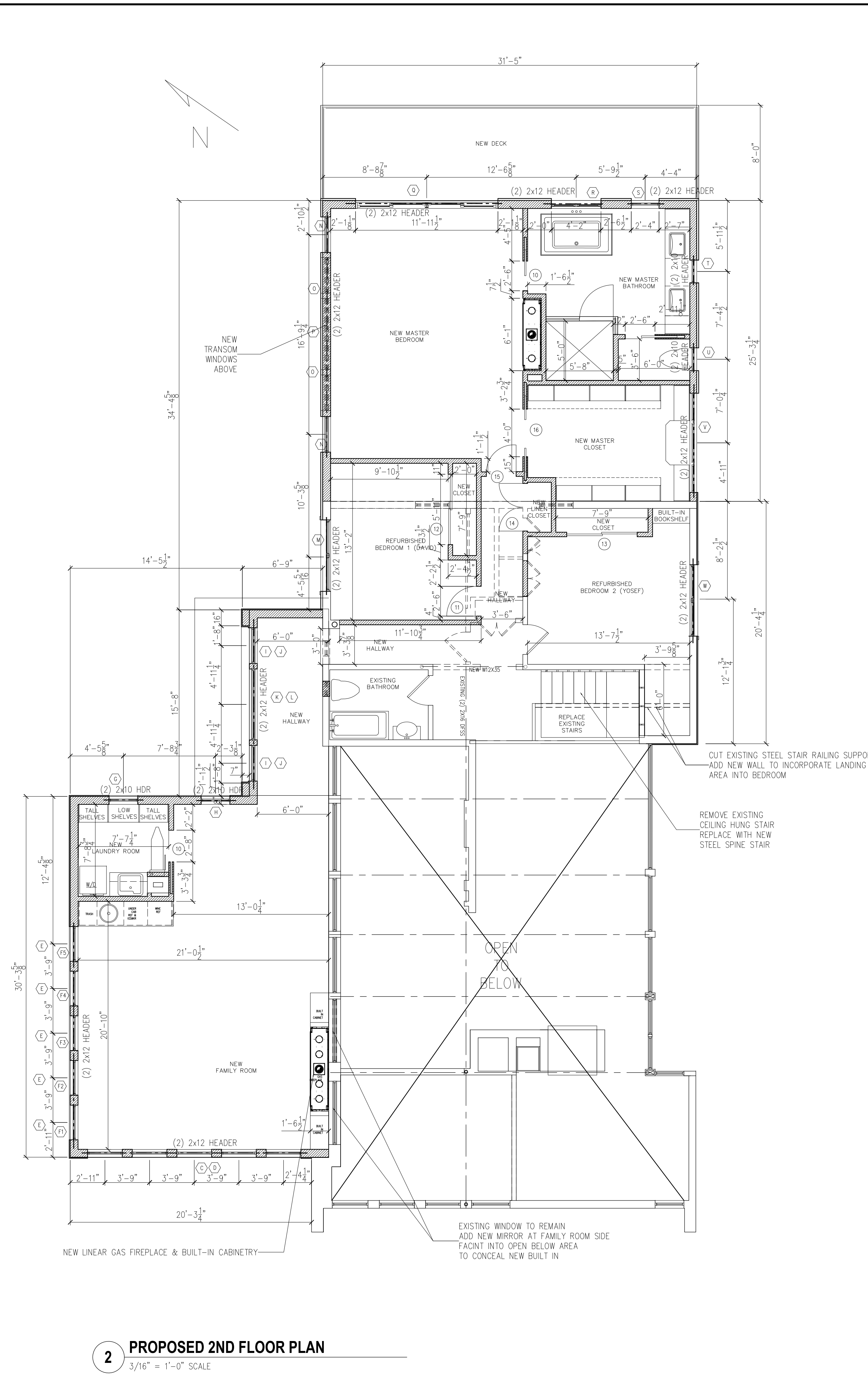
SEAL & SIGNATURE



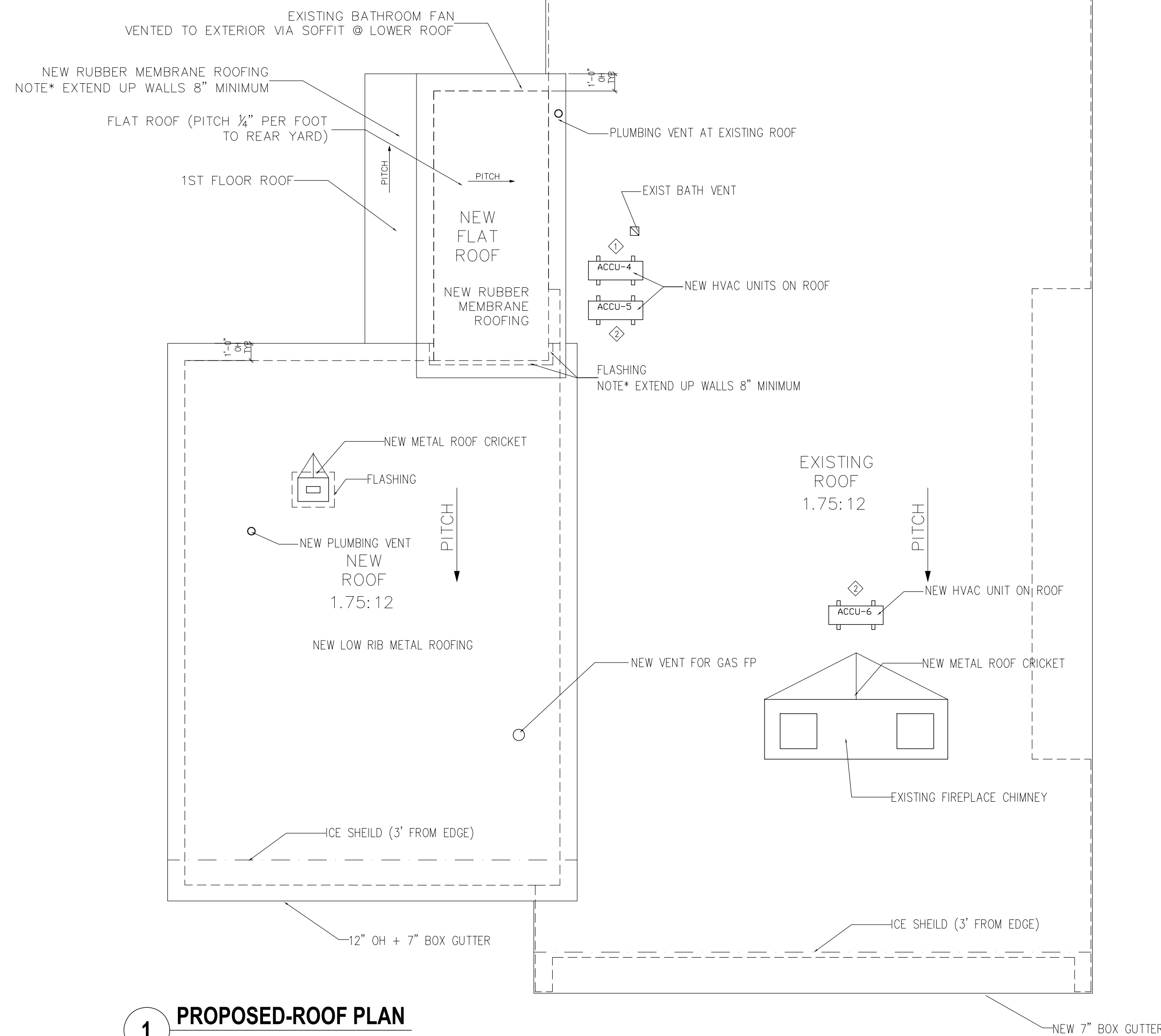
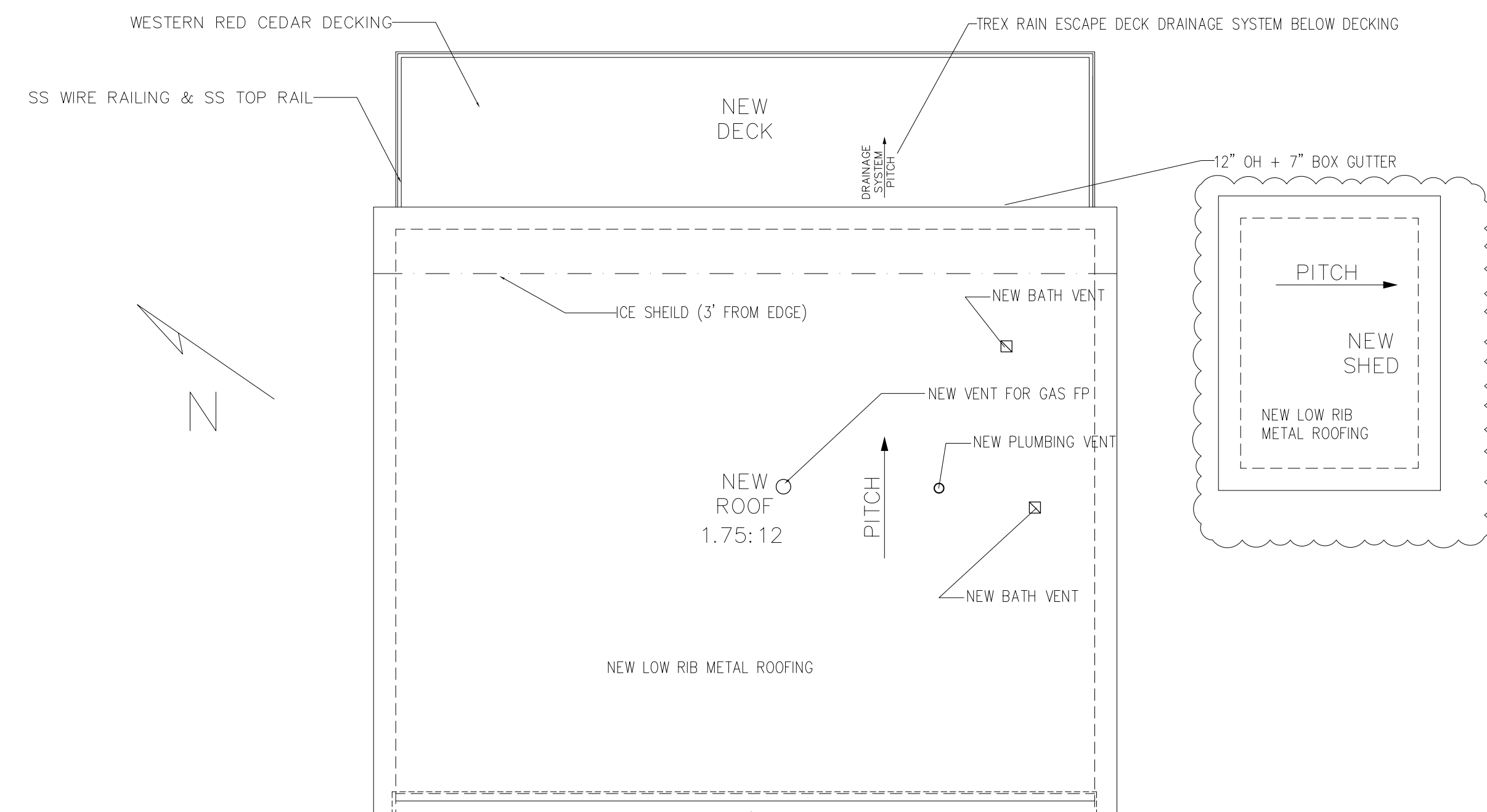
DOB APPROVAL



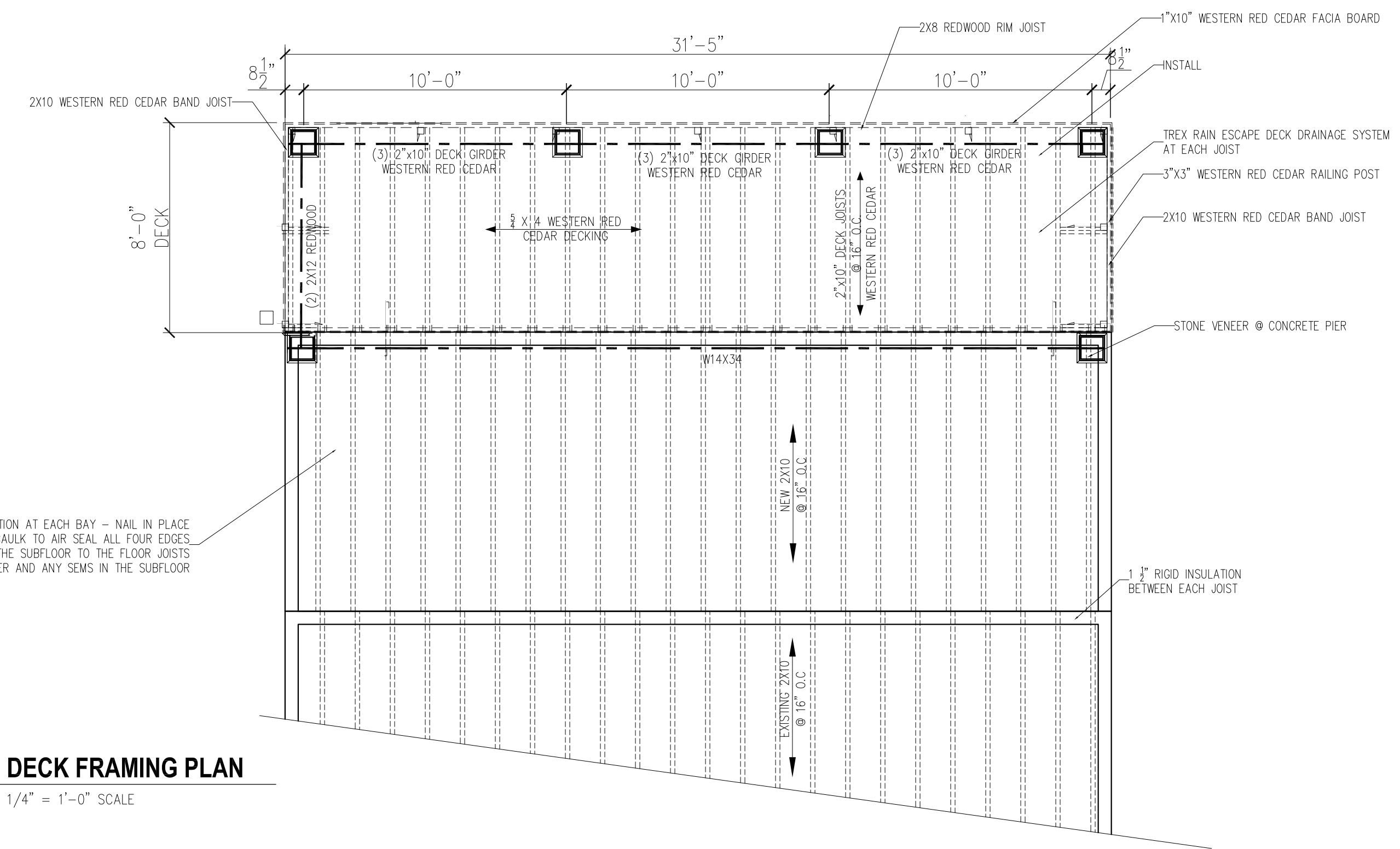
1 PROPOSED-1ST FLOOR PLAN
 3/16" = 1'-0" SCALE



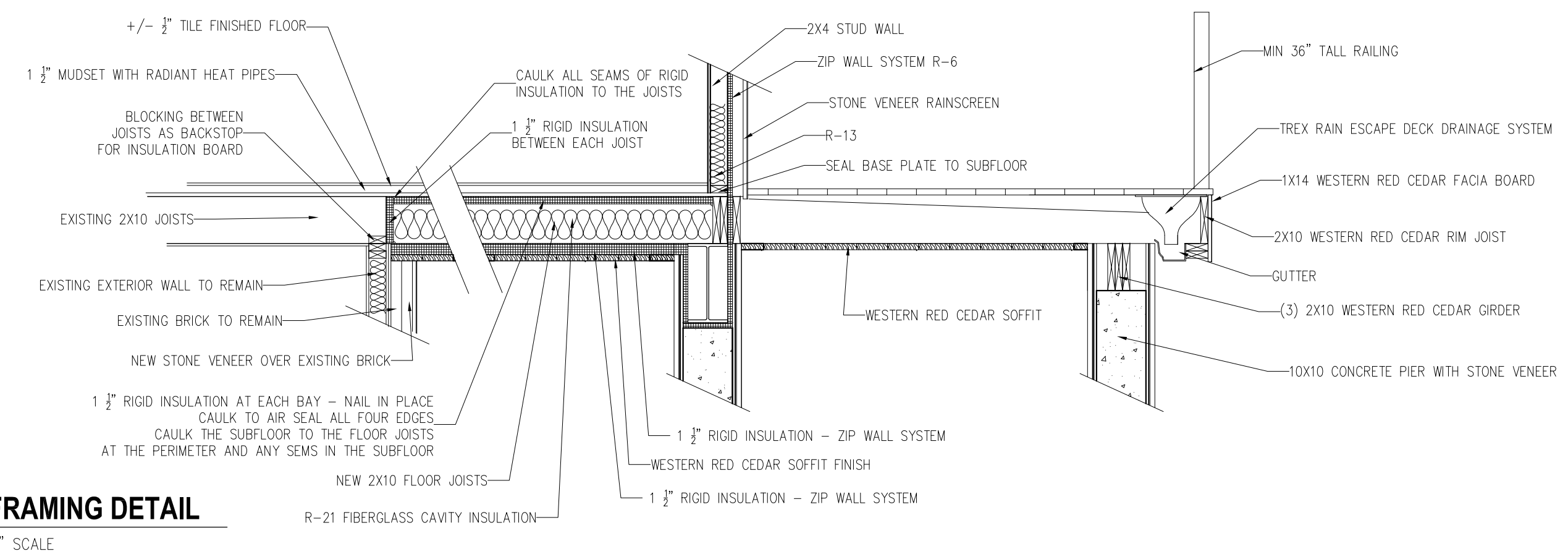
2 PROPOSED 2ND FLOOR PLAN
 3/16" = 1'-0" SCALE



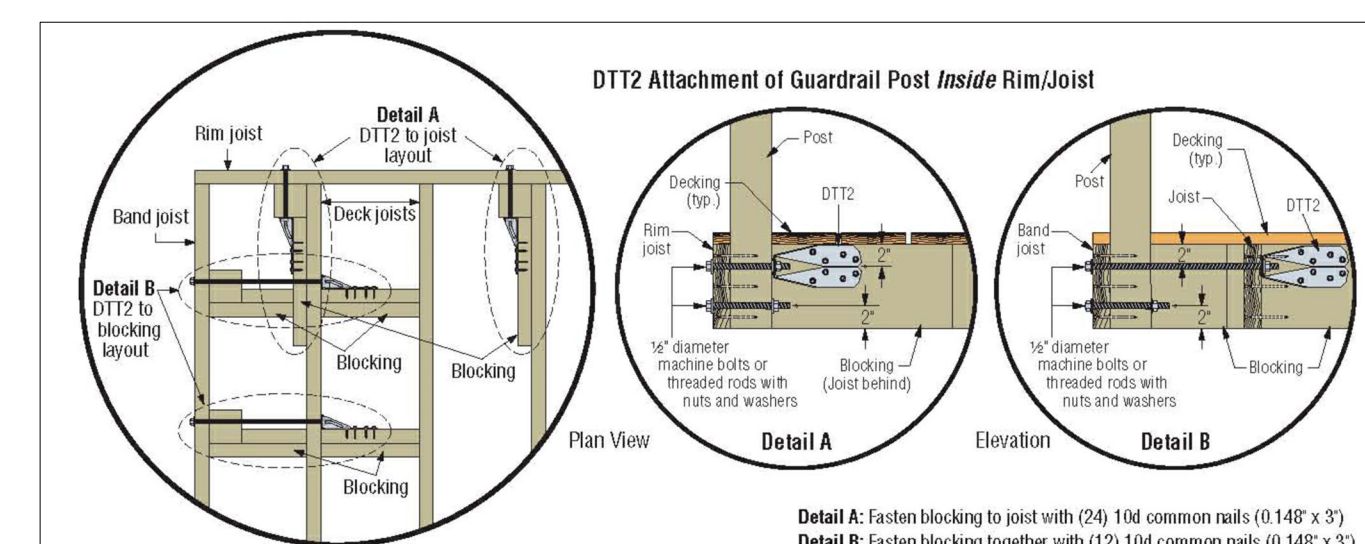
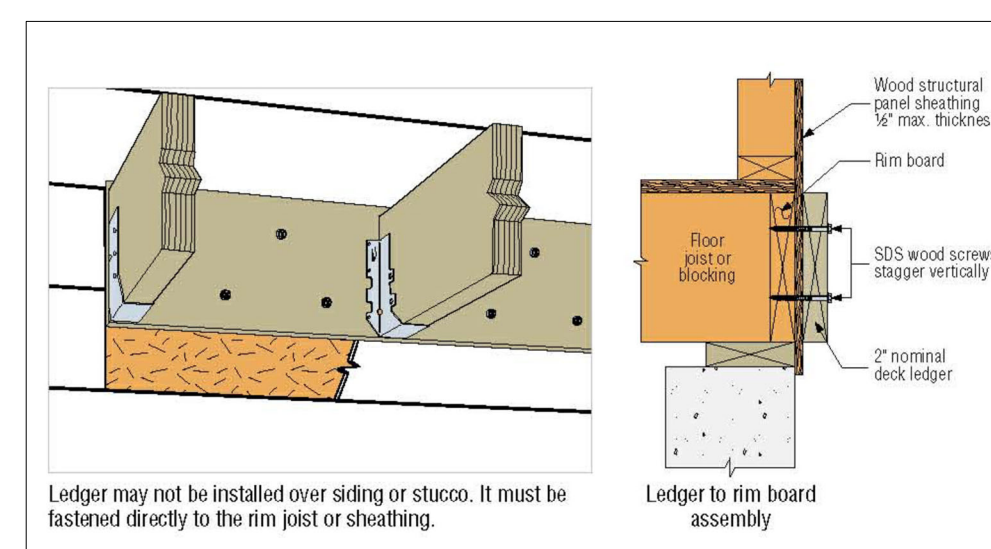
1 PROPOSED-ROOF PLAN
 3/16" = 1'-0" SCALE



2 DECK FRAMING PLAN
 1/4" = 1'-0" SCALE

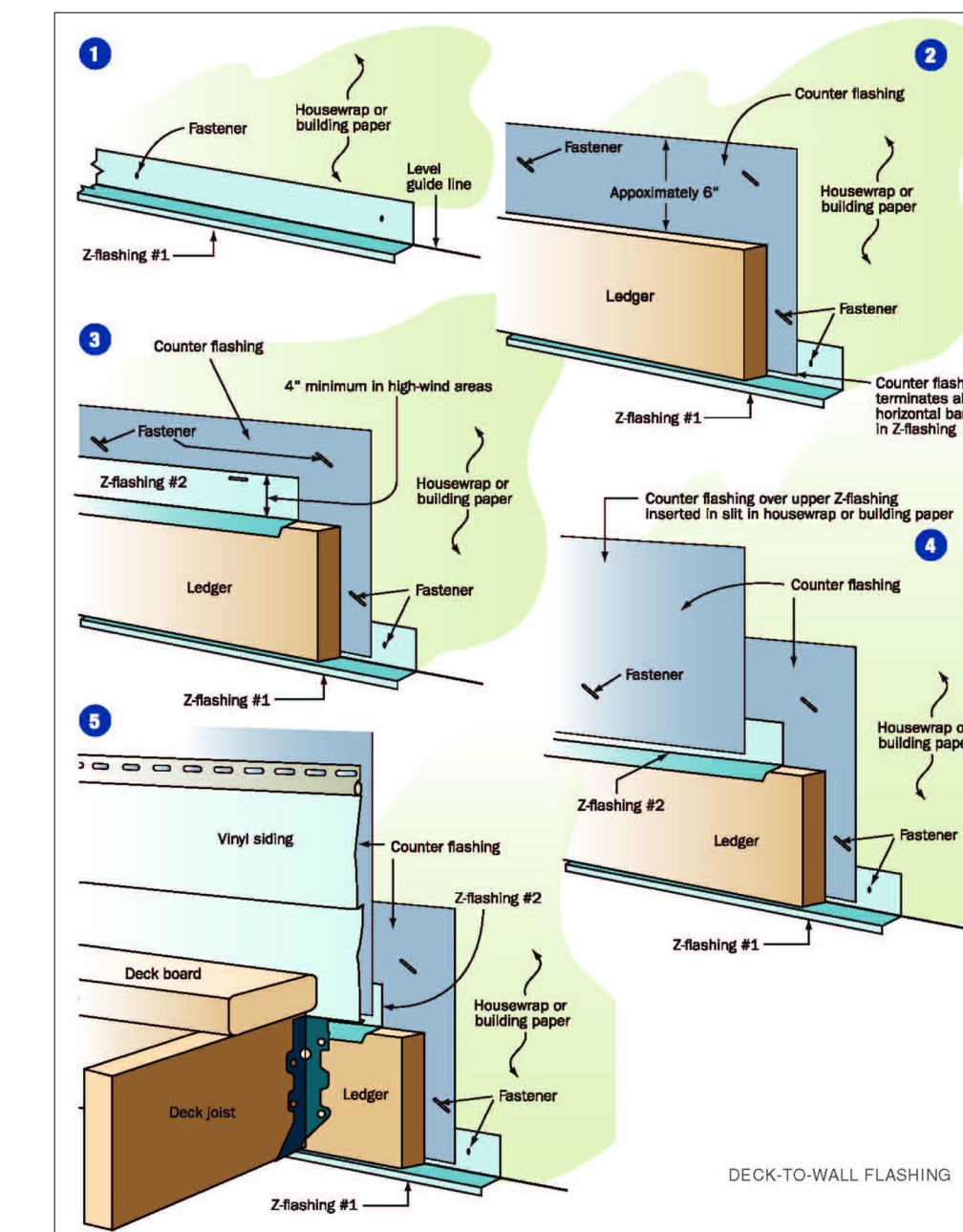


3 DECK FRAMING DETAIL
 1/2" = 1'-0" SCALE



NOT TO SCALE
DECK CONNECTION DETAILS

4 DECK DETAILS
 NOT TO SCALE



FLASHING DETAILS



ELECTRICAL LEGEND

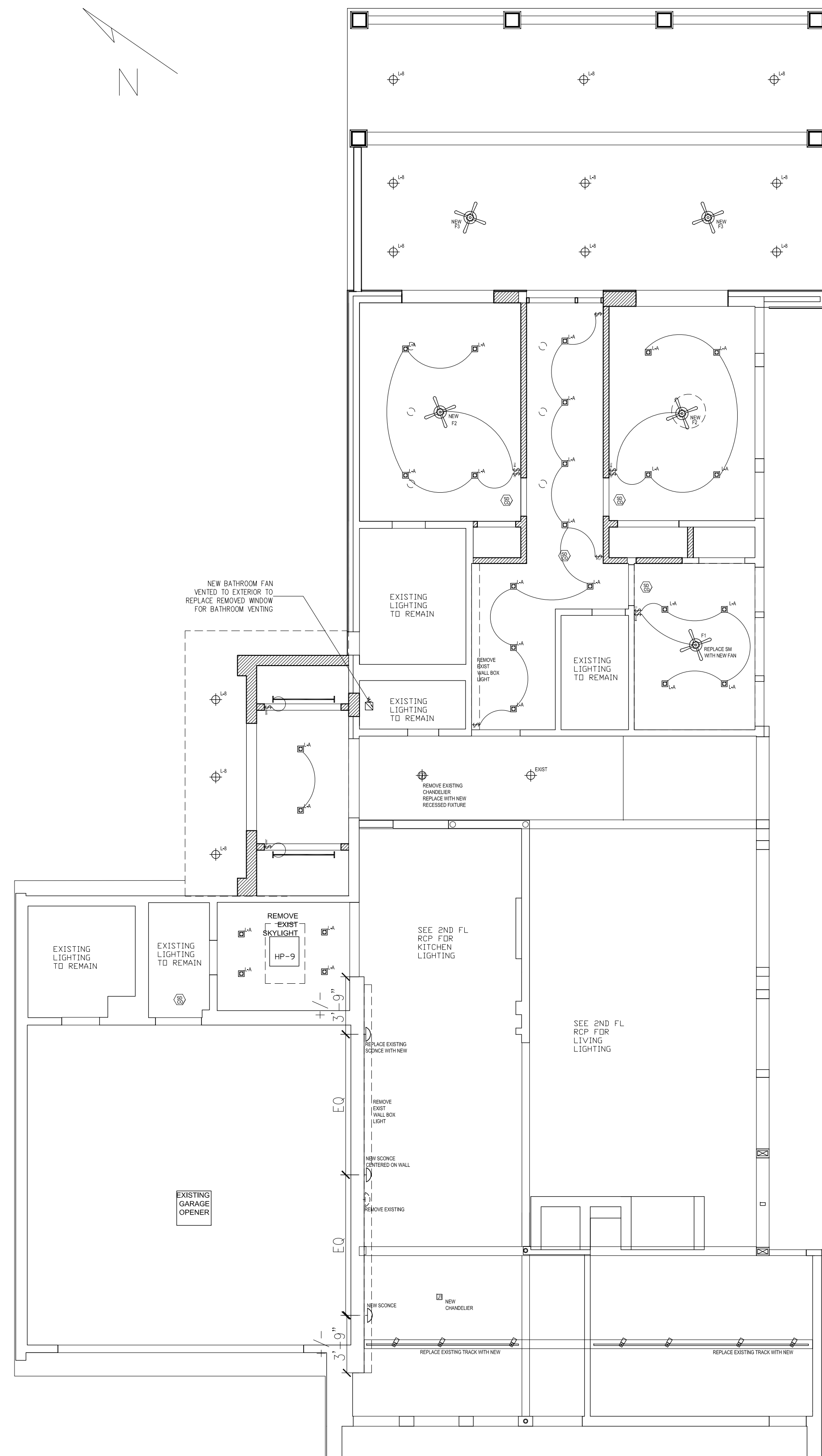
SYMBOL	FIXTURE TYPE
SW	SWITCH - LUTRON DIVA
DS	DIMMER SWITCH - LUTRON DIVA DIMMER
3S	3-WAY SWITCH - LUTRON DIVA
ES	ELECTRONIC DIMMERS SWITCH (CL) - FOR FLUORESCENT OR LED FIXTURE DIMMING
TV	TELEVISION OUTLET - TV CABLE
DT	DIGITAL PROGRAMMABLE THERMOSTAT
IB	INTERCONNECTED HARD WIRE, BATTERY BACK UP COMBINATION SMOKE & CARBON MONOXIDE DETECTOR
DO	DATA OUTLET
TE	TELEPHONE OUTLET
DU	DUPLEX OUTLET LUTRON DESIGNER
GI	GROUND FAULT INTERRUPTER DUPLEX OUTLET LUTRON DESIGNER
GD	GAS DRYER - DEDICATED 120 V / 60Hz, 4A MAX. CONFIRM AMPERAGE WITH MANUFACTURER'S SPECIFICATIONS
WM	WASHING MACHINE - DEDICATED 120 V / 60Hz, 12A MAX. CONFIRM AMPERAGE WITH MANUFACTURER'S SPECIFICATIONS
ALL SWITCHES TO BE MOUNTED AT 48" AFF UNLESS OTHERWISE NOTED	

LIGHTING SCHEDULE

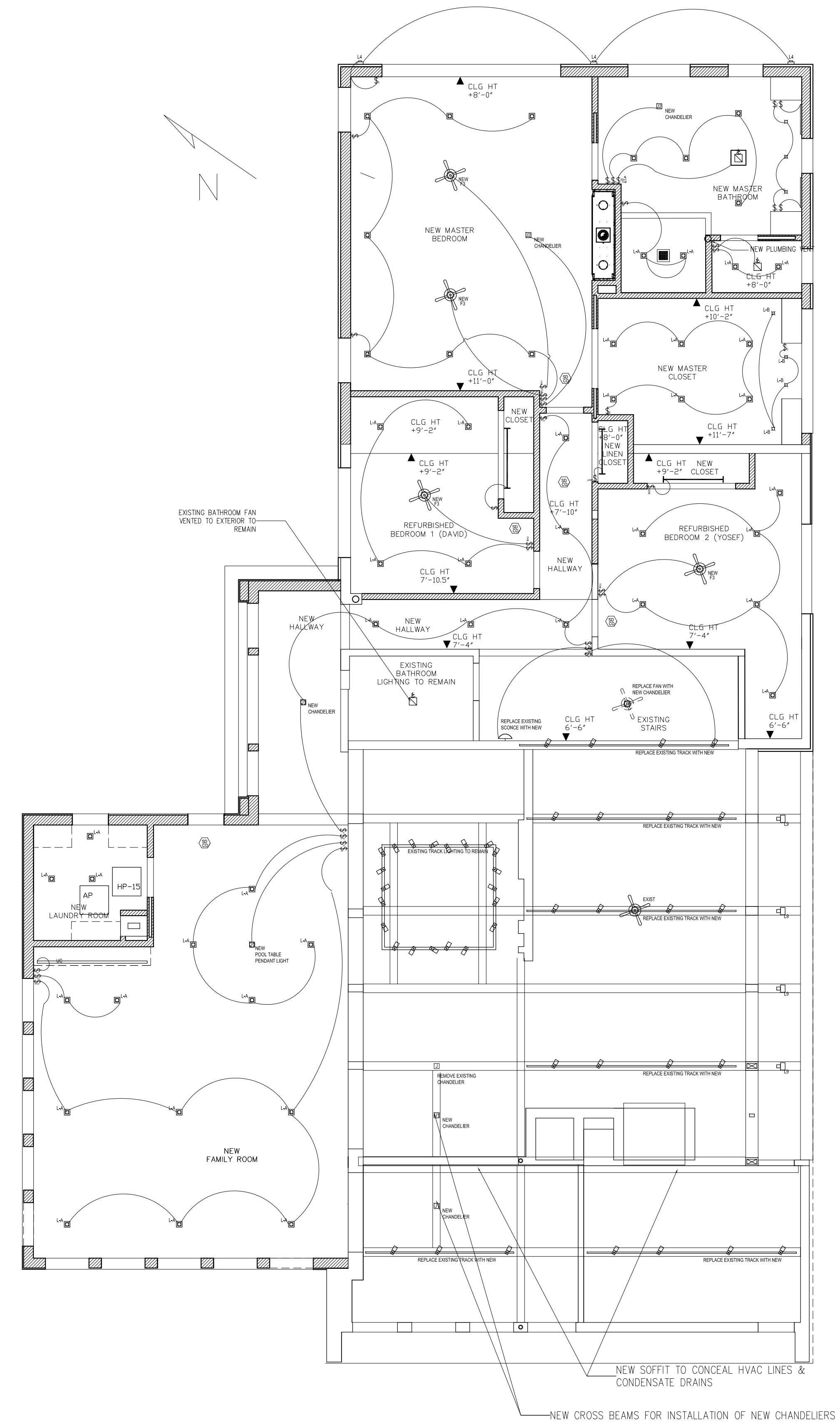
SYMBOL	FIXTURE TYPE
J	JUNCTION BOX FOR OWNER SUPPLIED FIXTURE
WS	WALL SCONCE (INSTALL OWNER SUPPLIED FIXTURE)
LA	WAC LIGHTING SQUARE TRIM RECESSED LED FIXTURE
LA-R	MINI RECESSED LED FIXTURE
LC	RECESSED LIGHT FIXTURE
LC-A	RECESSED LIGHT FIXTURE - ANGLED CEILING MOUNT
BE	BATHROOM EXHAUST
NOTE: MINIMUM 90% OF ALL NEW LIGHTS SHALL BE HIGH EFFICACY FIXTURES	

SMOKE & CO DETECTOR NOTES -

- SINGLE AND MULTIPLE STATION SMOKE ALARMS, LISTED SINGLE- AND MULTIPLE-STATION SMOKE ALARMS SHALL BE INSTALLED IN ACCORDANCE WITH THE PROVISIONS OF THIS CODE AND THE HOUSEHOLD FIRE WARNING EQUIPMENT PROVISIONS OF NFPA72
- WHERE REQUIRED, SINGLE- OR MULTIPLE STATION SMOKE ALARMS SHALL BE INSTALLED IN THE LOCATIONS DESCRIBED IN SECTIONS 907.2.10.1.1
- SMOKE ALARMS SHALL BE INSTALLED AND MAINTAINED AT ALL OF THE FOLLOWING LOCATIONS WITHIN THE RESIDENCE:
 - ON THE CEILING OR WALL OUTSIDE OF EACH ROOM USED FOR SLEEPING PURPOSES WITHIN 15 FEET FROM THE DOOR TO SUCH ROOM.
 - IN EACH ROOM USED FOR SLEEPING PURPOSES.
 - ONE EACH STORY WITHIN THE DWELLING UNIT, INCLUDING BELOW-GRADE STORIES AND PENTHOUSES OF ANY AREA, BUT NOT INCLUDING CRAWL SPACES AND UNINHABITABLE ATTICS).
 - IN DWELLINGS OR DWELLING UNITS WITH SPLIT LEVELS AND WITHOUT AN INTERVENING DOOR BETWEEN THE ADJACENT LEVELS, A SMOKE ALARM INSTALLED ON THE UPPER LEVEL SHALL SUFFICE FOR THE ADJACENT LOWER LEVEL PROVIDED THAT THE LOWER LEVEL IS LESS THAN ONE FULL STORY BELOW THE UPPER LEVEL.
- POWER SOURCE, REQUIRED SMOKE ALARMS SHALL RECEIVE THEIR PRIMARY POWER FROM A DEDICATED BRANCH CIRCUIT OR THE UN-SWITCHED PORTION OF A BRANCH CIRCUIT ALSO USED FOR POWER AND LIGHTING, AND SHALL BE EQUIPPED WITH A BATTERY BACKUP. SMOKE ALARMS SHALL EMIT A SIGNAL WHEN THE BATTERIES ARE LOW. WIRING SHALL BE PERMANENT AND WITHOUT A DISCONNECTING SWITCH OTHER THAN AS REQUIRED FOR OVER-CURRENT PROTECTION.
- INTERCONNECTION, WHERE MORE THAN ONE SMOKE ALARM OR DETECTOR IS REQUIRED TO BE INSTALLED WITHIN AN INDIVIDUAL DWELLING UNIT, THE SMOKE ALARMS OR DETECTORS SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTIVATION OF ONE ALARM OR DETECTOR WILL ACTIVATE ALL OF THE ALARMS OR DETECTORS IN THE INDIVIDUAL UNIT. THE ALARM OR DETECTOR SHALL BE CLEARLY AUDIBLE IN ALL BEDROOMS OVER BACKGROUND NOISE LEVELS WITH ALL INTERVENING DOORS CLOSED.
- ACCEPTANCE TESTING, WHEN THE INSTALLATION OF THE ALARM DEVICES IS COMPLETE, EACH DETECTOR AND INTERCONNECTING WIRING FOR MULTIPLE STATION ALARM DEVICES SHALL BE TESTED IN ACCORDANCE WITH THE HOUSEHOLD FIRE WARNING EQUIPMENT PROVISIONS OF NFPA72.



1 1ST FLOOR REFLECTED CEILING / LIGHTING PLAN
 3/16" = 1'-0" SCALE



2 1ST FLOOR REFLECTED CEILING / LIGHTING PLAN
 3/16" = 1'-0" SCALE

3 MAR 23	DOB REVIEW	RJ	
25 JAN 23	DOB REVIEW	RJ	
NO.	DATE	REVISIONS	BY

EXTERIOR LIGHTING PLANS

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DATE: 19 JULY 2022
 PROJECT No: 2022-1
 DRAWING BY: RJ
 CHK BY:
 SCALE: AS NOTED
 DWG No:

A-105.00

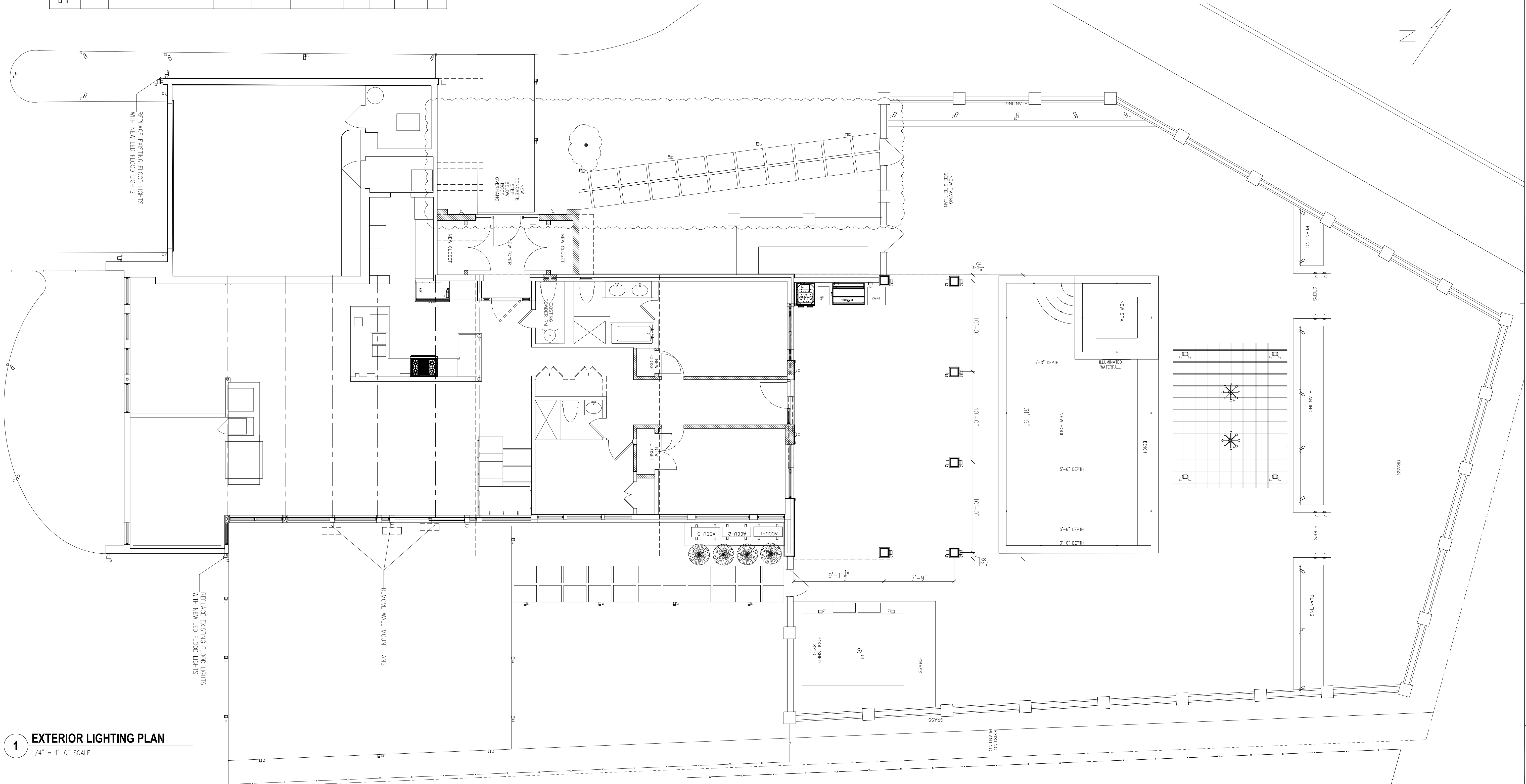
SEAL & SIGNATURE



DOB APPROVAL

OUTDOOR LIGHTING SCHEDULE

ELEVATION SECTION	SYMBOL	FIXTURE TYPE	BRAND	MODEL	FINISH	LIGHT TEMP	WATTS	LUMENS	HIGH EFFICACY*	QTY
L1	L1	LED HORIZONTAL STEP LIGHT	WAC LIGHTING	2700	2700	2700	2	68	YES	8
L2	L2	LED SPOT FLOOD LIGHT	WAC LIGHTING	WAC15207	BRONZE ON BRASS	2700	16	1045	YES	8
L3	L3	LED LINEAR PATH LIGHT	WAC LIGHTING	WAC15464	BRONZE ON ALUMINUM	2700	2.9	95	YES	8
L4	L4	ASPEN OUTDOOR WALL SCONCE 20" TALL	TECH LIGHTING	TEC96803	BRONZE ON ALUMINUM	3000	38	1060	YES	8
L5	L5	PITCH OUTDOOR WALL SCONCE 9" TALL	TECH LIGHTING	TEC88794	BRONZE ON ALUMINUM	3000	26.10	820	YES	3
L6	L6	COPENHAGEN LED OUTDOOR CHANDELER - 4 TIER	KUZCO LIGHTING	KUZ1878128	BLACK POWDER COAT ALUMINUM	3000	47	4700	YES	2
L7	L7	BLADE LED OUTDOOR WALL SCONCE - SMALL 18"	TECH LIGHTING	TECH196487	BRONZE ALUMINUM	3000	20.3	1195	YES	8



1 EXTERIOR LIGHTING PLAN
 1/4" = 1'-0" SCALE

CONSULTANTS:

PROJECT NAME:
KALBO RESIDENCE
100 WOODMERE BLVD SOUTH
WOODSBURG, NY 11598

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NOTES:

NO	DATE	REVISIONS	BY
9	MAR 23	FENCE/GRADE	RJ
3	MAR 23	DOB REVIEW	RJ
25	JAN 23	DOB REVIEW	RJ

EXTERIOR ELEVATIONS

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DATE: 19 JULY 2022
PROJECT No: 2022-1
DRAWING BY: RJ
CHK BY: AS NOTED
SCALE: AS NOTED
DWG No:

A201.00

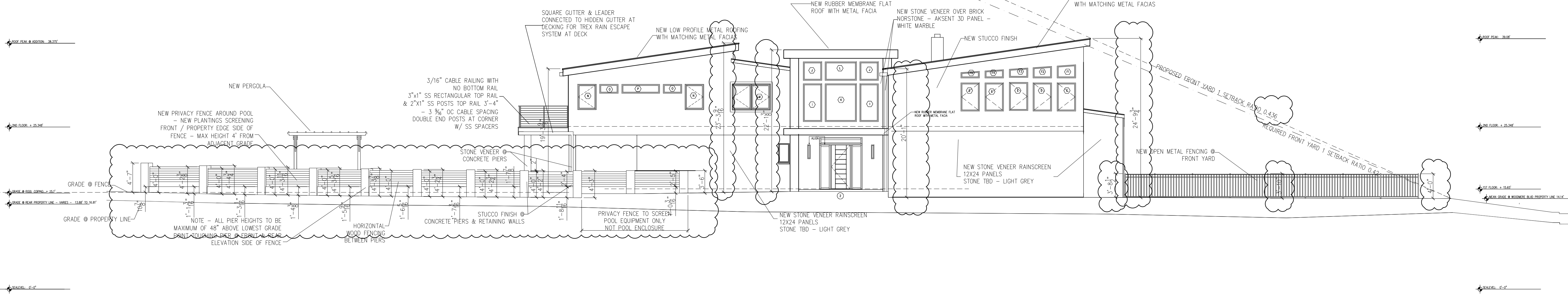


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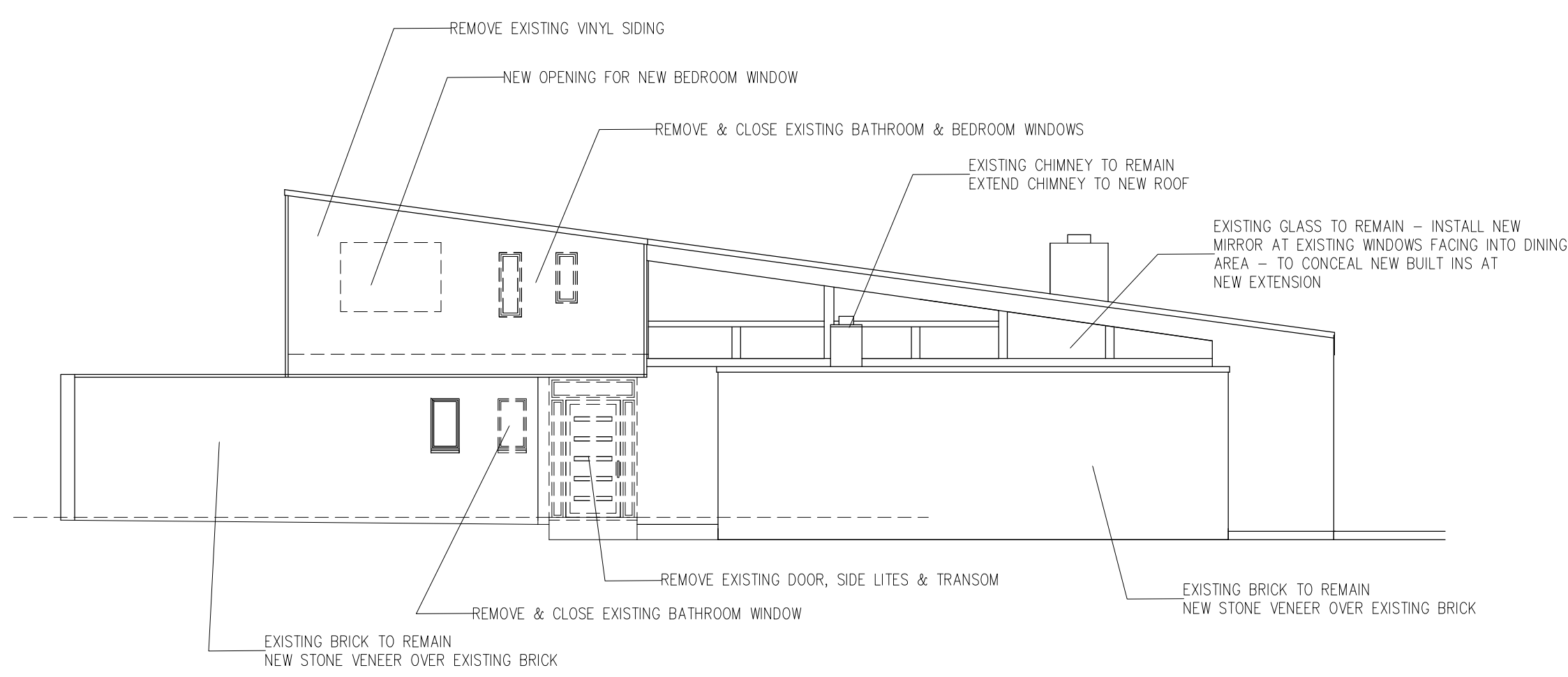
SEE CALCULATIONS SHEET A002 FOR SET BACK RATIOS

PROPOSED FRONT YARD 1 SETBACK RATIO 0.436

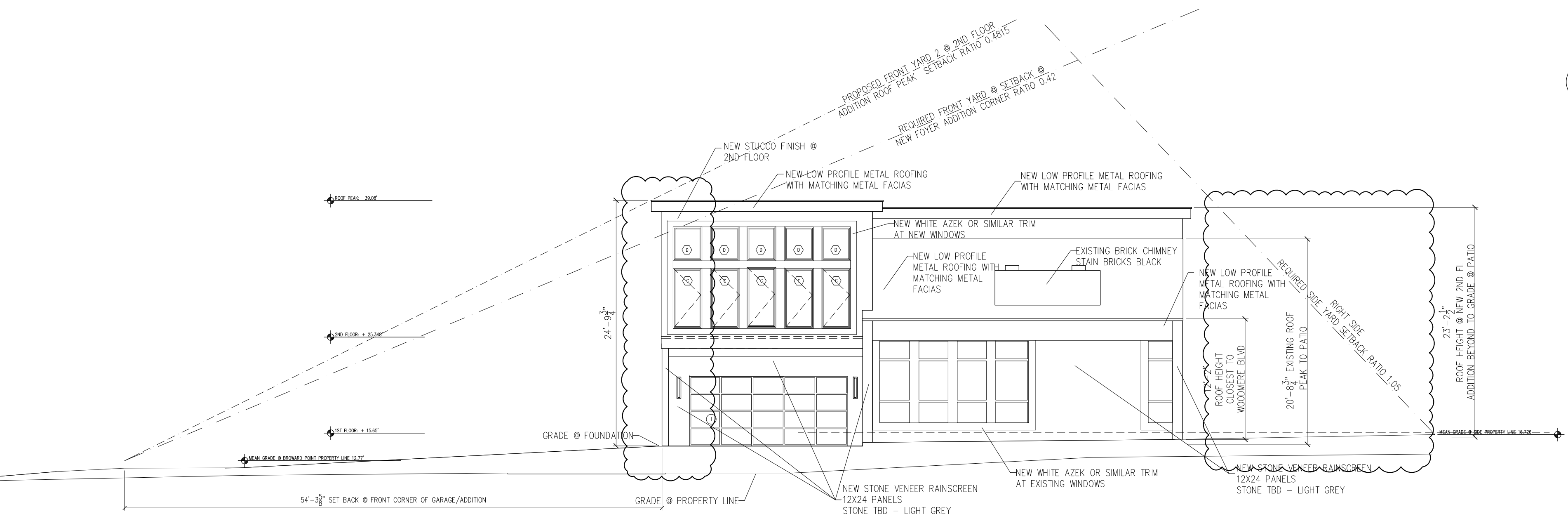
REQUIRED FRONT YARD 1 SETBACK RATIO 0.448



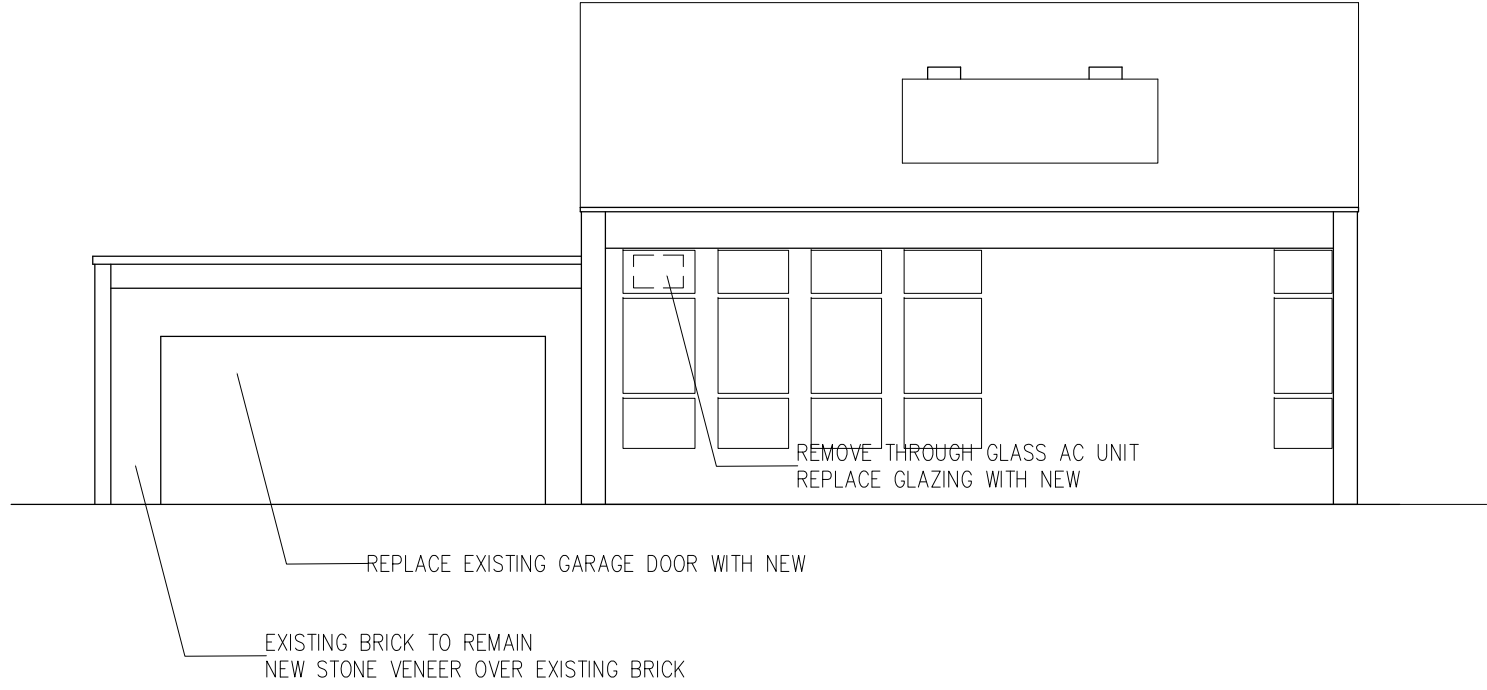
1 FRONT ELEVATION 1 (NORTH)
1/8" = 1'-0" SCALE



3 EXISTING / DEMO FRONT ELEVATION 1 (NORTH)
1/8" = 1'-0" SCALE



2 FRONT ELEVATION 2 (WEST)
1/8" = 1'-0" SCALE



4 EXISTING / DEMO FRONT ELEVATION 1 (WEST)
1/8" = 1'-0" SCALE

NO	DATE	REVISIONS	BY
9	MAR 23	FENCING / GRADE	RJ
3	MAR 23	DOB REVIEW	RJ
25	JAN 23	DOB REVIEW	RJ

EXTERIOR ELEVATIONS

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DATE: 19 JULY 2022
 PROJECT No: 2022-1
 DRAWING BY: RJ
 CHK BY: RJ
 SCALE: AS NOTED
 DWG No: A202.00

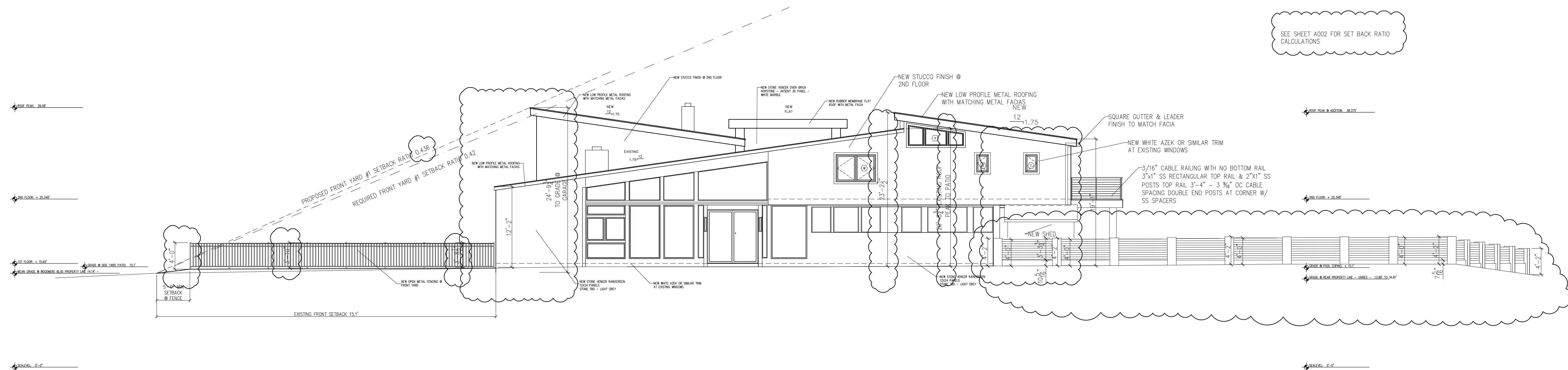
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SEAL & SIGNATURE

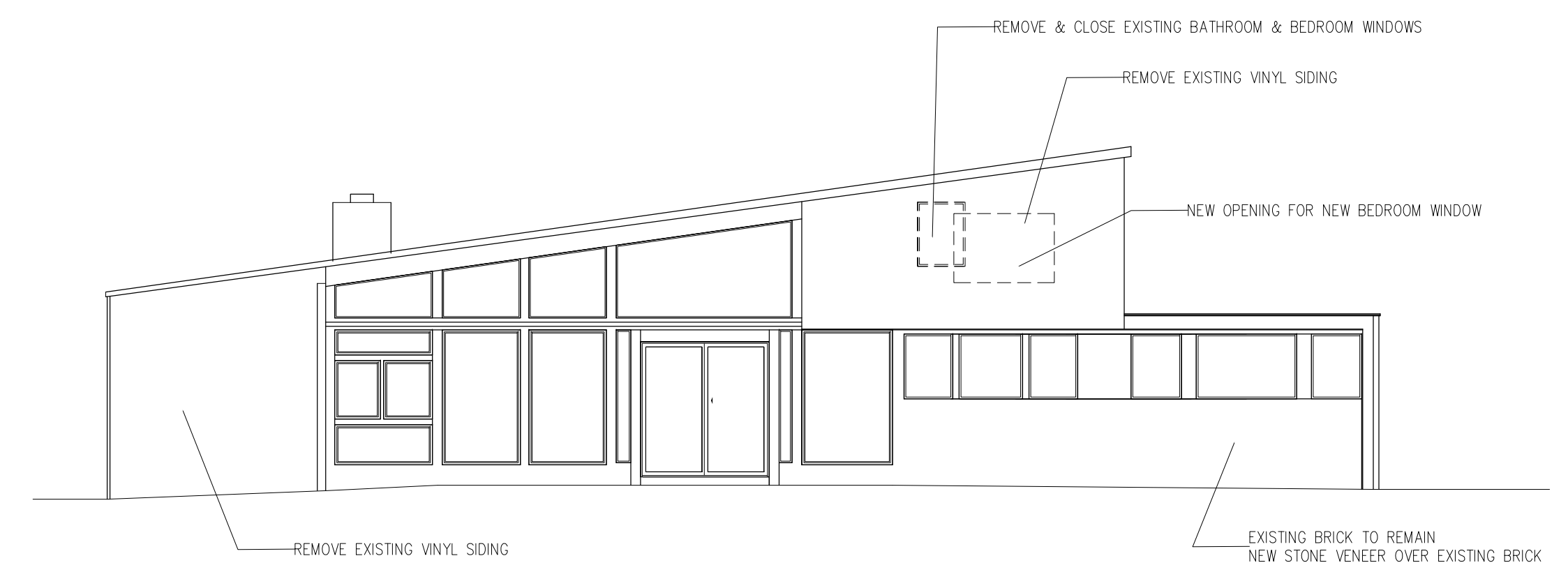


DOB APPROVAL

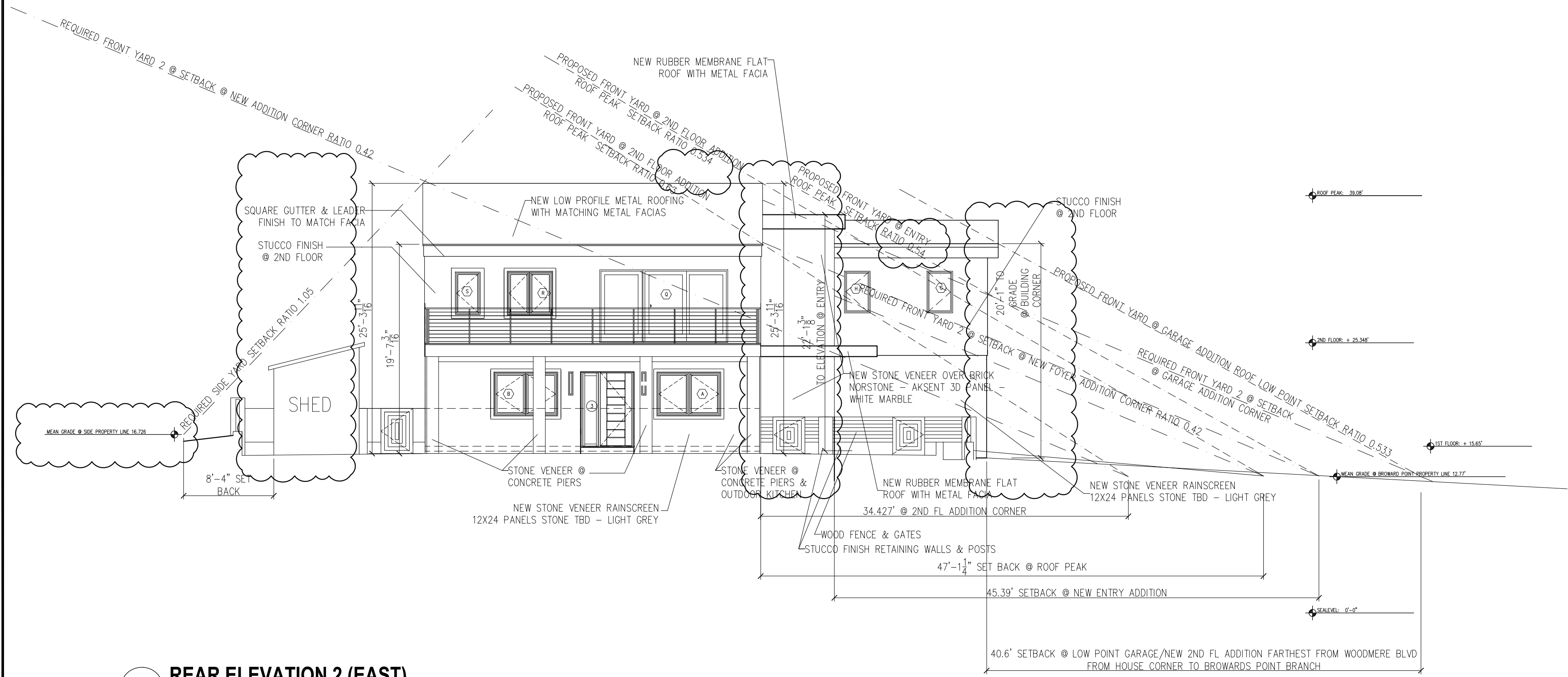
SEE SHEET A202 FOR SET BACK RATIO CALCULATIONS



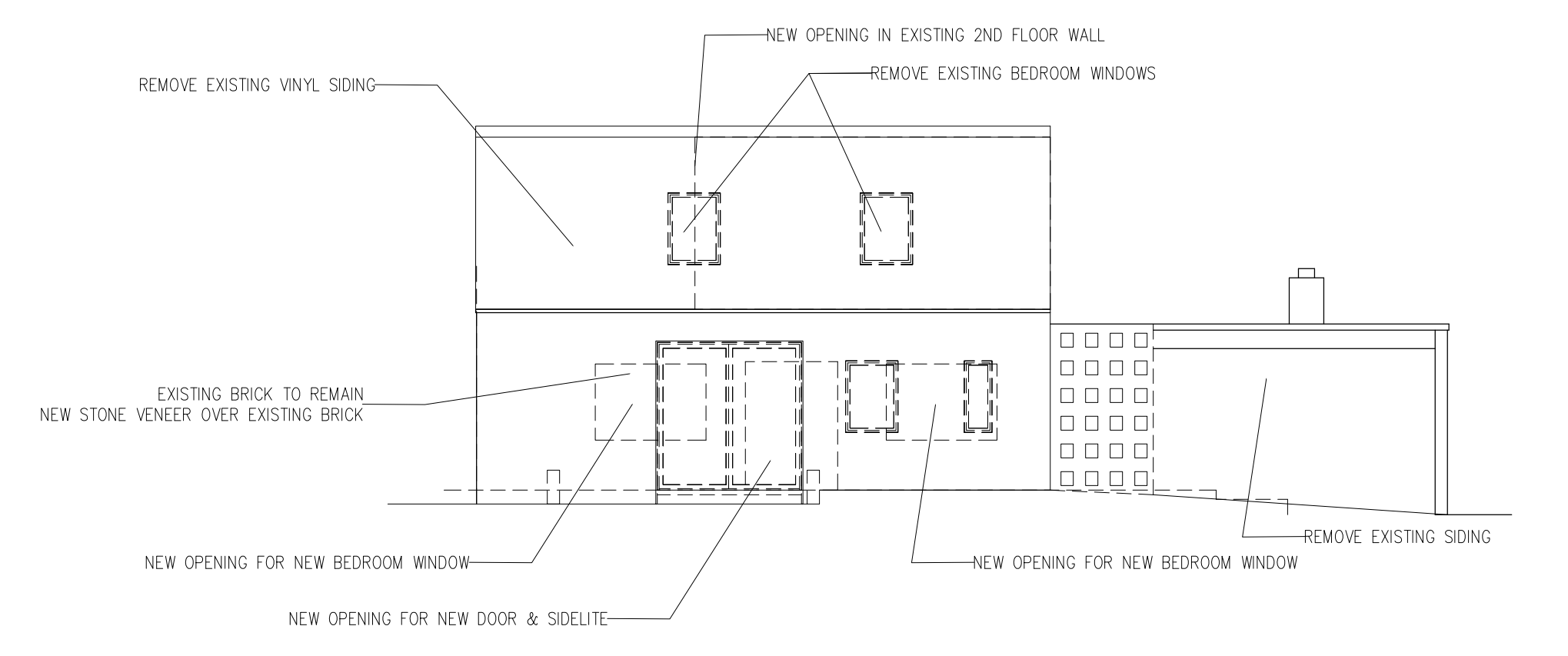
1 SIDE ELEVATION (SOUTH)
 1/8" = 1'-0" SCALE



3 EXISTING / DEMO SIDE ELEVATION (SOUTH)
 1/4" = 1'-0" SCALE



2 REAR ELEVATION 2 (EAST)
 1/8" = 1'-0" SCALE



4 EXISTING / DEMO REAR ELEVATION (EAST)
 1/4" = 1'-0" SCALE

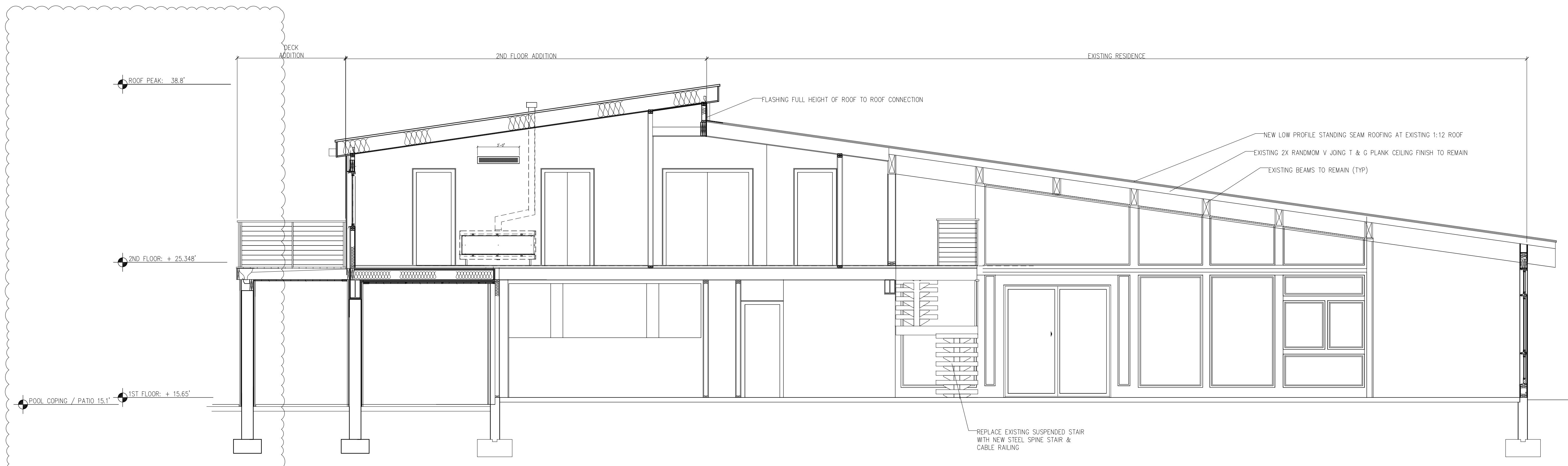
SECTIONS

A203.00

SEAL & SIGNATURE



DOB APPROVAL



1 2ND FLOOR ADDITION - LONGITUDINAL SECTION
 1/4" = 1'-0" SCALE

SITE WORK
 STAKEOUT IS TO BE PERFORMED BY A LICENSED SURVEYOR STAKING AND LAYOUT ARE TO ESTABLISH ALL LINES AND BENCHMARKS. VERIFY ALL GIVEN DATA ON DRAWINGS. IN CASE OF DISCREPANCY, RECEIVE CLARIFICATION FROM ARCHITECT PRIOR TO PROCEEDING. EXCAVATE AND BACK FILL FOR WORK INDICATED ON DRAWINGS. STOCKPILE TOPSOIL OBTAINED FROM STRIPPING DRIVEWAY AND BUILDING SITE. STOCKPILE ALL EXCAVATED MATERIAL, NEW AND EXISTING BACK FILL MATERIAL, AND TREE ROOTS, ROCKS AND DEBRIS. ALL SURPLUS MATERIAL THAT IS UNSUITABLE FOR BACK FILL MATERIAL SHALL BE REMOVED FROM THE SITE. PROTECT ALL TREES WITHIN EIGHT FEET OF THE BUILDING. PROPER APPROVALS MUST BE OBTAINED BEFORE COVERING ANY EXCAVATED WORK.

CONCRETE BLOCK
 ALL CONCRETE BLOCK IS TO HAVE "DUR-O-WALL" REINFORCING EVERY THIRD COURSE. FILL TOP COURSE SOLID MORTAR MIX TO BE ONE PART PORTLAND CEMENT, ONE PART LIME PUTTY, AND SIX PARTS SAND, OR ONE PART MASONRY CEMENT AND THREE PARTS SAND.

CONCRETE
 NO CONCRETE OR MASONRY WORK SHALL BE DONE DURING TEMPERATURES OF 40 DEGREES F. AND FALLING. NO CONCRETE SHALL BE PLACED ON FROZEN SURFACES. NO ADDITIVES SHALL BE ALLOWED WITHOUT WRITTEN PERMISSION OF THE ARCHITECT. ALL CONCRETE IS TO BE MIN. 3500 P.S.I. AT 28 DAYS 4,000 PSI FOR GARAGE SLABS. PROVIDE ALL SLEEVES AND FOUNDATION VENTS AS REQUIRED BY NYS CODE. UNLESS INDICATED, ALL FOUNDATION FOOTINGS ARE TO BE A MIN. 8" DEEP PROJECTING 8" ON EACH SIDE OF THE FOUNDATION WALL. PROVIDE TWO #4 DEFORMED BARS CONTINUOUS IN THE FOOTING. ALL 4" THICK CONCRETE SLABS TO HAVE 6X6 10/10 WELDED WIRE REINFORCING. ANCHOR BOLTS IN CONCRETE SHALL BE HOOKED 5/8" X 12" AT MAX. 3' O.C. PROVIDE BITUMEN EXPANSION JOINTS BETWEEN SLABS AND FOUNDATION WALLS.

FOUNDATION WATERPROOFING
 INSTALL TWO LAYERS OF TOWELED ON FIBERGLASS MASTIC, (FED. SPEC. S.S.G. 150 TYPE-I) MEMBRANE TO BE CONTINUOUS FROM TOP OF FOUNDATION AND EXTEND TO LAP EDGE OF FOOTING.

INSULATION
 ALL EXTERIOR WALLS AND ROOFS SHALL BE INSULATED WITH FOIL FACED FIBERGLASS BATT INSULATION BY JOHN MANVILLE OR APPROVED EQUAL. FOIL TO BE PLACED TOWARD WARM SIDE. PROVIDE 1/2" RIGID FOAM INSULATION ON ALL EXTERIOR FOUNDATION WALLS FROM FOOTING TO 6" BELOW FINISHED GRADE UNLESS OTHERWISE SPECIFIED. CARE SHOULD BE TAKEN NOT TO DAMAGE FOUNDATION WATERPROOFING.

NOTE: ALL NON-ENGINEERED LUMBER TO BE DOUGLAS FIR #2 OR BETTER.

FIRE BLOCKING
 FIRE BLOCKING SHALL BE PROVIDED, AS PER SECTION R502.12 OF THE RESIDENTIAL CODE OF NEW YORK STATE. TO CUT OFF ALL CONGEALED DRAFT OPENINGS (BOTH VERTICAL AND HORIZONTAL). PROVIDE FIRE BLOCKING IN CONGEALED SPACES OF STUD WALLS AND PARTITIONS, INCLUDING FURRED SPACES AT THE CEILING AND FLOOR LEVELS. CONGEALED HORIZONTAL FURRED SPACES SHALL ALSO BE FIRE BLOCKED AT INTERVALS NOT EXCEEDING 10 FEET.

PLUMBING
 CONTRACTOR SHALL INSTALL WATER SUPPLY AND SANITARY SYSTEM AS INDICATED. PROVIDE HOT AND COLD SHUT-OFF VALVES AT ALL FIXTURES. ALL WATER PIPING TO HAVE CO. CLEANOUTS AT ALL CHANGES OF DIRECTION AND AT BASE OF VERTICAL WASTES. USE 4" CAST IRON THROUGH FOUNDATION WALL. PITCHED MIN. 1/8" PER FOOT. TRAP/WASTE SIZES FOR FIXTURES SHALL BE AS FOLLOWS:
 DISH WASHER 1/2"
 KITCHEN SINK 1/2"
 LAVATORY 1/4"
 SHOWER 2"
 TOILET 3"

FRAMING AND ROUGH CARPENTRY
 JOISTS RAFTERS AND STUDS SHALL BE CONSTRUCTION GRADE DOUGLAS FIR-SOUTH SELECT STRUCTURAL. ALL WOOD SILLS AND WOOD IN CONTACT WITH MASONRY SHALL BE ALL EXTERIOR SHEATHING SHALL BE 1/2" CDX DOUGLAS FIR PLYWOOD. SUB-FLOORS TO BE 3/4" CDX PLYWOOD. EXTERIOR SHEATHING TO BE COVERED WITH TYVEK HOUSE WRAP OR APPROVED EQUAL. BLOCK STUD WALLS AT 1/2' STORY HEIGHTS AND AT ALL UNSUPPORTED EDGES OF PLYWOOD. PROVIDE SOLID BLOCKING AND DIAGONAL BRACING OF FLOOR JOISTS AT 8' O.C. MAXIMUM AND SOLID BLOCKING UNDER ALL UNSUPPORTED EDGES OF PLYWOOD. ALL CAP PLATES TO BE DOUBLED AND NAILED BOTTOM CAP PLATES TO END OF STUDS. LAP CAP PLATES AT CORNERS. WHERE FLUSH FRAMING OCCURS, USE MIN. 16GA SHEET METAL JOIST HANGERS BY "TECO" OR APPROVED EQUAL. ALL CORNERS TO BE MINIMUM 2/2X6 UNLESS NOTED ON PLANS. MINIMUM BEARING FOR STUDS, JOISTS AND BEAMS SHALL BE 3 1/2". USE DOUBLE JACK STUDS FOR HEADERS OVER FIVE FEET IN LENGTH.

GLASS WINDOWS AND DOORS
 TO BE INSTALLED AS PER SECTION R503 OF THE RESIDENTIAL CODE OF N.Y.S. ALL GLASS IS TO BE INSULATED LOWE UNLESS OTHERWISE SPECIFIED. GLASS SUBCONTRACTOR SHALL NOT INSTALL GLASS UNTIL PROPER CLEARANCES ARE PROVIDED. ALL SLIDING GLASS DOORS, SKYLIGHTS AND/OR WINDOWS AS REQUIRED BY CODE, SHALL BE INSULATED TEMPERED GLASS. ALL GLASS DOORS AND WINDOWS SHALL BE INSTALLED IN STRICT ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS. ALL WINDOWS ARE TO BE CAULKED AND SEALED AS PER 2015 IECC REQUIREMENTS. PROVIDE FLASHING PANS UNDER ALL SLIDER DOORS, AND WINDOWS WITHIN A 6" OF AN EXTERIOR SURFACE. ALL EXTERIOR DOORS ARE TO BE FULLY WEATHER-STRIPPED. PROVIDE ALL SCREENS AND HARDWARE AS REQUIRED. ALL GLASS IS TO BE FREE OF SCRATCHES AND IMPERFECTIONS AND GUARANTEED BY THE MANUFACTURER FOR A PERIOD OF NO LESS THAN 5 YEARS. ALL WINDOWS TO BE ANDERSEN UNLESS INDICATED OTHERWISE.

PAINTING AND STAINING
 INTERIOR WOOD SURFACES-APPLY TO LIGHTLY SANDED SURFACES. WALLS, DOORS, FRAMES, TRIM, AND BASES, ONE COAT WOOD FILLER OR STAIN AND TWO COATS MCKLUSKY'S EGGSHELL FINISH NON-YELLOWING POLYURETHANE POLYURETHANE. MINIMUM ONE COAT PRIMER AND TWO COATS FLAT PAINT. EXTERIOR WOOD SURFACES- TWO COATS EXTERIOR GRADE STAIN. EXTERIOR EXPOSED METAL- MINIMUM ONE COAT ZINC CHROMATE AND TWO COATS EXTERIOR ENAMEL. ALL MATERIAL SHALL BE OF BEST QUALITY PITTSBURGH PRATT & LAMBERT, DUTCH BOY, CABOTS, MCKLUSKY'S, OR APPROVED EQUAL. CONTRACTOR IS TO PROVIDE SAMPLES OF ALL PAINTS AND STAINS FOR ARCHITECT'S AND/OR OWNER'S APPROVAL. GYPSUM WALL BOARD INSTALLED AS PER SECTION R702.3.2 THROUGH R702.3.6 OF THE INTERNATIONAL RESIDENTIAL CODE. GYPSUM WALLBOARD APPLICATION SHALL BE TAPE JOINT SYSTEM. ALL GYPSUM BOARD TO BE 1/2" ON WALLS AND 1/2" ON CEILING UNLESS OTHERWISE INDICATED. FINISH JOINTS, J-BEADS, NAIL DIMPLES, CORNERS AND EDGES SHALL BE TAPED AND RECEIVE THREE COATS OF JOINT COMPOUND. ALLOW 24 HOURS TO DRY BETWEEN COATS. FINAL COAT TO BE SANDED SMOOTH. METAL CORNER BEAD TO BE USED ON ALL OUTSIDE CORNERS AND AROUND ALL OPENINGS.

ELECTRICAL
 ALL WORK SHALL COMPLY WITH THE NATIONAL ELECTRICAL CODE AND ALL STATE, LOCAL, AND UTILITY COMPANY CODES AND REGULATIONS. ALL CIRCUITS SHALL BE MINIMUM 15 AMP. POWER WIRING SHALL BE MINIMUM 14 AWG. CONVENIENCE OUTLETS SHALL BE LOCATED 12" ABOVE FINISHED FLOOR UNLESS OTHERWISE INDICATED. ALL SWITCHED TO BE LOCATED 36" ABOVE THE FINISHED FLOOR UNLESS OTHERWISE INDICATED. SUPPLY RECOMMENDED LAMPS IN ALL FIXTURES.

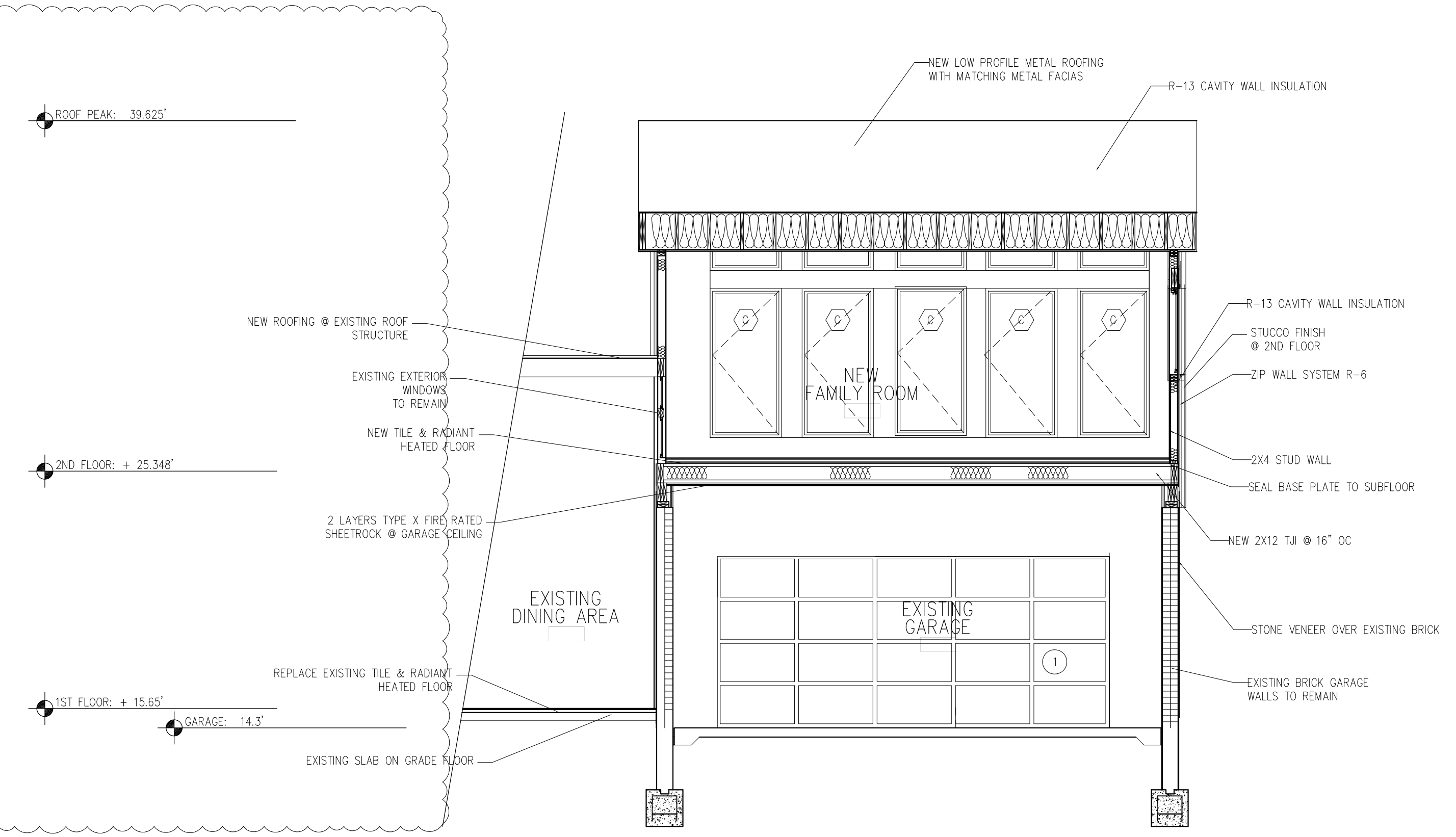
CONSTRUCTION NOTES:

- TYPICAL ROOF ASSEMBLY
 - GREY LOW PROFILE METAL ROOFING AT NEW & EXISTING ROOF (EXCEPT ENTRY FLAT ROOF)
 - 1:12 ROOF - ATAS DOVE GRAY STANDING SEAM ROOFING
 - FLAT ROOF - COLD PROCESS BUILT UP ROOFING
 - DIAMOND DECK SYNTHETIC UNDERLAYMENT OR ROOFERS SELECT HIGH PERFORMANCE UNDERLAYMENT
 - 2 LAYERS 15# FELT, MIN 4" OVERLAP
 - 3/4" EXTERIOR GRADE CDX PLYWOOD
 - 2X 16" ROOF RAFTERS
 - HURRICANE CLIPS @ EACH RAFTER
 - BLOWN IN CLOSED CELL SPRAY FOAM INSULATION R-49 MINIMUM
 - ALUMINUM GUTTERS (W/GUARDS), AND LEADERS, ALUMINUM SOFFIT, & FASCIA (TYP) COLOR TO MATCH METAL ROOFING
 - REMOVE EXISTING 1ST FLOOR ROOF AT GARAGE & REAR OF HOUSE (EXISTING CEILING JOISTS & SHEETROCK TO REMAIN)
 - EXISTING ANGLE ROOF TO REMAIN OVER BEDROOMS, LIVING / KITCHEN, DEN - NEW ROOFING AT EXISTING ROOF STRUCTURE
 - EXISTING WOOD CEILINGS TO REMAIN @ LIVING / KITCHEN

- TYPICAL EXTERIOR WALL ASSEMBLY
 - EXISTING BRICK SIDING TO REMAIN - INSTALL NEW STONE VENEER OVER EXISTING BRICK
 - REMOVE EXISTING VERTICAL CYPRESS SIDING THROUGHOUT
 - NEW ZIP WALL SYSTEM WITH RIGID INSULATION (R-6 MIN)
 - 2X4 WOOD FRAMING @ 16" O.C.
 - STRAPPING @ EACH FRAMING MEMBER
 - R-13 KRAFT FACED FIBERGLASS BATT INSULATION
 - GREY EIFS STUCCO SIDING @ 2ND FLOOR - STO THERM LOTUSAN NEXT SYSTEM
 - STO GUARD SYSTEM
 - STO BITS PLUS ADHESIVE
 - 1 1/2" STO INSULATION
 - STO MESH
 - STO BITS PLUS BASE COAT
 - STO PRIMER
 - STO LOTUSAN FINISH COAT
 - STONE VENEER 12X24 GREY STONE TBD @ 1ST FLOOR SIDING WITH CONCEALED FASTENERS
 - WHITE AZARK WINDOW TRIM 3/4" X 4"
 - #15 FELT MINIMUM 4" OVERLAP
 - ZIP WALL SYSTEM SHEATHING
 - 5/8" TYPE X FIRE RATED GYP. BD. (INTERIOR)

- TYPICAL FLOOR ASSEMBLY
 - 1ST FLOOR - REMOVE EXISTING TERRAZZO & INSTALL NEW OWNER SUPPLIED 24X24 TILE OVER RADIANT PIPING
 - 2ND FLOOR INSTALL OWNER SUPPLIED CERAMIC TILE OVER RADIANT PIPING
 - 2ND FLOOR 3/4" PLYWOOD SUB FLOOR
 - NEW 2" X 10" FLOOR JOISTS @ 16" O.C. (2ND FL)
 - HURRICANE CLIPS @ EACH FLOOR JOIST EXISTING & NEW

- FOUNDATION
 - EXISTING FOUNDATION TO REMAIN
 - NEW PIER & POST FOUNDATION FOR NEW DECK - SEE DETAILS
 - @ FRONT ENTRY 3'-0" X 1'-6" POURED CONC. FOOTING (MIN. 3'-6" BELOW GRADE)
 - 8" POURED CONC. FOUNDATION WALL
 - (3) #4 RE-BAR @ PERIMETER
 - SILL SEALER
 - TERMITE SHIELD
 - 2X4 W/FORMALINIZED (COPPER AZOLE-CA) SILL
 - 1/2" X 8" ANCHOR BOLTS @ 6'-0" O.C.
 - (3) #3 RE-BAR @ PERIMETER
 - R-6 RIGID INSULATION @ FOUNDATION @ ENTRY FOYER



2 SECTION @ 2ND FLOOR OVER GARAGE ADDITION
 1/4" = 1'-0" SCALE

9 MAR 23	FENCING / GRADE	RJ	
3 MAR 23	DOB REVIEW	RJ	
25 JAN 23	DOB REVIEW	RJ	
NO.	DATE	REVISIONS	BY

POOL SECTIONS

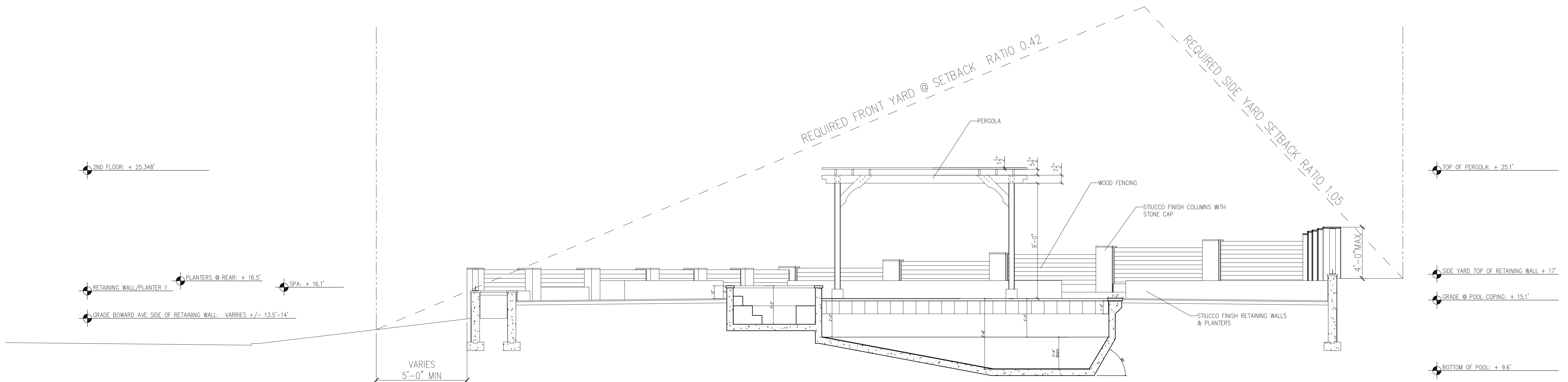
DATE: 25 JANUARY 2023
 PROJECT No: 2022-1
 DRAWING BY: RJ
 CHK BY:
 SCALE: AS NOTED
 DWG No:

A204.00

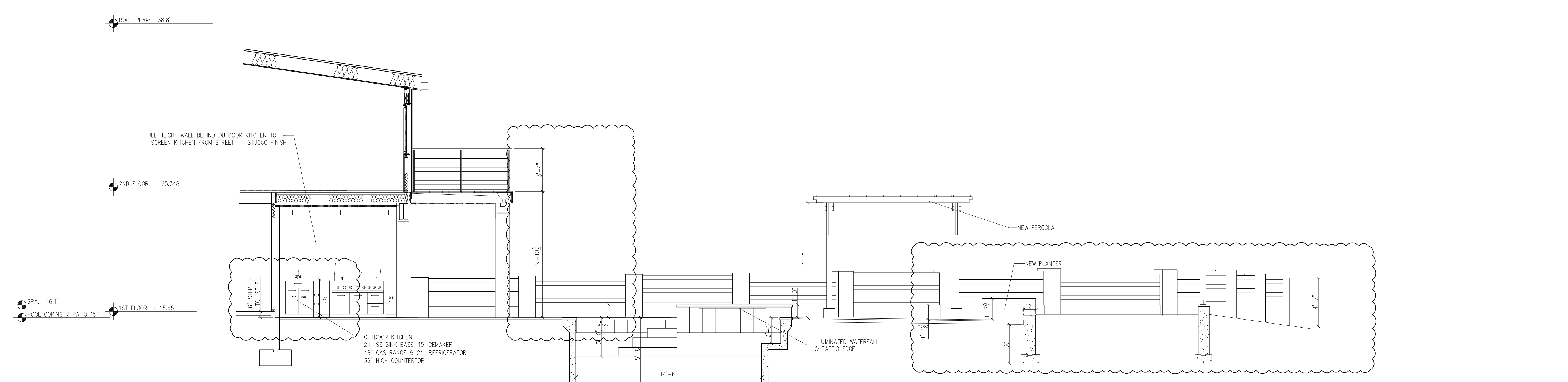
SEAL & SIGNATURE



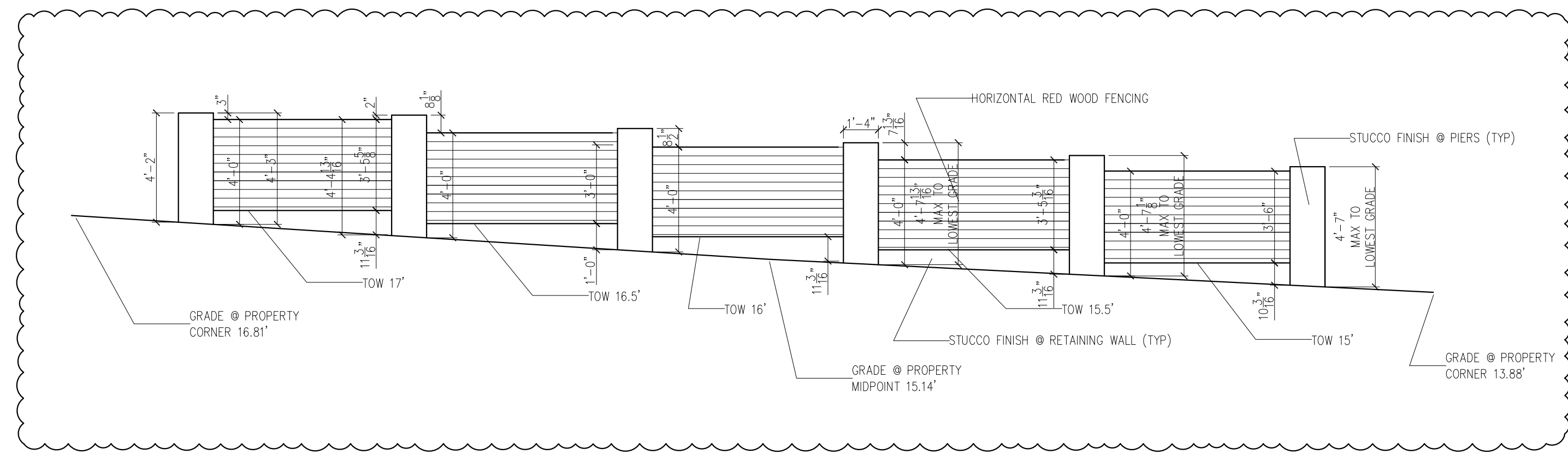
DOB APPROVAL



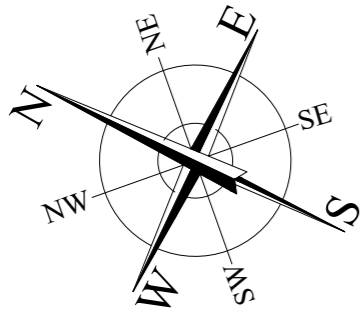
1 SECTION @ POOL
 1/4" = 1'-0" SCALE



2 SECTION @ POOL
 1/4" = 1'-0" SCALE



3 FENCE / RETAINING WALL ELEVATION @ REAR PROPERTY LINE
 1/4" = 1'-0" SCALE



AREA OF THE PARCEL=22,942.40 SQ.FT. = 0.527 ACRES

ABBREVIATIONS:

- BC/TC BOTTOM/TOP OF CURB
- GEN. GENERAL
- CL CENTER LINE OF ROAD
- So., No. SOUTH, NORTH

LEGEND:

- 12" TREE WITH SIZE
- LIGHT
- FIRE HYDRANT WITH GUARD POLES
- CATCH BASIN
- WATER VALVE

NOTES:

1. ELEVATION SHOWN HEREON REFER TO THE NAVD 1988 DATUM.

TOPOGRAPHICAL SURVEY & STAKEOUT

SURVEY OF: DESCRIBED PROPERTY
FILED MAP: N/A

LOCATED AT:
 THE INCORPORATED VILLAGE OF WOODSBURGH,
 TOWN OF HEMPSTEAD,
 COUNTY OF NASSAU, STATE OF NEW YORK

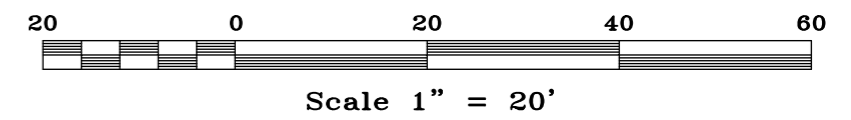
TAX DESIGNATION:
 SECTION: 41, BLOCK: 61, LOT: 8

SURVEYED ON: AUGUST 13, 2021
AMENDED ON: AUGUST 24, 2021 (STREET NAME)
 NOVEMBER 29, 2022 (TOPOGRAPHICAL & STAKEOUT)

DRAWN BY: M.W./S.M. CHECKED BY: A.T.



ALEXANDER TSUKERMAN N.Y.S. L.S. No. 050189



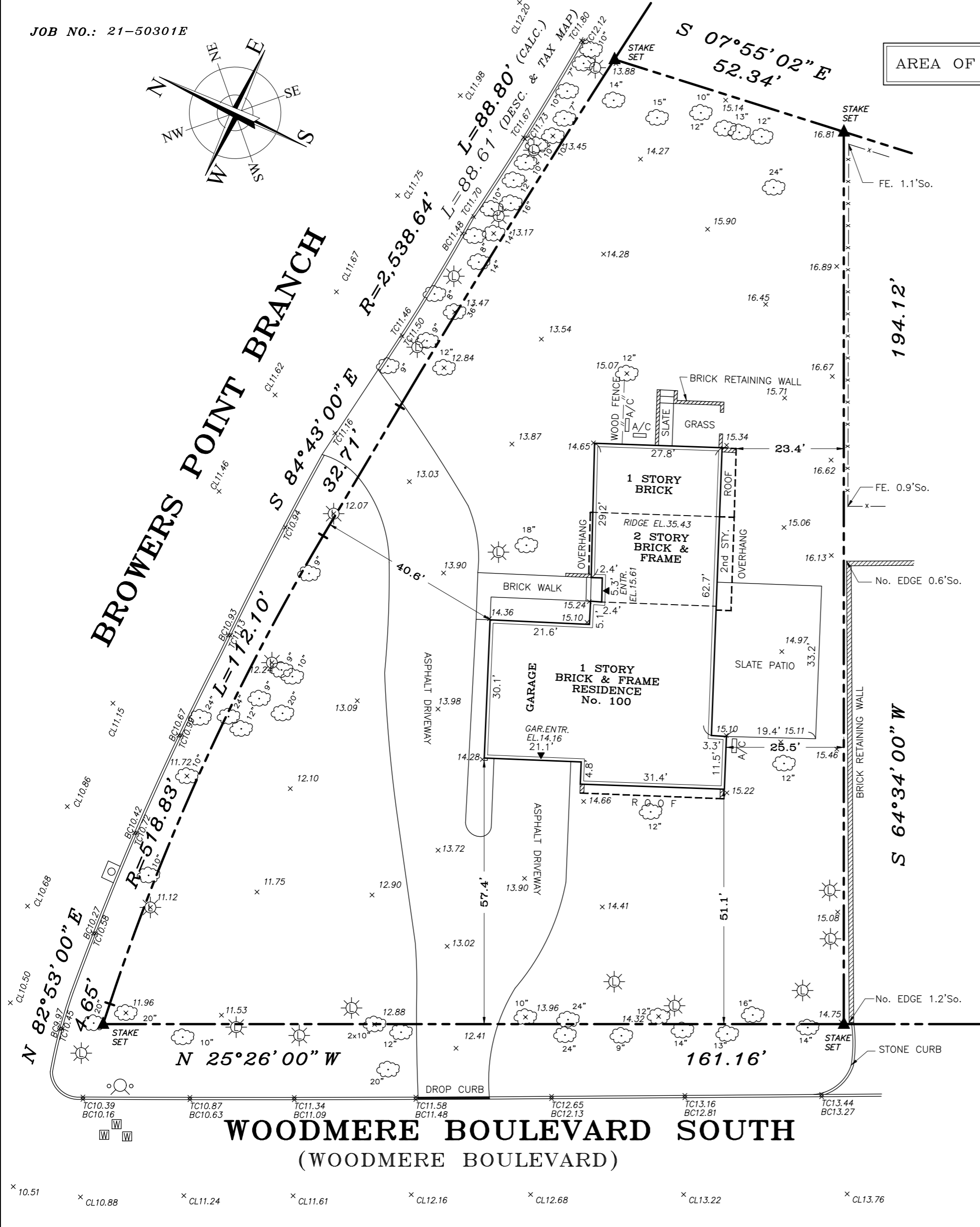
THE EXISTENCE OF RIGHT OF WAYS AND/OR EASEMENTS OF RECORD, IF ANY, NOT SHOWN ARE NOT CERTIFIED.

THE OFFSETS OR DIMENSIONS SHOWN FROM THE STRUCTURES TO THE PROPERTY LINES ARE FOR A SPECIFIC PURPOSE AND USE AND THEREFORE ARE NOT INTENDED TO GUIDE THE ERECTION OF FENCES, RETAINING WALLS, POOLS, PLANTING AREAS, ADDITIONS TO STRUCTURES AND ANY OTHER CONSTRUCTION.

UNAUTHORIZED ALTERATION OR ADDITION TO THIS SURVEY IS A VIOLATION OF SECTION 7209 OF THE NEW YORK STATE EDUCATION LAW. COPIES OF THIS SURVEY MAP NOT BEARING THE LAND SURVEYOR'S INKED SEAL OR EMBOSSED SEAL SHALL NOT BE CONSIDERED TO BE A VALID TRUE COPY.

CERTIFICATION INDICATED HEREON SHALL RUN ONLY TO THE PERSON FOR WHOM THE SURVEY IS PREPARED, AND ON HIS BEHALF TO THE TITLE COMPANY, GOVERNMENTAL AGENCY AND LENDING INSTITUTION LISTED HEREON, AND TO THE ASSIGNEES OF THE LENDING INSTITUTION. CERTIFICATIONS ARE NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS.

LEONARD J. STRANDBERG AND ASSOCIATES,
 CONSULTING ENGINEERS AND LAND SURVEYORS, P.C.
 32 SMITH STREET, FREEPORT, NY 11520
 516-378-2064 ° 212-213-4090 ° FAX 516-378-6649
 EMAIL: INFO@LJSPC.COM



CONSULT YOUR LAWYER BEFORE SIGNING THIS INSTRUMENT—THIS INSTRUMENT SHOULD BE USED BY LAWYERS ONLY.

THIS INDENTURE, made the 30 day of August, in the year 2021

BETWEEN Ilan Mosery and Amy Mosery, 100 Woodmere Blvd. South, Woodmere, NY 11598

party of the first part, and Micha Kalbo and Lika Kalbo, Husband and Wife 45 Locust Avenue, Cedarhurst NY 11516
party of the second part,

WITNESSETH, that the party of the first part, in consideration of

Ten (\$10.00) dollars

paid by the party of the second part, does hereby grant and release unto the party of the second part, the heirs or successors
and assigns of the party of the second part forever,

ALL that certain plot, piece or parcel of land, with the buildings and improvements thereon erected, situate, lying and being
in the See Exhibit A

Sec. 41
Block 061
Lot 8

Said premises also known as 100 Woodmere Boulevard South New York and being the same premises conveyed to the party
of the first part by deed, dated 9/17/1998 and recorded on 10/1/1998 in Liber 10967 Page 562 in the Office of the Nassau
County Clerk.

TOGETHER with all right, title and interest, if any, of the party of the first part in and to any streets and roads
abutting the above described premises to the center lines thereof; TOGETHER with the appurtenances and all the estate and
rights of the party of the first part in and to said premises; TO HAVE AND TO HOLD the premises herein granted unto the
party of the second part, the heirs or successors and assigns of the party of the second part forever.

AND the party of the first part covenants that the party of the first part has not done or suffered anything whereby the said
premises have been encumbered in any way whatever, except as aforesaid.

AND the party of the first part, in compliance with Section 13 of the Lien Law, covenants that the party of the first part will
receive the consideration for this conveyance and will hold the right to receive such consideration as a trust fund to be applied
first for the purpose of paying the cost of the improvement and will apply the same first to the payment of the cost of the
improvement before using any part of the total of the same for any other purpose. The word "party" shall be construed as if it
read "parties" whenever the sense of this indenture so requires.

IN WITNESS WHEREOF, the party of the first part has duly executed this deed the day and year first above written.

IN PRESENCE OF:

Ilan Mosery by Lenore Davis as agent
Ilan Mosery by Lenore Davis as Agent
Amy Mosery by Lenore Davis as agent
Amy Mosery by Lenore Davis as Agent

Short Environmental Assessment Form

Part 1 - Project Information

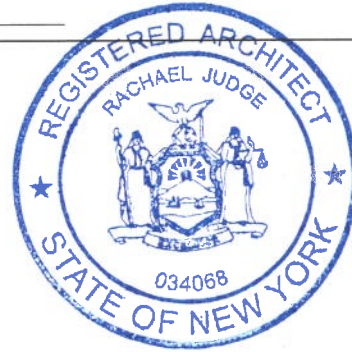
Instructions for Completing

Part 1 - Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 - Project and Sponsor Information			
Name of Action or Project: Kalbo Residence Renovation / Addition			
Project Location (describe, and attach a location map): 100 Woodmere Blvd South, Woodmere, NY 11598			
Brief Description of Proposed Action: Renovation of existing residence with new 2nd story addition over existing garage, new 2 story entry foyer, new bedroom addition at 2nd story of main residence, new pool & spa with new paving, pool fencing with retaining walls, fencing and piers, new outdoor kitchen, new pergola, new children's play structure, new open fencing at front & side yard			
Name of Applicant or Sponsor: Rachael Judge		Telephone: 917-584-1112	
		E-Mail: rjudge@judgedesign.net	
Address: 66 Wyoming Avenue			
City/PO: Long Beach		State: NY	Zip Code: 11561
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			NO
			YES
2. Does the proposed action require a permit, approval or funding from any other governmental Agency? If Yes, list agency(s) name and permit or approval: Inc. Village of Woodsburgh zoning approval & building permits			NO
			YES
3.a. Total acreage of the site of the proposed action?		0.5267 acres	
b. Total acreage to be physically disturbed?		0.15 acres	
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		0.5267 acres	
4. Check all land uses that occur on, adjoining and near the proposed action.			
<input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban)			
<input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other (specify): _____			
<input type="checkbox"/> Parkland			

<p>18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)?</p> <p>If Yes, explain purpose and size: _____</p> <p>7 new proposed drywells 10' dia x 6' deep</p> <p>1 new pool / spa - 29' x 16'</p>	<p>NO</p> <p><input type="checkbox"/></p>	<p>YES</p> <p><input checked="" type="checkbox"/></p>
<p>19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility?</p> <p>If Yes, describe: _____</p>	<p>NO</p> <p><input checked="" type="checkbox"/></p>	<p>YES</p> <p><input type="checkbox"/></p>
<p>20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste?</p> <p>If Yes, describe: _____</p>	<p>NO</p> <p><input checked="" type="checkbox"/></p>	<p>YES</p> <p><input type="checkbox"/></p>
<p>I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE</p> <p>Applicant/sponsor name: Rachael Judge Date: 5 April 2023</p> <p>Signature: _____</p>		



Disclaimer: The EAF Mapper is a screening tool intended to assist project sponsors and reviewing agencies in preparing an environmental assessment form (EAF). Not all questions asked in the EAF are answered by the EAF Mapper. Additional information on any EAF question can be obtained by consulting the EAF Workbooks. Although the EAF Mapper provides the most up-to-date digital data available to DEC, you may also need to contact local or other data sources in order to obtain data not provided by the Mapper. Digital data is not a substitute for agency determinations.

Map data © OpenStreetMap contributors, and the GIS User Community

Part 1 / Question 7 [Critical Environmental Area]	No
Part 1 / Question 12a [National or State Register of Historic Places or State Eligible Sites]	Yes
Part 1 / Question 12b [Archeological Sites]	Yes
Part 1 / Question 13a [Wetlands or Other Regulated Waterbodies]	No
Part 1 / Question 15 [Threatened or Endangered Animal]	No
Part 1 / Question 16 [100 Year Flood Plain]	No
Part 1 / Question 20 [Remediation Site]	No

DISCLOSURE AFFIDAVIT
General Municipal Law §809

BOARD OF ZONING APPEALS
VILLAGE OF WOODSBURGH

In the Matter of the application of
Owner(s): Micha & Lika Kalbo

STATE OF NEW YORK:
ss:
COUNTY OF NASSAU :

Micha Kalbo being duly sworn, deposes and
says:

I am the applicant with respect to / owner of the premises which is the
subject of *(cross out whichever is not applicable)* the within
application.

I make this affidavit for the purposes of complying with the
requirements of General Municipal Law §809.


No officer of the State of New York, and no officer or employee of the
County of Nassau, the Town of Hempstead or the Village of Woodsburgh
and no party officer of any political party, has an interest in the
within application within the meaning of General Municipal Law §809,
except as stated hereinafter **(if none, state "NONE")**:

NAME ADDRESS POSITION NATURE OF INTEREST

NONE

In the event there is any change in the information set forth herein between
the date hereof and the final determination of this application, a
supplemental affidavit will be filed to provide that further information.

Sworn to before me on
This 2nd day of May, 2023



(NOTARY PUBLIC)

(SIGNATURE)

(SIGNATURE)



Inc. Village of Woodsburgh

ALAN HIRMES, DEPUTY MAYOR
CARL CAYNE, TRUSTEE
SHIRA HOSCHANDER, TRUSTEE
BARRY ROZENBERG, TRUSTEE



MICHELLE BLANDINO, CLERK TREASURER
BRIAN S. STOLAR, VILLAGE ATTORNEY
DENNIS FROMIGIA, BUILDING INSPECTOR

30 PIERMONT AVENUE • HEWLETT, NEW YORK 11557
TELEPHONE (516) 295-1400 • FACSIMILE (516) 295-1406

JACOB HARMAN, MAYOR

March 20, 2023

Micha & Lika Kalbo
100 Woodmere Blvd S
Woodmere, NY 11598

Re: 100 Woodmere Blvd S, Woodsburgh NY
Section 41 Block 61 Lot 8
Additions, Alterations, Swimming Pool, Pavement,
Retaining walls with fencing and piers Application:
Denial Letter

Dear Applicants:

We hereby deny your application to construct Additions, Alterations, Swimming Pool, Pavement, Retaining walls with fencing and piers on your property. Our denial is based on the non-conformance with the following sections in the Zoning Code of the Inc. Village of Woodsburgh.

- A. **§150-10 Front Yard.** No building shall be hereafter erected or altered which shall have its front wall nearer to the street line than 50 feet. In case of a corner lot, a front yard shall be required on each street upon which the lot abuts.

Proposed:

- | | |
|--|------------------|
| 1. <u>Addition over the garage is</u> | <u>40.6 ft.</u> |
| 2. <u>Entry roof overhang is</u> | <u>41.4 ft.</u> |
| 3. <u>Foyer addition is</u> | <u>45.39 ft.</u> |
| 4. <u>2nd Floor addition is</u> | <u>34.47 ft.</u> |
| 5. <u>2nd story deck is</u> | <u>30.52 ft.</u> |
| 6. <u>Pergola is</u> | <u>20.25 ft.</u> |

- B. **150-13.1 Front Height/Setback Ratio.** The maximum building height to front yard setback ratio shall be 0.420.

Proposed:

- | | |
|---|-------------------------------|
| 7. <u>Garage addition (Woodmere Blvd S) is</u> | <u>0.436</u> |
| 8. <u>Garage addition (Browsers Point Branch) is</u> | <u>0.4826 at the peak</u> |
| 9. <u>Garage addition (Browsers Point Branch) is</u> | <u>0.533 at the low point</u> |
| 10. <u>Foyer addition (Browsers Point Branch) is</u> | <u>0.54</u> |
| 11. <u>2nd Floor addition (Browsers Point Branch) is</u> | <u>0.534 at the peak</u> |
| 12. <u>2nd Floor addition (Browsers Point Branch) is</u> | <u>0.63 at the low point</u> |

- C. **150-39.A.1. Lot Coverage.** The areas occupied by all buildings and structures and accessory uses which extend above the grade of the property shall not exceed 15% or 3,441.36 square feet.

Proposed:

13. 24.65% or 5,655.5 square feet an overage of 2,214.14 square feet.

- D. **150-39.B. Impervious Surface Coverage.** The maximum permitted impervious site coverage shall be 7,265.94 square feet.

Proposed:

14. 10,685.8 square feet, an overage of 3,419.86 square feet.

- E. **150-139.E** Accessory buildings and structures not greater than 100 square feet in floor area and not more than 10 feet in height measured to the highest point of the building or structure shall be located not closer than 1/3 of the side yard and rear yard dimensions applicable in the district in which the lot is located. **Accessory buildings and structures are not permitted in a front yard.**

Proposed:

15. Play set located 11 feet from the southern property line, where 13.33 feet is the minimum required.
16. Play set is in a front yard.
17. Pergola is in a front yard.
18. Pool Shed located 8.333 feet from the property line, where 13.33 feet is the minimum required.

- F. **150-39.1. A(1).** No owner or occupant of property in the Village, and no other person, shall engage in or permit any of the following activities to occur or take place in the front yard of any property in the Village: (1) Installation, placement or maintenance of a barbecue, or other cooking facility or equipment, whether permanent or portable.

Proposed:

19. Outdoor kitchen is partially located in the front yard.

- G. **150-47.B.** No swimming pool shall be constructed or erected unless a permit for the same shall have been issued by the Board of Appeals of the Village of Woodsburgh.

Proposed:

20. Inground swimming pool with attached spa.

- H. **150-47.H.** No swimming pool shall be built or maintained except in a rear yard as defined by the Building Zone Ordinance of the village. The pool, including the fences surrounding it and the foundation for the purifying apparatus, if any, shall be located not less than 25 feet from the rear lot line and not less than 25 feet from the side property lines of the premises or, in the case of a corner lot, not less than 25 feet from any property line along an abutting street.

Proposed:

21. Pool & Spa partially located in the front yard.
22. Pool equipment located in the front yard.
23. Pool fencing on top of retaining wall located in the front and side yard.
24. Pool fencing on top of retaining wall located 5 feet from the Browsers Point Branch Property line.
25. Pool fencing on top of retaining wall located 3 feet 9 inches from the easterly property line.
26. Pool fencing on top of retaining wall located 5 feet from the southerly property line.
27. Pool & spa located 20.32 feet from the front property line.
28. Pool & spa located 22.77 feet from the side property line.

- I. **150-50.B** No fence or wall in excess of four feet in height, as measured from the natural grade adjacent to such fence or wall, shall be permitted.

Proposed:

29. Fence on top of retaining wall varies in height due to the grade, the lowest height is 4 feet and the highest is 4 feet 7 inches.

If you wish to pursue this project, you may make application to the Zoning Board for a variance. That application must be made within 60 days of the date of this determination and must include one original, and 7 copies of the application, related documents, plans, one PDF via email (Dana@woodsburghny.com) or on a thumb drive and a filing fee of \$2,000.

Regards,



Dennis Fromigia
Building Inspector

CC: Rachel Judge Architect
RJudge@JudgeDesign.net



Inc. Village of Woodsburgh
Authorization to Zoning Board

Property Address: 100 Woodmere Blvd South, Woodmere, NY 11598

Owner(s): Micha & Lika Kalbo

"I hereby authorize the members of the Board of Zoning Appeals, the Building Inspector of the Village, and legal counsel to the Board of Zoning Appeals to enter upon and inspect my property prior to the Board of Appeals rendering a determination with regard to this application."



Signature (Owner)

5-4-23

Date

Signature (Representative)

Date



Signature (Owner #2)

05/04/2023

Date

*Inc. Village of Woodsburgh
Board of Zoning Appeals*

STATE OF NEW YORK

SS.;

PETITIONER VERIFICATION

COUNTY OF NASSAU

I (WE), Micha Kalbo (AND) Lika Kalbo),
BEING DULY SWORN, DEPOSE(S) AND SAY(S): I (WE) AM (ARE) THE
PETITIONER(S) IN THE WITHIN ACTION; I (WE) HAVE READ THE FOREGOING
PETITION AND KNOW THE CONTENTS THEREOF; THE SAME IS TRUE TO OUR OWN
KNOWLEDGE, EXCEPT AS TO THE MATTERS THEREIN STATED TO BE ALLEGED UPON
INFORMATION AND BELIEF AND AS TO THOSE MATTERS WE BELIEVE IT TO BE
TRUE.



PETITIONER'S SIGNATURE



PETITIONER #2 SIGNATURE

SWORN TO BEFORE ME THIS 2nd DAY
OF May 2023

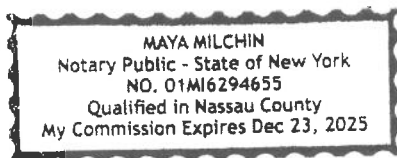
SWORN TO BEFORE ME THIS 2nd DAY
OF May 2023



NOTARY PUBLIC, NASSAU COUNTY



NOTARY PUBLIC, NASSAU COUNTY



Inc. Village of Woodburgh
Board of Zoning Appeals

I, Rachael Judge (Architect), appear on behalf of
(Architect or Attorney -Print Name)

Micha & Lika Kalbo, owner(s) of
(Owner(s) of Property)

100 Woodmere Blvd South, Woodmere, NY 11598, to seek
(Address of Property)

a variance from the Woodburgh Board of Zoning Appeals.

Date: 5 DAY OF April, 2023


(Signature of Architect/Attorney)

66 Wyoming Avenue, Long Beach, NY 11561
(Address)

917-584-1112
(Telephone Number)

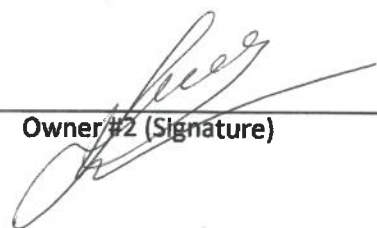
rjudge@judgedesign.net
(Email)

Micha Kalbo
Owner #1 Name (Print)


Owner #1 (Signature)

5-4-23
Date

Lika Kalbo
Owner #2 Name (Print)


Owner #2 (Signature)

05/04/2023
Date



#	NAME	ADDRESS	PHONE #	CELL/OTHER
1	Avi Lauer	116 Woodmere Blvd S, Woodmere NY 11598		*
2	Henry Ness	925 Browsers Point Branch, Woodmere NY 11598	516-668-4147	
3	Marcia D Goldberg	122 Woodnere Blvd S, Woodmere NY 11598	516-835-3261	
4	Miriam Samuels	900 Barberry Ln, Woodmere NY 11598	516-674-1041	
5	Jessica L Krischner	940 Barberry Ln, Woodmere NY 11598	516-569-1613	301-986-5509
6	Daniel Yosef Kerstein	1000 Barberry Ln, Woodmere NY 11598	516-374-3608	516-589-2476
7	Michael R Papolisky	935 Barberry Ln, Woodmere NY 11598	516-569-3623	212-787-0939
8	Ian Boczko	130 Woodmere Blvd S, Woodmere NY 11598	516-791-5547	917-514-0941
9	Marc Paul Gleitman	128 Willow Rd, Woodmere NY 11598	516-374-0133	212-661-8700
10	Martin Vegh	880 Barberry Ln, Woodmere NY 11598	845-796-1349	917-270-1887
11	George Wolberg	111 Woodmere Blvd S, Woodmere NY 11598	516-374-1607	516-668-1393
12	Shelli J Dachs	120 Willow Rd, Woodmere NY 11598	516-374-1361	516-242-6886
13	Alexander Chervinsky	106 Willow Rd, Woodmere NY 11598	516-374-5814	516-726-0336
14	Tondra Czwartasky Goldtein	109 Woodmere Blvd S, Woodmere, NY 11598	516-428-6567	
15	Reuven Garrett	870 Pond Ln, Woodmere, NY 11598	646-448-4839	412-521-0473
16	Joel Martin Lubetsky	98 Willow Rd, Woodmere, NY 11598	516-295-0794	516-967-9662
17	Sherr Herring	92 Willow Rd, Woodmere, NY 11598	516-239-0603	516-521-0032
18	Helena D Hellerrubin	80 Willow Rd, Woodmere, NY 11598	718-633-9602	516-524-8467
19	Ernie Jerez	75 Woodmere Blvd S, Woodmere, NY 11598		
20	Alyssa J Blond	83 Woodmere Blvd S, Woodmere, NY 11598	516-569-2021	
21	Allen B Rosenberg	91 Woodmere Blvd S, Woodmere, NY 11598	516-569-0652	212-370-3769
22	Ira Meyerowitz	74 Woodmere Blvd S, Woodmere, NY 11598	718-797-1317	718-880-2111
23	Paul Jay Reichman	80 Woodmere Blvd S, Woodmere, NY 11598	914-534-9658	516-295-4554
24	David J Grill	86 Woodmere Blvd S, Woodmere, NY 11598	516-295-4749	212-895-2297
25	Leora R Bechor	900 Browsers Point Branch, Woodmere, NY 11598	212-989-5542	516-374-0223
26	Pauline S Schlissel	920 Browsers Point Branch, Woodmere, NY 11598	516-374-1407	516-295-3842
27	Daniel Zolty	83 Burton Ave, Woodmere, NY 11598	516-812-9598	
28	Richard Eric Kirschen	79 Burton Ave, Woodmere, NY 11598	401-863-2805	
29	Hervey Nathan Susnick	75 Burton Ave, Woodmere, NY 11598	203-885-6149	516-374-3516
30	Warren S Alper	71 Burton Ave, Woodmere, NY 11598	516-374-3104	516-374-5095
31	Rochel Leah Sofer	930 Browsers Point Branch, Woodmere, NY 11598	718-327-6493	718-327-4236
32	Laura Ruth Karson	940 Browsers Point Branch, Woodmere, NY 11598	516-569-0643	212-734-2317
33	Boris Feygis	91 Neptune Ave, Woodmere, NY 11598	516-569-3430	516-766-4257
34	Yehudis Wiener	85 Neptune Ave, Woodmere, NY 11598	718-778-3239	516-239-0757
35	Abraham Vinas	81 Neptune Ave, Woodmere, NY 11598		
36	Harriet S Skobel	74 Burton Ave, Woodmere, NY 11598	631-842-2738	305-932-3817
37	Teddy Weber	78 Burton Ave, Woodmere, NY 11598	516-374-1769	718-375-3129
38	Neil David Berman	82 Burton Ave, Woodmere, NY 11598	516-569-4702	516-374-2883
39	Debra Ann Maskin	86 Burton Ave, Woodmere, NY 11598	516-569-7366	
40	Jeffrey E Gottfried	90 Burton Ave, Woodmere, NY 11598	718-263-6405	201-408-4990