



June 29, 2022

Dear Residents:

Mr. & Mrs. Ezra Berry originally applied for 8 variances for the construction of a swimming pool with raised spa, patio, roof over patio with an outdoor kitchen and a sports court. The Berry's have worked with their engineers and reduced the numbers of variances requested to 5.

The variance requests **removed** due to the new plan being code compliant:

1. Code §150-39. B Maximum impervious lot coverage is 7,467.46 SF. *Originally proposed impervious lot coverage is 11,351 SF.*
 - a. **New Plan is compliant with an impervious coverage of 6,091.2 square feet.**
2. Code §150-39. E Accessory buildings and structures are not permitted in a front yard. Originally proposed Existing H frame utility structure is in a front yard.
 - a. **New Plan is compliant with the H frame removed and the utility located on the southeast wall of house.**
3. Code §150-39. G (9) Sports Court
4. Code §150-39. G (1) Sports Court
5. Code §150-39. G (9): Sports Court
 - a. **Sports Court is being removed from the plan.**

Below are the variances which have been **reduced**:

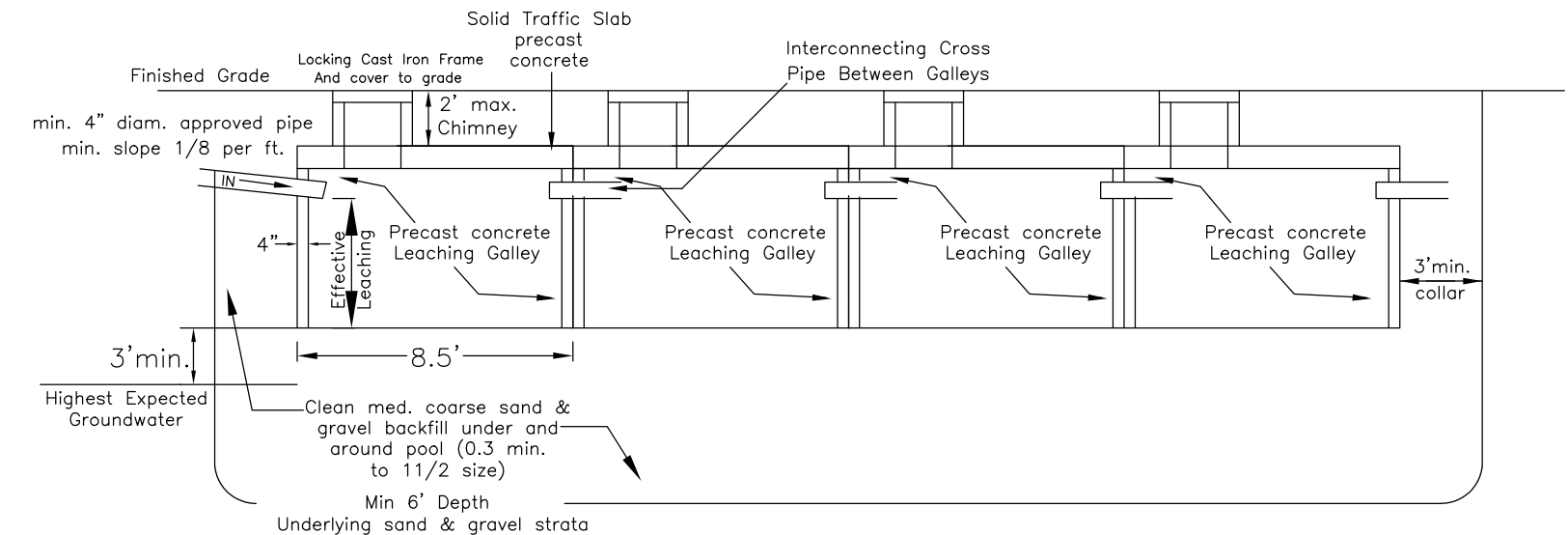
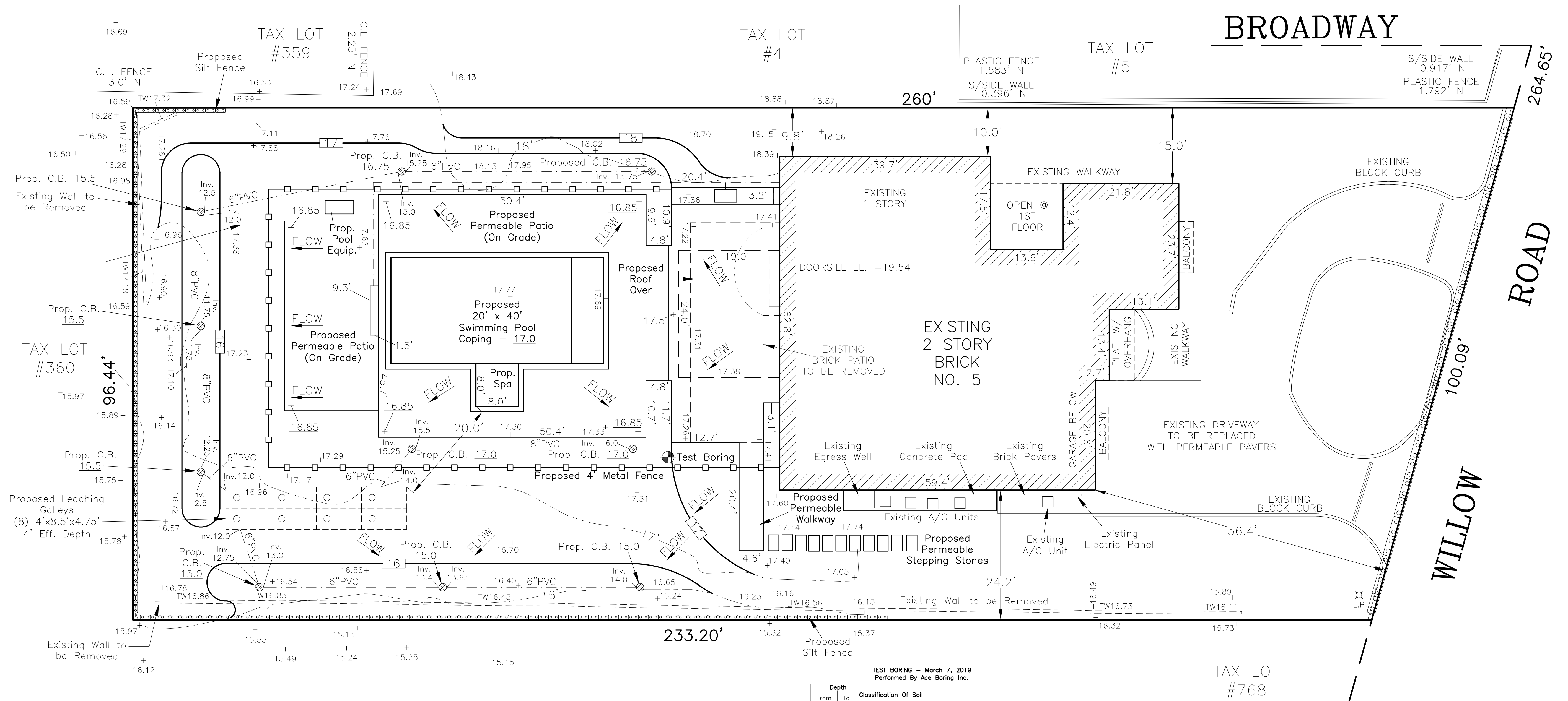
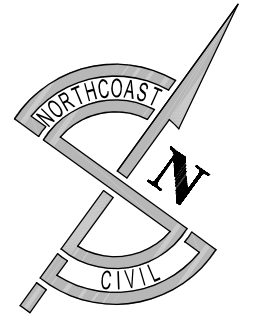
1. Code §150-39. A Residence B: Max 15% or 3,567.32 SF. Originally proposed lot coverage is 22.3% or 5,293.8 SF.
 - a. **The new proposed lot coverage will be 19.3% or 4,580.3 square feet.**
2. Code §150-47. B Swimming Pool fences shall not be located less than 25 ft from the rear lot line and not less than 25 ft from the side lot line. Originally proposed fencing located 3 ft from the side and rear lot lines.
 - a. **The new proposed pool fencing will be 15.3 ft from the northeast side lot line and the other 3 sides will be code complaint.**

The **required** variances for pools and sports courts:

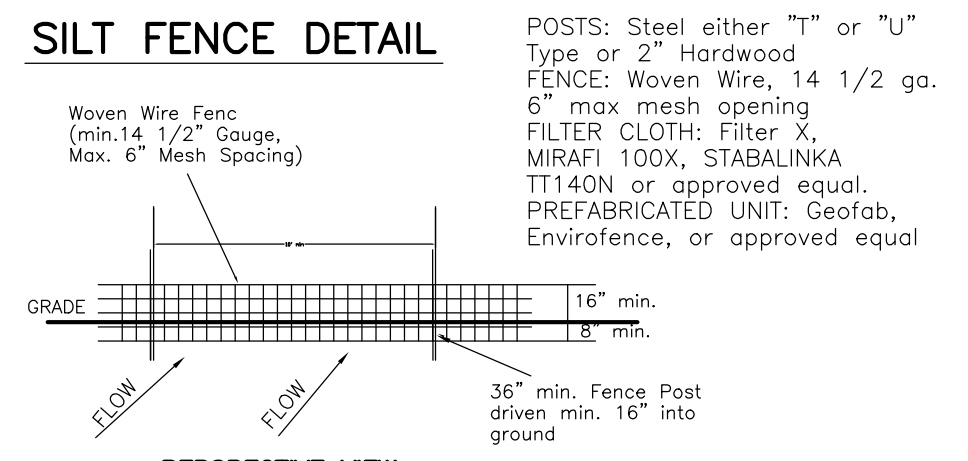
1. Code §150-47. B Swimming Pools, states no swimming pool shall be constructed or erected unless a permit for the same shall have been issued by the Board of Appeals of the Village of Woodburgh. An application for such permit shall be accompanied by plot, site and building plans of such pool showing dimensions, design, location and use of all structures, equipment, drainage, sanitary filtration, water supply and disposal facilities, fencing, covering of pool and such information as may be required by said Board.
 - a. **Proposed in-ground swimming pool and a raised spa.**



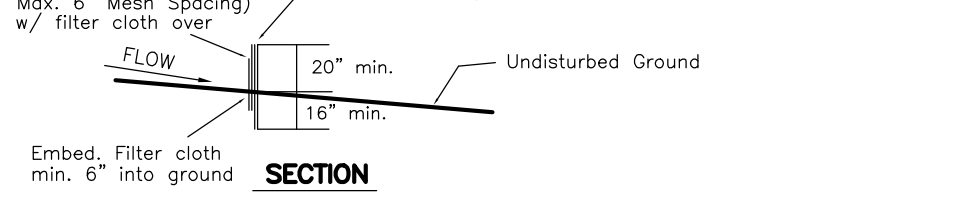
ATLAS LOCATION



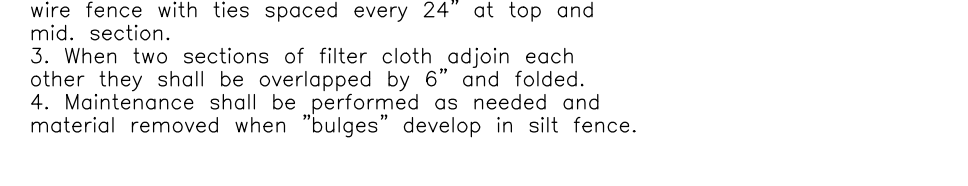
LEACHING GALLEY DETAIL
(NOT TO SCALE)



SILT FENCE DETAIL



PERSPECTIVE VIEW



SECTION

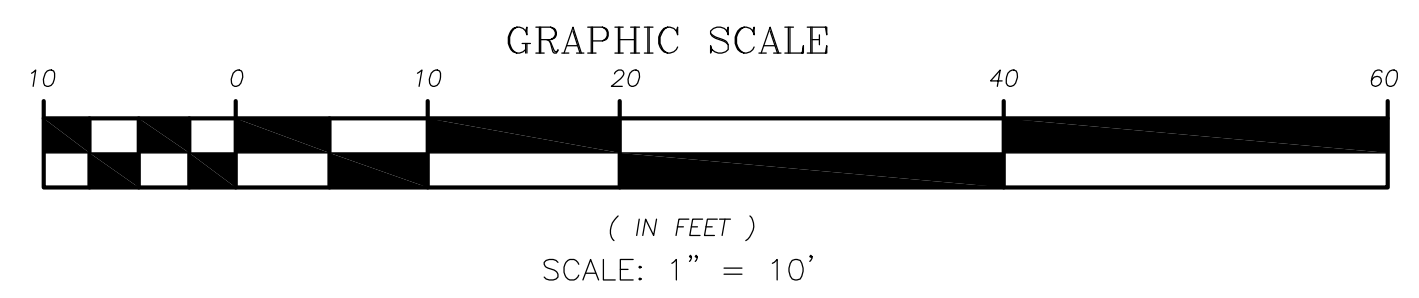
1. Woven wire fence to be fastened securely to fence posts with wire ties or staples.
2. Filter cloth to be fastened securely to woven wire fence with ties spaced every 24" at top and mid-section.
3. When two sections of filter cloth adjoin each other they shall be overlapped by 6" and folded.
4. Maintenance shall be performed as needed and material removed when "bulges" develop in silt fence.

- LEGEND**
- ☐ C.B. Catch basin
 - ⊕ G.V. Gas valve
 - ⊕ M.H.C. Manhole cover
 - ⊕ Hyd. Hydrant
 - ⊕ L.P. Light pole
 - ⊕ S.I.D. Surface inlet drain
 - ⊕ U.P. Utility pole
 - ⊕ W.M. Water Meter
 - ⊕ W.V. Water valve
 - ⊕ A/C Air Conditioner
 - OHP — Overhead Wires

TEST BORING - March 7, 2019
Performed by Ace Boring Inc.

Depth	Classification Of Soil
From Ground Surface	To 3.0' Fill-Sand & Gravel
3.0'	24.0' Medium to Fine Sand, Trace Silt (SP)
24.0'	31.0' Medium to Fine Sand & Gravel Trace Silt (SP)
End of Boring: 31' Below Grade	
Ground Water Encountered at El. 8.3'; 9.0' Below Grade	

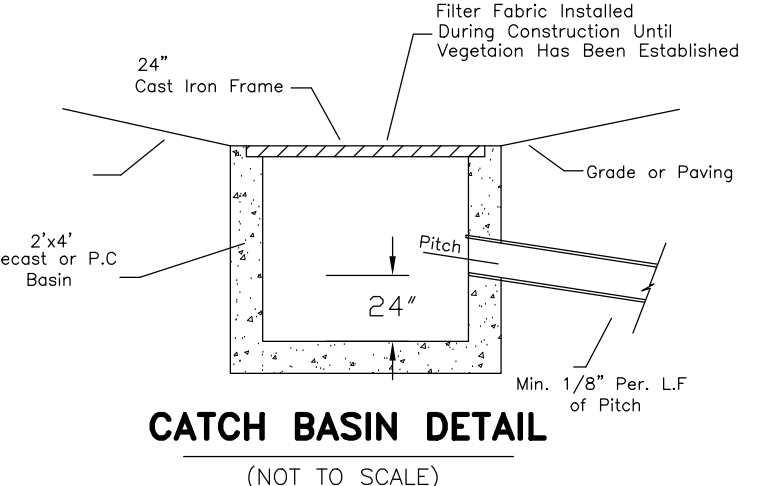
Legend:
 Exist. Contour As Shown: _____
 Prop. Contour As Shown: _____
 Prop. Spot Grade: 184.75
 Exist. Spot Grade: 184.75
 Limits of Disturbance As Shown: _____
 Trees To Be Removed As Shown: ☒
 Total Trees To Be Removed: 0
 Proposed Silt Fence As Shown: [Symbol]



NOTE: THE PLANTINGS FOR THE SPORTS COURTS WILL SCREEN THE FENCE FROM VIEW.
 NOTE: RUNOFF FROM THE SITE IS TO BE CONTAINED ON THE PROPERTY AND SHALL NOT RUN ONTO ADJACENT PROPERTIES OR THE ADJOINING ROADWAYS.

DRAINAGE CALCULATIONS SYSTEM A:

Proposed Patio = 3241.7 s.f.
 Runoff = 3241.7 s.f. x 3"/12" = 810.4 cu.ft.
 Proposed Pool & Spa = 860.0 s.f.
 Runoff = 860.0 s.f. x 3"/12" = 215.0 cu.ft.
 1025.4 cu.ft./ 34.0 cu.ft. per ft. of 4'x8.5' Leaching Galley = 30.2 ft. req'd.
 Use 8 galleys 4.5' deep, 4' eff. depth = 32.0'



CATCH BASIN DETAIL
(NOT TO SCALE)

PROJECT INFORMATION

DATE	4/20/2022
DRAWN BY:	LGA
CHECKED BY:	MJR
SCALE:	1"=10'
AREA:	0.55 ACRES
DATUM:	NAVD'88

GRADING & DRAINAGE PLAN
 OF PROPERTY
 INCORPORATED VILLAGE OF WOODSBURGH
 41-39-767



REVISED: 6/28/2022