

June 29, 2022

#### Dear Residents:

Mr. & Mrs. Ezra Berry originally applied for 8 variances for the construction of a swimming pool with raised spa, patio, roof over patio with an outdoor kitchen and a sports court. The Berry's have worked with their engineers and reduced the numbers of variances requested to 5.

The variance requests **removed** due to the new plan being code compliant:

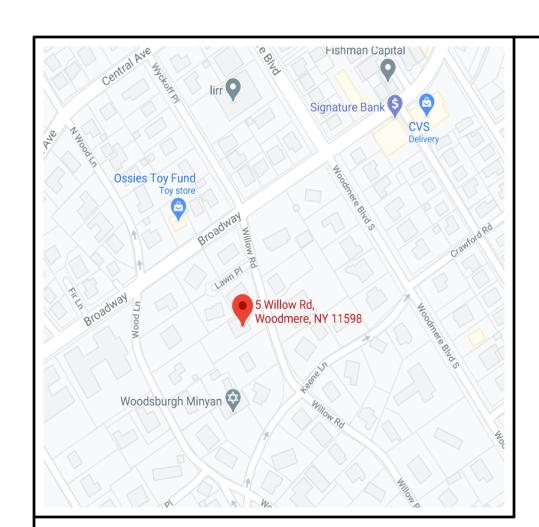
- 1. <u>Code §150-39. B</u> Maximum impervious lot coverage is 7,467.46 SF. *Originally proposed impervious lot coverage is 11,351 SF.* 
  - a. New Plan is compliant with an impervious coverage of 6,091.2 square feet.
- 2. <u>Code §150-39. E</u> Accessory buildings and structures are not permitted in a front yard. Originally proposed Existing H frame utility structure is in a front yard.
  - a. New Plan is complaint with the H frame removed and the utility located on the southeast wall of house.
- 3. Code §150-39. G (9) Sports Court
- 4. <u>Code §150-39. G (1)</u> Sports Court
- 5. Code §150-39. G (9): Sports Court
  - a. Sports Court is being removed from the plan.

### Below are the variances which have been reduced:

- 1. Code §150-39. A Residence B: Max 15% or 3,567.32 SF. Originally proposed lot coverage is 22.3% or 5,293.8 SF.
  - a. The new proposed lot coverage will be 19.3% or 4,580.3 square feet.
- 2. <u>Code §150-47. B</u> Swimming Pool fences shall not be located less than 25 ft from the rear lot line and not less than 25 ft from the side lot line. Originally proposed fencing located 3 ft from the side and rear lot lines.
  - a. The new proposed pool fencing will be 15.3 ft from the northeast side lot line and the other 3 sides will be code complaint.

### The **required** variances for pools and sports courts:

- 1. <u>Code §150-47. B</u> Swimming Pools, states no swimming pool shall be constructed or erected unless a permit for the same shall have been issued by the Board of Appeals of the Village of Woodsburgh. An application for such permit shall be accompanied by plot, site and building plans of such pool showing dimensions, design, location and use of all structures, equipment, drainage, sanitary filtration, water supply and disposal facilities, fencing, covering of pool and such information as may be required by said Board.
  - a. Proposed in-ground swimming pool and a raised spa.



☐ G.V.

Y Hyd.

∅ S.I.D.

Ø U.P.

₩ W.M.

O W.V.

Highest Expected

DRAINAGE CALCULATIONS SYSTEM A:

Runoff =  $3241.7 \text{ s.f.} \times 3^{\circ\prime}/12 = 810.4 \text{ cu.f.}$ 

Runoff =  $860.0 \text{ s.f.} \times 3^{\circ\prime}/12 = 215.0 \text{ cu.f.}$ 

1025.4 cu.ft./ 34.0 cu.f. per ft. of 4'x8.5' Leaching Galley

Proposed Patio = 3241.7 s.f.

= 30.2 ft. reg'd.

Proposed Pool & Spa = 860.0 s.f.

gravel backfill under and-around pool (0.3 min.

to 11/2 size) Min 6' Depth

Underlying sand & gravel strata

LEACHING GALLEY DETAIL

₩ M.H.C.

Hydrant

☐ A/C Air Conditioner

— NHP — Overhead Wires

# ATLAS LOCATION

## **BUILDING COVERAGE:**

Percent Coverage Calculation

Lot Area: 23782.1 Sq.Ft.

Existing Area:

Existing Dwelling Existing Front Porch

Proposed Area: Proposed Outdoor Kitchen

Proposed Roof Over Proposed Fire Structure

Total Coverage: 4580.3 Sq.Ft.

Total Coverage x 100% = % Coverage Percent Coverage =

= 4000.0 Sq.Ft.

= 117.0 Sq.Ft.

= 65.3 Sq.Ft.

= 384.0 Sq.Ft

= 14.0 Sq.Ft.

Percent Coverage =  $\frac{4580.3 \text{ Sq.Ft.}}{23782.1 \text{ Sq.Ft.}} \times 100\% = \% \text{ Coverage}$ Percent Coverage = 19.3% > 15.0% M.C.

## IMPERMEABLE LOT COVERAGE:

# Existing Lot Coverage Calculation

Lot Area: 23782.10 Sq. Ft.

Existing Area:

Existing Dwelling Existing Driveway 4000.0 Sq. Ft. = 3100.0 Sq. Ft. Existing Patio = 650.0 Sq. Ft. Existing Walkway = 475.0 Sq. Ft. = 239.4 Sq. Ft. Existing Concrete Utility Pad

Total Coverage: 8464.4 Sq. Ft. > 7467.50 Sq. Ft.

# Proposed Lot Coverage Calculation

Lot Area: 23782.10 Sq. Ft.

Existing Area:

= 4000.0 Sq. Ft. Existing Dwelling Existing Walkway = 475.0 Sq. Ft. Existing Concrete Utility Pad = 239.4 Sq. Ft.

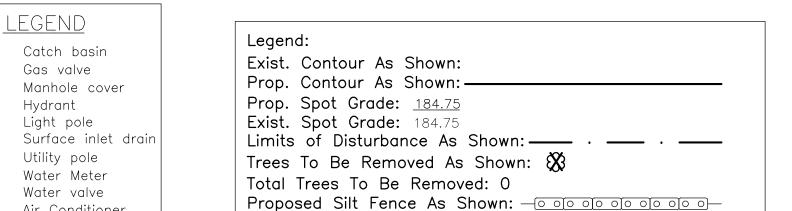
Proposed Area:

Proposed Pool 800.0 Sq. Ft. 100.0 Sq. Ft. Proposed Spa Proposed Outdoor Kitchen = 65.3 Sq. Ft. Proposed Pool Equipment = 13.5 Sq. Ft. = 14.0 Sq. Ft. Proposed Fire Structure = 384.0 Sq. Ft. Proposed Roof Over

Total Coverage: 6091.2 Sq. Ft. < 7467.50 Sq. Ft.

	ZONING	REQUIRED	EXISTING	PROPOSED
	Area	14500 SQ. FT.	23782.1 SQ. FT.	23782.1 SQ. FT.
	Front Yard	35'	50.7'	50.7'
	Side Yard	15'	9.8'	9.8'
	Rear Yard	25'	121.7'	121.7'
	Street Frontage	100'	100.1	100.1
	Max. Building Coverage	15%	17.3%	19.3%
	Max. Permitted Impervious Coverage	7467.5 SQ. FT.	8464.4 SQ. FT.	6091.2 SQ. FT.
ZONED: Residence District B				





Note: Doors leading into pool enclosure area to have door alarms—R326.4.2.8 Note: All water either overflowing or emptying from the pool shall be disposed

of on the owners property Note: All lights used to luminate the swimming pool or pool area shall be

shielded so as to prevent the shining upon the property of any adjacent property owner. Note: No Loudspeaker device or equipment of any kind shall be installed or used in or about the swimming pool or pool area unless same shall be muted so as to prevent any noise from being heard beyond the property lines of the owner's land.

Note: Swimming pool shall be equipped with an approved pool alarm device as per the Residential Code of New York State. The alarm shall be capable of detecting a child entering the water and giving an audible alarm when it detects a child entering the water. The alarm shall be classified by Underwriters Lab (or other approved independent testing lab) to reference standard ASTM F2208 and shall produce audible poolside and at another location on the premises where the swimming pool is located. All devices shall be installed, used and maintained in accordance with the manufacturer's specifications.

Note: Suction outlets shall be designed to produce circulation throughout the pool & spa, and shall be protected against user entrapment Note: Provide suction fittings as per R326.6.2

Note: Provide atmospheric vacuum relief system as per R326.6.3 Note: Provide dual drain separation as per R326.6.4 Note: Pool cleaner fittings to comply with R326.6.5

Note: The proposed swimming pool shall be surrounded by a temporary barrier during installation or construction and shall remain in place until a permanent barrier in compliance with R326.5.2 of the NYS Supplement Note: The proposed swimming pool shall be surrounded by a permanent barrier Once construction is complete in compliance with £326.5.3 of the NYS Supplement

Note: All pool barrier gates shall comply with Village of Woodsburgh Building Codes And New York State Building Codes Note: All existing and proposed fencing to be located or relocated, to be on or Within the property lines of the subject parcel

- Undisturbed Ground

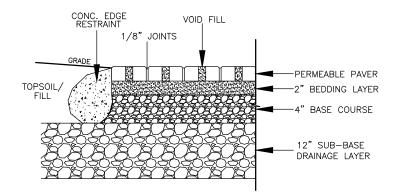
REVISED: 7/28/2021

REVISED: 4/16/2021

min. 6" into ground SECTION

1. Woven wire fence to be fastened securely to

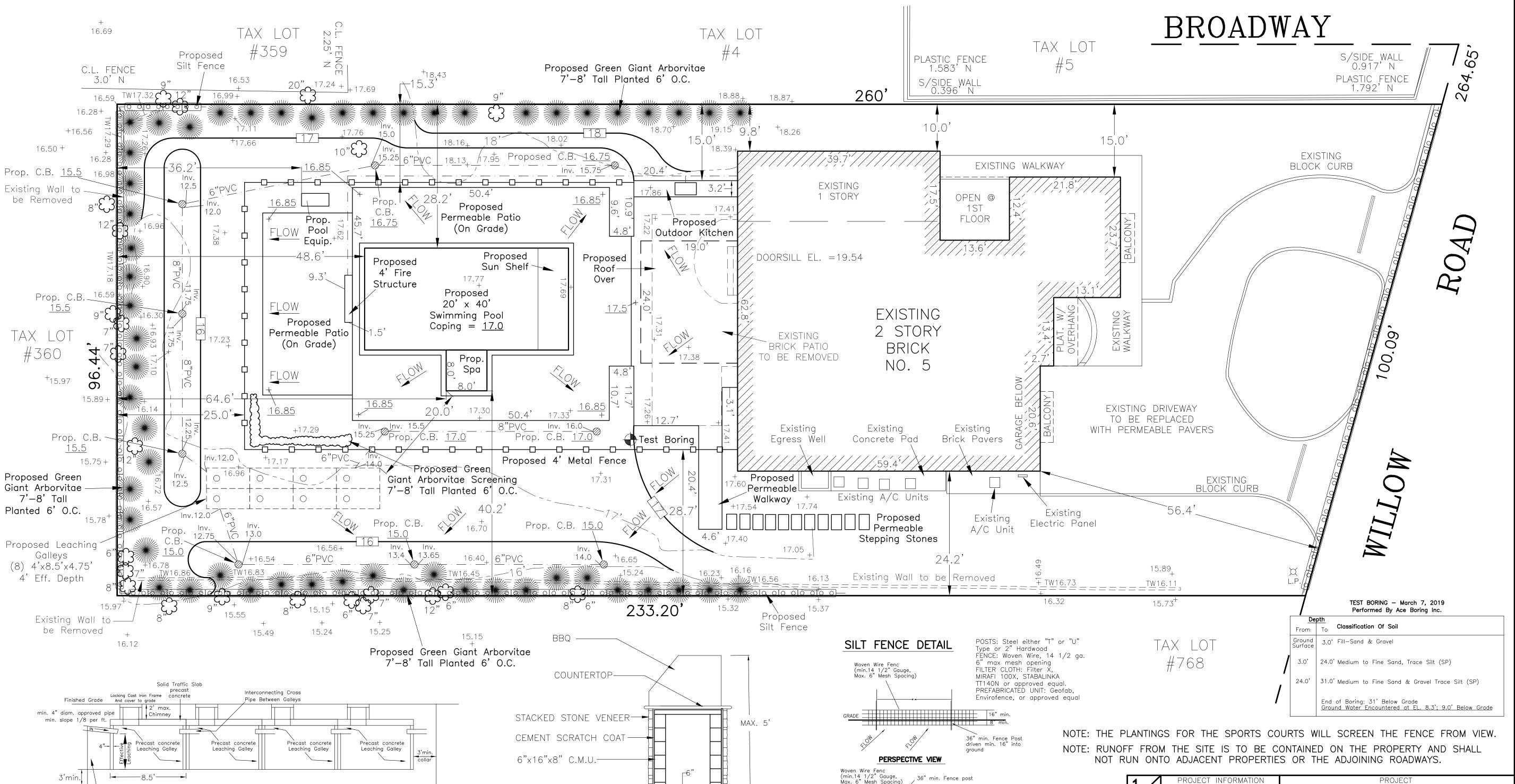


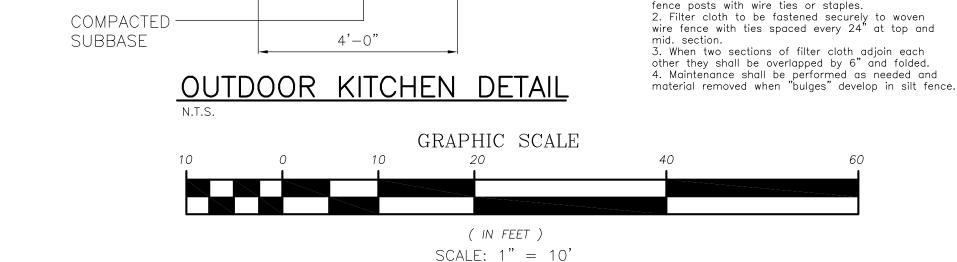


### PERMEABLE PAVER DETAIL

SUB-BASE: OPEN-GRADED AGGREGATE COMPRISED OF 2" TO 3" FRACTURED ROCK.

BASE: OPEN-GRADED AGGREGATE COMPRISED OF SMALL TO MEDIUM SIZED BEDDING COURSE: OPEN-GRADED AGGREGATE BENETH UNIT PAVERS COMPRISED OF SMALL STONE CHIPS (1/4" TO 3/8").





6"POURED CONC.

1.4 X 1.4 WWM

Filter Fabric Installed

Cast Iron Frame —

2'x4' Precast or P.C

CATCH BASIN DETAIL

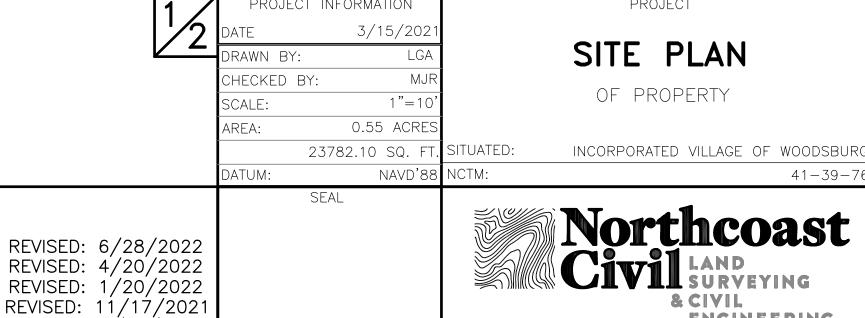
(NOT TO SCALE)

24"

During Construction Until
 Vegetaion Has Been Established

─Grade or Paving

SLAB W/6 X 6-W



Northcoast & CIVIL ENGINEERING REVISED: 8/24/2021 REVISED: 8/10/2021

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