

## PUBLIC HEARING NOTICE

PLEASE TAKE NOTICE that a public hearing will be held as to the following matter:

Agency: Board of Appeals  
Village of Woodsburgh  
Date: June 15, 2022  
Time: 7:00 p.m.  
Place: 30 Piermont Ave Hewlett, NY 11557

Subject: Application of Michael and Alexandra Farbenblum, 190 Ivy Hill Road, Woodsburgh, New York, to construct a trex deck at the rear of the house, which construction requires a variance of Village Code §150-11, to permit a side yard setback of 15.15 feet, where the minimum required setback is 20 feet. Premises are designated as Section 41, Block 71, Lot 27 on the Nassau County Land and Tax Map.

The Board of Appeals, as lead agency, has determined that this application is a Type II matter under the State Environmental Quality Review Act, and requires no environmental review.

At the said time and place, all interested persons may be heard with respect to the foregoing matters.

Any person having a disability which would inhibit attendance at or participation in the hearing should notify the Village Clerk at least three business days prior to the hearing, so that reasonable efforts may be made to facilitate such attendance and participation.

Plans and other materials associated with the application may be reviewed and downloaded at [www.woodsburghny.com](http://www.woodsburghny.com) or inspected at the office of the Village Clerk, 30 Piermont Avenue, Hewlett, New York, during regular business hours.

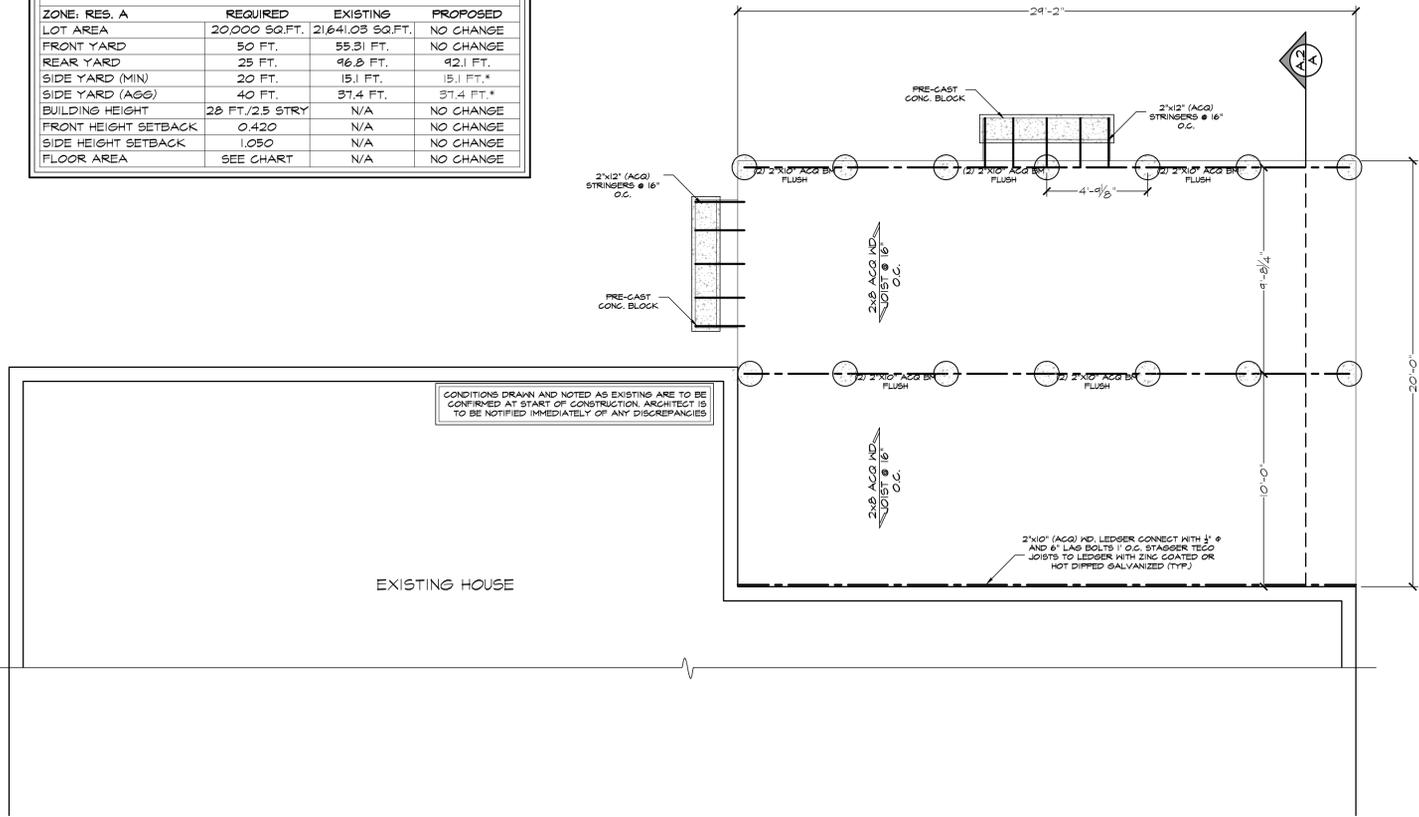
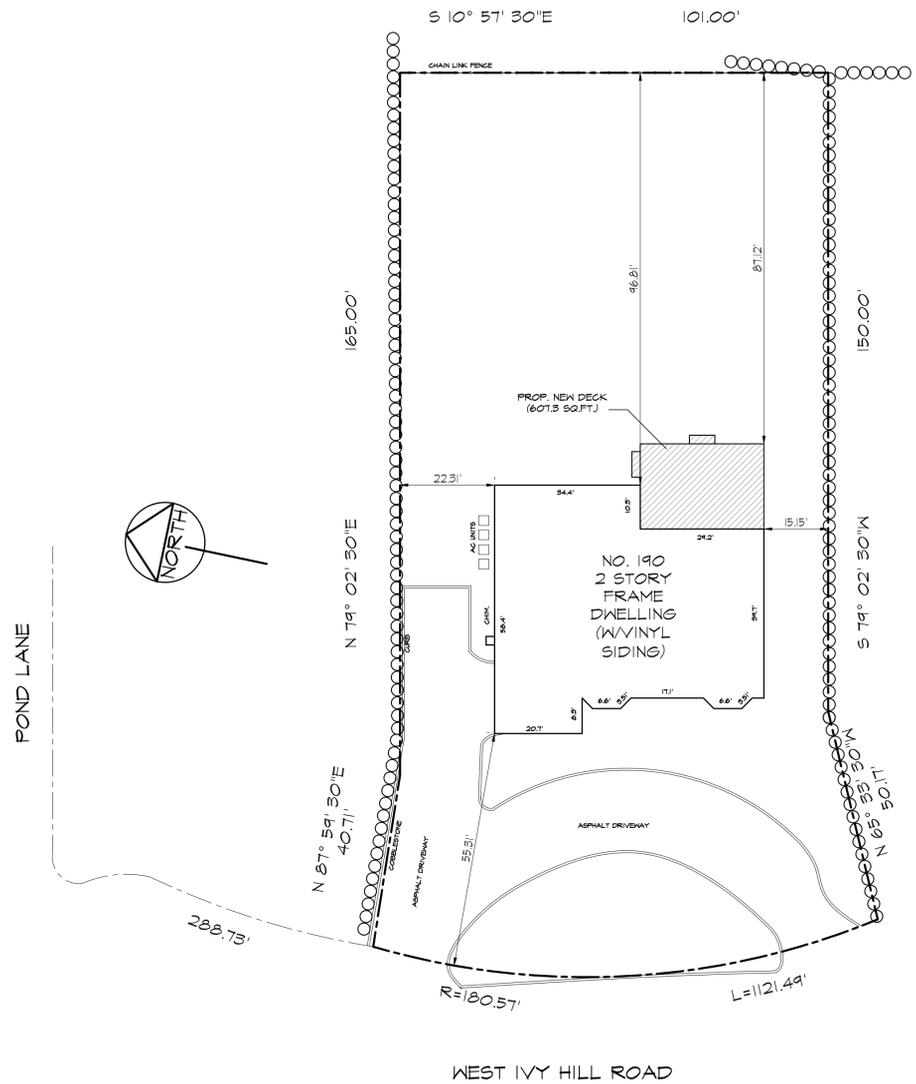
Dated: May 25, 2022

BY ORDER OF THE BOARD OF APPEALS  
Michelle Blandino, Village Clerk

THIS PROJECT REQUIRES A VARIANCE

**ZONING INFORMATION**  
VILLAGE OF WOODSBURGH  
SECTION: 41 BLOCK: 71 LOT(S): 27

ZONE: RES. A	REQUIRED	EXISTING	PROPOSED
LOT AREA	20,000 SQ.FT.	21,641.03 SQ.FT.	NO CHANGE
FRONT YARD	50 FT.	55.31 FT.	NO CHANGE
REAR YARD	25 FT.	96.8 FT.	92.1 FT.
SIDE YARD (MIN)	20 FT.	15.1 FT.	15.1 FT.*
SIDE YARD (AGG)	40 FT.	37.4 FT.	37.4 FT.*
BUILDING HEIGHT	28 FT./2.5 STRY	N/A	NO CHANGE
FRONT HEIGHT SETBACK	0.420	N/A	NO CHANGE
SIDE HEIGHT SETBACK	1.050	N/A	NO CHANGE
FLOOR AREA	SEE CHART	N/A	NO CHANGE



FOUNDATION PLAN

**PLOT PLAN**

**CLIMATIC AND GEOGRAPHIC DESIGN CRITERIA**  
TABLE R301.2(1)

GROUND SNOW LOAD	WIND DESIGN SPEED (MPH)	TOPOG RAPHIC EFFECTS	SPECIAL WIND REGION	WIND BORN DESIG. ZONE	SEISMIC DESIGN CATEGORY	SUBJECT TO DAMAGE FROM					MEAN ANNUAL TEMP J		
						WEATHERING	FROST LINE DEPTH	TERMITES	WINTER DESIGN TEMP	ICE BARRIER REQUIRED		FLOOD HAZARDS	AIR FREEZING INDEX
30	130w1	NO	NO	1 MILE FROM COAST	B	SEVERE	80F 3 FT. DEG.	MED TO HEAVY	15	YES	FEMA FLOOD MAP PANEL #	50.0 OR LESS	55.4

**MANUEL J DESIGN CRITERIA**

ELEVATION	LATITUDE	WINTER HEATING	SUMMER COOLING	ALTITUDE CORRECTION FACTOR	INDOOR DESIGN TEMPERATURE	DESIGN TEMPERATURE COOLING	HIGH TEMPERATURE DIFFERENCE
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COOLING TEMPERATURE DIFFERENCE	WIND VELOCITY HEATING	WIND VELOCITY COOLING	COINCIDENT NET BILD	DAILY RANGE	WINTER HUMIDITY	SUMMER HUMIDITY	
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TO THE BEST OF MY KNOWLEDGE, BELIEF AND PROFESSIONAL JUDGEMENT, THESE PLANS AND/OR SPECIFICATIONS ARE IN COMPLIANCE WITH THE FOLLOWING:

2020 RESIDENTIAL CODE OF NEW YORK STATE PUBLICATION NOVEMBER 2019

2020 RESIDENTIAL CODE OF NEW YORK STATE CHAPTERS 12-23 FOR MECHANICAL SYSTEMS

2020 RESIDENTIAL CODE OF NEW YORK STATE CHAPTERS 24 FOR FUEL & GAS SYSTEMS

2020 RESIDENTIAL CODE OF NEW YORK STATE CHAPTERS 25-33 FOR PLUMBING SYSTEMS

2020 RESIDENTIAL CODE OF NEW YORK STATE CHAPTERS 34-42 FOR ELECTRICAL SYSTEMS

2020 ENERGY CONSERVATION CODE OF NEW YORK STATE AS ADOPTED WITH THE 2018 IECC

THE PROJECT COMPLIANCE METHOD CHOSEN IS TOTAL UA-ALTERNATIVE AND A RESCHECK HAS BEEN SUBMITTED WITH THESE DRAWINGS.



WEST ELEVATION

**TOD ARCHITECTS**  
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CONSULTANTS:

NY'S LIC. #0271955

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CHECKED BY: JTR  
DRAWN BY: JTR

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REV # DATE NOTE

02/24/2022	CONSTRUCTION DOCUMENTS
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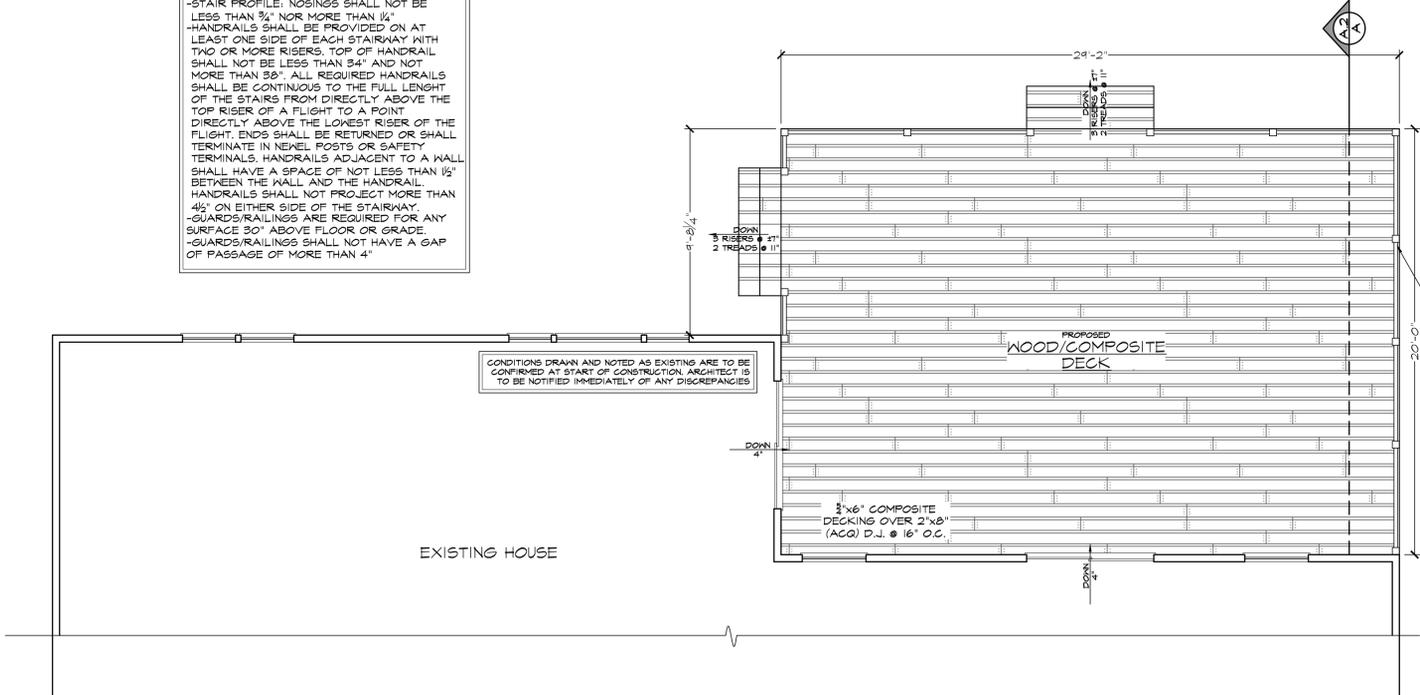
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**PROPOSED DECK**  
FARBENBLUM RESIDENCE  
190 IVY HILL ROAD  
WOODMERE, NY 11598

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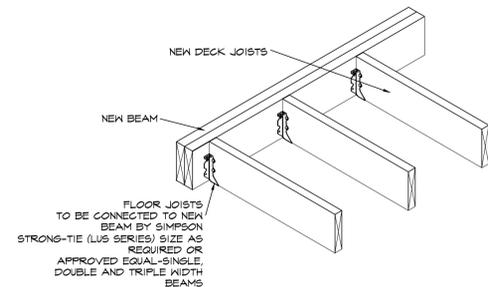
JOB#: FA-22-081  
DATE: 02-24-22  
SCALE: AS NOTED  
DRAWING NUMBER: **A.1**

**STAIRS & GUARD NOTE:**  
 (TO COMPLY WITH 2020 R.C. OF NYS §914 R512)  
 -STAIRWAYS SHALL NOT BE LESS THAN 36" IN CLEAR WIDTH ABOVE THE PERMITTED HANDRAIL HEIGHT AND BELOW THE REQUIRED HEADROOM HEIGHT  
 -MINIMUM HEADROOM HEIGHT TO BE 6'-8"  
 -MAX RISER SHALL NOT EXCEED 8 1/4"  
 -MIN TREAD SHALL NOT BE LESS THAN 9"  
 -STAIR PROFILE, NOSINGS SHALL NOT BE LESS THAN 3/4" NOR MORE THAN 1 1/2"  
 -HANDRAILS SHALL BE PROVIDED ON AT LEAST ONE SIDE OF EACH STAIRWAY WITH TWO OR MORE RISERS. TOP OF HANDRAIL SHALL NOT BE LESS THAN 34" AND NOT MORE THAN 38". ALL REQUIRED HANDRAILS SHALL BE CONTINUOUS TO THE FULL LENGTH OF THE STAIRS FROM DIRECTLY ABOVE THE TOP RISER OF A FLIGHT TO A POINT DIRECTLY ABOVE THE LOWEST RISER OF THE FLIGHT. ENDS SHALL BE RETURNED OR SHALL TERMINATE IN NEVEL POSTS OR SAFETY TERMINALS. HANDRAILS ADJACENT TO A WALL SHALL HAVE A SPACE OF NOT LESS THAN 1 1/2" BETWEEN THE WALL AND THE HANDRAIL. HANDRAILS SHALL NOT PROJECT MORE THAN 4 1/2" ON EITHER SIDE OF THE STAIRWAY.  
 -GUARDS/RAILINGS ARE REQUIRED FOR ANY SURFACE 30" ABOVE FLOOR OR GRADE.  
 -GUARDS/RAILINGS SHALL NOT HAVE A GAP OF PASSAGE OF MORE THAN 4"



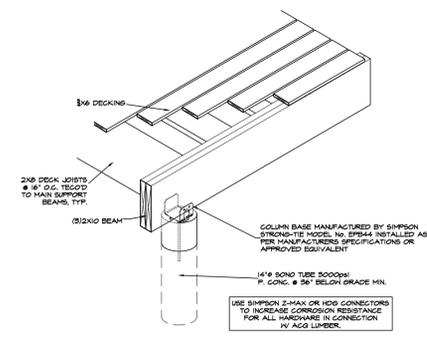
FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"



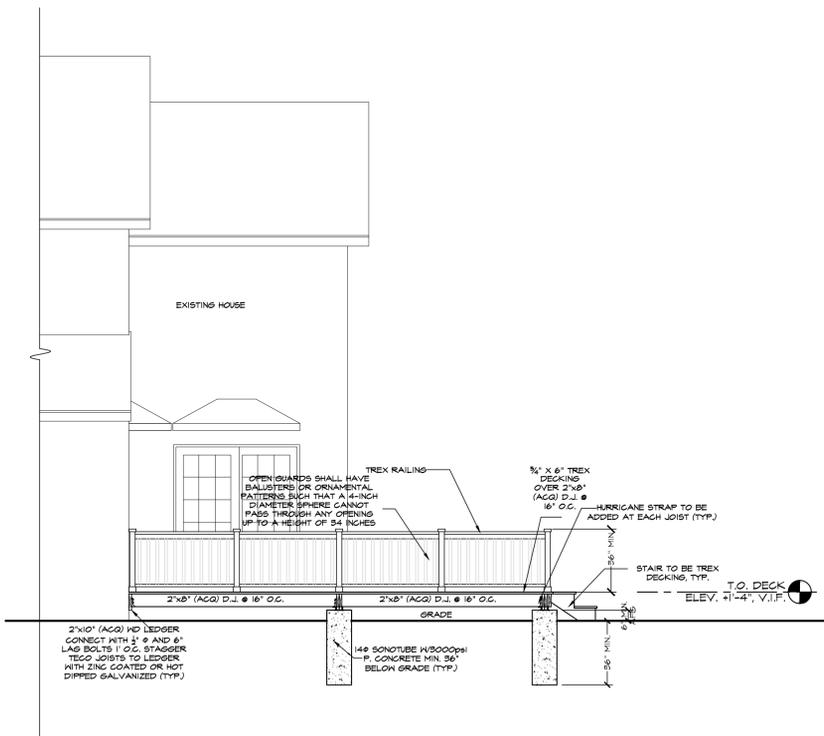
DECK STRAPPING DETAIL

SCALE: 3/4" = 1'-0"



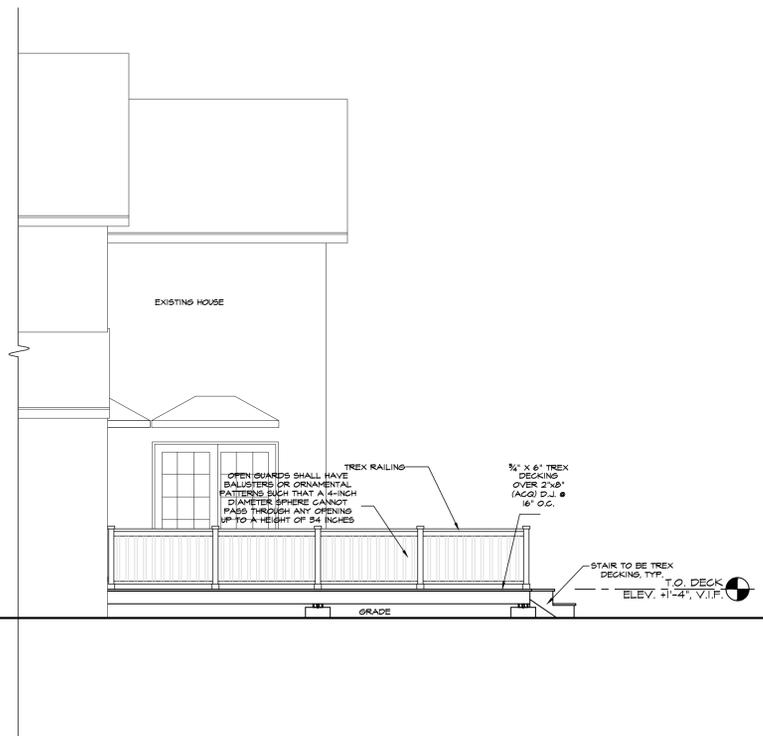
DECK CONNECTION DETAIL

SCALE: 1/2" = 1'-0"



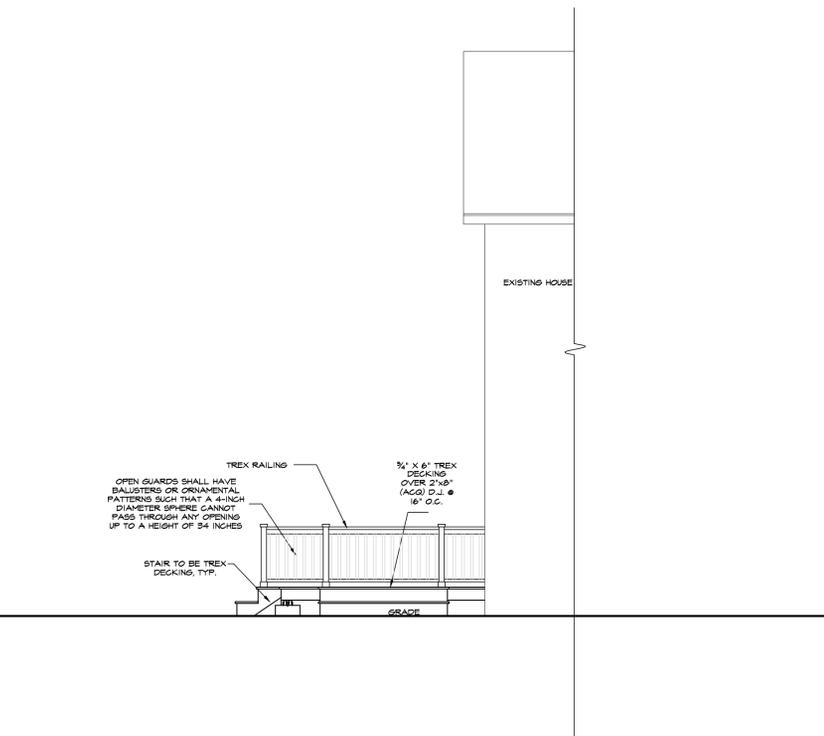
SECTION A-A

SCALE: 1/4" = 1'-0"



NORTH ELEVATION

SCALE: 1/4" = 1'-0"



SOUTH ELEVATION

SCALE: 1/4" = 1'-0"

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**REGISTERED ARCHITECT**  
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 STATE OF NEW YORK  
 027955

CONSULTANTS:  
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CHECKED BY: JTR  
 DRAWN BY: JTR  
 TOC

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