

ZONING INFORMATION

SECTION	41
BLOCK	61
LOT	8
ZONE	RESIDENCE A
HOUSE NO.	100 WOODMERE BLVD SOUTH
HAMLET	INCORPORATED VILLAGE OF WOODSBURG
OCCUPANCY GROUP	SINGLE FAMILY RESIDENTIAL
LOT AREA	22,942.4 SQ FT

THIS PROJECT REQUIRES VARIANCES - SEE SHEET A002 FOR ADDITIONAL ZONING INFORMATION

DRAWING INDEX

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15 OF 18	A400	STAIR DETAILS
16 OF 18	A401	STAIR DETAILS
17 OF 18	E101	ELECTRICAL PLANS
18 OF 18	M101	MECHANICAL PLANS

SCOPE OF WORK

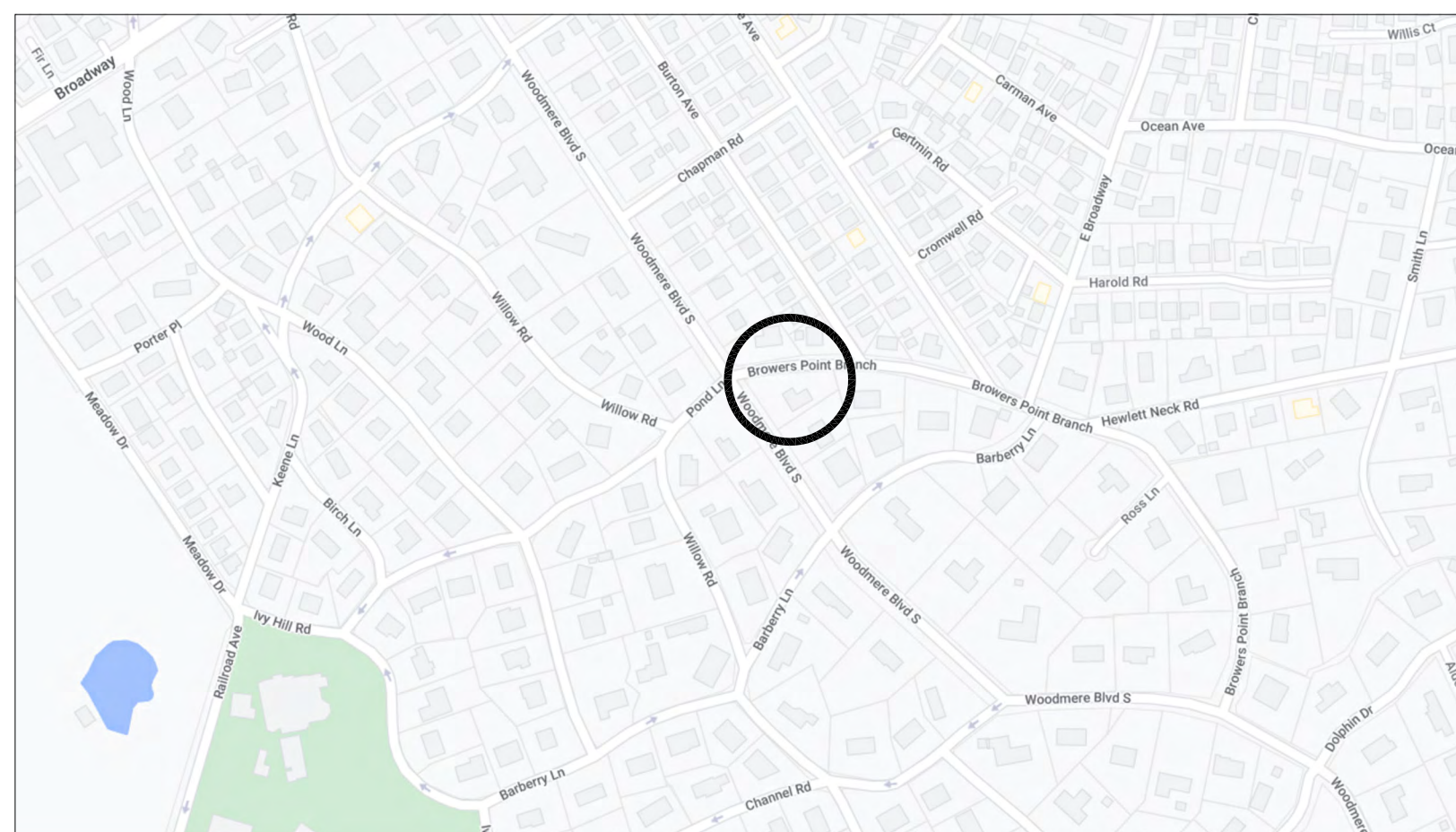
2ND FLOOR ADDITION ABOVE GARAGE - NEW FAMILY ROOM & LAUNDRY ROOM, MASTER SUITE ADDITION OVER EXISTING BEDROOMS, 1ST & 2ND FLOOR ENTRY AREA ADDITION, NEW DECK, RECONFIGURE EXISTING BEDROOMS, REBUILD EXISTING STAIRS, NEW FLOORING & RADIANT HEATING THROUGHOUT, NEW STANDING SEAM METAL ROOFING, NEW STONE & STUCCO AT FACADE, NEW WINDOWS & DOORS AT AREAS OF WORK ONLY

EXTERIOR WORK - NEW RETAINING WALLS & FENCING, NEW OUTDOOR KITCHEN, NEW POOL & SPA, NEW PAVING (BOTH PERVIOUS & IMPERVIOUS), NEW CHILDREN'S PLAYHOUSE, NEW DRY WELLS, NEW SHED, NEW PERGOLA, NEW PLANTING BEDS

MECHANICAL - NEW MINI SPLIT SYSTEM MECHANICAL UNITS

PLUMBING - NEW RADIANT FLOORING THROUGHOUT, NEW 2ND FLOOR LAUNDRY ROOM, NEW MASTER BATHROOM - 3 EXISTING BATHROOMS TO REMAIN - EXISTING KITCHEN & 1ST FLOOR LAUNDRY TO REMAIN

VICINITY MAP



PROJECT LOCATION



AREA OF THE PARCEL = 22,942.4 SQ FT = 0.527 ACRES

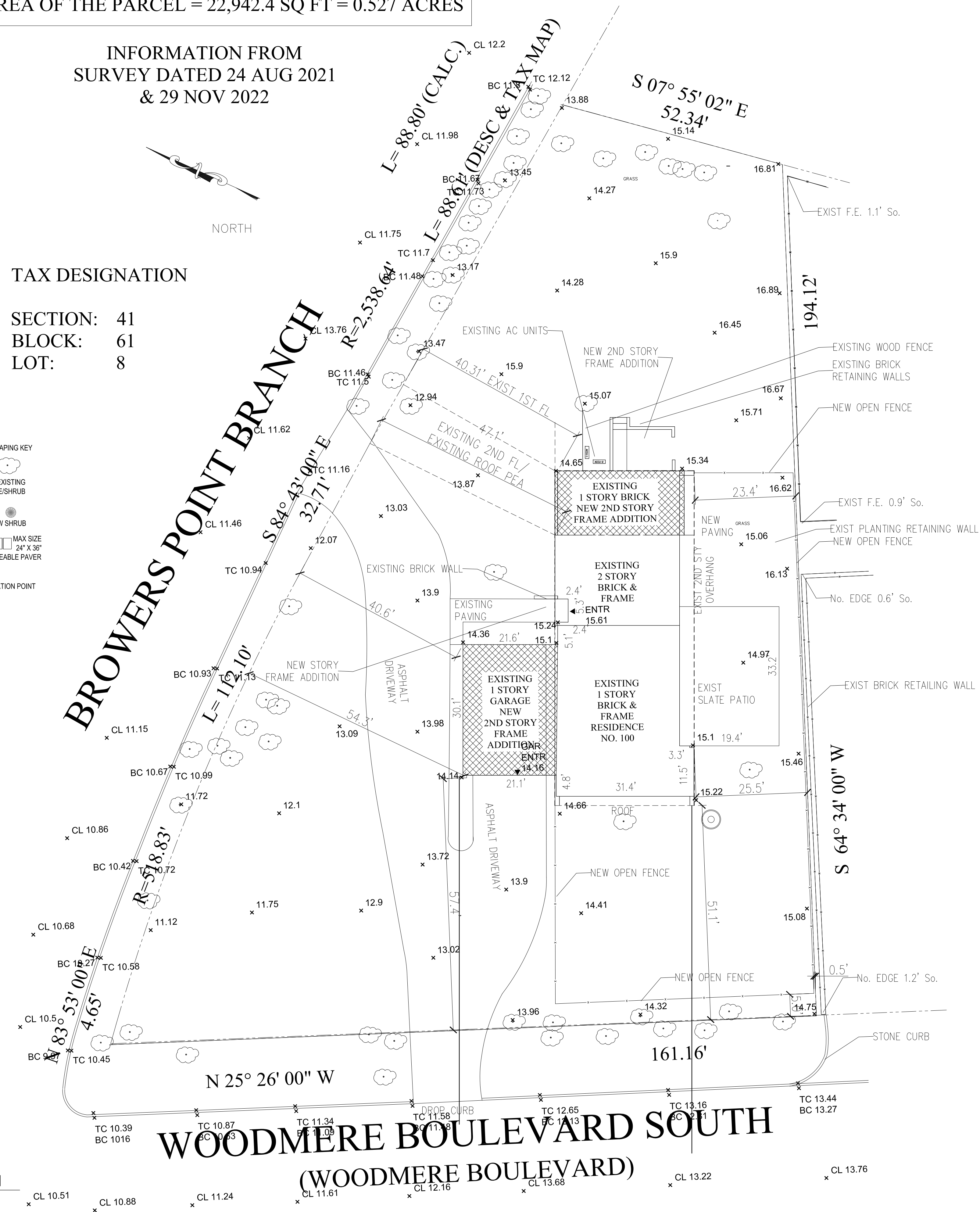
INFORMATION FROM
SURVEY DATED 24 AUG 2021
& 29 NOV 2022

TAX DESIGNATION

SECTION: 41
BLOCK: 61
LOT: 8

LANDSCAPING KEY

- EXISTING TREE/SHRUB
- NEW SHRUB
- MAX SIZE 24" X 36" PERMEABLE PAVER
- ELEVATION POINT



G PLOT PLAN
NOT TO SCALE

Judge Architecture, P.C.

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CONSULTANTS:

PROJECT NAME:
KALBO RESIDENCE
100 WOODMERE BLVD SOUTH
WOODSBURG, NY 11598

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NOTES:

NO.	DATE	REVISIONS	BY
13	AUG 23	REDUCED SCOPE	RJ
16	MAR 23	SETBACKS	RJ
3	MAR 23	DOB REVIEW	RJ
25	JAN 23	DOB REVIEW	RJ

COVER SHEET
PLOT PLAN

PAGE 1 OF 18

DATE: 19 JULY 2022
PROJECT No: 2022-1
DRAWING BY: RJ
CHK BY:
SCALE: AS NOTED
DWG No:

A-001.00

SEAL & SIGNATURE



DOB APPROVAL

ZONING ANALYSIS

ZONING ANALYSIS:	CODE SECTION:	PERMITTED	EXISTING	PROPOSED	COMPLIANT / NON-COMPLIANT
LOT AREA (SF)	150-8	20,000 MIN	22,942.40	22,942.40	COMPLIANT
USE	150-6	SINGLE FAMILY RESIDENTIAL	SINGLE FAMILY RESIDENTIAL	SINGLE FAMILY RESIDENTIAL	COMPLIANT
HEIGHT	150-7	28' PITCHED ROOF/ 25' OTHER ROOF	20'-3"	24'-9"	COMPLIANT
STORIES	150-7	2.5 STORIES MAX	2.0 STORIES	2.0 STORIES	COMPLIANT
HABITABLE FLOOR AREA (MIN) ⁽¹⁾	150-13	2,400 MIN			COMPLIANT
FLOOR AREA (MAX) ⁽²⁾	150.13.3	5,297.90	3,373.75	4,460.48	COMPLIANT
LOT COVERAGE (SF) ⁽³⁾	150-39(A)	15% (3,441.36)	13.28% (3,046.85)	13.91% (3,191.4)	COMPLIANT
IMPERVIOUS SITE COVERAGE (SF)	150-39(B)	7,265.94	6,956.75	7,104.1	COMPLIANT
FRONT YARD 1 (WOODMERE BLVD)	150-19	50'	51.1' 57.4'	51.1' @ FRONT DEN (FROM WOODMERE BLVD) 57.4' @ EXISTING GARAGE / NEW ADDITION (FROM WOODMERE BLVD)	COMPLIANT COMPLIANT
CORNER LOT FRONT YARD 2 (BOWERS POINT BRANCH)	150-19	50'	54.3' 40.6' 34.916'	54.3' @ FRONT GARAGE 2ND FL EXTENSION (FROM BROWERS PT) 40.6' @ GARAGE 2ND FL EXTENSION (FROM BROWERS PT) 34.47' @ 2ND FLOOR EXTENSION (FROM BROWERS PT)	COMPLIANT NON-COMPLIANT NON-COMPLIANT
SIDE YARD	150-11	20'	23.4'	22'	COMPLIANT
REAR YARD	150-9	25'	72.75'	72.75'	COMPLIANT
FRONT HEIGHT SETBACK RATIO	150-13.1	0.42	0.25 - FRONT YARD 1 (WOODMERE BLVD) 0.453 - FRONT YARD 2 (BROWARDS PT)	0.40 - FRONT YARD 1 - GARAGE ADDITION (WOODMERE BLVD) 0.44 - FRONT YARD 2 - ROOF PEAK GARAGE ADDITION (BROWARDS) 0.52 - FRONT YARD 2 - ROOF LOW POINT GARAGE ADDITION (BROWARDS) 0.62 - FRONT YARD 2 - ROOF PEAK 2ND FL ADDITION (BROWARDS)	COMPLIANT NON-COMPLIANT NON-COMPLIANT
SIDE HEIGHT SETBACK RATIO	150-13.2	1.05	0.81	0.927	COMPLIANT

ZONING ANALYSIS:	CODE SECTION:	REQUIREMENT	PROPOSED	COMPLIANT / NON-COMPLIANT
AC UNITS	150.50.2	NO AC UNITS ALLOWED IN FRONT YARD NO UNITS WITHIN 15' OF PROPERTY LINE IN SIDE YARD UNIT SHALL BE SUFFICIENTLY SCREENED FROM NEIGHBORING PROPERTY	RELOCATE EXISTING & INSTALL NEW AC UNITS @ SIDE YARD +/- 25' FROM PROPERTY LINE	COMPLIANT
FENCES	150-50 (A)	PERMIT IS REQUIRED FOR ALL FENCING	FENCING TO BE FILED UNDER SEPARATE APPLICATION - FENCING SHOWN FOR SITE PAVING PURPOSES	COMPLIANT
	150-50 (B)	FENCING OTHER THAN POOL FENCING SHALL NOT EXCEED FOUR FEET IN HEIGHT MEASURED FROM NATURAL GRADE ADJACENT TO SUCH FENCE OR WALL POOL FENCING TO BE MINIMUM 4' & MAXIMUM 4'	ALL NON POOL FENCING = MAX 4' TALL	COMPLIANT
	150-50 (C)	NO FENCE ALLOWED WITHIN FIVE FEET (5') OF FRONT PROPERTY LINE - FENCE SHALL NOT EXCEED 50% OF FRONT PROPERTY LINE	FENCE @ FRONT YARD # 1 = 59' - TOTAL FRONT YARD DIMENSION = +/- 161' - 59' = 36.6%	COMPLIANT
	150-50 (D)	ALL FENCES AND WALLS SHALL BE MADE OF FIRST-CLASS MATERIALS AND SHALL BE CONSTRUCTED AND INSTALLED IN THE BEST WORKMANLIKE MANNER KNOWN TO THE TRADE. ALL FENCES AND WALLS SHALL BE STURDY, PLUMB, LEVEL AND TRUE. FENCES MAY BE CONSTRUCTED OF WOOD, MASONRY, METALS, PVC PLASTIC, OR COMBINATIONS THEREOF, OR SUCH OTHER MATERIALS AS MAY BE SATISFACTORY TO THE BOARD OF TRUSTEES (WHICH DETERMINATION MAY BE MADE WITHOUT A PUBLIC HEARING). ALL METAL FENCES SHALL HAVE A PROTECTIVE COATING, AND THOSE FENCES OF A STYLE OR TYPE OF CONSTRUCTION KNOWN AS "CHAIN LINK" OR "CYCLONE" SHALL COMPLY WITH THE SPECIFICATIONS OF THE CHAIN LINK MANUFACTURERS' INSTITUTE. ALL WOOD FENCES SHALL HAVE WOOD POSTS SPACED NOT MORE THAN 12 FEET APART, THAT PORTION OF ANY FENCE OR ITS SUPPORT STRUCTURE, EMBEDDED IN THE GROUND SHALL BE EITHER OF NON-ROTTING MATERIALS OR SHALL BE TREATED IN A MANNER TO PREVENT OR MINIMIZE ROTTING. HORIZONTAL RAILS SHALL BE SECURELY FASTENED TO THE POSTS AND SHALL BE OF SUFFICIENT STRENGTH TO SPAN THE DISTANCE BETWEEN THE POSTS. MASONRY FENCES OR WALLS SHALL BE SET ON A CONCRETE FOOTING AT A DEPTH NOT LESS THAN 18 INCHES INTO THE GROUND.	FENCING SHALL COMPLY WITH MIN REQUIREMENTS OF MATERIALS POSTS TO BE MIN 10" OC FOOTING DEPTH TO BE MIN 18"	COMPLIANT
	150-50 (F)	FINISHED SIDE OF FENCES SHALL FACE ADJOINING PREMISES OR STREET. FENCES OTHER THAN OPEN TYPE (NOT INCLUDING CHAIN LINK) SHALL BE LOCATED A DISTANCE FROM THE PROPERTY LINE SUFFICIENT TO PERMIT APPROPRIATE LANDSCAPING TO BE PLACED & MAINTAINED ON THE PROPERTY OF THE APPLICANT BETWEEN THE FENCE AND PROPERTY LINE TO SCREEN FENCE	SIDE YARD FENCING TO BE INSTALLED WITH ROOM TO MAINTAIN EXISTING PLANTING WHICH SCREENS NEIGHBORING FENCING	COMPLIANT

(1) MAXIMUM FLOOR AREA 150-13.3 = 3,000 SQ FT + .21X LOT AREA OVER 12,000 SQ FT = LOT AREA = 22,942.4 (10,942.4 OVER) X .21

(5) SET BACK RATIO OVER GARAGE:

(6) SET BACK RATIO @ 2ND FLOOR ADDITION

(2) LOT COVERAGE 150-39(A) = LOT AREA X 15% = 22,942.40 X 15% = 3,441.36

HIGHEST POINT (CLOSEST TO WOODMERE BLVD):
HEIGHT 22.75'
GRADE @ GARAGE 14.14'
MEAN GRADE @ BROWARD PROPERTY LINE = 12.77'
SETBACK 54.3'

HIGHEST POINT (FARTHEST FROM WOODMERE BLVD):
HEIGHT 22.96'
GRADE @ HIGH POINT = 15.5625'
MEAN GRADE @ BROWARD PROPERTY LINE = 12.77'
SETBACK 39.73'

(3) IMPERVIOUS SITE COVERAGE 150-39(B) = 6,560 + 0.24 TIMES BASE LOT AREA OVER 20,001 = LOT AREA = 22,942.4 (2,941.4 OVER) X .24

LOWEST POINT (FARTHEST FROM WOODMERE BLVD):
HEIGHT 19.396'
GRADE @ GARAGE 14.35'
MEAN GRADE @ BROWARD PROPERTY LINE = 12.77'
SETBACK 40.6'

(7) SET BACK RATIO OVER GARAGE TO WOODMERE BLVD:

HIGHEST POINT:
HEIGHT 22.75'
GRADE @ GARAGE 14.35'
MEAN GRADE @ WOODMERE PROPERTY LINE = 14.14'
SETBACK 57.4'

(4) MEAN GRADE @ PROPERTY LINE 12.83'

14.35-12.77 = 1.58
1.58 + 19.396 = 20.977
20.967 / 40.6 = 0.52 H/s RATIO

14.35-14.14 = 0.21
0.21 + 22.75 = 22.96
22.96 / 57.4 = 0.4 H/s RATIO

EXISTING AREAS:

BUILDING AREAS:

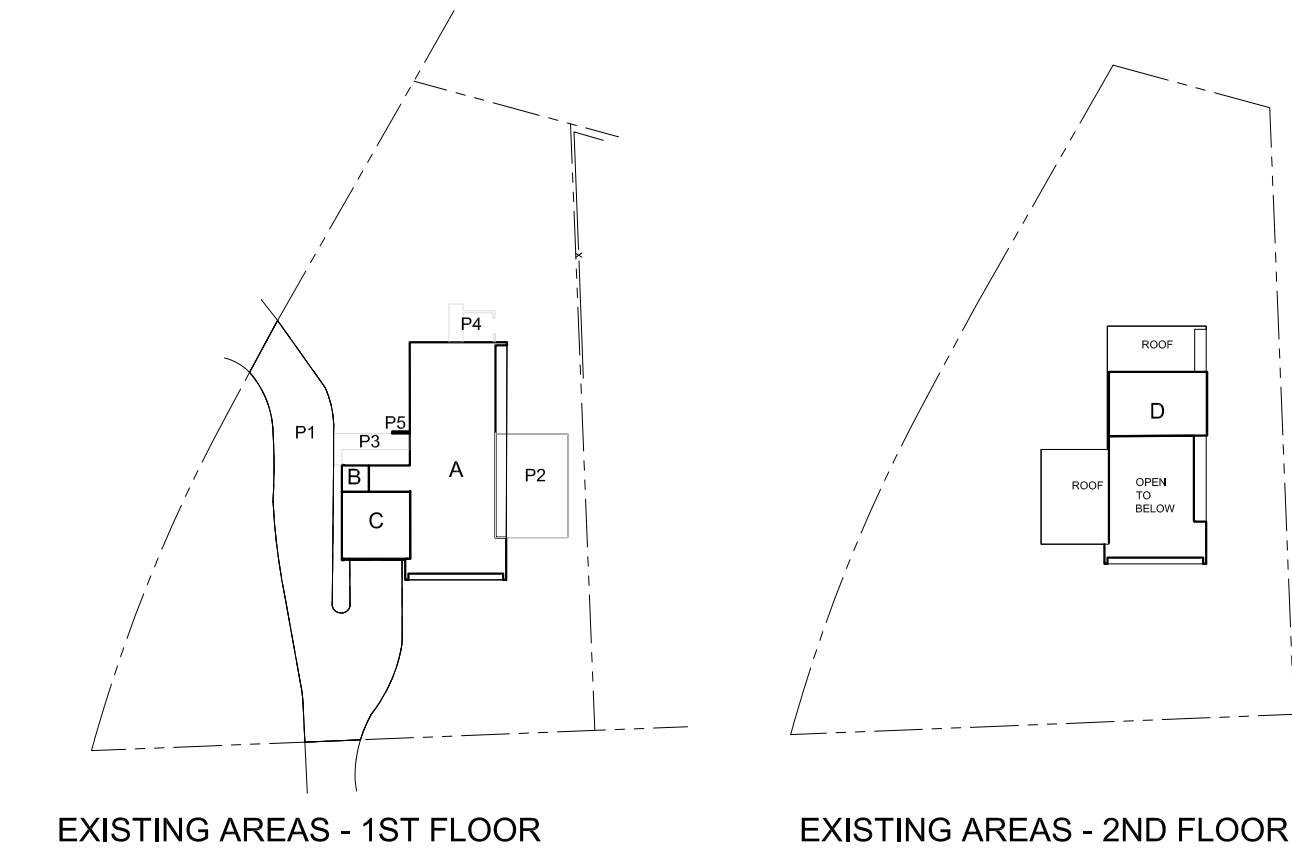
A (1ST FLOOR AREA) -	2,191 SF
B (BOILER RM AREA)	73 SF
C (GARAGE AREA)	467 SF
D (2ND FLOOR AREA) -	642.75 SF
TOTAL EXISTING BUILDING AREA -	3,373.75

EXISTING IMPERVIOUS SURFACE COVERAGE:

BUILDING COVERAGE (AREAS A/B/C/EAVES) -	3,020.75 SF
P1 - DRIVEWAY AREA (3058 LESS OH AREA ABOVE)	3,049 SF
P2 - SIDE YARD PATIO	769.5 SF
P3 - FRONT WALKWAY AREA	142.8 SF
P4 - REAR RETAINING WALLS & WALKWAY	68.5 SF
P5 - EXISTING BRICK WALL @ ENTRY	2.8 SF
TOTAL EXISTING IMPERVIOUS AREA	7,052.35 SF

EXISTING LOT COVERAGE:

BUILDING ROOFLINE	3,020.75 SF
RETAINING WALLS	23.3 SF
BRICK WALL @ ENTRY	2.8 SF
TOTAL EXISTING LOT COVERAGE	3,046.85 SF



A EXISTING AREA ANALYSIS

PROPOSED AREAS:

BUILDING AREAS:

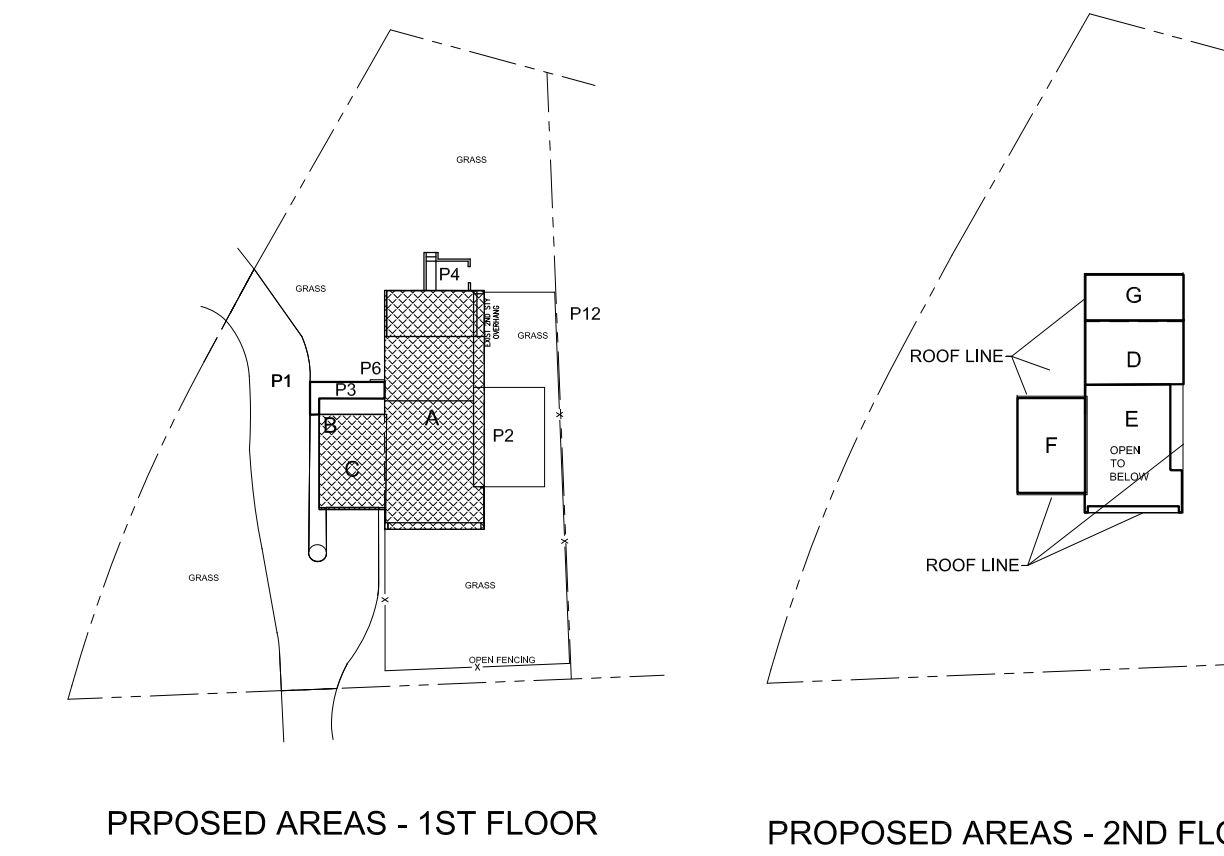
A (EXISTING 1ST FLOOR AREA) -	2,191 SF
B (EXISTING BOILER RM AREA)	73 SF
C (EXISTING GARAGE AREA)	467 SF
D (EXISTING 2ND FLOOR AREA)	642.75 SF
E (EXISTING OPEN TO BELOW) - N/A	N/A
F NEW - 2ND FLOOR OVER GARAGE FAMILY RM)	658.35 SF
G NEW - 2ND FLOOR (OVER MASTER SUITE)	428.38 SF
TOTAL PROPOSED BUILDING AREA -	4,460.48 SF

PROPOSED LOT COVERAGE

BUILDING AREA ROOFS & OVERHANGS	3,165.3 SF
EXISTING BRICK WALL @ FRONT	2.8 SF
EXISTING RETAINING WALLS @ REAR	23.3 SF
TOTAL LOT COVERAGE	3,191.4 SF

PROPOSED IMPERVIOUS SURFACE COVERAGE:

BUILDING COVERAGE (ROOFS)	3,165.3 SF
P1 - EXISTING DRIVEWAY AREA (3,058 LESS 25 SF OF ROOF AREA)	3,049 SF
P2 - SIDE YARD PATIO (803.5 SF LESS 127.8 SF OF ROOF AREA)	675.7 SF
P3 - FRONT ENTRY WALKWAY AREA	142.8 SF
P4 - RETAINING WALLS & WALKWAY @ REAR	68.5 SF
P5 - BRICK WALL @ FRONT	2.8 SF
TOTAL PROPOSED IMPERVIOUS AREA	7,104.1 SF



B PROPOSED AREA ANALYSIS

SEE EXTERIOR ELEVATION SHEETS A201 & A202 FOR FRONT & SIDE YARD SET BACK RATIOS

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CONSULTANTS:

PROJECT NAME:
KALBO RESIDENCE
100 WOODMERE BLVD SOUTH
WOODSBURG, NY 11598

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NOTES:

△ 16 MAR 23	SETBACKS	RJ
△ 9 MAR 23	MEAN GRADE	RJ
△ 3 MAR 23	DOB REVIEW	RJ
△ 25 JAN 23	DOB REVIEW	RJ
NO	DATE	REVISIONS
		BY

ZONING NOTES, GENERAL NOTES, PARTITION DETAILS

PAGE 2 OF 18

DATE: 19 JULY 2022
PROJECT No: 2022-1
DRAWING BY: RJ
CHK BY:
SCALE: AS NOTED
DWG No:

A-002.00

SEAL & SIGNATURE



DOB APPROVAL

GENERAL SPECIFICATIONS (SBCCI-SSTD 10-99)

APPROXIMATE DISTANCE FROM AVG. HIGH TIDE MARK MORE THAN 1 MILE

WIND SPEED EXPOSURE: 110

WINDBORNE DEBRIS PROTECTION REQUIRED

WEATHERING: SEVERE

FLOOD HAZARD: NO

DECAY: SLIGHT TO MODERATE

ROOF DEAD LOAD: 15 PSF

1ST FLOOR LIVE: 40 PSF

2ND FLOOR LIVE: 30 PSF

1ST FLOOR DEAD: 10 PSF

2ND FLOOR DEAD: 10 PSF

GROUND SNOW LOAD: 45 PSF

SPANS: DOUGLAS FIR #2, Fb=950 E=1,600,000

SEISMIC: N/A

WINTER DESIGN TEMP: 11 DEGREES

ASPECT RATION (L/W):

MIN. 1:4 - MAX. 4:1 - ACTUAL = 1:1.54 WITHIN 1 MILE OF COAST. YES

EXPOSURE CATEGORY: B (SUBURBAN)

TERMIN: MODERATE/HEAVY

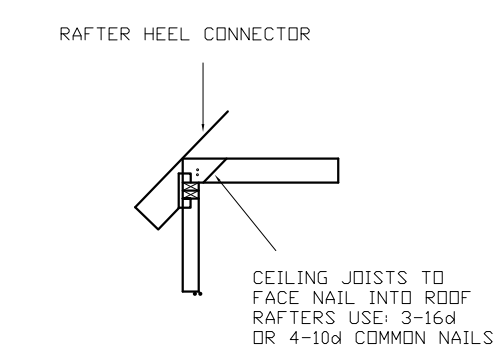
FROST LINE DEPTH: 3'-6"

ICE SHIELD UNDERLAYMENT: TO 36" AT ROOFLINE

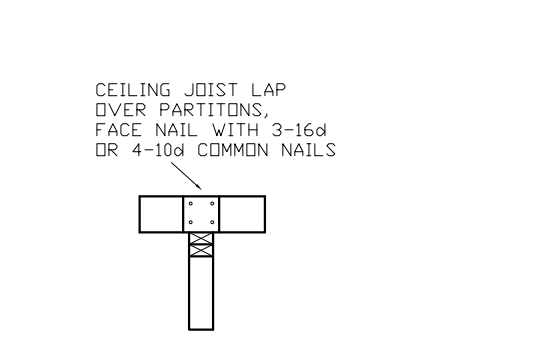
ACTUAL BUILDING DIMENSIONS = 52'-6"x86'-7"

SPANS	2X6	2X8	2X10	2X12	112 WFOH
RAFTERS	9-11	11-6	14-0	16-4	
CEILING JOISTS	8-11	13-0	16-6	20-2	
1ST FL. JOISTS	9-3	11-8	14-3	16-6	
2ND FL. JOISTS	10-1	12-9	15-7	18-1	

RAFTER HEEL/ CEILING JOISTS CONNECTION (131)

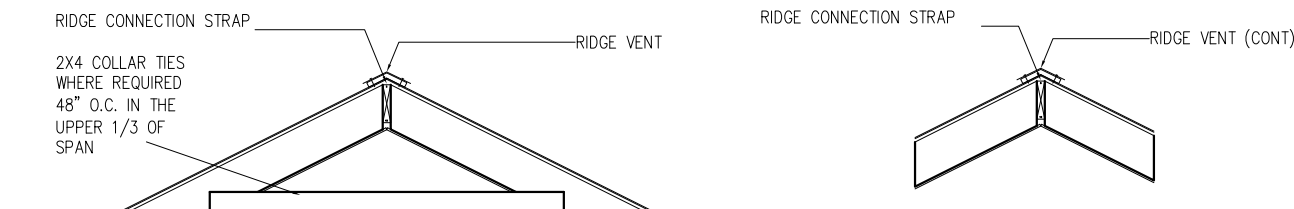


A RAFTER/HEEL CONNECTIONS



B CEILING JOIST CONNECTION

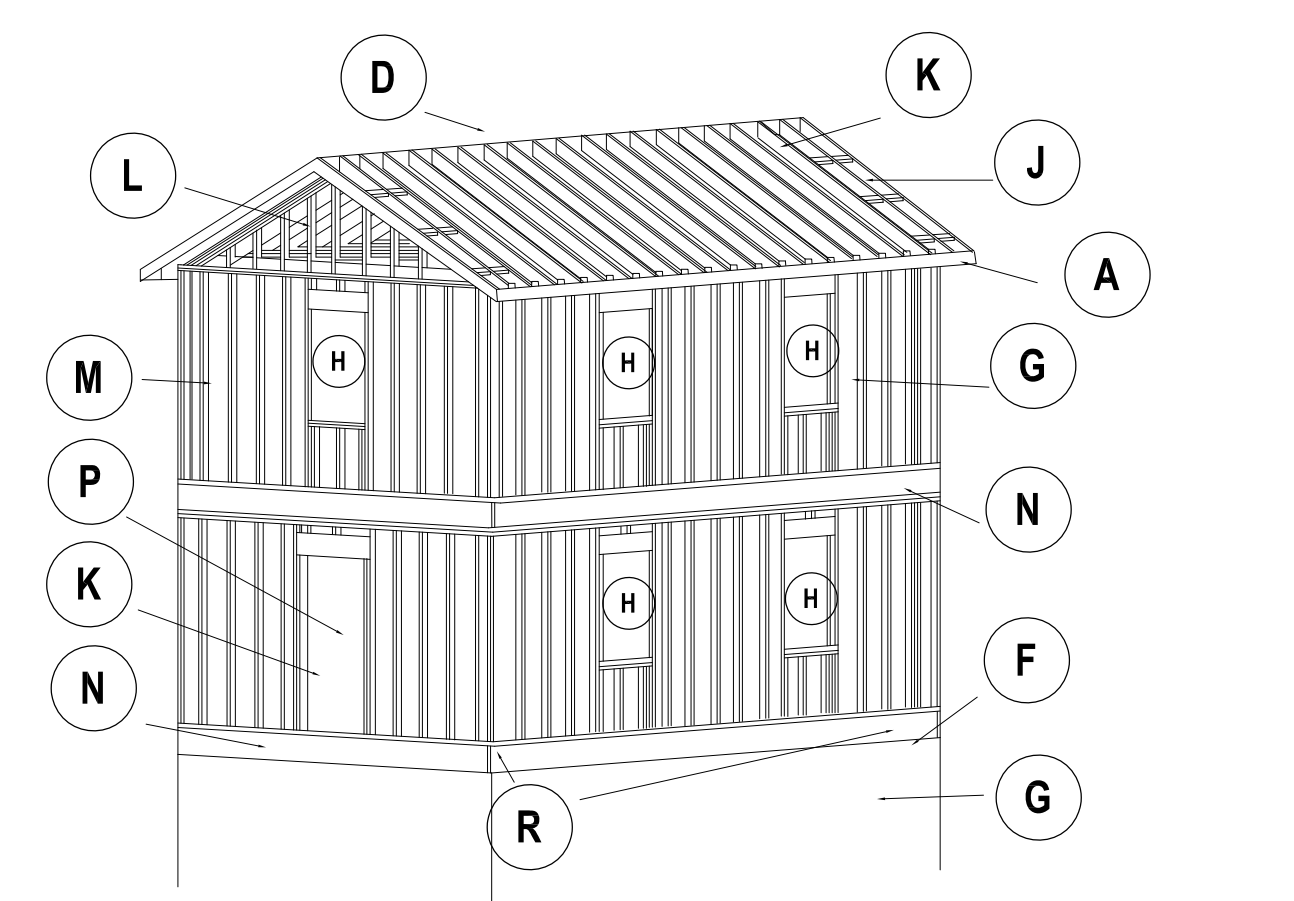
RIDGE CONNECTIONS



C COLLAR TIE DETAIL

D STRUCTURAL RIDGE DETAIL

TYPICAL HOUSE INDICATING VARIOUS FRAMING DETAILS/CONNECTIONS



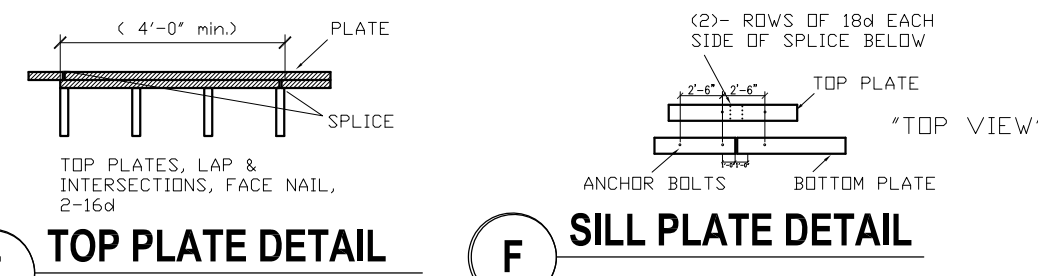
O PORCH POST DETAILS

DOUBLE PLATE SPLICE

LAP SPLICES TO BE CONNECTED W/ THE NO. OF NAILS BETWEEN EACH UPPER AND LOWER PLATE. JOINT

BLDG. WIDTH 52'-6" BLDG. LENGTH 86'-7"

BUILDING WIDTH	24'	36'	44'	52'
NUMBER OF 18# COMMON NAILS	4	12	15	18
2# ANCHOR BOLTS	17	6	8	12
EXPOSURE	19# 110MPH			
5/8" DIAMETER 40# DC 3"x3" x 1'98" WASHERS, SLOTTED				

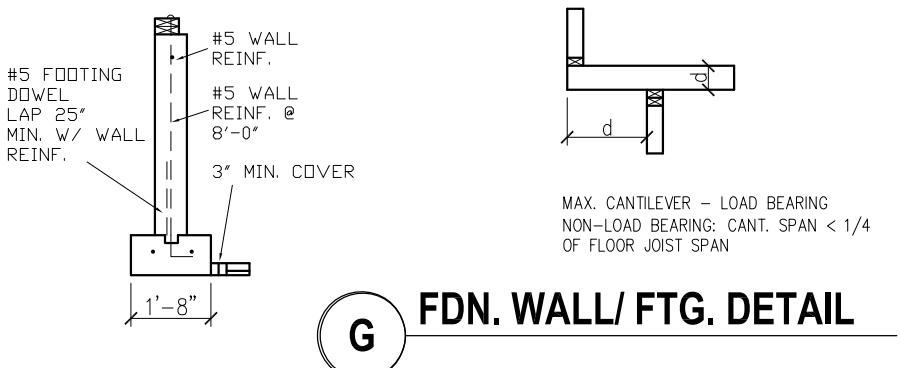


NOTES: ANCHOR BOLTS TO BE A MIN. OF 7" EMBEDDED INTO CONCRETE. MAX. 12" FROM ANY CORNER AND PLICE, MIN. 2" FROM EDGE OF SILL PLATE. ANCHOR BOLT WASHER TO BE 3" X 3" X 1/8", MAX. SLOTTED. USE HOT DIPPED ANCHOR BOLTS AND WASHERS IN ALL FLOOD ZONES. DOUBLE UP ALL 2X6 SILL PLATES AND LAP BOTTOM SPLICE WITH TOP PLATE AND SPIKE TOP PLATE TO BOTTOM PLATE WITH (3) 16# COMMON NAILS WACH SIDE OF SPLICE IN LIEU OF HAVING BOTH ANCHOR BOLTS WITHIN 12" OF SPLICE ON THE BOTTOM PLATE. (NOTE: THE BOTTOM PLATE SPLICE MUST HAVE AT LEAST ONE ANCHOR BOLT WITHIN 12" FROM ITS END.)

FOUNDATION FOOTING AND WALL (86)

FOUNDATION FOOTING TO BE 20" WIDE AND 10" THICK WITH 2- #5 CONTINUOUS BARS

USE A #5 BAR AT THE TOP OF THE FOUNDATION WALL. REINFORCING SHALL BE CONTINUOUS @ CORNERS BY USE OF CORNER BARS OR BENDING. MIN. LAP IS 25". VERTICAL REINF. CONSISTING OF ONE #5 BAR SHALL BE USED AT 8FT O.C. AND SHALL TERMINATE IN THE TOP OF THE FOUNDATION WITH A STANDARD HOOK. FOOTING DOWEL BARS EMBEDDED A MIN. OF 6" INTO THE FOOTING SHALL BE PROVIDED FOR ALL REQUIRED VERTICAL REINFORCEMENT. DOWELS SHALL HAVE A STANDARD 90 DEGREE HOOK.



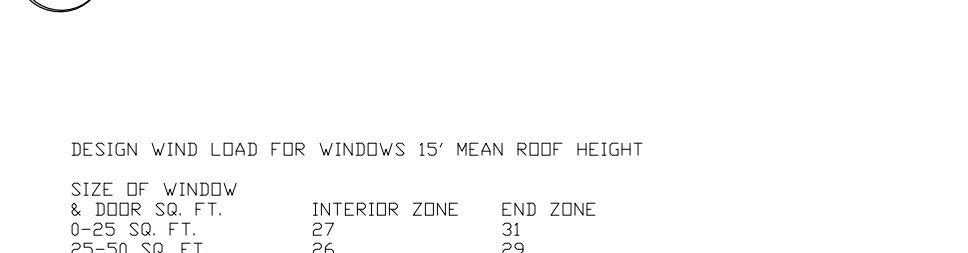
G FDN. WALL/ FTG. DETAIL

WINDOW & DOOR OPENING CONNECTORS (102)

WINDOW SIZE	# JACK STUDS	# KING STUDS	HDR CONNECTOR	BOTTOM CONNECTOR
2'6"x5'6"	1	2	LSTA9	LSTA9
3'0"x5'6"	1	2	LSTA9	LSTA9
8'0"x4'3"	2	2	LSTA9	LSTA9

DOOR SIZE	# JACK STUDS	# KING STUDS	HDR CONNECTOR	BOTTOM CONNECTOR
3'0"x6'8"	1	2	LSTA9	LSTA9
5'6"x6'8"	2	2	LSTA9	LSTA9

H ONE STORY WINDOW HDR. DETAIL (EXT. WALL)



DESIGN WIND LOAD FOR WINDOWS 15' MEAN ROOF HEIGHT

SIZE OF WINDOW & DOOR SQ. FT.	INTERIOR ZONE	END ZONE
0-25 SQ. FT.	27	31
25-50 SQ. FT.	26	29
50-100 SQ. FT.	25	27

DESIGN WIND LOAD FOR WINDOWS 30' MEAN ROOF HEIGHT

SIZE OF WINDOW & DOOR SQ. FT.	INTERIOR ZONE	END ZONE
0-25 SQ. FT.	32	37
25-50 SQ. FT.	31	35
50-100 SQ. FT.	29	33

DESIGN WIND LOAD FOR SKYLIGHTS

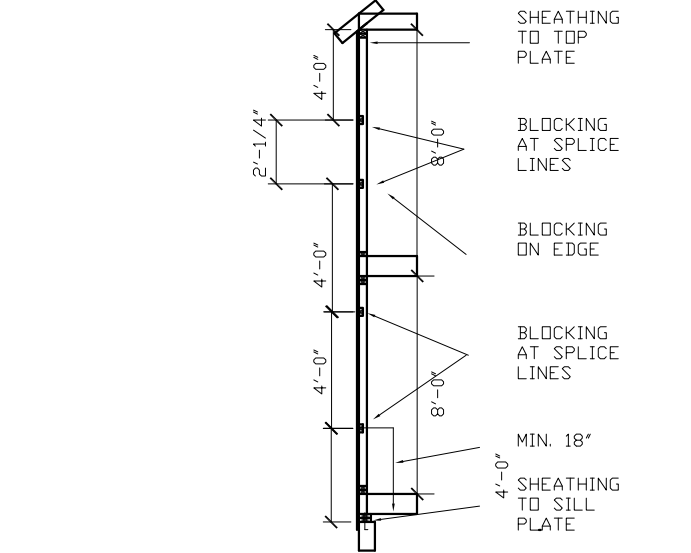
SIZE OF SKYLIGHT	15' ROOF	30' ROOF
ALL SIZES	25	30

P DESIGN PRESSURE REQUIREMENTS (154)

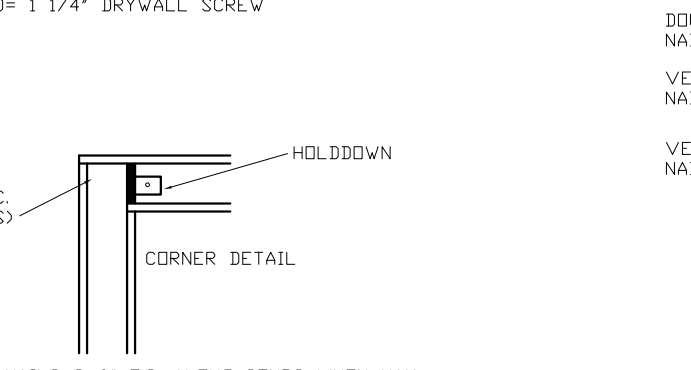
NAILING SCHEDULE

JOINT DESCRIPTION	# COMMON NAILS	# BOX NAILS	NAIL SPACING
ROOF FRAMING: BLOCKING TO RAFTER-TOE NAILED. RIM BOARD TO RAFTER-END NAILED.	2-8#	2-10#	EACH END EACH END
WALL FRAMING: TOP PLATE TO TOP PLATE-FACE NAIL. TOP PLATES @ INTERSECTION-FACE. STUD TO STUD-FACE NAILED. HEADER TO HEADER-FACE NAILED. TOP OR BOT. PLATE TO STUD-END NAIL. BOTTOM PLATE TO FLOOR JOIST-BAND JOIST, ENDJOIST OR BLOCKING.	2-16#	2-16#	PER FOOT JOINTS-EACH SIDE 24" O.C. 16" O.C. ALONG EDGES PER STUD
FLOOR FRAMING: JOIST TO SILL, TOP PLATE OR GIRDER-TOE BRIGING TO JOIST-TOE NAILED. BLOCKING TO JOIST-TOE NAILED. BLOCKING TO SILL OR TOP PLATE-TOE. LEDGER STRAP TO BEAM-FACE JOIST ON LEDGER TO BEAM-TOE BAND JOIST TO JOIST-END NAILED. BAND JOIST TO SILL OR TOP PLATE.	4-8#	4-10#	PER JOIST EACH END EACH END EACH BLDCK EACH JOIST PER JOIST PER JOIST
ROOF SHEATHING: STRUCTURAL PANELS.	8#	10#	SEE CHART A
CEILING SHEATHING: GYPSUM WALLBOARD.	5#	COOLERS	7" EDGE/ 10" FIELD
WALL SHEATHING: STRUCTURAL PANELS. GYPSUM WALLBOARD.	8#	10#	5# COOLERS: 1 5/8" SQ GYPSUM PANEL NAIL, 1 1/2" GA. 15/64" DIA. HEAD= 1 1/4" DRYWALL SCREW. SEE CHART B 7" EDGE/ 10" FIELD
FLOOR SHEATHING: STRUCTURAL PANELS @ 1'	8#	10#	6" EDGE/ 12" FIELD

M WALL SHEATHING REQ'MNTS (139)



N WALL SHEATHING NAILING REQ'MNTS



R HOLDDOWN REQUIREMENTS

PROVIDE 16# COMMON NAILS @ 6" O.C. ALONG STUDS WHEN MAX. LOAD IS LESS THAN 3070 LBS. PROVIDE (1) 16# COMMON FOR EACH 192 LBS. ABOVE 3070 LBS.

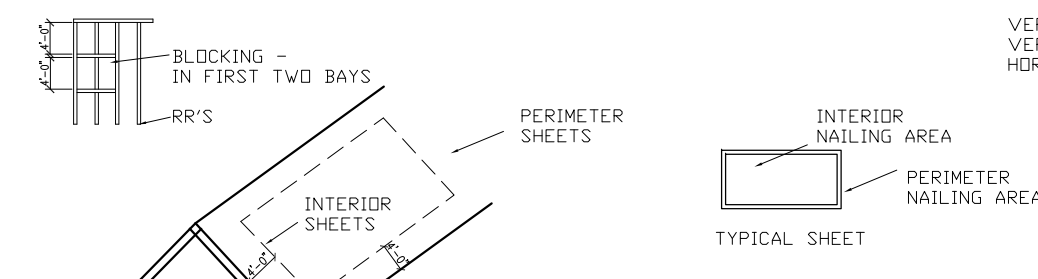


ROOF SHEATHING REQUIREMENTS FOR WIND LOADS

EXPOSURE "B" = 1/2" APPLIED WITH CORROSION RESISTANT FASTENERS (R 905.2.2) ATTACHMENT REQUIREMENT ARE TO BE APPLIED ON DOUG. FIR RAFTERS WITH 8# COMMON OR 10# BOX PERIMETER SHEETS ARE 4'-0" OUT FROM ALL EDGES OF ROOF PLANE.

L CEILING REQUIREMENTS (124)

WHERE ATTIC FLOOR OR CEILING DIAPHRAGM @ 8'-0" IN FROM GABLE WALLS IS USED TO BRACE THE GABLE END WALL OR WHERE A HIP ROOF SYSTEM IS USED YOU DOCK HAVE TO BLOCK THE FIRST TWO RAFTER BAYS.



CEILING DIAPHRAGM

ONE STORY - EAVE HEIGHT UP TO 15'

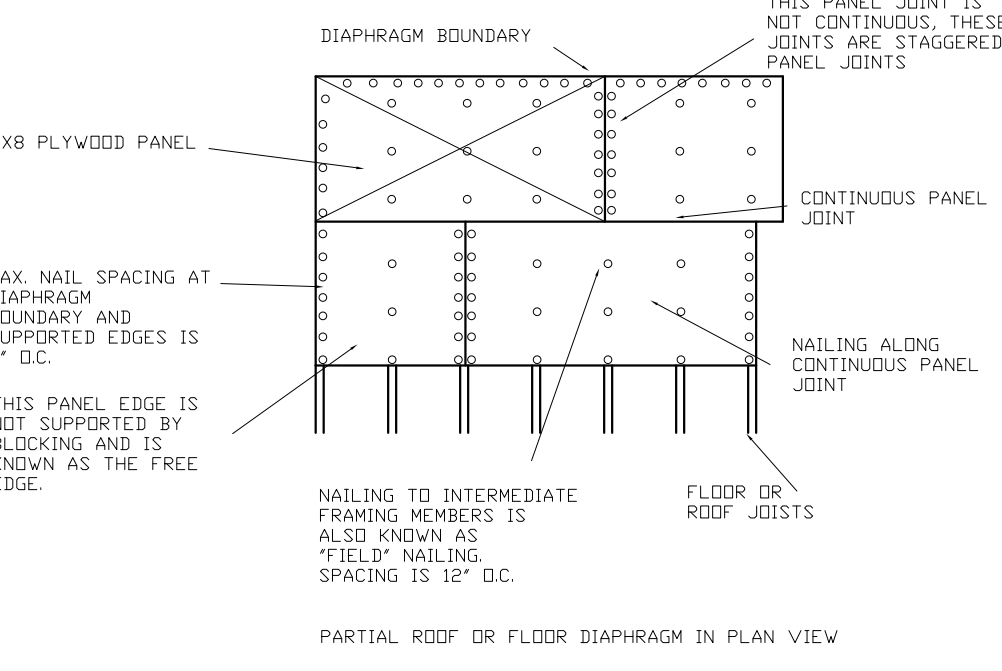
BLDG. WIDTH	DIAG. LENGTH	# OF B#
54"	8'	6
36"	8'	4
44"	12'	4

TWO STORY - EAVE HEIGHT UP TO 30'

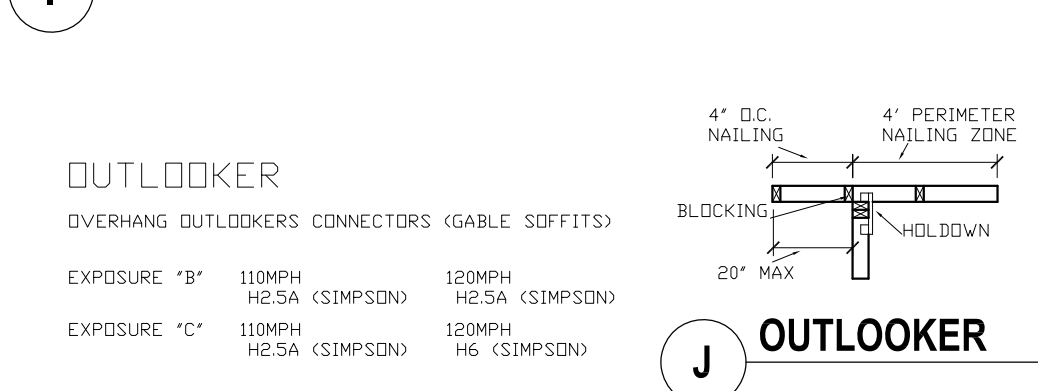
BLDG. WIDTH	DIAG. LENGTH	# OF B#
54"	8'	6
36"	12'	4
44"	12'	4

SHEATHING REQUIREMENTS: 2X4 COLLAR TIES IN UPPER 1/3, EVERY THIRD RAFTER

Q NAILING REQUIREMENTS



I TWO STORY WINDOW HEADER DETAIL (EXT. WALL)

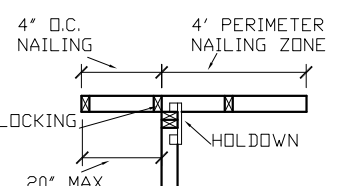


J OUTLOOKER

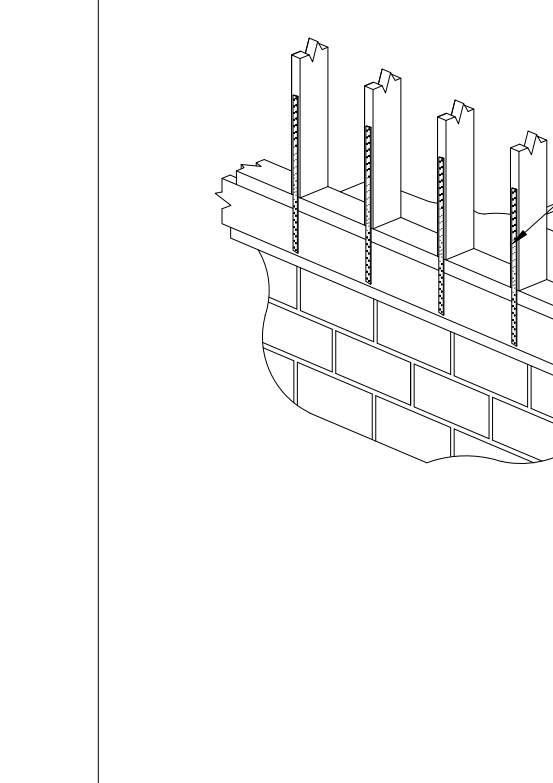
OUTLOOKER

OVERHANG OUTLOOKERS CONNECTORS (GABLE SOFFITS)

EXPOSURE "B"	110MPH H2.5A (SIMPSON)	120MPH H2.5A (SIMPSON)
EXPOSURE "C"	110MPH H2.5A (SIMPSON)	120MPH H6 (SIMPSON)



S STRAPPING REQUIREMENTS



5230A.10.3 ROOF FRAMING: EVERY ROOF GIRDER AND AT LEAST EVERY ALTERNATE ROOF BEAM SHALL BE ANCHORED TO THE SUPPORTING MEMBER AND EVERY RAFTER AND EVERY SAWTOOTH CONSTRUCTION SHALL BE ANCHORED TO THE MAIN ROOF CONSTRUCTION. SUCH ANCHORS SHALL CONSIST OF STEEL OR WOOD BOLTS OF SUFFICIENT STRENGTH TO RESIST VERTICAL UPLIFT OF THE ROOF.

5230B.4 FOUNDATION PLATES OR SLABS: FOUNDATIONS AND FOOTINGS SHALL BE AS SPECIFIED IN CHAPTER 18. FOUNDATION PLATES OR SLABS RESTING ON CONCRETE OR MASONRY FOUNDATIONS SHALL COMPLY WITH 5230A.3.1. FOUNDATION PLATES OR SLABS SHALL BE BOLTED OR ANCHORED TO THE FOUNDATION. BOLTS SHALL BE EMBEDDED AT LEAST 7 INCHES (178 MM) INTO CONCRETE OR MASONRY AND SPACED MORE THAN 12 INCHES (305 MM) APART. THERE SHALL BE A MINIMUM OF TWO BOLTS OR ANCHOR STRAPS PER BEAM WITH ONE BOLT OR ANCHOR STRAP LOCATED NOT MORE THAN 12 INCHES (305 MM) OR LESS THAN 4 INCHES (102 MM) FROM EACH END OF EACH BEAM. A PROPERLY CUT AND ANCHOR SHALL BE TIGHTENED ON EACH END TO THE PLATE.

5230B.5 SILL ANCHORAGE: WHERE FOUNDATIONS ARE REQUIRED BY 5230B.3.1, BRACED WALL LINE SILLS SHALL BE ANCHORED TO CONCRETE OR MASONRY FOUNDATIONS. SUCH ANCHORS SHALL CONFORM TO THE REQUIREMENTS OF 5230B.5.1 EXCEPT THAT SUCH ANCHORS SHALL BE SPACED AT NOT MORE THAN FEET (101 MM) ON CENTER FOR STRUCTURES OVER TWO STOREYS IN HEIGHT. THE ANCHORS SHALL BE DISTRIBUTED ALONG THE LENGTH OF THE BRACED WALL LINE. OTHER ANCHORAGE DEVICES HAVING EQUIVALENT CAPACITY ARE PERMITTED.

1ST TO 2ND FLOOR CONNECTION @ EACH STUD: SIMPSON STRONG-TIE C-SD2 COILED STRAP @ ROOF RAFTER

SIMPSON STRONG-TIE H1 @ EACH RAFTER

SIMPSON STRONG-TIE C-SD2 COILED STRAP @ EACH STUD

STUD TO SILL PLATE - 20 GAUGE STRAP @ EACH STUD

TOX5 - UPLIFT = 3695# (STANDARD WASHER REQUIRED)

HPA#22 JACK STUD TIE DOWN

USP S7B SERIES ANCHOR BOLT AT EACH CORNER 6" OFF CORNER IN BOTH DIRECTIONS

ARCHITECT: RACHAEL JUDGE, RA
66 WYOMING AVENUE
LONG BEACH, NY 11561
516-889-1932
NY LIC. 034068

CONSULTANTS:

PROJECT NAME: KALBO RESIDENCE
100 WOODMERE BLVD SOUTH
WOODSBURG, NY 11598

R. JUDGE 2022

NOTES:

13 AUG 23 REDUCED SCOPE RJ

3 MAR 23 DOB REVIEW RJ

25 JAN 23 DOB REVIEW RJ

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GENERAL SPECIFICATIONS & DETAILS

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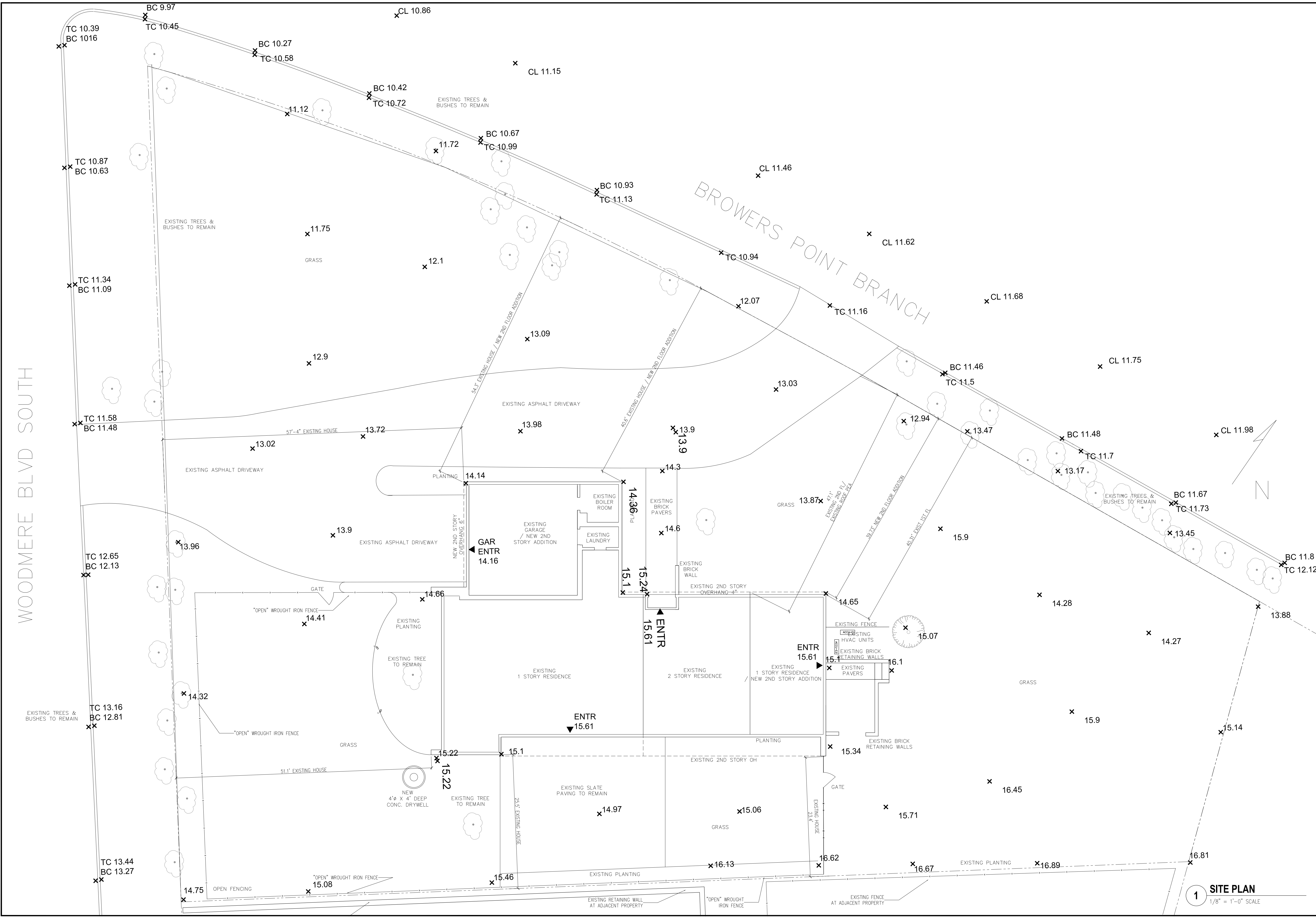
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WOODMERE BLVD SOUTH

BROWERS POINT BRANCH

Judge Architecture, P.C.

ARCHITECT:
RACHAEL JUDGE, RA
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 NY LIC. 034068

CONSULTANTS:

PROJECT NAME:
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 100 WOODMERE BLVD SOUTH
 WOODSBURG, NY 11598

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16 MAR 23	SETBACKS	RJ	
3 MAR 23	DOB REVIEW	RJ	
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SITE PLAN

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1 SITE PLAN
 1/8" = 1'-0" SCALE

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25 JAN 23	DOB REVIEW	RJ	
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**FOUNDATION
 PLAN &
 DETAILS**

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DATE: 19 JULY 2022
 PROJECT No: 2022-1
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 SCALE: AS NOTED
 DWG No:

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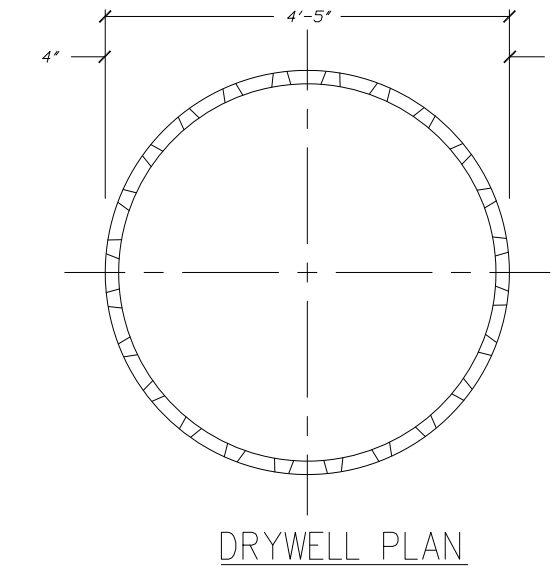
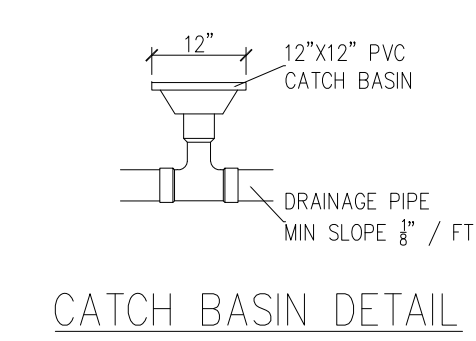
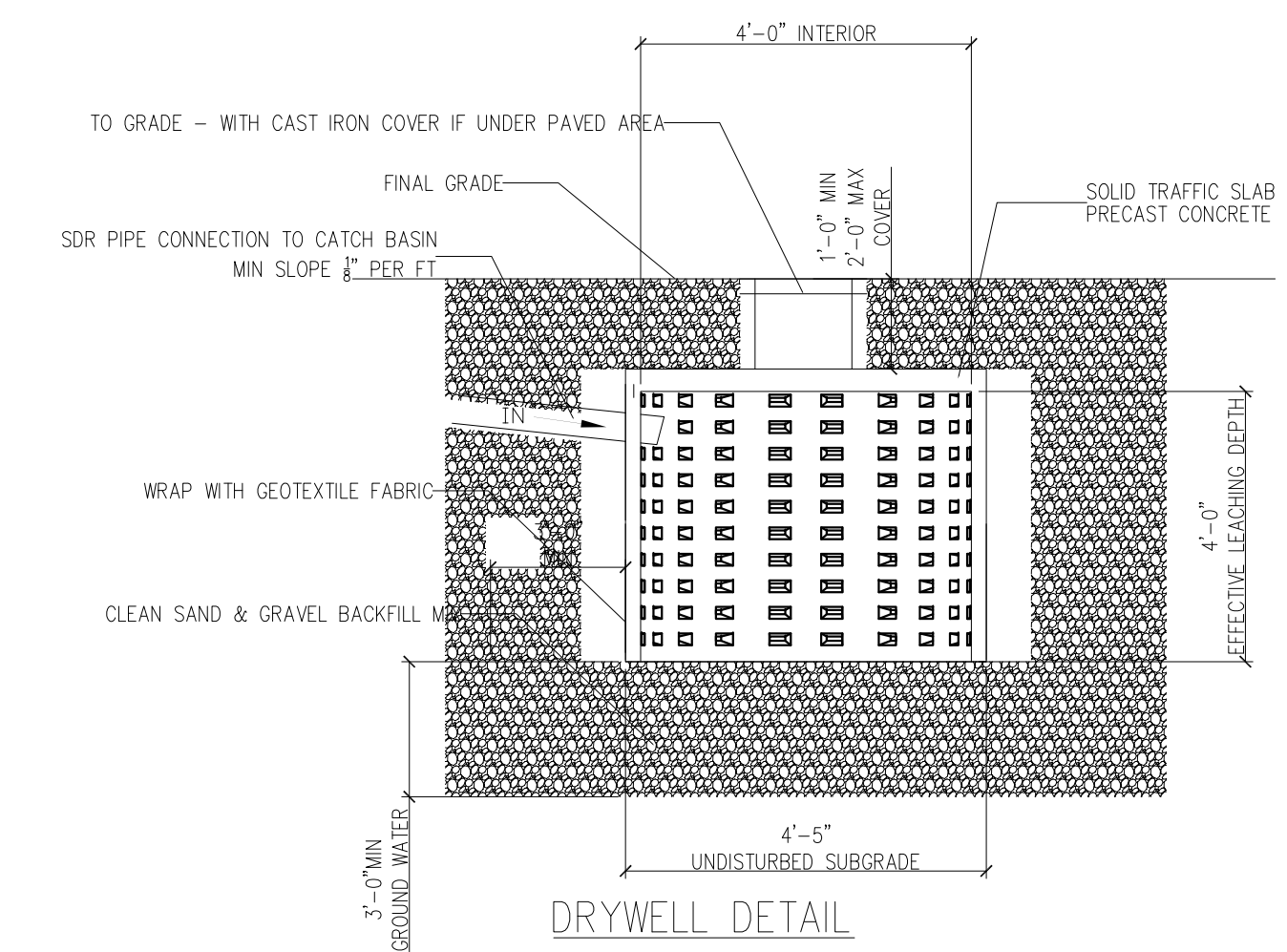
DOB APPROVAL

DRYWELL CALCULATIONS:

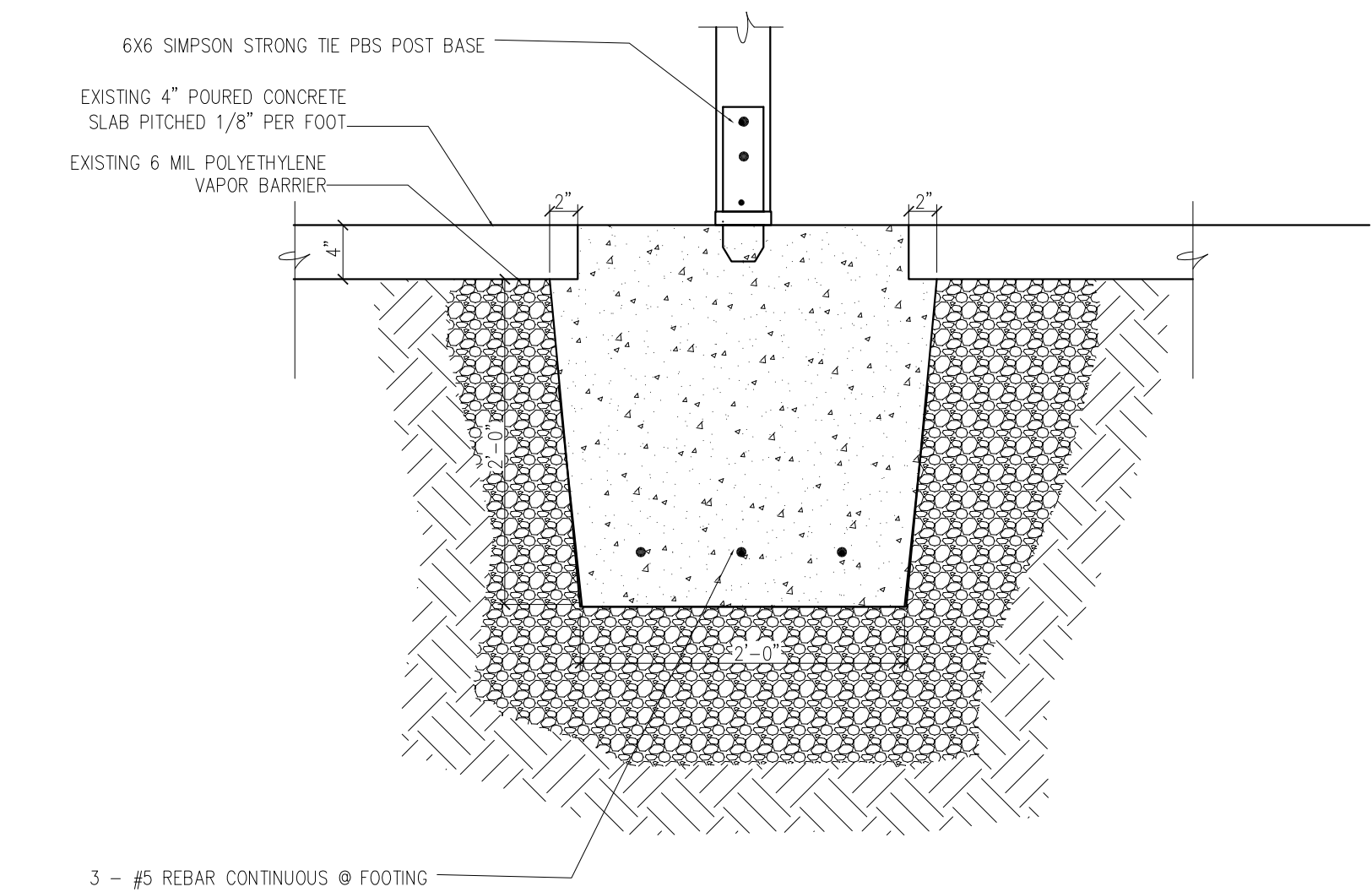
EXISTING IMPERVIOUS AREA = 7,049.55 SQ FT
 PROPOSED IMPERVIOUS AREA = 7,079.95 SQ FT (SEE AREA CALCULATIONS SHEET A001)
 NEW IMPERVIOUS AREAS PROPOSED = 7,079.95 SQ FT - 7,049.55 SQ FT = 30.4 SQ FT
 RUNOFF = 30.4 X 3"/12" = 7.6 CU FT REQUIRED CAPACITY4

RING DESIGN:

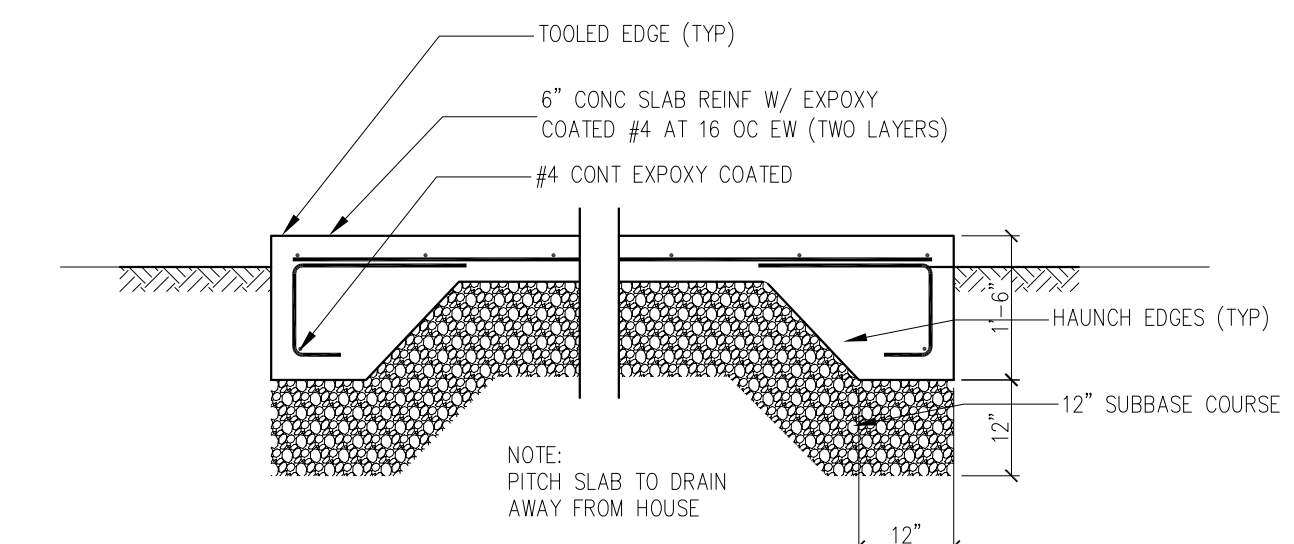
USE (1) 4'-5" Ø X 4' DEEP (WITH 2' EFFECTIVE RADIUS)
 CAPACITY $\pi R^2 = 3.14 \times 2 \times 2 = 12.46 \times 4' \text{ DEPTH} = 50.24 \text{ CU FT PER DRYWELL}$
 PROVIDED 1 - DRYWELL @ 50.24 CAPACITY > 7.6 REQ



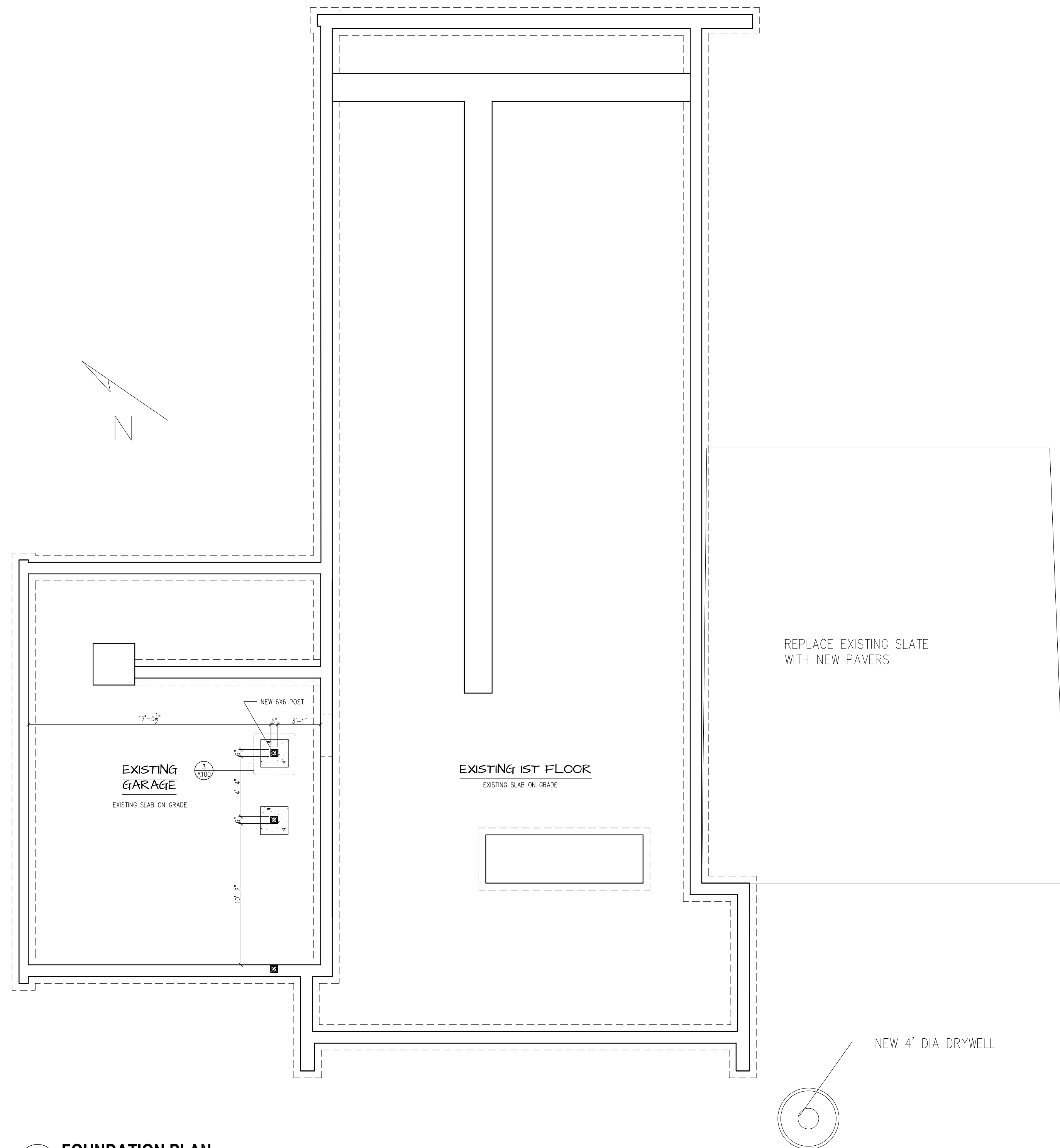
2 DRYWELL DETAIL
 NOT TO SCALE



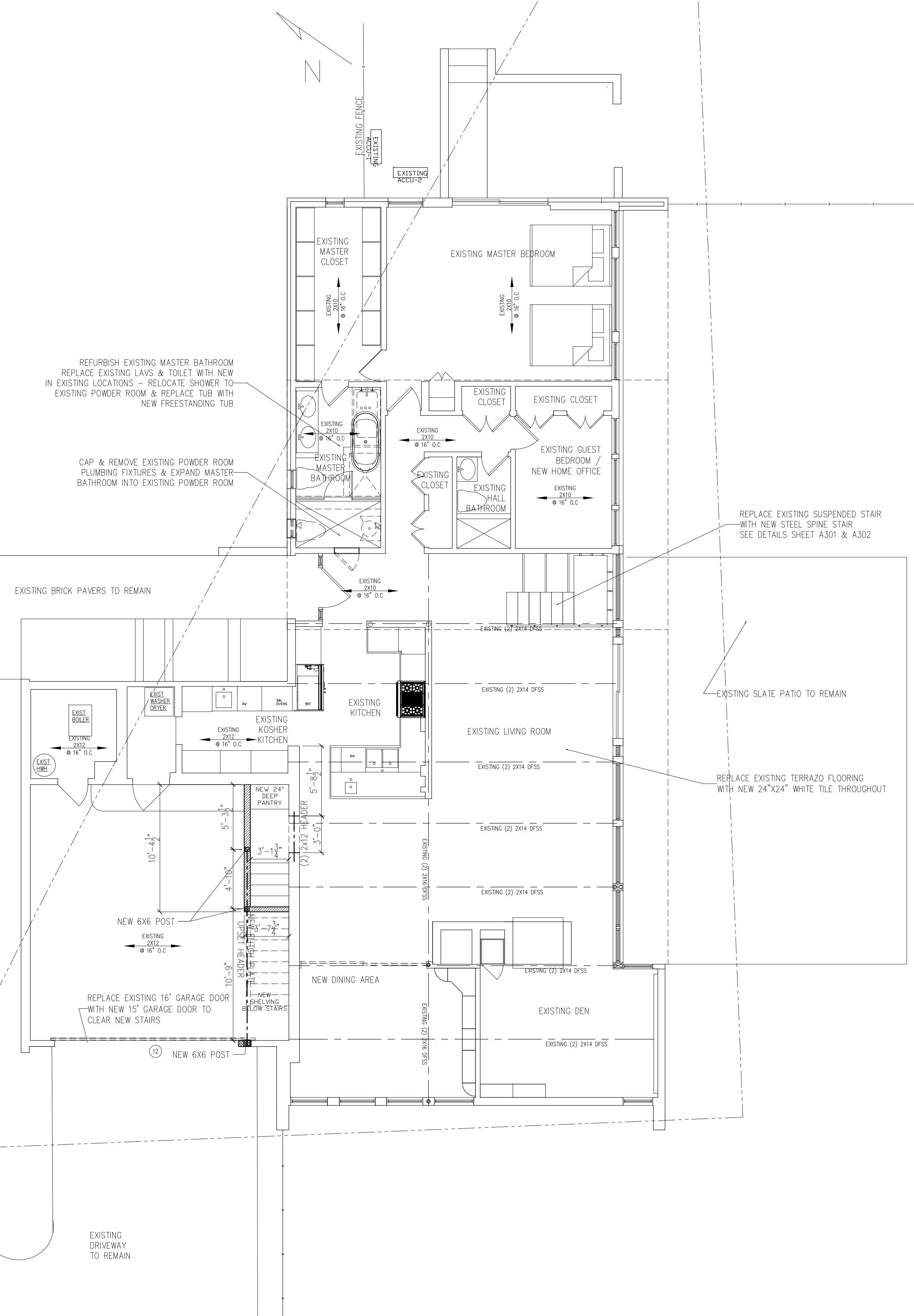
3 NEW POST FOUNDATION DETAIL
 SCALE: 1" = 1'-0"



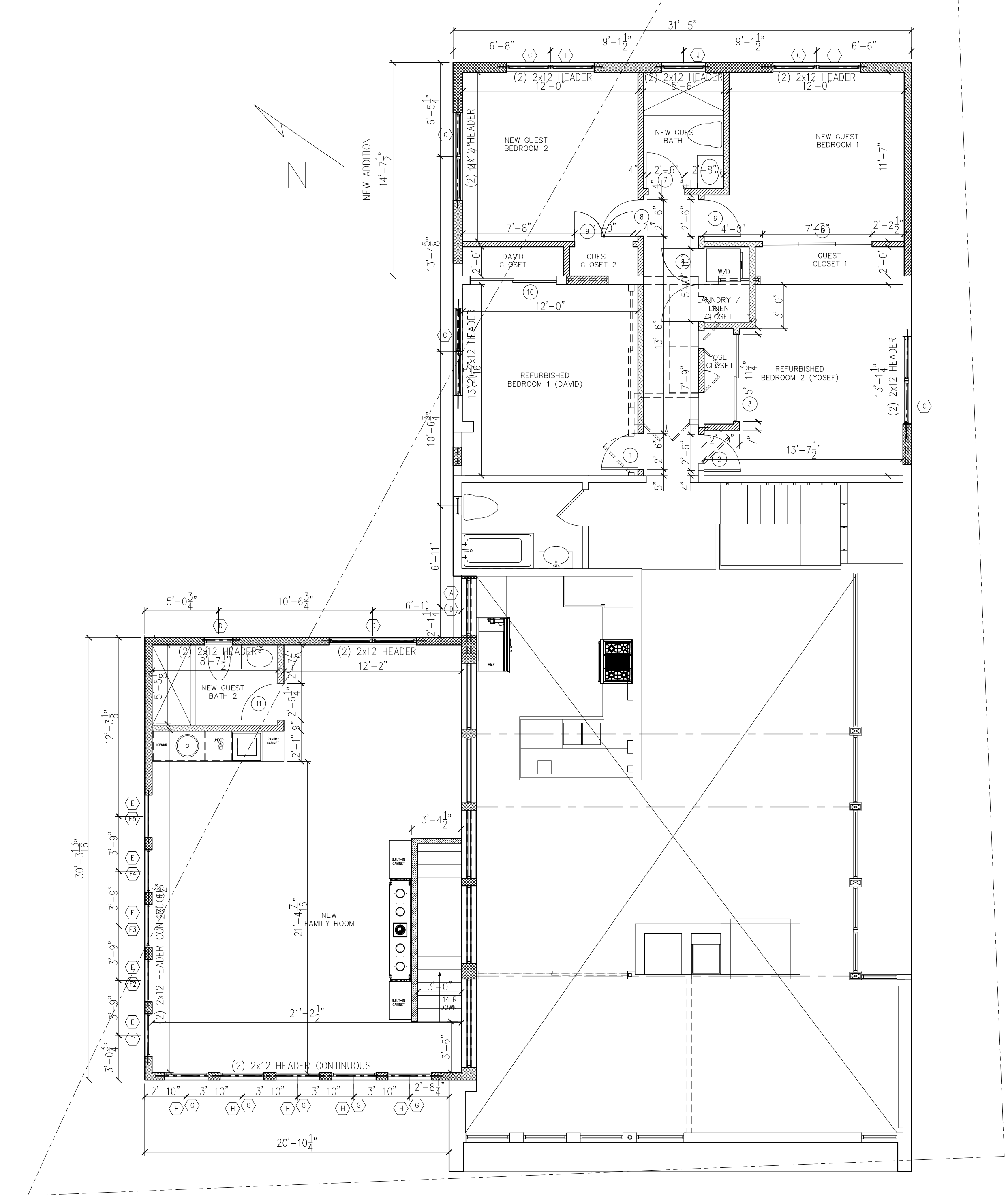
6 CONCRETE PAD HAUNCH FOOTING DETAIL
 1/2" = 1'-0" SCALE



1 FOUNDATION PLAN
 3/16" = 1'-0" SCALE



1 PROPOSED-1ST FLOOR PLAN
3/16" = 1'-0" SCALE



2 PROPOSED 2ND FLOOR PLAN
3/16" = 1'-0" SCALE

CONSULTANTS:

PROJECT NAME:
KALBO RESIDENCE
 100 WOODMERE BLVD SOUTH
 WOODSBURG, NY 11598

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NOTES:

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- 3 MAR 23 DOB REVIEW RJ
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**ROOF PLAN,
 DOOR & WINDOW
 SCHEDULES**

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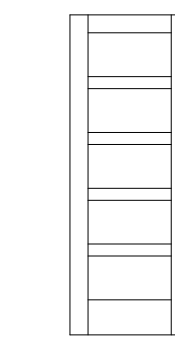
DOOR SCHEDULE

FL	#	WIDTH	HEIGHT	THICK	MAT.	JAMB	CASING	SWING	FINISH	HARD WARE	NOTE	LOCATION
2ND FLOOR	01	2'-6"	6'-8"	1 3/4"	PRIMED MDF	WD	WD	LH	PAINT	"A"	TRUSTILE OR SIMILAR 5 PANEL TMUN5000 MDF INTERIOR DOOR SQUARE STICKING 1 1/2" THICKNESS	DAVID BEDROOM
	02	2'-6"	6'-8"	1 3/4"	PRIMED MDF	WD	WD	RH	PAINT	"A"	TRUSTILE OR SIMILAR 5 PANEL TMUN5000 MDF INTERIOR DOOR SQUARE STICKING 1 1/2" THICKNESS	YOSEF BEDROOM
	03	(2) 3'-0"	6'-8"	1 3/4"	PRIMED MDF	WD	WD	BYPASS SLIDING	PAINT	"D"	TRUSTILE OR SIMILAR 5 PANEL TMUN5000 MDF INTERIOR DOOR SQUARE STICKING 1 1/2" THICKNESS	YOSEF CLOSET
	04	2'-6"	6'-8"	1 3/4"	PRIMED MDF	WD	WD	RH	PAINT	"C"	TRUSTILE OR SIMILAR 5 PANEL TMUN5000 MDF INTERIOR DOOR SQUARE STICKING 1 1/2" THICKNESS	LAUNDRY/ LINEN CLOSET
	05	(3) 2'-6"	6'-8"	1 3/4"	PRIMED MDF	WD	WD	BYPASS SLIDING	PAINT	"E"	TRUSTILE OR SIMILAR 5 PANEL TMUN5000 MDF INTERIOR DOOR SQUARE STICKING 1 1/2" THICKNESS	GUEST CLOSET 1
	06	(2) 2'-6"	6'-8"	1 3/4"	PRIMED MDF	WD	WD	RHR/LHR	PAINT	"C"	TRUSTILE OR SIMILAR 5 PANEL TMUN5000 MDF INTERIOR DOOR SQUARE STICKING 1 1/2" THICKNESS	GUEST BEDROOM 1
	07	2'-6"	6'-8"	1 3/4"	PRIMED MDF	WD	WD	RH	PAINT	"A"	TRUSTILE OR SIMILAR 5 PANEL TMUN5000 MDF INTERIOR DOOR SQUARE STICKING 1 1/2" THICKNESS	GUEST BATHROOM 1
	08	2'-6"	6'-8"	1 3/4"	PRIMED MDF	WD	WD	LH	PAINT	"A"	TRUSTILE OR SIMILAR 5 PANEL TMUN5000 MDF INTERIOR DOOR SQUARE STICKING 1 1/2" THICKNESS	GUEST BEDROOM 2
	09	(2) 2'-0"	6'-8"	1 3/4"	PRIMED MDF	WD	WD	LH	PAINT	"C"	TRUSTILE OR SIMILAR 5 PANEL TMUN5000 MDF INTERIOR DOOR SQUARE STICKING 1 1/2" THICKNESS	GUEST CLOSET 2
	10	(2) 3'-0"	6'-8"	1 3/4"	PRIMED MDF	WD	WD	BYPASS SLIDING	PAINT	"D"	TRUSTILE OR SIMILAR 5 PANEL TMUN5000 MDF INTERIOR DOOR SQUARE STICKING 1 1/2" THICKNESS	DAVID CLOSET
	11	2'-6"	6'-8"	1 3/4"	PRIMED MDF	WD	WD	LH	PAINT	"A"	TRUSTILE OR SIMILAR 5 PANEL TMUN5000 MDF INTERIOR DOOR SQUARE STICKING 1 1/2" THICKNESS	GUEST BATHROOM 2
1ST FL	12	8'-0"	7'-0"	2 1/2"	ALUMINUM FRAME	N/A	N/A	OVERHEAD GARAGE	PRE-FINISHED	"F"	CLOPAY AVANTE COLLECTION CLEAR ANODIZED ALUMINUM FRAME INSULATED FROSTED GLASS	GARAGE

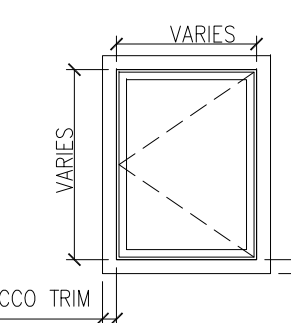
HARDWARE:

CONFIRM ALL HARDWARE CHOICES WITH OWNER PRIOR TO PURCHASE

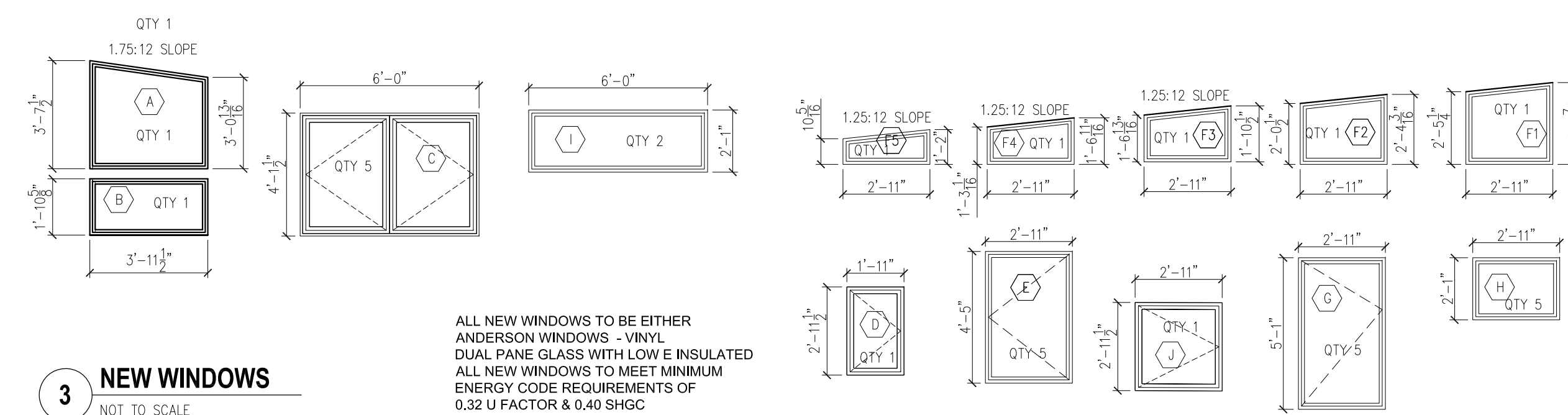
TYPE	QTY.	HARDWARE	MODEL #	FINISH	MANUF
HARDWARE SET: A PRIVACY	1 PER DOOR	EMTEK HERCULES PRIVACY LEVER WITH SQUARE ROSETTE & CF MECHANISM (HIDDEN SCREWS)	MODEL #C5210HEUS15	SATIN NICKEL US15	EMETK
	2 PER DOOR	4" SQ CORNER HINGES -	MODEL #91014US15		
HARDWARE SET: A PASSAGE	1 PER DOOR	EMTEK HERCULES PASSAGE LEVER WITH SQUARE ROSETTE & CF MECHANISM (HIDDEN SCREWS)	MODEL #C5110HEUS15	SATIN NICKEL US15	EMETK
	2 PER DOOR	4" SQ CORNER HINGES -	MODEL #91014US15		
HARDWARE SET: C DUMMY	1 PER DOOR	EMTEK HERCULES DUMMY LEVER WITH SQUARE ROSETTE DOUBLE NON-TURNING DUMMY	MODEL #C5110HEUS15	SATIN NICKEL US15	EMETK
	2 PER DOOR	4" SQ CORNER HINGES -	MODEL #91014US15		
HARDWARE SET: D 2 DOOR SLIDER	1 PER DOOR	JOHNSON HARDWARE SLIDING BYPASS SOFT-CLOSE/OPEN DOOR HARDWARE 72" TRACK	MODEL # 20D722D5	ALUMINUM	JOHNSON
	1 PER DOOR	2 1/2" SQUARE FLUSH PULL	MODEL # 2213US15	SATIN NICKEL US15	EMETK
HARDWARE SET: E 3 DOOR SLIDER	1 PER DOOR	JOHNSON HARDWARE SLIDING BYPASS SOFT-CLOSE/OPEN DOOR HARDWARE 96" TRACK	MODEL # 20D963D5	ALUMINUM	JOHNSON
	1 PER DOOR	2 1/2" SQUARE FLUSH PULL	MODEL # 2213US15	SATIN NICKEL US15	EMETK
HARDWARE SET: F GARAGE DOORS	1 SET PER GARAGE DOOR	HARDWARE TO BE PROVIDED WITH CLOPAY GARAGE DOOR SPADE STEP PLATE, SPADE LIFT HANDLES & SPADE STRAP HINGE GARAGE DOOR OPENER - REUSE EXISTING		CLEAR ALUMINUM (ANODIZED)	CLOPAY GARAGE DOOR EXISTING



TRUSTILE OR SIMILAR TMUN500 (5 PANEL) PRIMED MDF FINISH

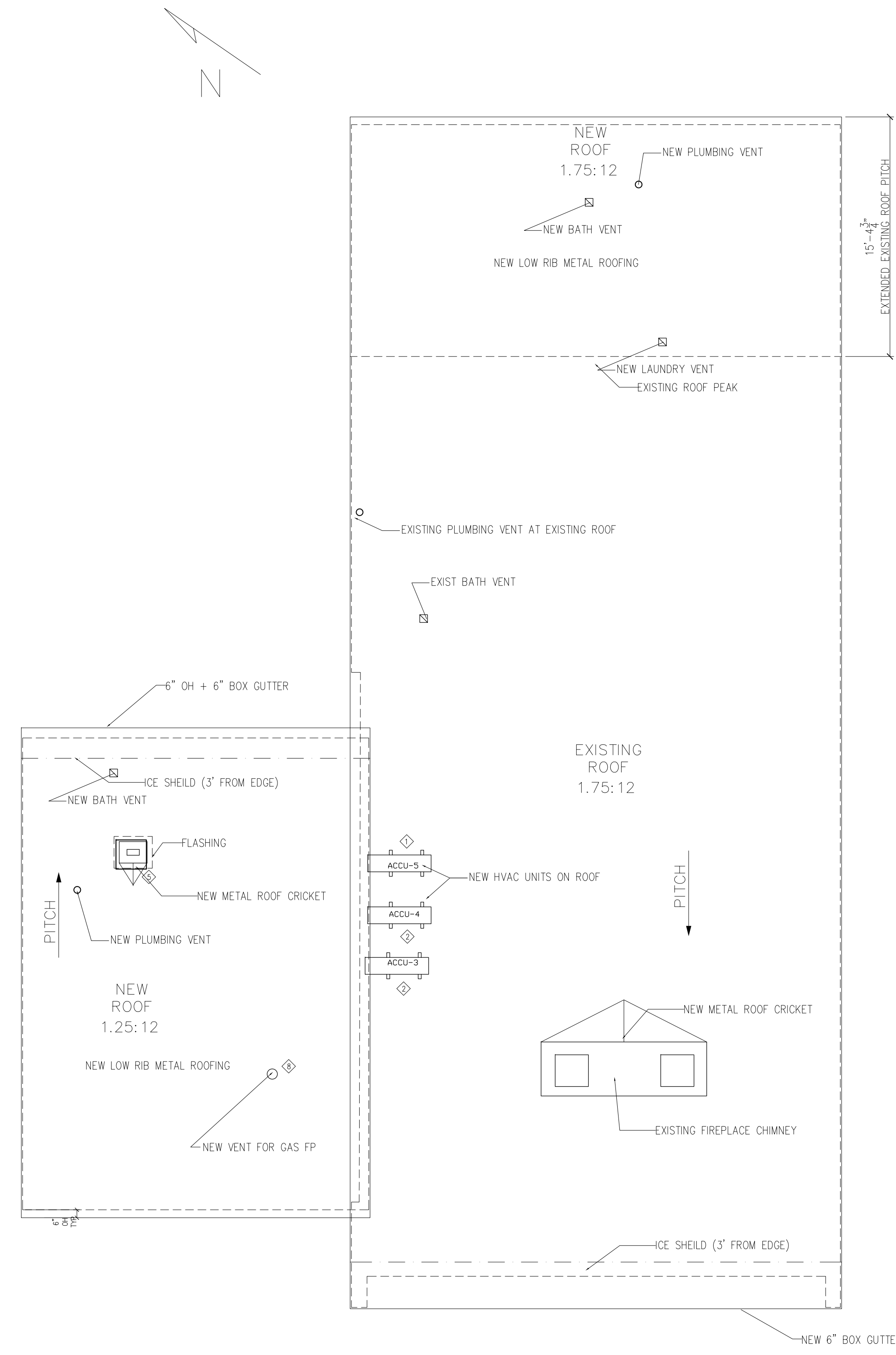


2 WINDOW TRIM @ STUCCO WALLS
 NOT TO SCALE



3 NEW WINDOWS
 NOT TO SCALE

ALL NEW WINDOWS TO BE EITHER ANDERSON WINDOWS - VINYL DUAL PANE GLASS WITH LOW E INSULATED ALL NEW WINDOWS TO MEET MINIMUM ENERGY CODE REQUIREMENTS OF 0.32 U FACTOR & 0.40 SHGC (PROPOSED 0.26-3 U FACTOR)



1 PROPOSED-ROOF PLAN
 3/16" = 1'-0" SCALE

13	AUG 23	REDUCED SCOPE	RJ
3	MAR 23	DOB REVIEW	RJ
25	JAN 23	DOB REVIEW	RJ

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**1ST & 2ND FLOOR
 REFLECTED CEILING /
 LIGHTING PLANS**

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DATE: 19 JULY 2022
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DOB APPROVAL

ELECTRICAL LEGEND

SYMBOL	FIXTURE TYPE
Ⓢ	SWITCH - LUTRON DIVA
Ⓢ	DIMMER SWITCH - LUTRON DIVA DIMMER
Ⓢ	3-WAY SWITCH - LUTRON DIVA
Ⓢ	ELECTRONIC DIMMERS SWITCH (CL) - FOR FLUORESCENT OR LED FIXTURE DIMMING
Ⓢ	TELEVISION OUTLET - TV CABLE
Ⓢ	DIGITAL PROGRAMMABLE THERMOSTAT
Ⓢ	INTERCONNECTED HARD WIRED, BATTERY BACK UP COMBINATION SMOKE & CARBON MONOXIDE DETECTOR
Ⓢ	DATA OUTLET
Ⓢ	TELEPHONE OUTLET
Ⓢ	DUPLEX OUTLET LUTRON DESIGNER
Ⓢ	GROUND FAULT INTERRUPTER DUPLEX OUTLET LUTRON DESIGNER
Ⓢ	GAS DRYER - DEDICATED 120 V / 60Hz, 4A MAX. CONFIRM AMPERAGE WITH MANUFACTURER'S SPECIFICATIONS
Ⓢ	WASHING MACHINE - DEDICATED 120 V / 60Hz, 12A MAX. CONFIRM AMPERAGE WITH MANUFACTURER'S SPECIFICATIONS

ALL SWITCHES TO BE MOUNTED AT 48" AFF UNLESS OTHERWISE NOTED

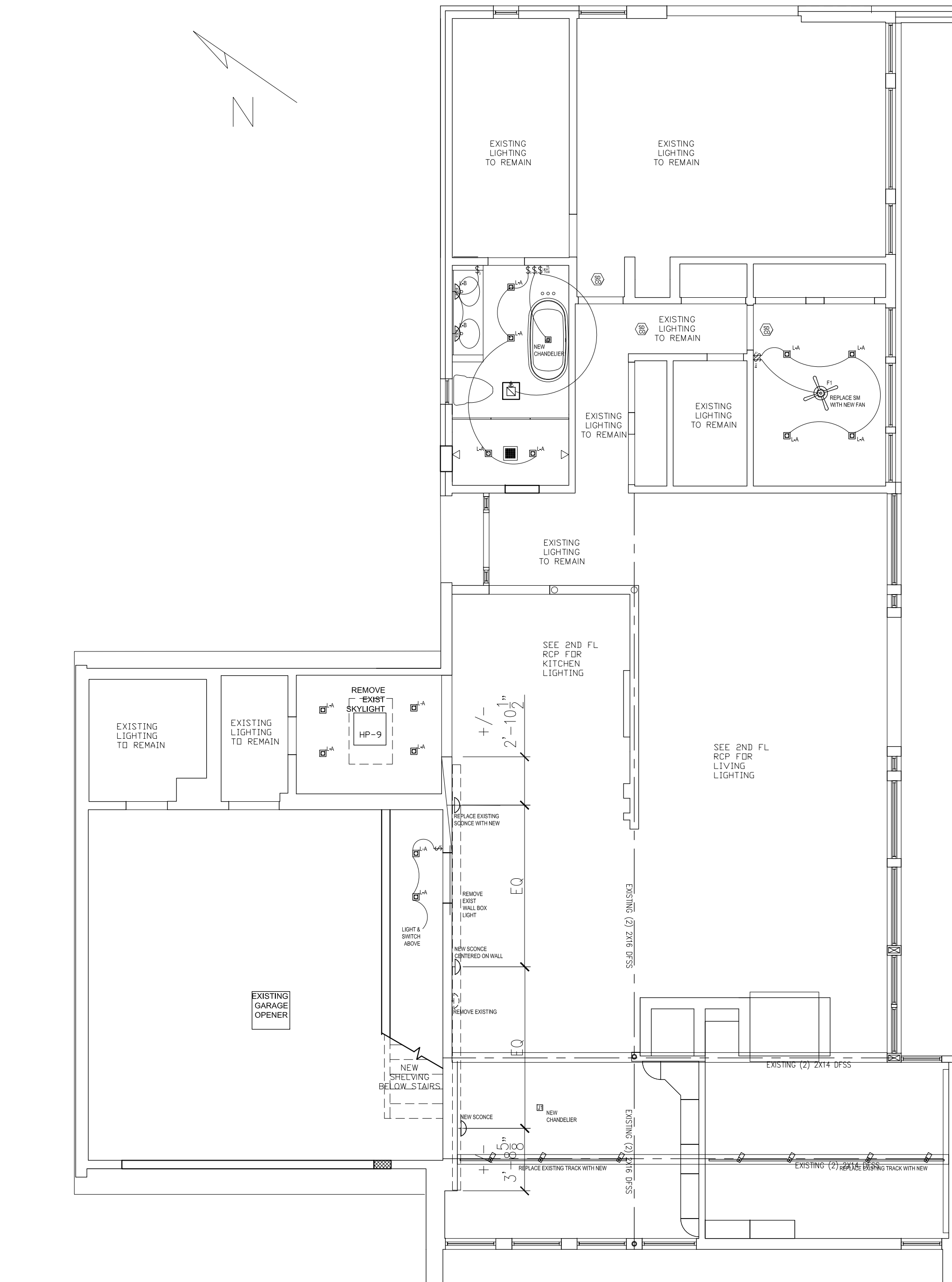
LIGHTING SCHEDULE

SYMBOL	FIXTURE TYPE
Ⓢ	JUNCTION BOX FOR OWNER SUPPLIED FIXTURE
Ⓢ	WALL SCORING (INSTALL OWNER SUPPLIED FIXTURE)
LA	HVC LIGHTING SQUARE TRIM RECESSED LED FIXTURE
LA	MINI RECESSED LED FIXTURE
LC	RECESSED LIGHT FIXTURE
LO	RECESSED LIGHT FIXTURE - ANGLED CEILING MOUNT
Ⓢ	BATHROOM EXHAUST
Ⓢ	REPLACE EXISTING TRACK WITH NEW LED TRACK & FIX

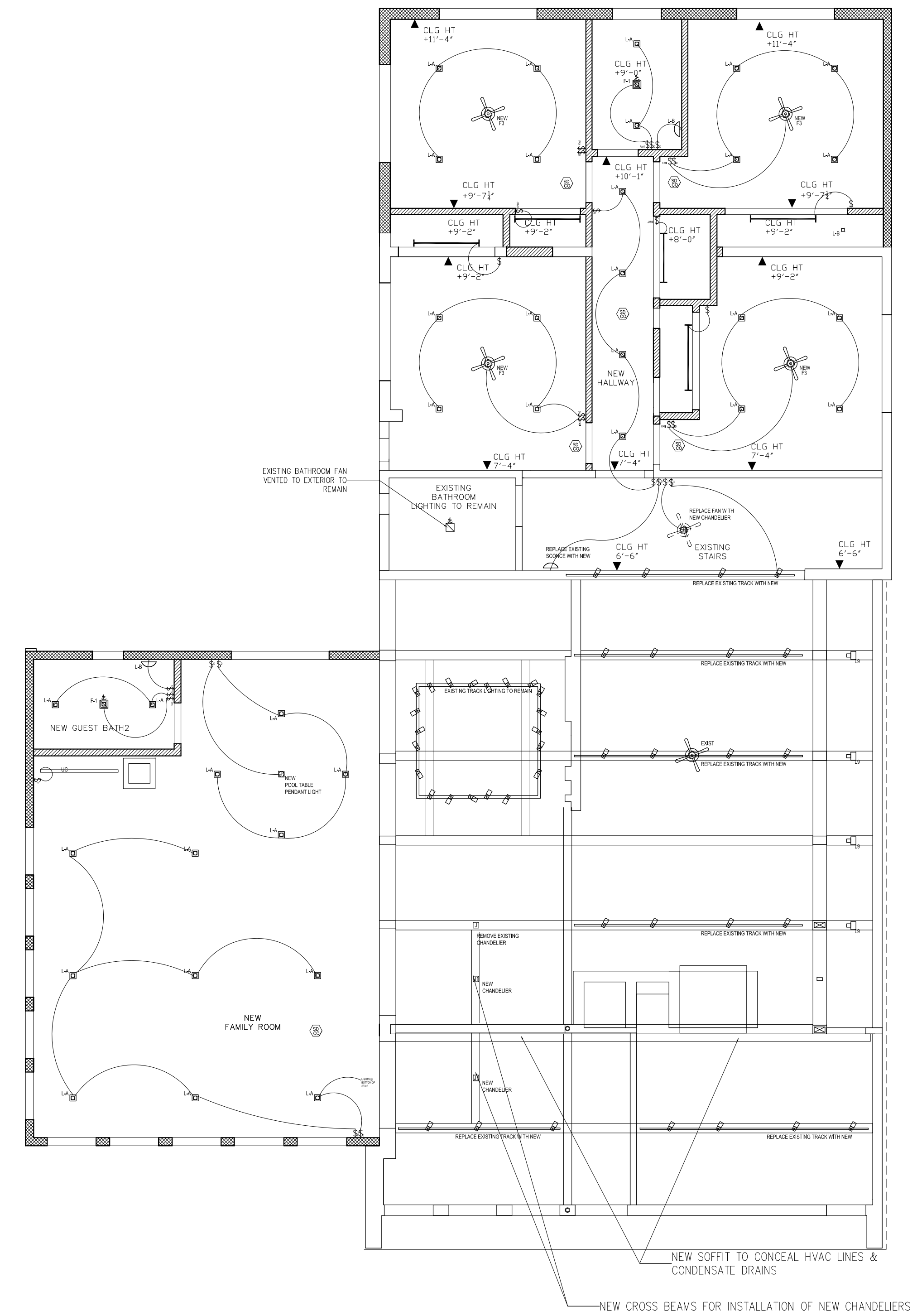
NOTE: MINIMUM 90% OF ALL NEW LIGHTS SHALL BE HIGH EFFICACY FIXTURES

SMOKE & CO DETECTOR NOTES -

- SINGLE AND MULTIPLE STATION SMOKE ALARMS, LISTED SINGLE- AND MULTIPLE-STATION SMOKE ALARMS SHALL BE INSTALLED IN ACCORDANCE WITH THE PROVISIONS OF THIS CODE AND THE HOUSEHOLD FIRE WARNING EQUIPMENT PROVISIONS OF NFPA72
- WHERE REQUIRED, SINGLE- OR MULTIPLE STATION SMOKE ALARMS SHALL BE INSTALLED IN THE LOCATIONS DESCRIBED IN SECTIONS 907.2.10.1.1
- SMOKE ALARMS SHALL BE INSTALLED AND MAINTAINED AT ALL OF THE FOLLOWING LOCATIONS WITHIN THE RESIDENCE:
 - ON THE CEILING OR WALL OUTSIDE OF EACH ROOM USED FOR SLEEPING PURPOSES WITHIN 15 FEET FROM THE DOOR TO SUCH ROOM.
 - IN EACH ROOM USED FOR SLEEPING PURPOSES.
 - ONE EACH STORY WITHIN THE DWELLING UNIT, INCLUDING BELOW-GRADE STORIES AND PENTHOUSES OF ANY AREA, BUT NOT INCLUDING CRAWL SPACES AND UNINHABITABLE ATTICS).
 - IN DWELLINGS OR DWELLING UNITS WITH SPLIT LEVELS AND WITHOUT AN INTERVENING DOOR BETWEEN THE ADJACENT LEVELS, A SMOKE ALARM INSTALLED ON THE UPPER LEVEL SHALL SUFFICE FOR THE ADJACENT LOWER LEVEL PROVIDED THAT THE LOWER LEVEL IS LESS THAN ONE FULL STORY BELOW THE UPPER LEVEL.
- POWER SOURCE, REQUIRED SMOKE ALARMS SHALL RECEIVE THEIR PRIMARY POWER FROM A DEDICATED BRANCH CIRCUIT OR THE UN-SWITCHED PORTION OF A BRANCH CIRCUIT ALSO USED FOR POWER AND LIGHTING, AND SHALL BE EQUIPPED WITH A BATTERY BACKUP. SMOKE ALARMS SHALL EMIT A SIGNAL WHEN THE BATTERIES ARE LOW. WIRING SHALL BE PERMANENT AND WITHOUT A DISCONNECTING SWITCH OTHER THAN AS REQUIRED FOR OVER-CURRENT PROTECTION.
- INTERCONNECTION, WHERE MORE THAN ONE SMOKE ALARM OR DETECTOR IS REQUIRED TO BE INSTALLED WITHIN AN INDIVIDUAL DWELLING UNIT, THE SMOKE ALARMS OR DETECTORS SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTIVATION OF ONE ALARM OR DETECTOR WILL ACTIVATE ALL OF THE ALARMS OR DETECTORS IN THE INDIVIDUAL UNIT. THE ALARM OR DETECTOR SHALL BE CLEARLY AUDIBLE IN ALL BEDROOMS OVER BACKGROUND NOISE LEVELS WITH ALL INTERVENING DOORS CLOSED.
- ACCEPTANCE TESTING, WHEN THE INSTALLATION OF THE ALARM DEVICES IS COMPLETE, EACH DETECTOR AND INTERCONNECTING WIRING FOR MULTIPLE STATION ALARM DEVICES SHALL BE TESTED IN ACCORDANCE WITH THE HOUSEHOLD FIRE WARNING EQUIPMENT PROVISIONS OF NFPA72.



1 1ST FLOOR REFLECTED CEILING / LIGHTING PLAN
 3/16" = 1'-0" SCALE



2 1ST FLOOR REFLECTED CEILING / LIGHTING PLAN
 3/16" = 1'-0" SCALE

△	13 AUG 23	REDUCED SCOPE	RJ
△	9 MAR 23	FENCE/GRADE	RJ
△	3 MAR 23	DOB REVIEW	RJ
△	25 JAN 23	DOB REVIEW	RJ
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EXTERIOR ELEVATIONS

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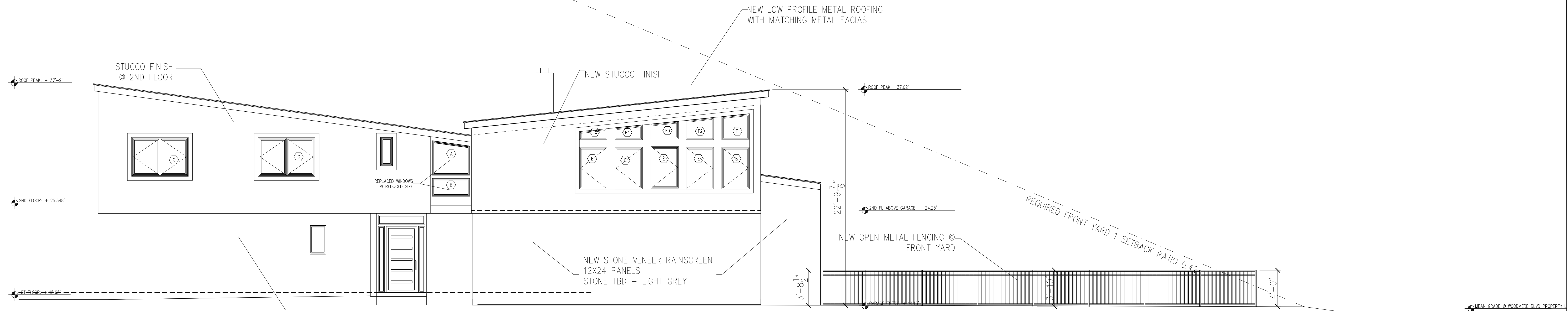
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 PROJECT No: 2022-1
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 CHK BY:
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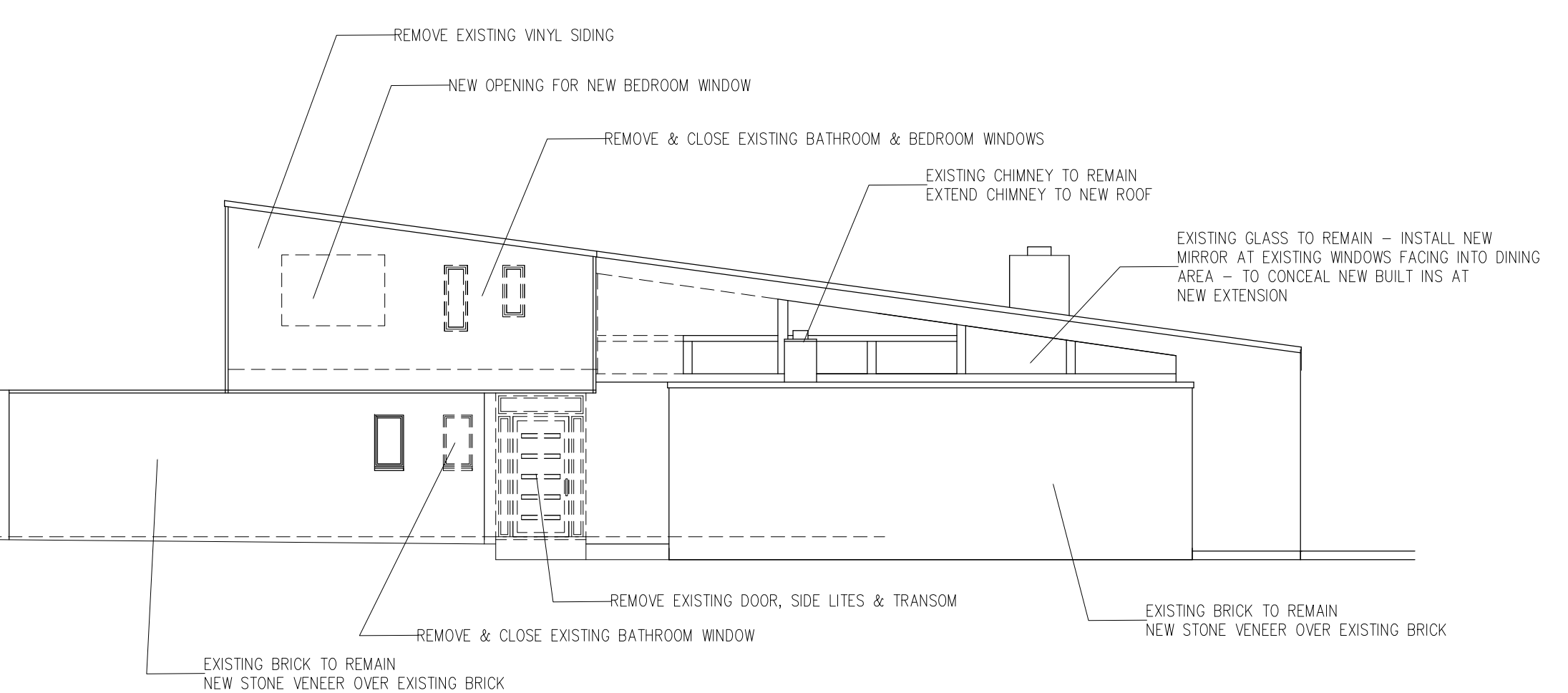
DOB APPROVAL



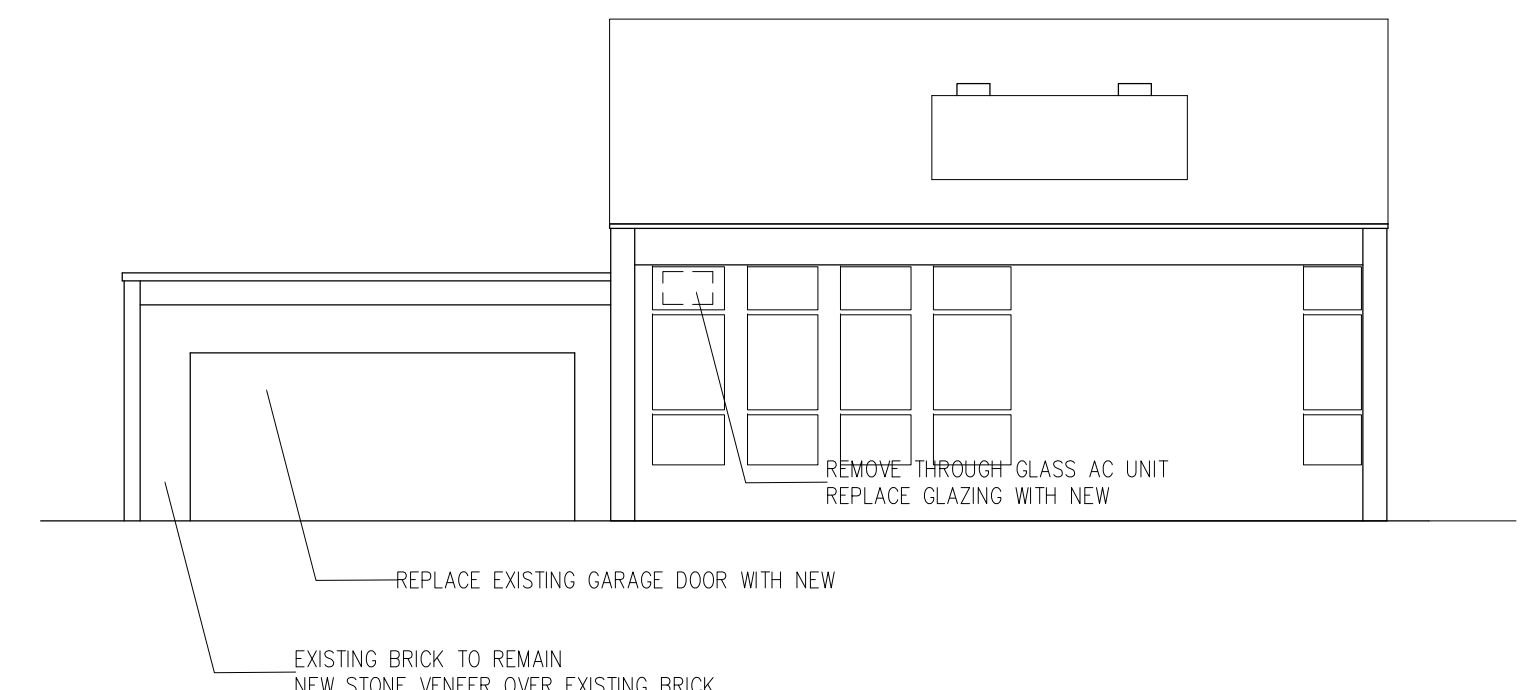
1 FRONT ELEVATION 1 (NORTH)
 3/16" = 1'-0" SCALE



2 FRONT ELEVATION 2 (WEST)
 3/16" = 1'-0" SCALE



3 EXISTING / DEMO FRONT ELEVATION 1 (NORTH)
 1/8" = 1'-0" SCALE



4 EXISTING / DEMO FRONT ELEVATION 1 (WEST)
 1/8" = 1'-0" SCALE

NO	DATE	REVISIONS	BY
13	AUG 23	REDUCED SCOPE	RJ
9	MAR 23	FENCING / GRADE	RJ
3	MAR 23	DOB REVIEW	RJ
25	JAN 23	DOB REVIEW	RJ

EXTERIOR ELEVATIONS

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DATE: 19 JULY 2022
 PROJECT No: 2022-1
 DRAWING BY: RJ
 CHK BY:
 SCALE: AS NOTED
 DWG No:

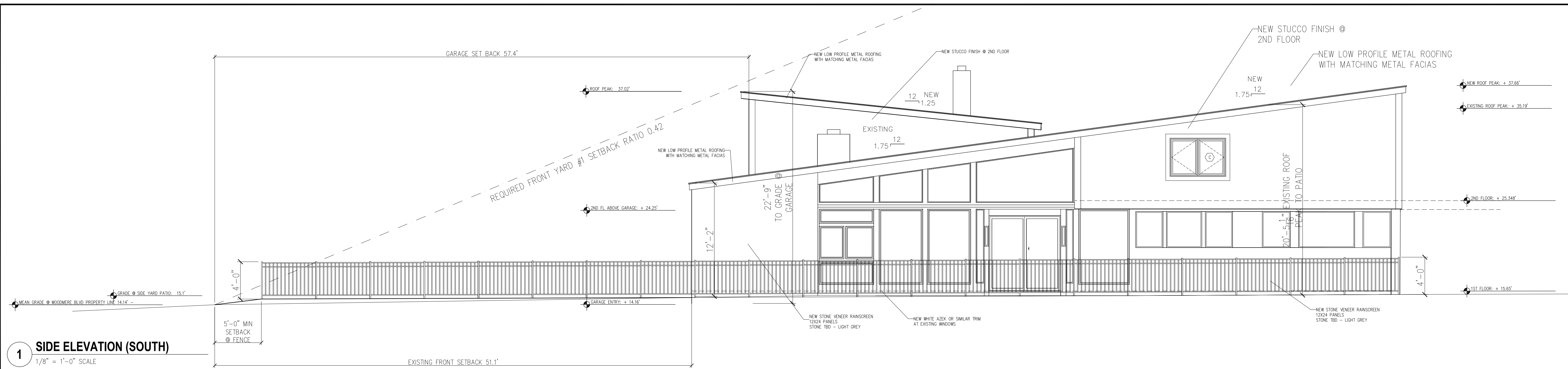
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SEAL & SIGNATURE

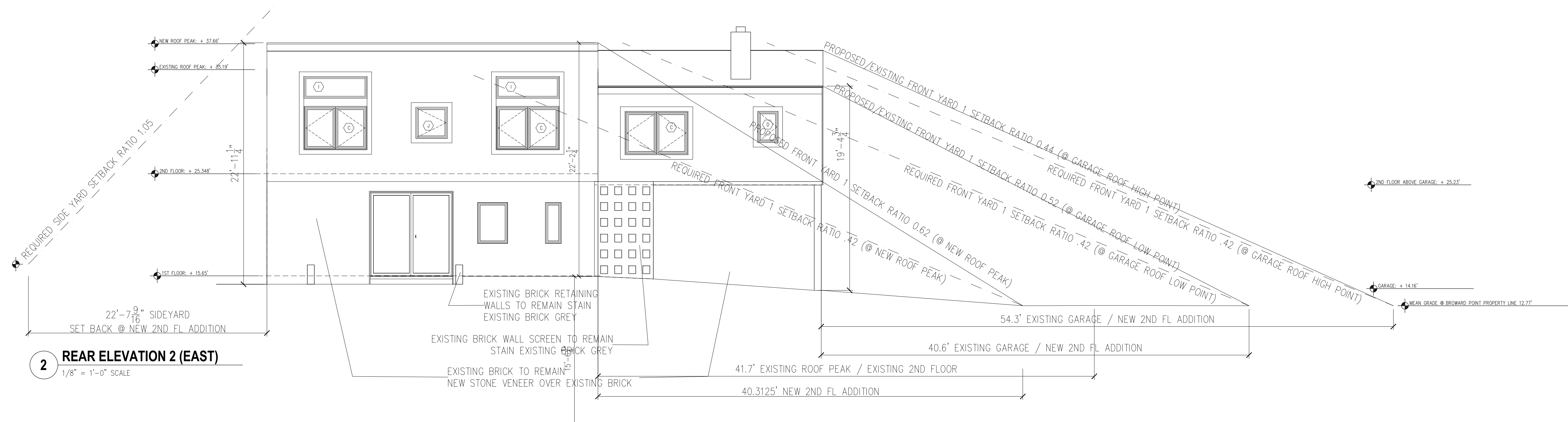


DOB APPROVAL

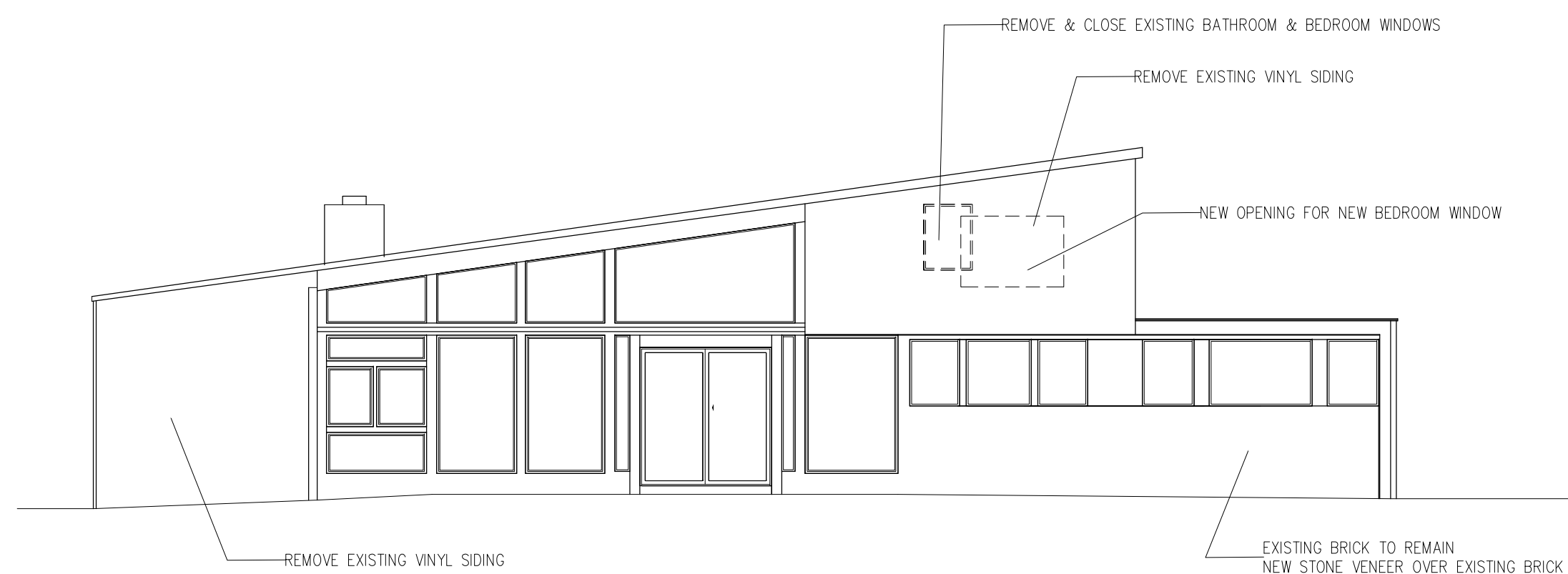
1 SIDE ELEVATION (SOUTH)
 1/8" = 1'-0" SCALE



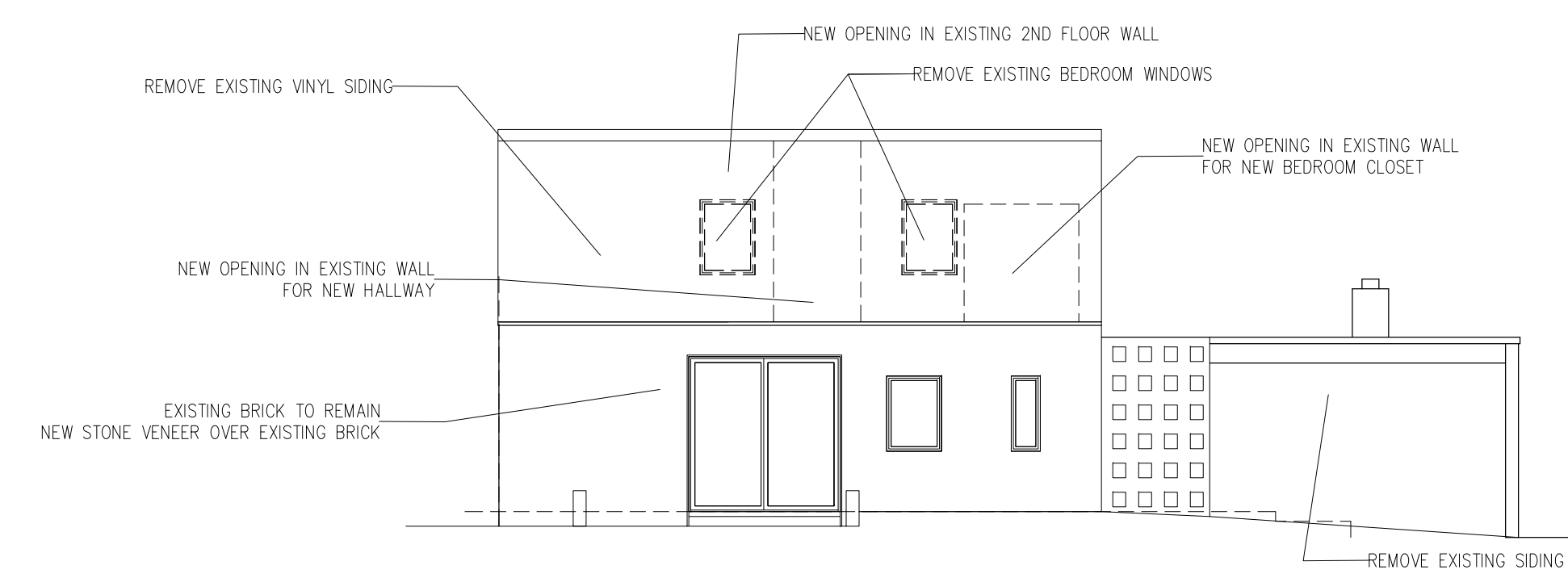
2 REAR ELEVATION 2 (EAST)
 1/8" = 1'-0" SCALE



3 EXISTING / DEMO SIDE ELEVATION (SOUTH)
 1/4" = 1'-0" SCALE



4 EXISTING / DEMO REAR ELEVATION (EAST)
 1/4" = 1'-0" SCALE



NO.	DATE	REVISIONS	BY
13	AUG 23	REDUCED SCOPE	RJ
3	MAR 23	DOB REVIEW	RJ
25	JAN 23	DOB REVIEW	RJ

SECTIONS

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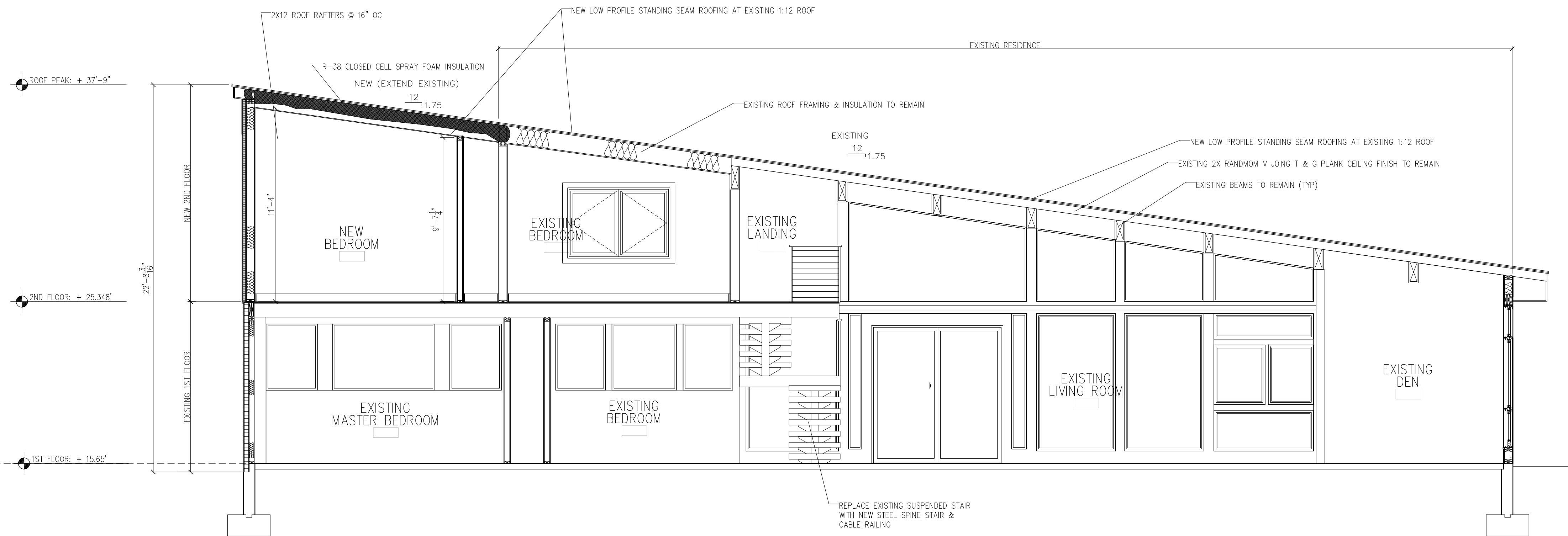
DATE: 19 JULY 2022
 PROJECT No: 2022-1
 DRAWING BY: RJ
 CHK BY:
 SCALE: AS NOTED
 DWG No:

A203.00

SEAL & SIGNATURE



DOB APPROVAL



1 2ND FLOOR ADDITION - LONGITUDINAL SECTION
 1/4" = 1'-0" SCALE

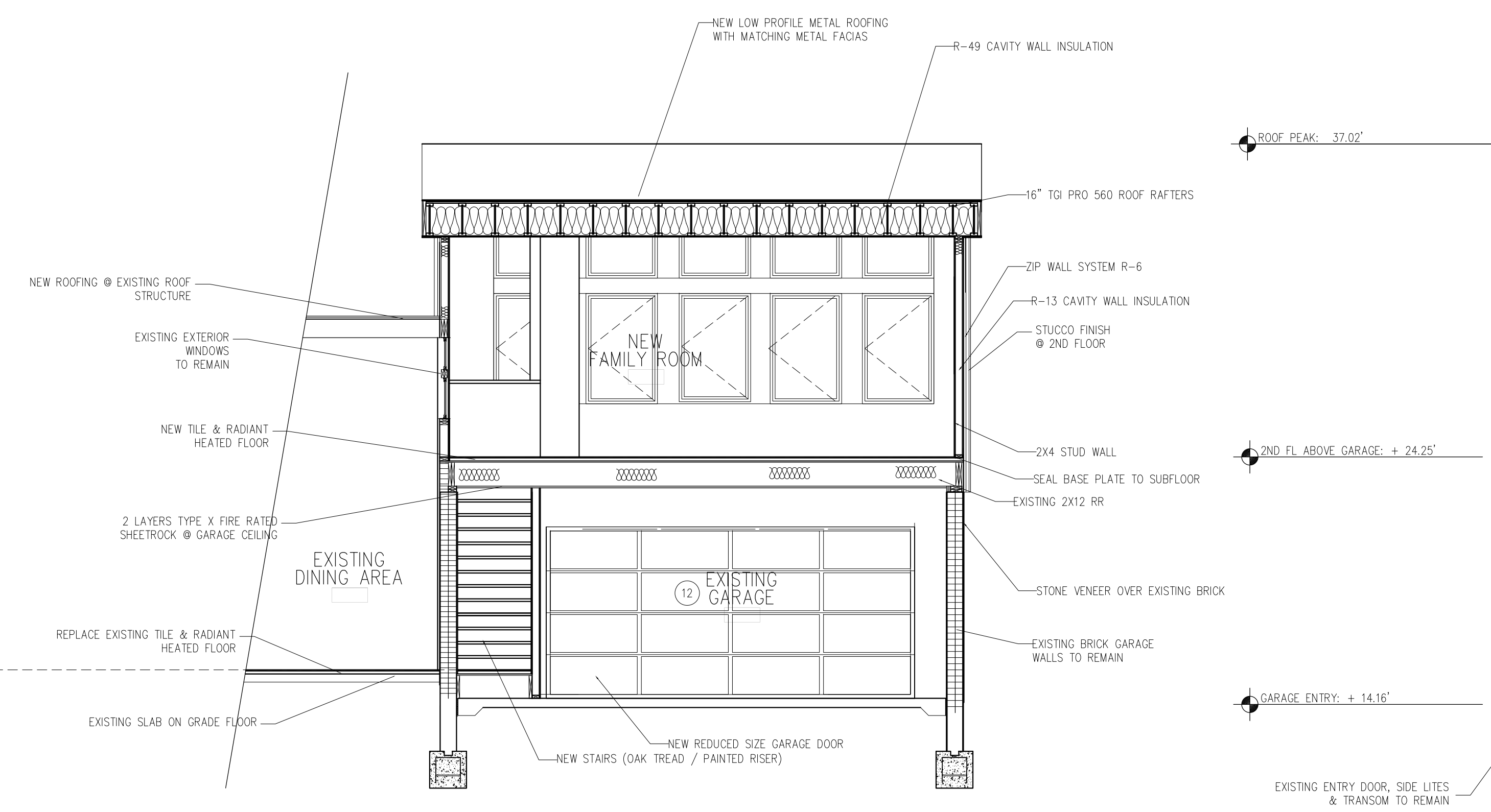
CONSTRUCTION NOTES:

- TYPICAL ROOF ASSEMBLY**
- GREY LOW PROFILE METAL ROOFING AT NEW & EXISTING ROOF (EXCEPT ENTRY FLAT ROOF)
 - 1:12 ROOF - ATAS DOVE GRAY STANDING SEAM ROOFING
 - FLAT ROOF - COLD PROCESS BUILT UP ROOFING
 - DIAMOND DECK SYNTHETIC UNDERLAYMENT OR
 - ROOFERS SELECT HIGH PERFORMANCE UNDERLAYMENT
 - 2 LAYERS 15# FELT, MIN 4" OVERLAP
 - 3/4" EXTERIOR GRADE CDX PLYWOOD
 - 2" X 16" ROOF RAFTERS
 - HURRICANE CLIPS @ EACH BAFFER
 - BLOWN IN CLOSED CELL SPRAY FOAM INSULATION R-49 MINIMUM
 - ALUMINUM GUTTERS (W/GUARDS), AND LEADERS, ALUMINUM SOFFIT, & FASOIA (TYP) COLOR TO MATCH METAL ROOFING
 - REMOVE EXISTING 1ST FLOOR ROOF AT GARAGE & REAR OF HOUSE (EXISTING CEILING JOISTS & SHEETROCK TO REMAIN)
 - EXISTING ANGLE ROOF TO REMAIN OVER BEDROOMS, LIVING / KITCHEN, DEN - NEW ROOFING AT EXISTING ROOF STRUCTURE
 - EXISTING WOOD CEILINGS TO REMAIN @ LIVING / KITCHEN

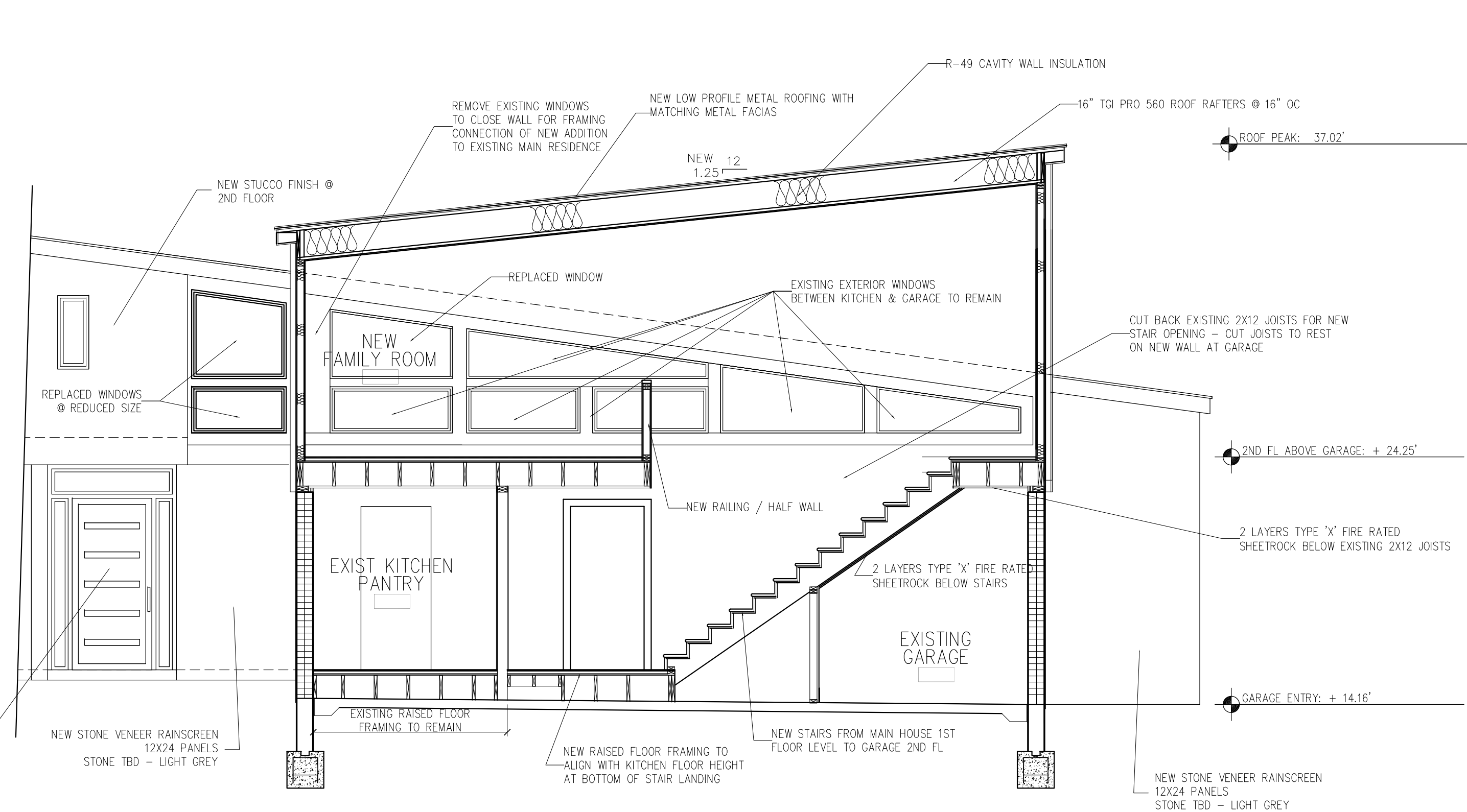
- TYPICAL EXTERIOR WALL ASSEMBLY**
- EXISTING BRICK SIDING TO REMAIN - INSTALL NEW STONE VENEER OVER EXISTING BRICK
 - REMOVE EXISTING VERTICAL CYPRESS SIDING THROUGHOUT
 - NEW ZIP WALL SYSTEM WITH RIGID INSULATION (R-6 MIN)
 - 2X4 WOOD FRAMING @ 16" OC
 - STRAPPING @ EACH FRAMING MEMBER
 - R-13 KRAFT FACED FIBERGLASS BATT INSULATION
 - GREY EIFS STUCCO SIDING @ 2ND FLOOR - STO THERM LOTUSAN NEXT SYSTEM
 - STO GUARD SYSTEM
 - STO BTS PLUS ADHESIVE
 - 1/2" STO INSULATION
 - STO MESH
 - STO BTS PLUS BASE COAT
 - STO PRIMER
 - STO LOTUSAN FINISH COAT
 - STONE VENEER 12X24 GREY STONE TBD @ 1ST FLOOR SIDING WITH CONCEALED FASTENERS
 - WHITE AZAK WINDOW TRIM 3/4" X 4"
 - #15 FELT MINIMUM 4" OVERLAP
 - ZIP WALL SYSTEM SHEATHING
 - 5/8" TYPE X FIRE SHIELD GYP. BD. (INTERIOR)

- TYPICAL FLOOR ASSEMBLY**
- 1ST FLOOR - REMOVE EXISTING TERRAZZO & INSTALL NEW OWNER SUPPLIED 24X24 TILE OVER RADIANT PIPING
 - 2ND FLOOR INSTALL OWNER SUPPLIED CERAMIC TILE OVER RADIANT PIPING
 - 2ND FLOOR 3/4" PLYWOOD SUB FLOOR
 - NEW 2" X 10" FLOOR JOISTS @ 16" OC (2ND FL)
 - HURRICANE CLIPS @ EACH FLOOR JOIST EXISTING & NEW

- FOUNDATION**
- EXISTING FOUNDATION TO REMAIN
 - NEW PIER & POST FOUNDATION FOR NEW DECK - SEE DETAILS
 - @ FRONT ENTRY 3'-0" X 1'-6" POURED CONC. FOOTING (MIN. 3'-6" BELOW GRADE)
 - 8" POURED CONC. FOUNDATION WALL
 - (3) # 4 RE-BAR @ PERIMETER
 - SILL SEALER
 - TERMITE SHIELD
 - 2" X 4" WOLMANIZED (COPPER AZOLE-CA) SILL
 - 1/2" @ X 8" ANCHOR BOLTS @ 6'-0" O.C.
 - (3) #3 RE-BAR @ PERIMETER
 - R-6 RIGID INSULATION @ FOUNDATION @ ENTRY FOYER



2 SECTION @ 2ND FLOOR OVER GARAGE ADDITION
 1/4" = 1'-0" SCALE



3 SECTION @ 2ND FLOOR OVER GARAGE ADDITION (LONGITUDINAL)
 1/4" = 1'-0" SCALE

NO.	DATE	REVISIONS	BY
13	AUG 23	REDUCED SCOPE	RJ
14	MAR 23	DOB REVIEW	RJ
15	JAN 23	DOB REVIEW	RJ

PLUMBING RISER & DETAILS

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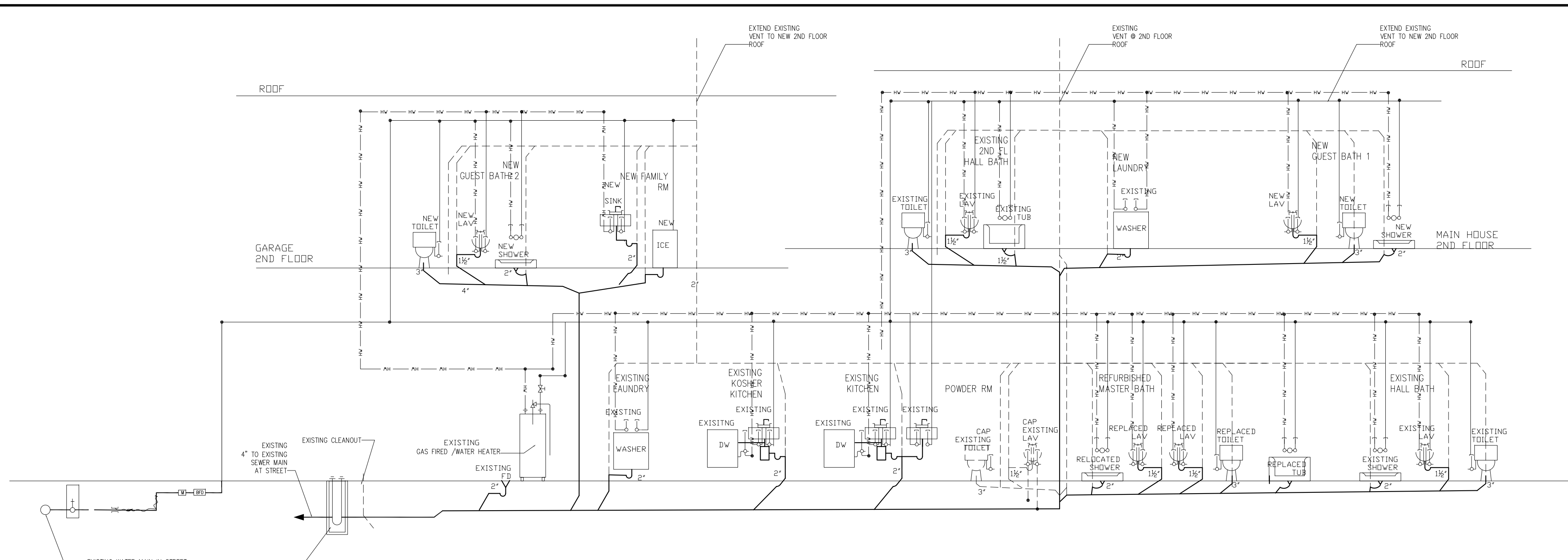
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PROJECT No.:	2022-1
DRAWING BY:	RJ
CHK. BY:	
SCALE:	AS NOTED
DWG No.:	

A300.00

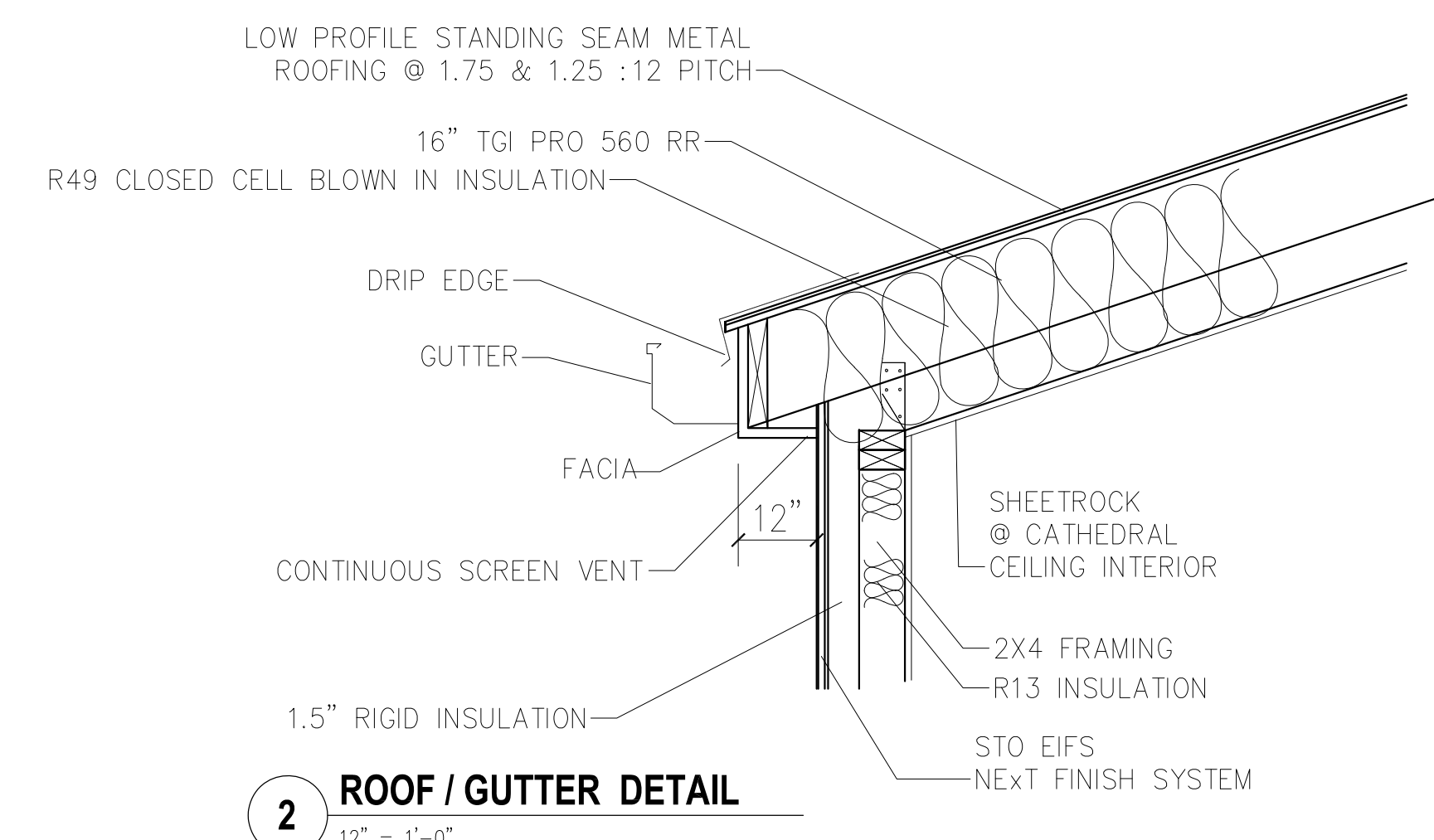
SEAL & SIGNATURE



DOB APPROVAL



1 PLUMBING RISER DIAGRAM
 NOT TO SCALE



2 ROOF / GUTTER DETAIL
 1/2" = 1'-0"

SITE WORK
 STAKEOUT IS TO BE PERFORMED BY A LICENSED SURVEYOR. STAKING AND LAYOUT ARE TO ESTABLISH ALL LINES AND BENCHMARKS. VERIFY ALL GIVEN DATA ON DRAWINGS. IN CASE OF DISCREPANCY, RECEIVE CLARIFICATION FROM ARCHITECT PRIOR TO PROCEEDING. EXCAVATE AND BACK FILL FOR WORK INDICATED ON DRAWINGS. STOCKPILE TOPSOIL OBTAINED FROM STRIPPING DRIVEWAY AND BUILDING SITE. STOCKPILE ALL EXCAVATED MATERIAL. NEW AND EXISTING BACK FILL MATERIAL AND TOPSOIL ARE TO BE FREE OF WEEDS, TREE ROOTS, ROCKS AND DEBRIS. ALL SURPLUS MATERIAL THAT IS UNSUITABLE FOR BACK FILL MATERIAL SHALL BE REMOVED FROM THE SITE. PROTECT ALL TREES WITHIN EIGHT FEET OF THE BUILDING. PROPER APPROVALS MUST BE OBTAINED BEFORE COVERING ANY EXCAVATED WORK.

CONCRETE BLOCK
 ALL CONCRETE BLOCK IS TO HAVE "DUR-O-WALL" REINFORCING EVERY THIRD COURSE. FILL TOP COURSE SOLID MORTAR MIX TO BE ONE PART PORTLAND CEMENT, ONE PART LIME PUTTY, AND SIX PARTS SAND, OR ONE PART MASONRY CEMENT AND THREE PARTS SAND.

CONCRETE
 NO CONCRETE OR MASONRY WORK SHALL BE DONE DURING TEMPERATURES OF 40 DEGREES F. AND FALLING. NO CONCRETE SHALL BE PLACED ON FROZEN SURFACES. NO ADDITIVES SHALL BE ALLOWED WITHOUT WRITTEN PERMISSION OF THE ARCHITECT. ALL CONCRETE IS TO BE MIN. 3500 P.S.I. AT 28 DAYS & 4000 PSI FOR GARAGE SLAB. PROVIDE ALL SLEEVES AND FOUNDATION VENTS AS REQUIRED BY NYS CODE. UNLESS INDICATED, ALL FOUNDATION FOOTINGS ARE TO BE A MIN. 6" DEEP PROJECTING 6" ON EACH SIDE OF THE FOUNDATION WALL. PROVIDE TWO #4 DEFORMED BARS CONTINUOUS IN THE FOOTING. ALL 4" THICK CONCRETE SLABS TO HAVE 6x6 10/10 WELDED WIRE REINFORCING. ANCHOR BOLTS IN CONCRETE SHALL BE HOOKED 5/8" X 12" AT MAX. 3' O.C. PROVIDE BITUMEN EXPANSION JOINTS BETWEEN SLABS AND FOUNDATION WALLS.

FOUNDATION WATERPROOFING
 INSTALL TWO LAYERS OF TONKELD ON FIBERGLASS MASTIC (FED. SPEC. S.S.C. 153 TYPE-I) MEMBRANE TO BE CONTINUOUS FROM TOP OF FOUNDATION AND EXTEND TO LAP EDGE OF FOOTING.

INSULATION
 ALL EXTERIOR WALLS AND ROOFS SHALL BE INSULATED WITH FOIL FACED FIBERGLASS BATT INSULATION BY JOHN MANVILLE OR APPROVED EQUAL. FOIL TO BE PLACED TOWARD WARM SIDE. PROVIDE 1/2" RIGID FOAM INSULATION ON ALL EXTERIOR FOUNDATION WALLS FROM FOOTING TO 6" BELOW FINISHED GRADE UNLESS OTHERWISE SPECIFIED. CARE SHOULD BE TAKEN NOT TO DAMAGE FOUNDATION WATERPROOFING.

NOTE: ALL NON-ENGINEERED LUMBER TO BE DOUGLAS FIR #2 OR BETTER

FIRE BLOCKING
 FIRE BLOCKING SHALL BE PROVIDED, AS PER SECTION R502.13 OF THE RESIDENTIAL CODE OF NEW YORK STATE, TO CUT OFF ALL CONCEALED DRAFT OPENINGS (BOTH VERTICAL AND HORIZONTAL). PROVIDE FIRE BLOCKING IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS, INCLUDING FURRED SPACES AT THE CEILING AND FLOOR LEVELS. CONCEALED HORIZONTAL FURRED SPACES SHALL ALSO BE FIRE BLOCKED AT INTERVALS NOT EXCEEDING 10 FEET.

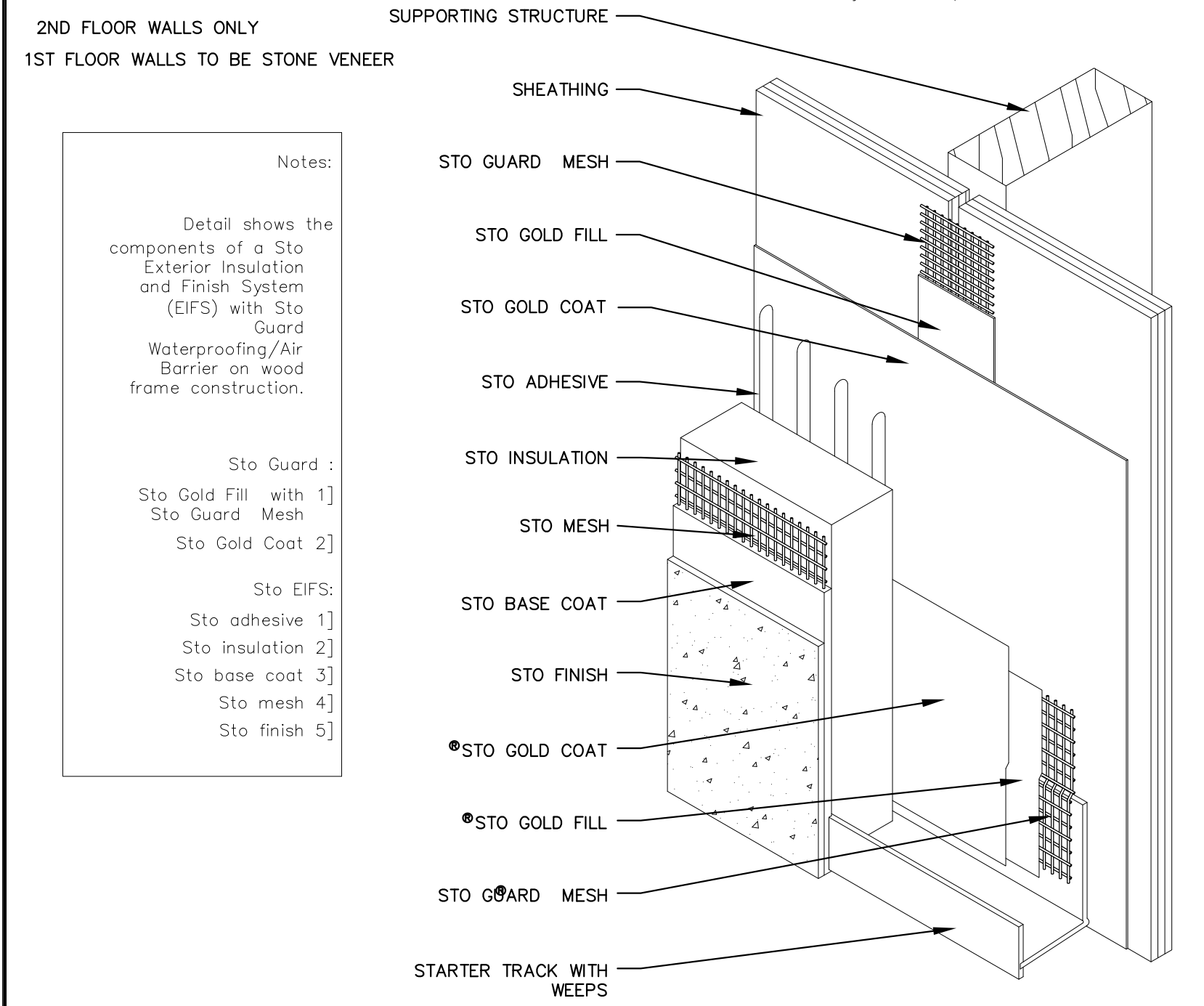
PLUMBING
 CONTRACTOR SHALL INSTALL WATER SUPPLY AND SANITARY SYSTEM AS INDICATED. PROVIDE HOT AND COLD SHUT-OFF VALVES AT ALL FIXTURES. ALL WATER PIPING TO HAVE CLEANOUTS AT ALL CHANGES OF DIRECTION AND AT BASE OF VERTICAL WASTES. USE 4" CAST IRON THROUGH FOUNDATION WALL PITCHED MIN. 1/8" PER FOOT. TRAP/WASTE SIZES FOR FIXTURES SHALL BE AS FOLLOWS:

DISH WASHER	1/2"
KITCHEN SINK	1/2"
LAVATORY	1/4"
SHOWER	2"
TOILET	3"

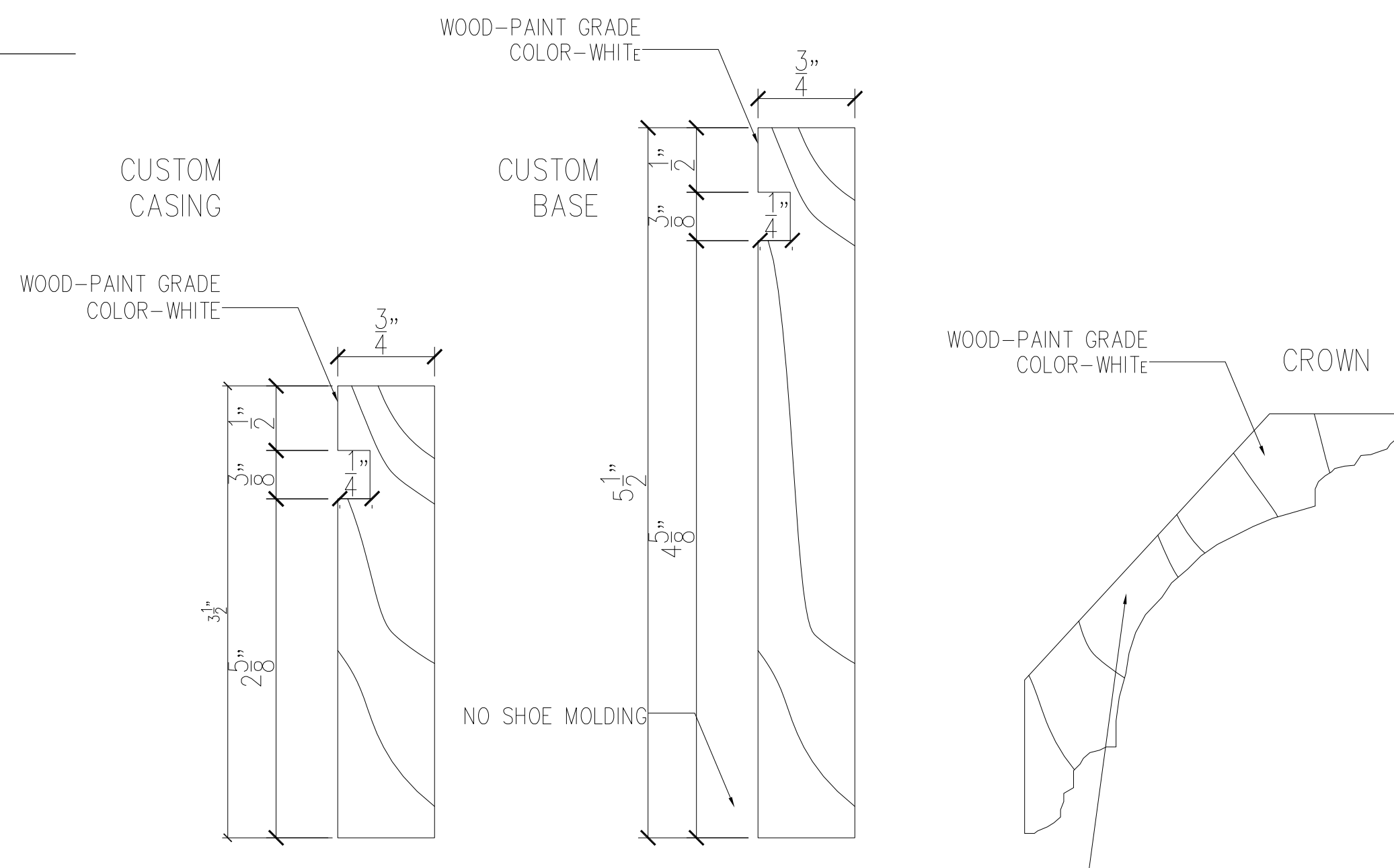
ALL SYSTEMS TO HAVE ONE 3" MAIN VENT STACK INCREASED TO 4" THROUGH THE ROOF. PROVIDE FROST PROOF HOSE-BIBS AS INDICATED ON PLANS WITH EASILY ACCESSIBLE DRAIN DRAIN-COCKS. THE WATER SUPPLY AND SEWAGE DISPOSAL SYSTEM SHALL COMPLY TO THE APPLICABLE COUNTY DEPARTMENT OF HEALTH STANDARDS AND REGULATIONS. APPROVAL OF ALL PLUMBING MUST BE OBTAINED FROM APPROPRIATE LOCAL AUTHORITIES PRIOR TO CONCEALMENT. PRIOR TO ORDERING, CONTRACTOR SHALL OBTAIN SUFFICIENT FIXTURES FOR OWNERS APPROVAL. IN THE EVENT THAT THE OWNER CHANGES, THE CONTRACTOR SHALL CREDIT THE OWNER FOR THE FULL SUBCONTRACTORS COST FOR THE CHANGED UNIT.

FRAMING AND ROUGH CARPENTRY
 JOISTS RAFTERS AND STUDS SHALL BE CONSTRUCTION GRADE DOUGLAS FIR-SOUTH SELECT STRUCTURAL. ALL WOOD SILLS AND WOOD IN CONTACT WITH MASONRY SHALL BE ACQ. ALL EXTERIOR SHEATHING SHALL BE 1/2" CDX DOUGLAS FIR PLYWOOD. SUB-FLOORS TO BE 3/4" CDX PLYWOOD. EXTERIOR SHEATHING TO BE COVERED WITH "TYVEK" HOUSE WRAP OR APPROVED EQUAL. BLOCK STUD WALLS AT 1/2 STORY HEIGHTS AND AT ALL UNSUPPORTED EDGES OF PLYWOOD. PROVIDE SOLID BLOCKING AND DIAGONAL BRACING OF FLOOR JOISTS AT 8' O.C. MAXIMUM AND SOLID BLOCKING UNDER ALL UNSUPPORTED EDGES OF PLYWOOD. ALL CAP PLATES TO BE DOUBLED AND NAILED BOTTOM CAP PLATED TO END OF STUDS. LAP CAP PLATES AT CORNERS. WHERE FLUSH FRAMING OCCURS, USE MIN. 16GA SHEET METAL JOIST HANGERS BY "TECO" OR APPROVED EQUAL. ALL CORNERS TO BE MINIMUM 8/2X4 STUDS. HEADERS SHALL BE MINIMUM 2/2X6 UNLESS NOTED ON PLANS. MINIMUM BEARING FOR STUDS, JOISTS AND BEAMS SHALL BE 3 1/2". USE DOUBLE JACK STUDS FOR HEADERS OVER FIVE FEET IN LENGTH.

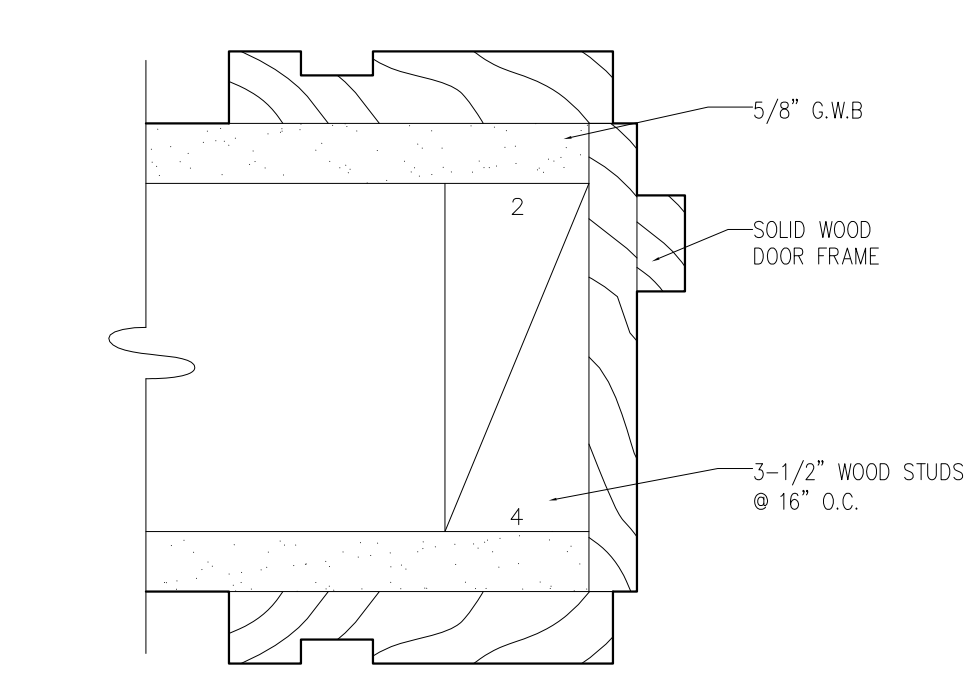
ELECTRICAL
 ALL WORK SHALL COMPLY WITH THE NATIONAL ELECTRICAL CODE AND ALL STATE, LOCAL, AND UTILITY COMPANY CODES AND REGULATIONS. ALL CIRCUITS SHALL BE MINIMUM 15 AMP. POWER WIRING SHALL BE MINIMUM 14 AWG. CONVENIENCE OUTLETS SHALL BE LOCATED 12" ABOVE FINISHED FLOOR UNLESS OTHERWISE INDICATED. ALL SWITCHED TO BE LOCATED 36" ABOVE THE FINISHED FLOOR UNLESS OTHERWISE INDICATED. SUPPLY RECOMMENDED LAMPS IN ALL FIXTURES.



3 STO EIFS NEXT DETAIL
 NOT TO SCALE



4 MOLDING
 1/2" = 1'-0"



5 DOOR JAMB DETAIL
 NOT TO SCALE

2ND FLOOR WALLS ONLY
 1ST FLOOR WALLS TO BE STONE VENEER

- Notes:
- Detail shows the components of a Sto Exterior Insulation and Finish System (EIFS) with Sto Guard Waterproofing/Air Barrier on wood frame construction.
 - Sto Guard : Sto Gold Fill with 1] Sto Guard Mesh Sto Gold Coat 2]
 - Sto EIFS: Sto adhesive 1] Sto insulation 2] Sto base coat 3] Sto mesh 4] Sto finish 5]

13	AUG 23	REDUCED SCOPE	RJ
3	MAR 23	DOB REVIEW	RJ
25	JAN 23	DOB REVIEW	RJ
NO	DATE	REVISIONS	BY

STAIR DETAILS

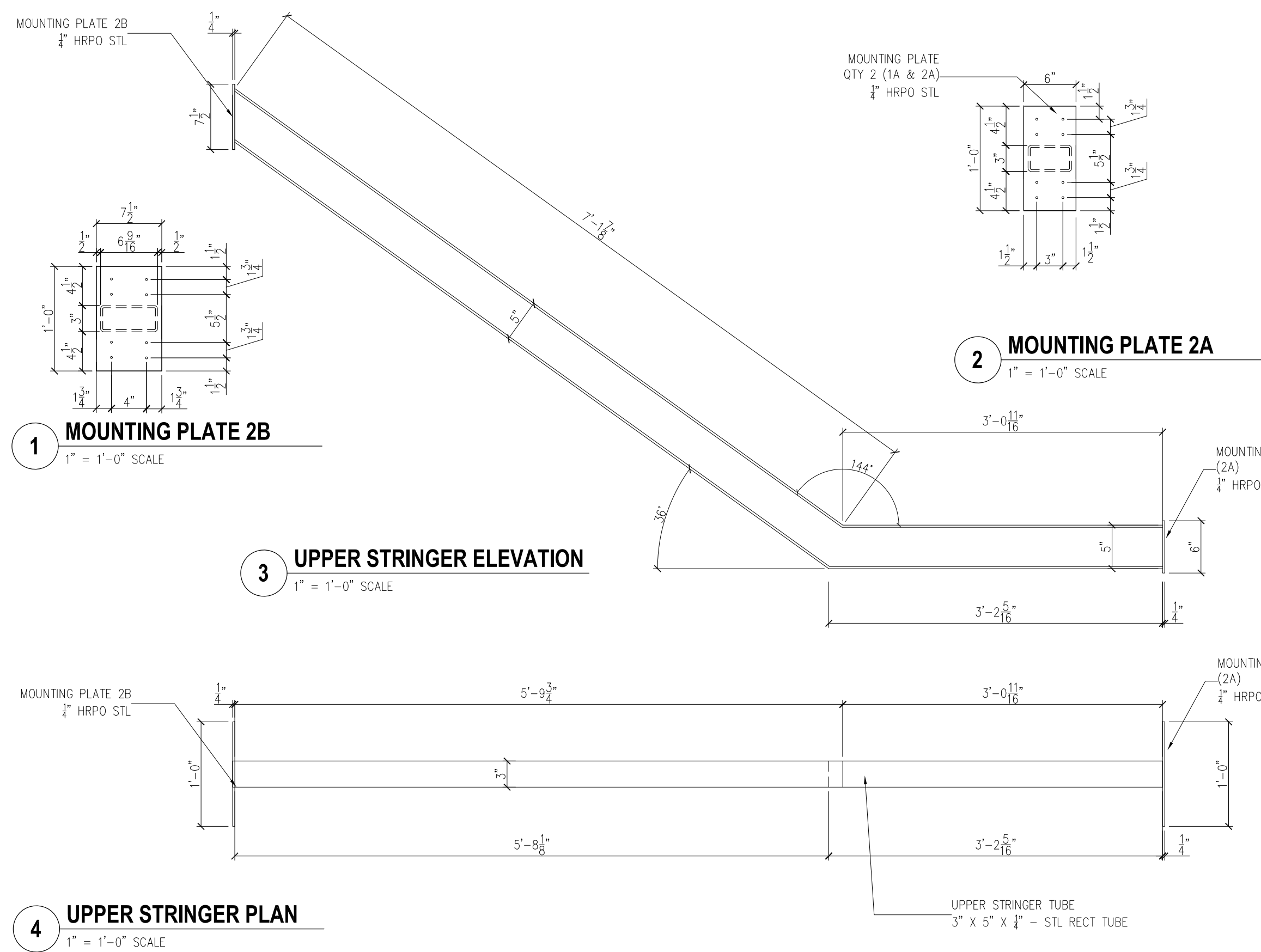
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 PROJECT No: 2022-1
 DRAWING BY: RJ
 CHK BY:
 SCALE: AS NOTED
 DWG No:

A400.00

SEAL & SIGNATURE



DOB APPROVAL



5 LOWER STRINGER PLAN
 1" = 1'-0" SCALE

6 MOUNTING PLATE 1B
 1" = 1'-0" SCALE

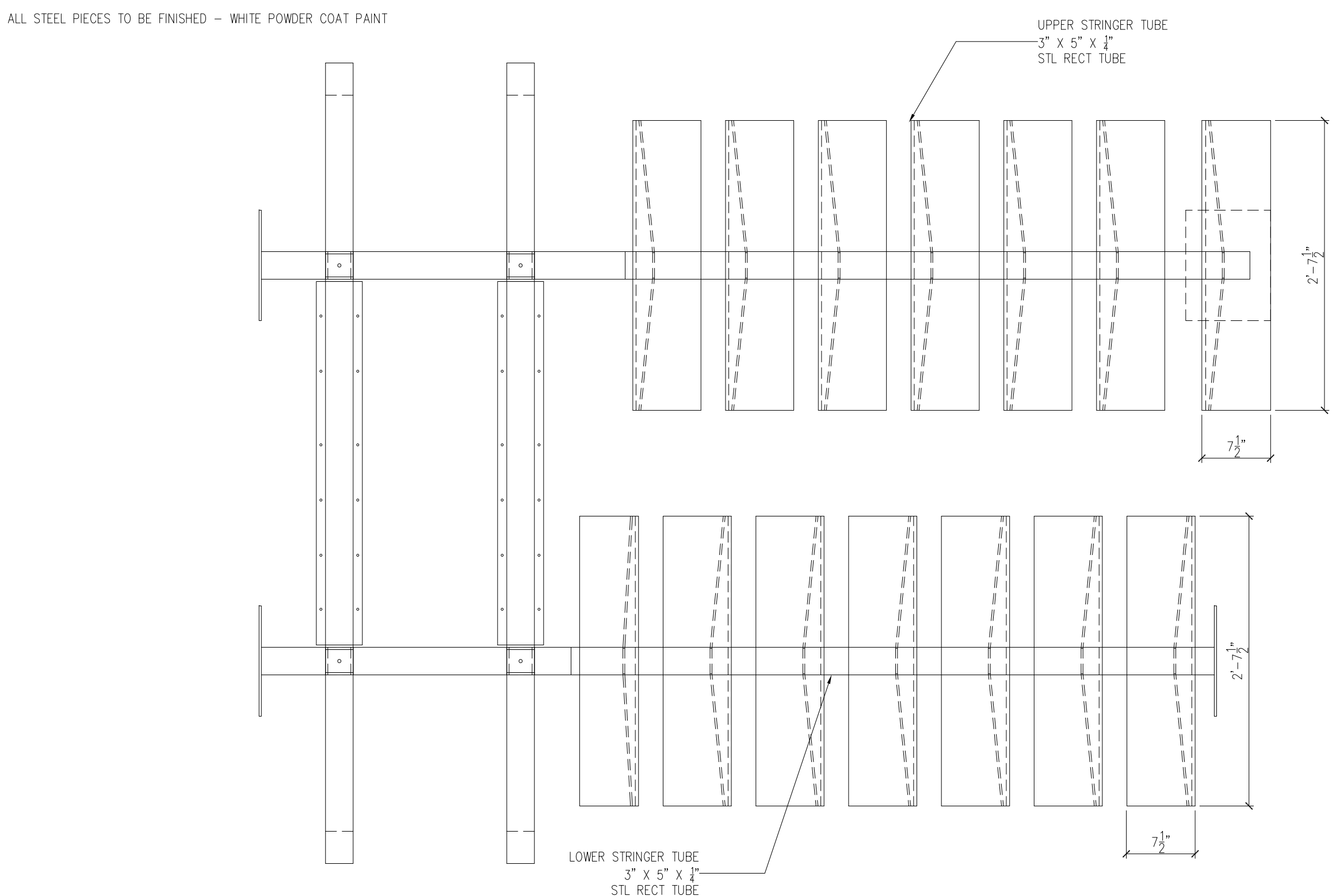
7 LOWER STRINGER ELEVATION
 1" = 1'-0" SCALE

8 MOUNTING PLATE 1A
 1" = 1'-0" SCALE

9 STAIR SECTION
 1/2" = 1'-0" SCALE

4 UPPER STRINGER PLAN
 1" = 1'-0" SCALE

ALL STEEL PIECES TO BE FINISHED - WHITE POWDER COAT PAINT



10 STEEL TREAD PLAN
 1" = 1'-0" SCALE

11 STL STAIR LANDING BEAMS
 1" = 1'-0" SCALE

12 STL STAIR MOUNTING PLATE
 1" = 1'-0" SCALE

13 SECTIONS @ STL STAIR LANDING BEAMS
 1" = 1'-0" SCALE

13	AUG 23	REDUCED SCOPE	RJ
3	MAR 23	DOB REVIEW	RJ
25	JAN 23	DOB REVIEW	RJ
NO	DATE	REVISIONS	BY

STAIR DETAILS

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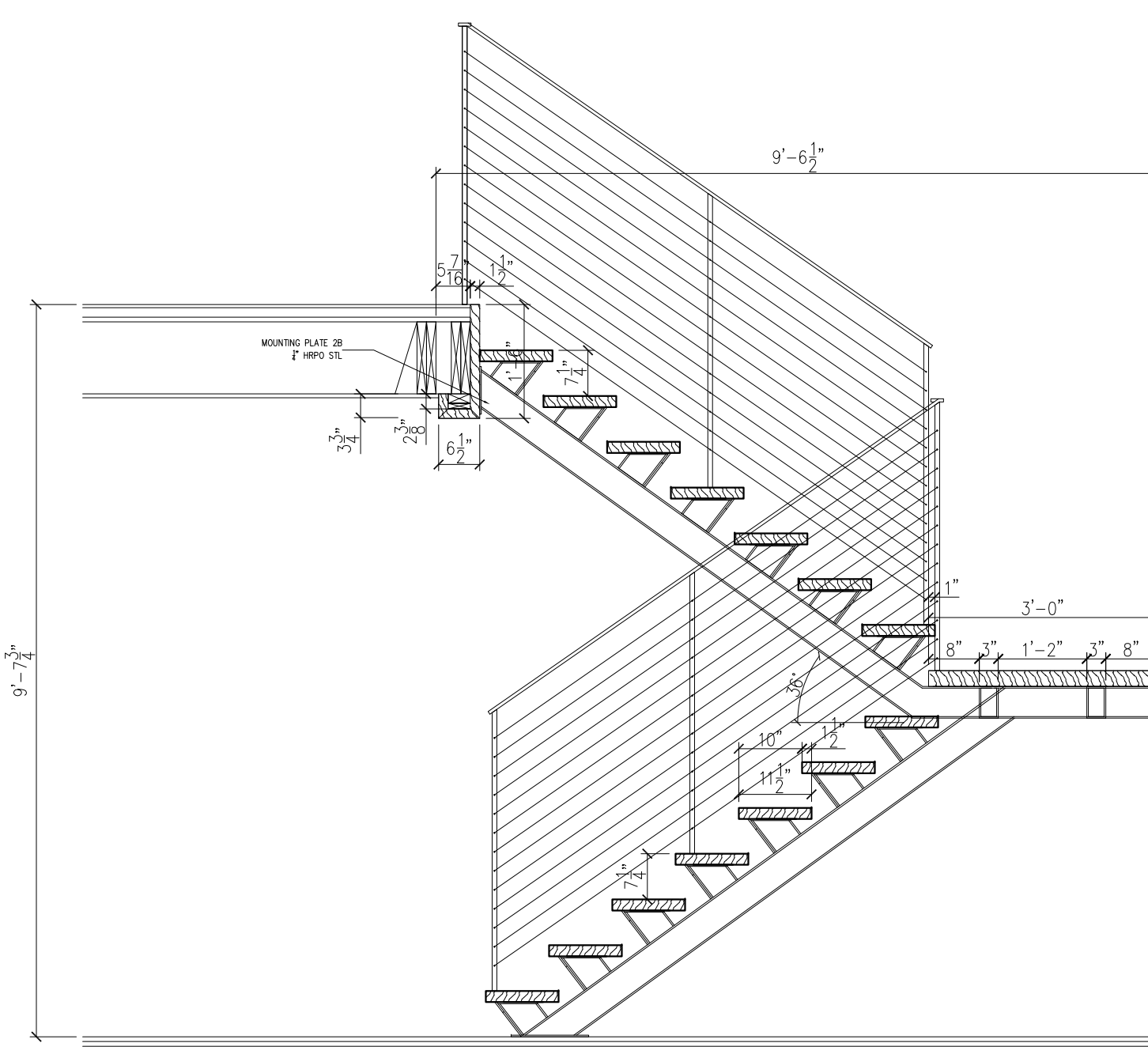
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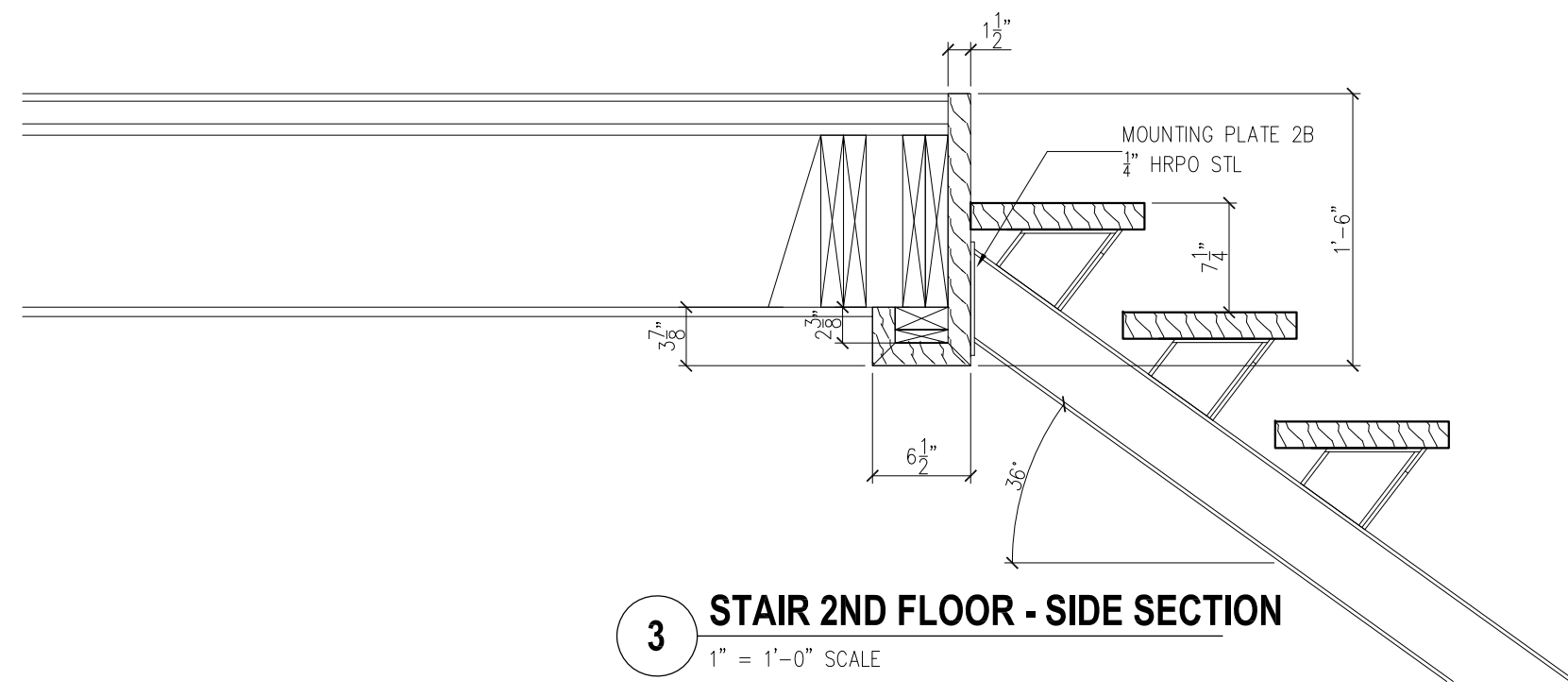
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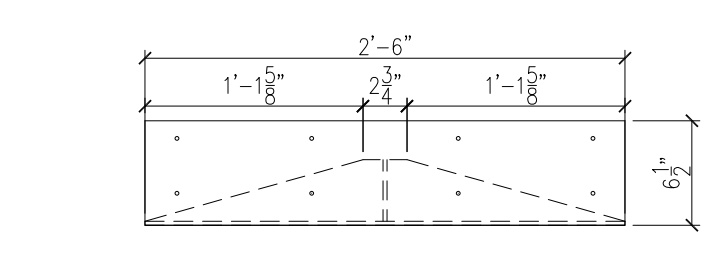
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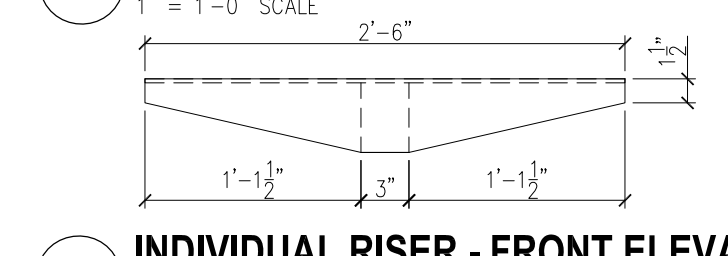
1 STAIR CROSS SECTION
 1/2" = 1'-0" SCALE



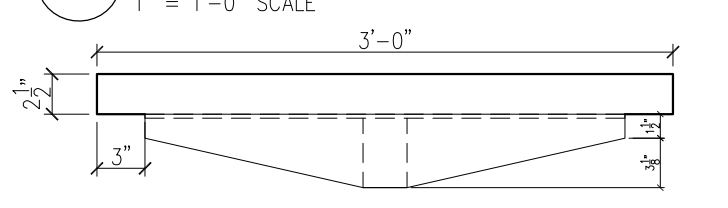
3 STAIR 2ND FLOOR - SIDE SECTION
 1" = 1'-0" SCALE



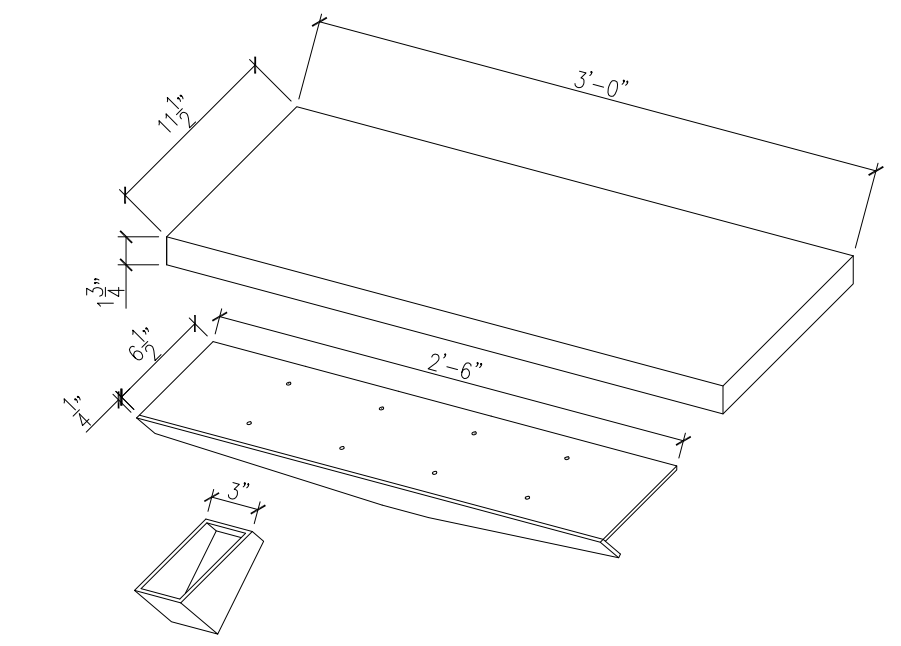
4 INDIVIDUAL RISER - PLAN VIEW
 1" = 1'-0" SCALE



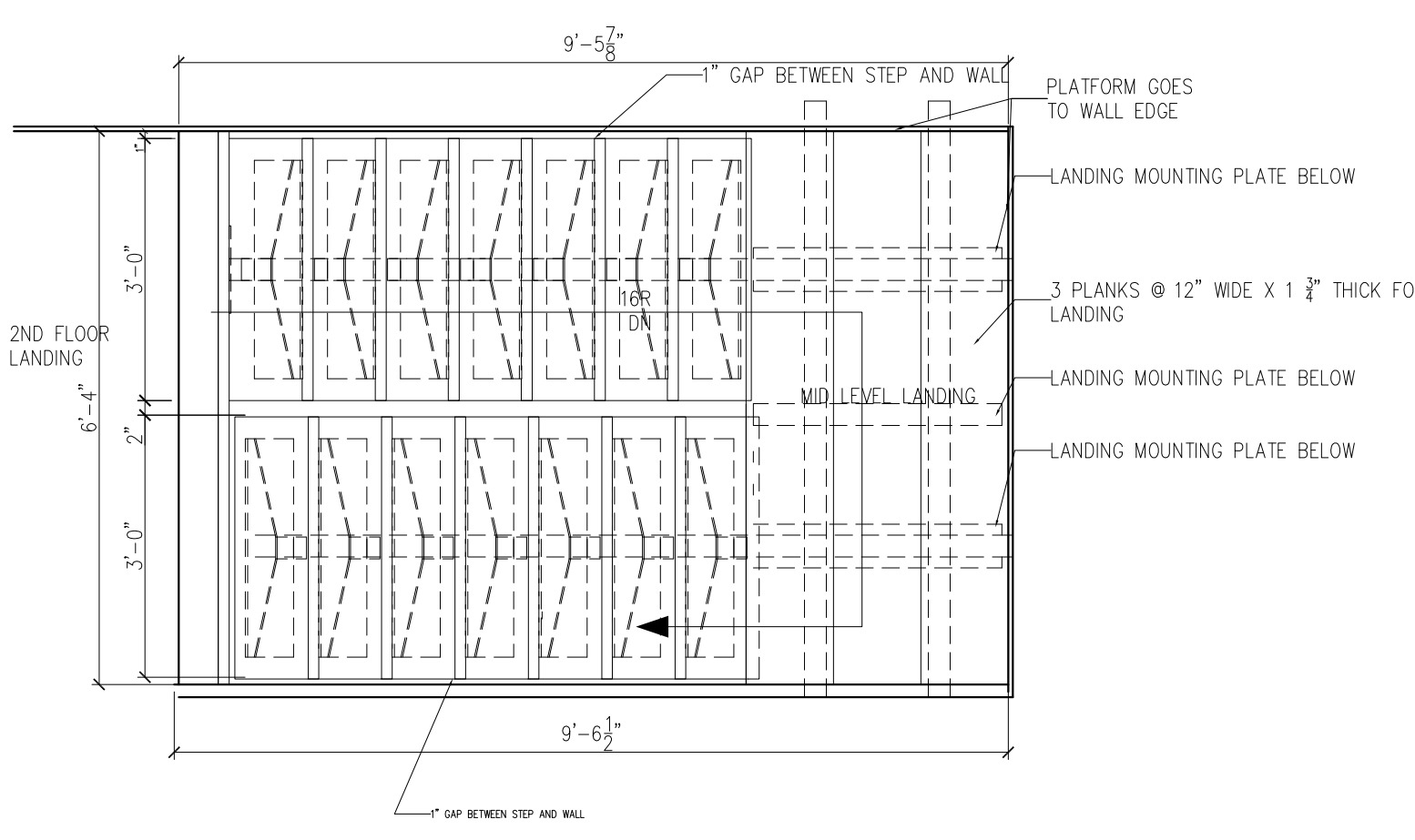
5 INDIVIDUAL RISER - FRONT ELEVATION
 1" = 1'-0" SCALE



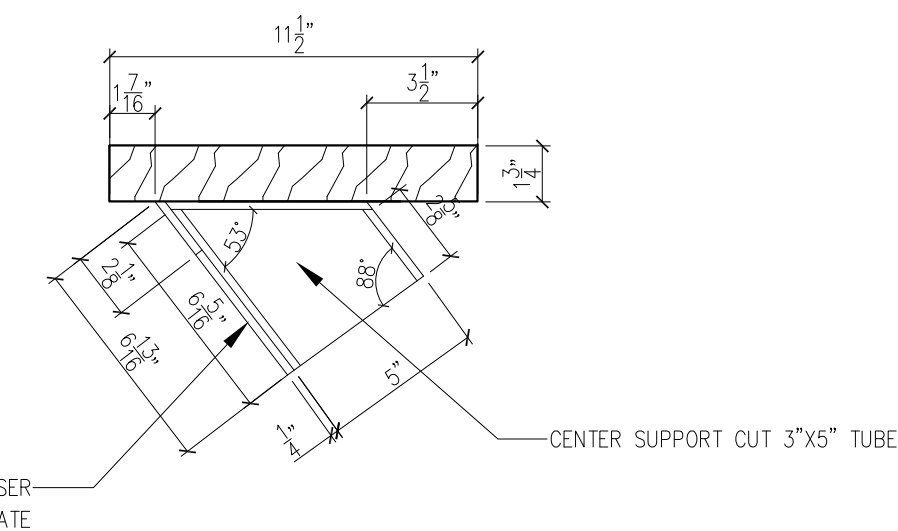
6 INDIVIDUAL RISER - FRONT ELEVATION WITH WOOD TREAD
 1" = 1'-0" SCALE



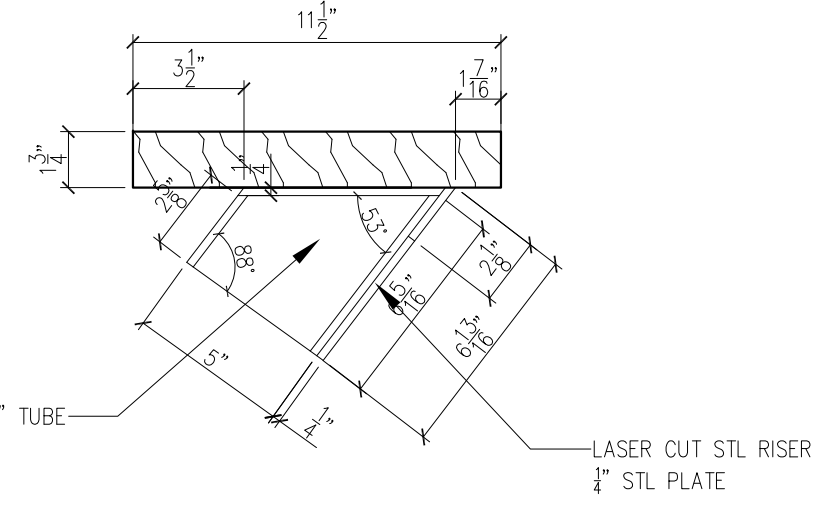
7 INDIVIDUAL RISER - EXPLODED AXONOMETRIC VIEW
 1" = 1'-0" SCALE



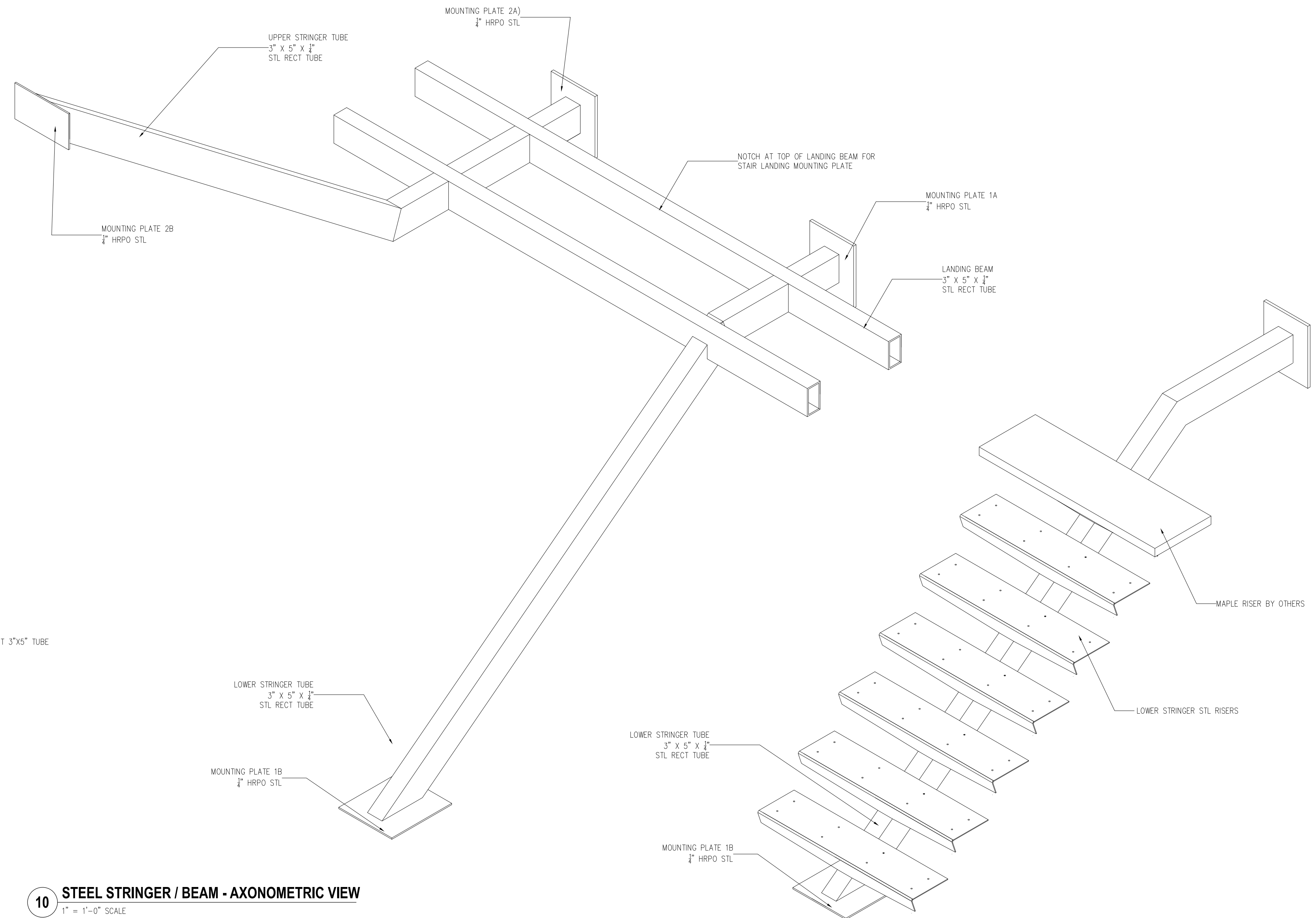
2 UPPER STAIR PLAN
 1/2" = 1'-0" SCALE



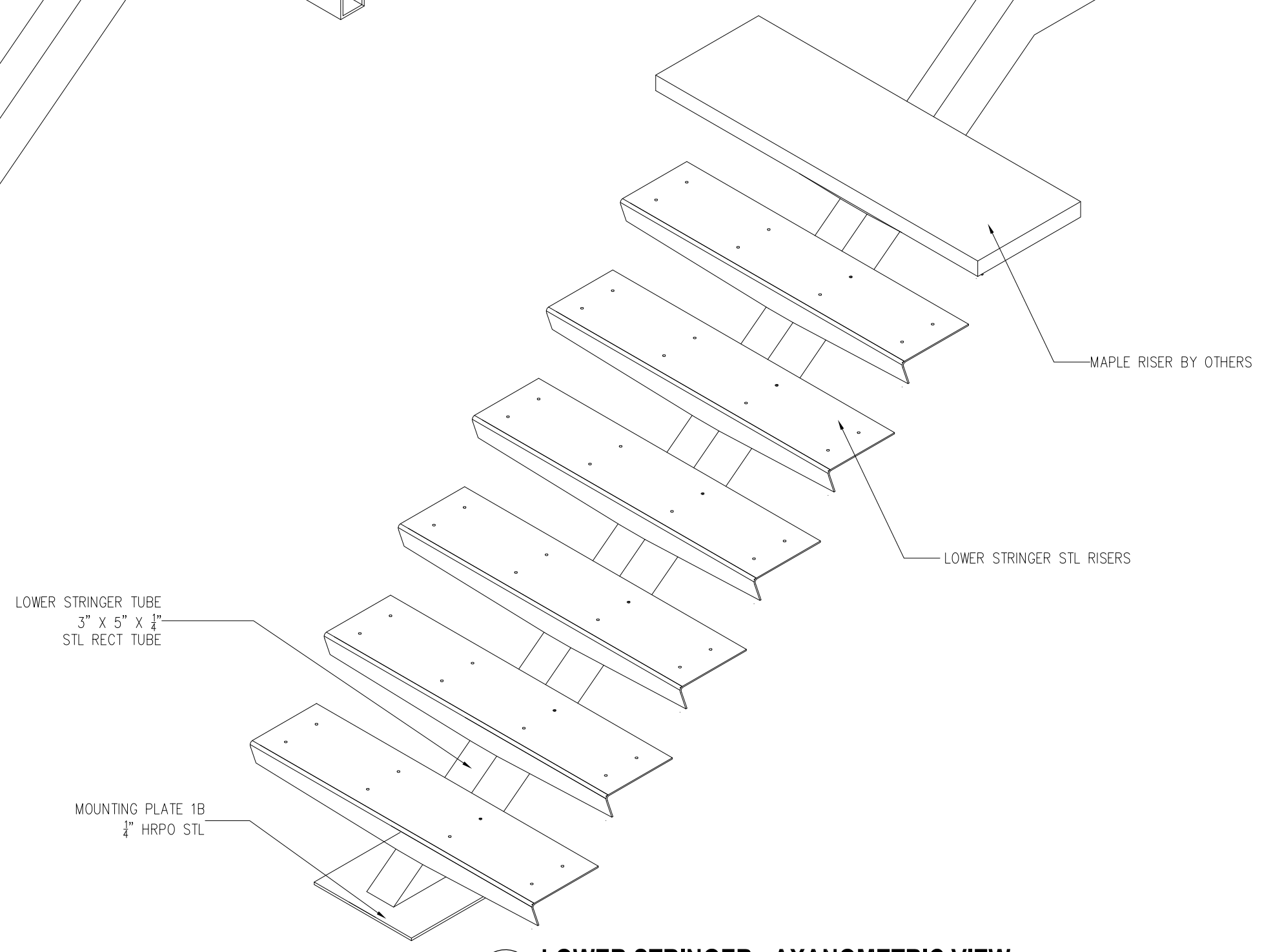
9 LOWER RISER - SIDE SECTION
 2" = 1'-0" SCALE



8 UPPER RISER - SIDE SECTION
 2" = 1'-0" SCALE



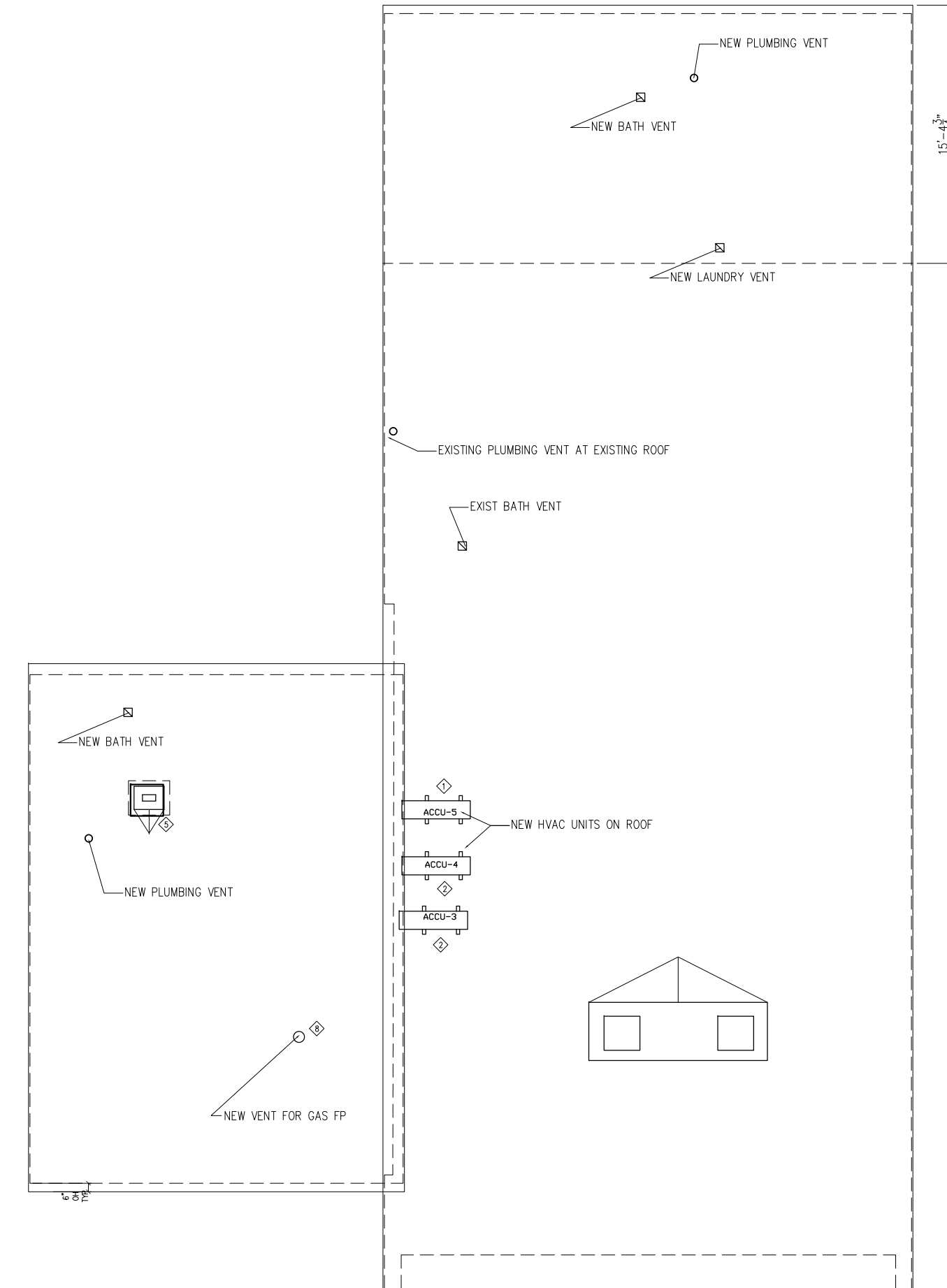
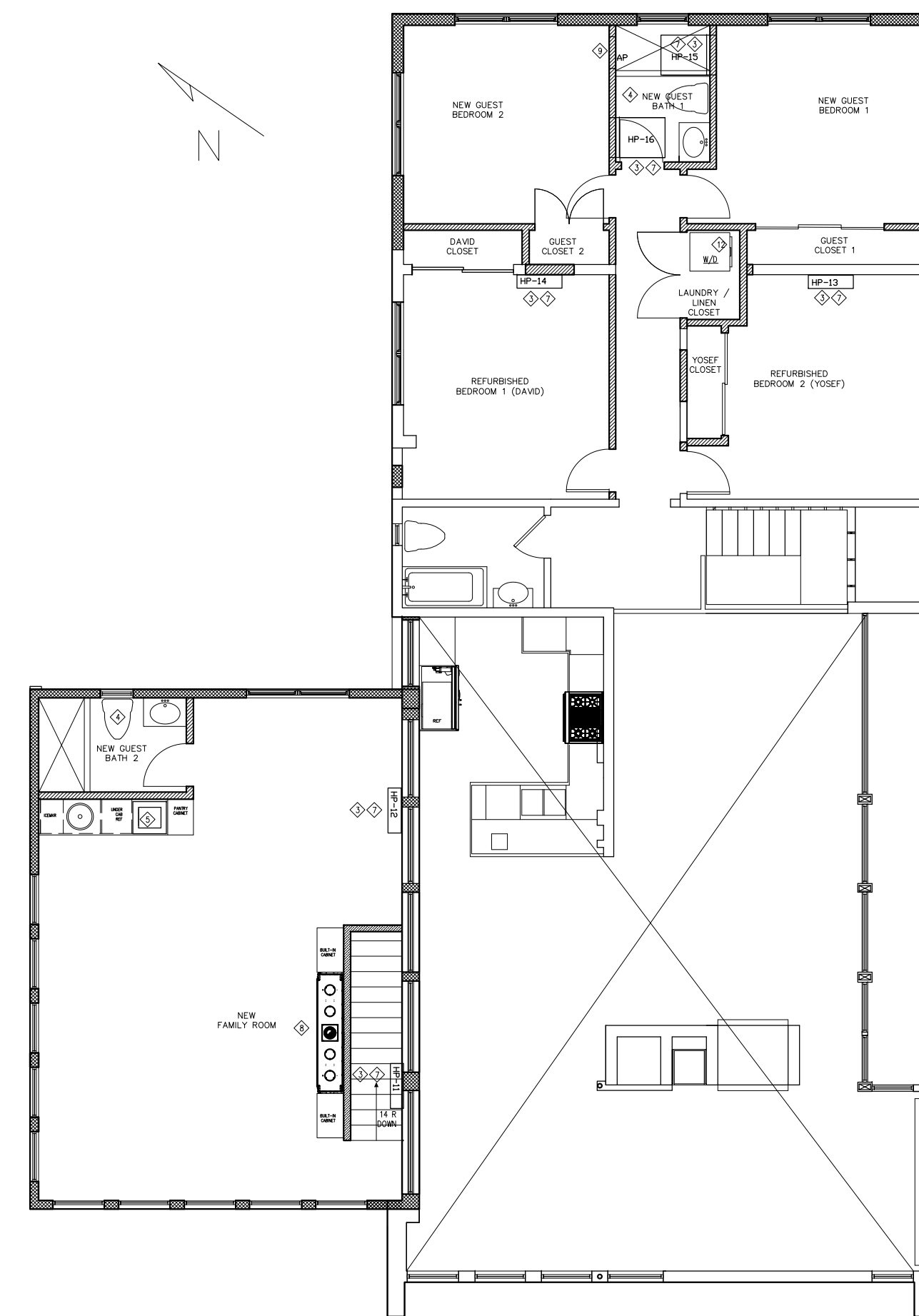
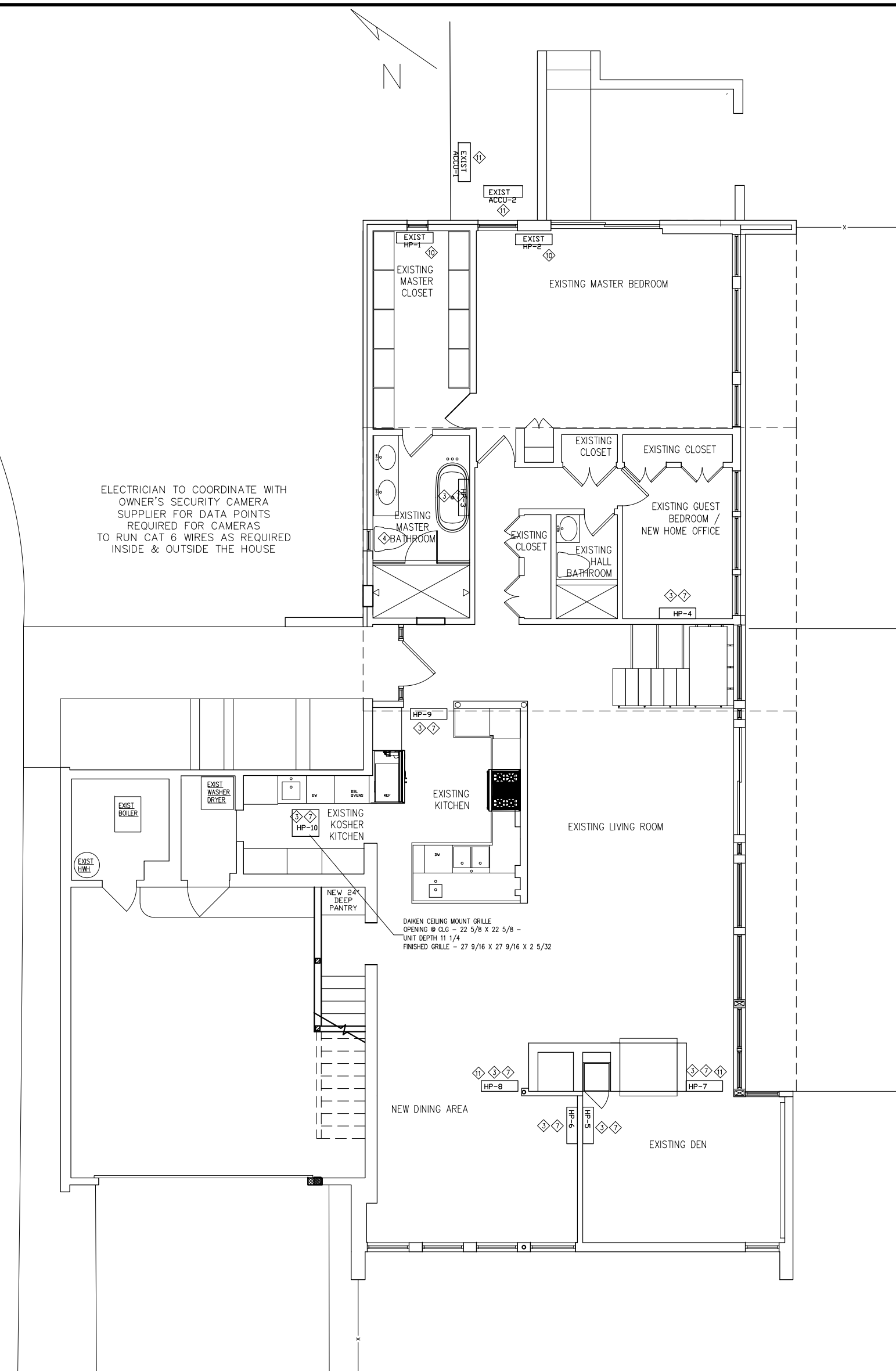
10 STEEL STRINGER / BEAM - AXONOMETRIC VIEW
 1" = 1'-0" SCALE



11 LOWER STRINGER - AXONOMETRIC VIEW
 1" = 1'-0" SCALE



NOTE ALL FLOORS TO BE RADIANT HEATED



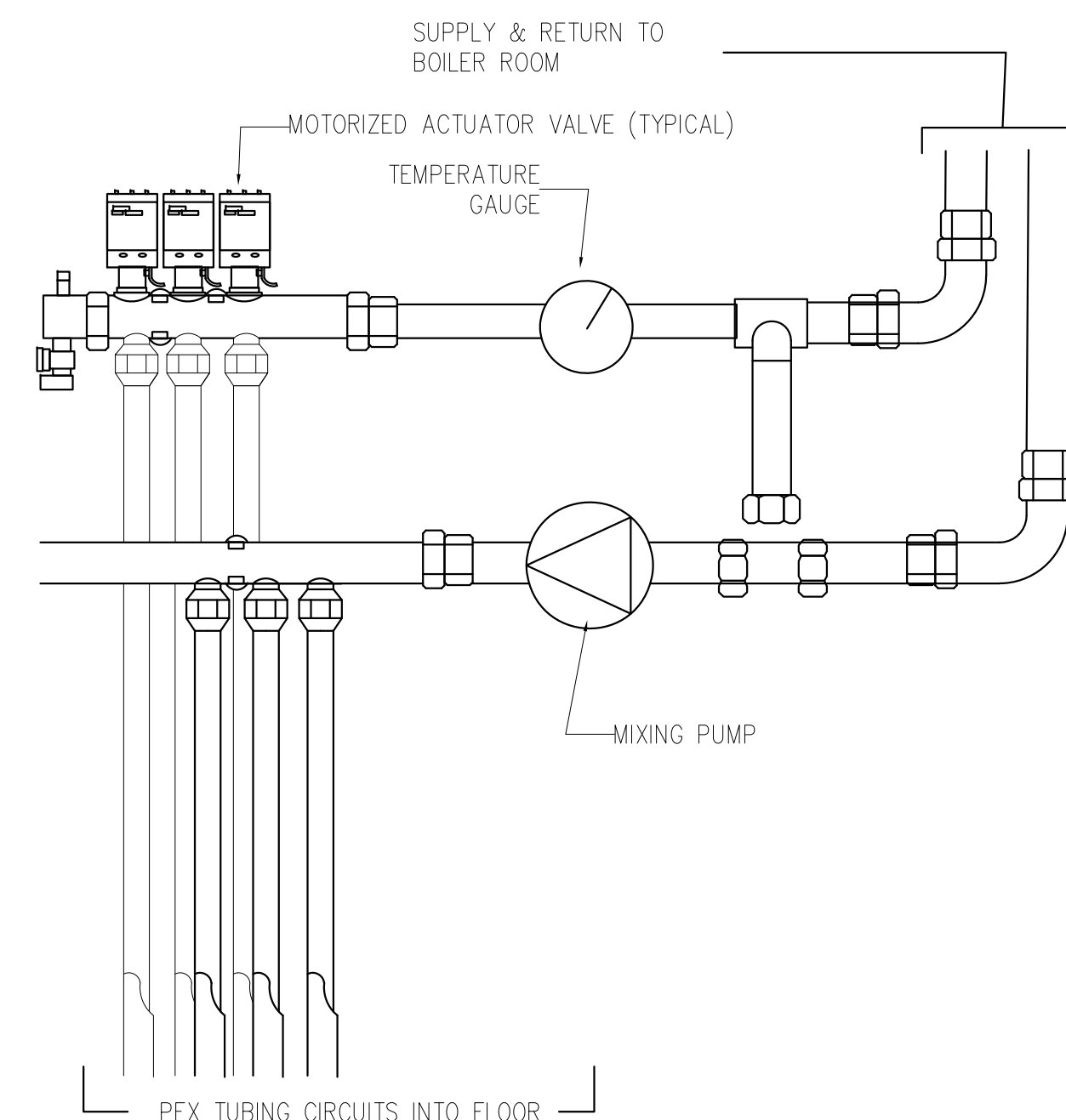
1 PROPOSED 1ST FLOOR MECHANICAL PLAN
 1/8" = 1'-0" SCALE

MECHANICAL NOTES

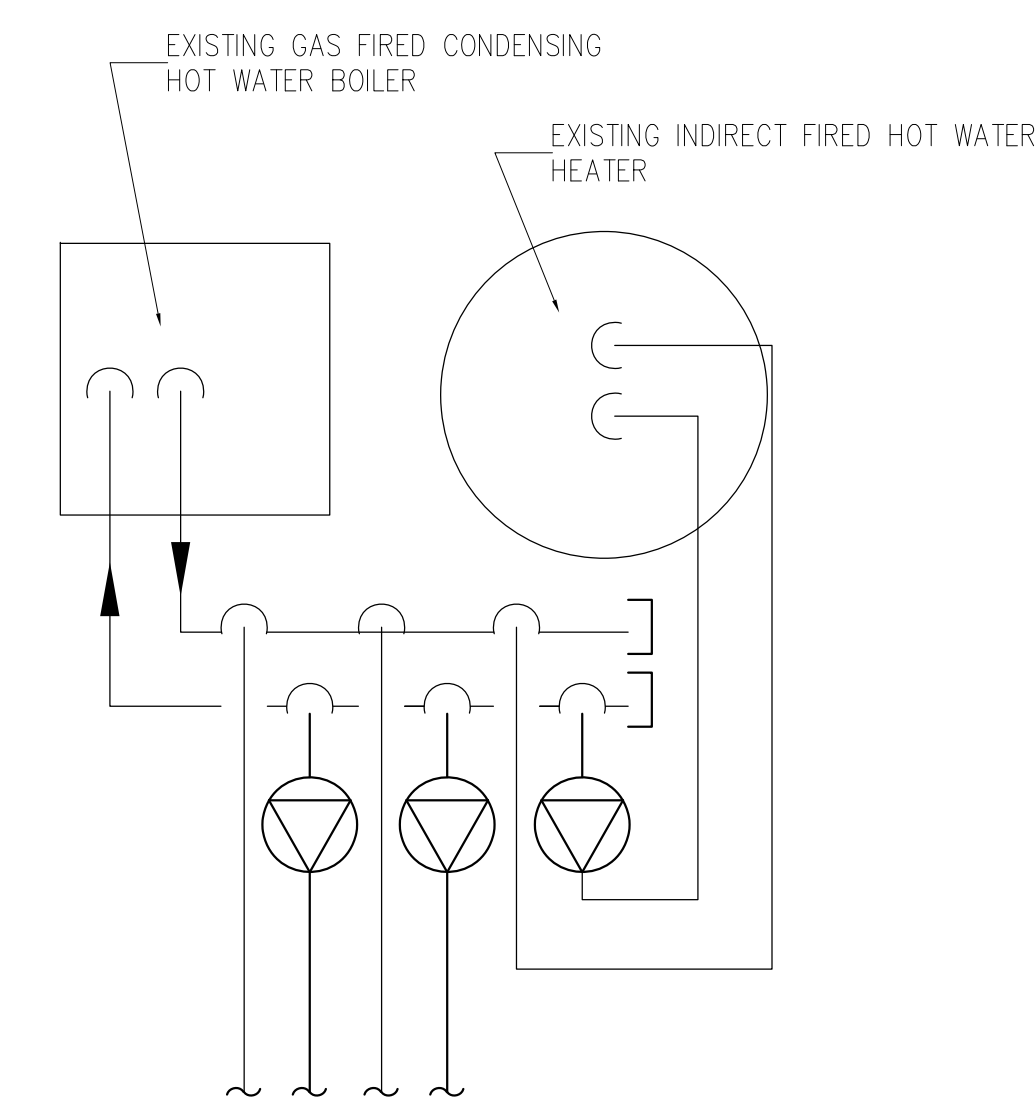
- ◇ SPLIT SYSTEM OUTDOOR UNITS:
 ACCU-1, 2, 3 & 4 - DAIKIN - OUTDOOR HEAT PUMP - 36,000 BTU HEATING & COOLING CAPACITY- 14 SEER DUCTED / 17.7 SEER NON-DUCTED / 15.85 SEER MIXED - MODEL #MXS36RMVJUA
- ◇ ACCU-5 & ACCU-6 - DAIKIN - OUTDOOR HEAT PUMP - 47,000 BTU COOLING & 48,500 BTU HEATING CAPACITY- 15.3 SEER DUCTED / 20.2 SEER NON-DUCTED / 17.75 SEER MIXED - MODEL #MXS48TVJU
- ◇ CONDENSATE DRAIN LINE (1") TO INDIRECT WASTE OR TO EXTERIOR - TBD IN FIELD
- ◇ NEW BATHROOM EXHAUST FAN
- ◇ EXTEND GAS BOILER VENT THROUGH ROOF INSTALL AS PER MANUF. SPECS.
- ◇ 6X36 WALL MOUNT GRILLE - ARCHITECTURALGRILLE.COM AG20 B FRAME BAR GRILLE - SATIN ALUMINUM
- ◇ SEE MANUFACTURER SPECIFICATIONS FOR HVAC UNIT POWER REQUIREMENTS
- ◇ NEW GAS FIREPLACE VENTED TO ROOF SEE MANUFACTURER SPECIFICATIONS FOR VENTING & POWER REQUIREMENTS
- ◇ PROVIDE ACCESS PANEL AT WALL FOR ACCESS TO CONCEALED SLIM DUCTED UNIT FOR ACCESS TO GRILLE AT REAR OF UNIT
- ◇ EXISTING HVAC UNIT TO REMAIN
- ◇ REPLACE EXISTING OUTDOOR UNIT WITH NEW AS REQUIRED - PROVIDE NEW REFRIGERANT LINES TO EXISTING UNITS & NEW UNITS
- ◇ NEW DRYER VENT TO ROOF

MECHANICAL UNIT SPECIFICATIONS

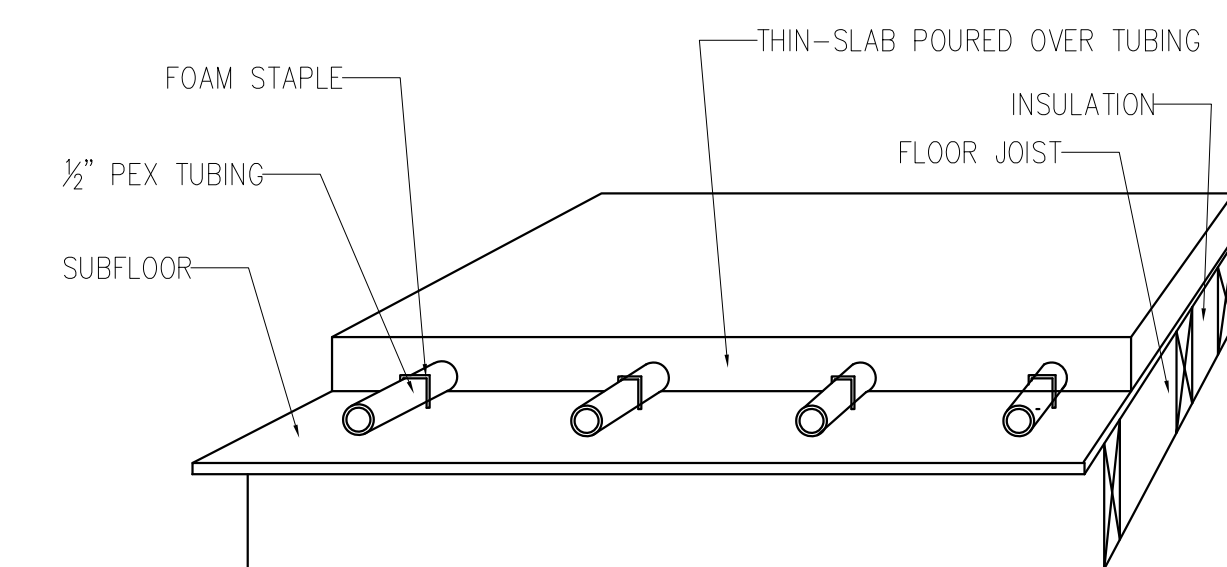
- OUTDOOR UNITS: EXISTING UNITS @ REAR/FRONT YARD
 ACCU - 1 - MXS48TVJU
 ACCU - 2 - MXS48TVJU
- NEW @ ROOF
 ACCU - 3 - MXS36RMVJUA
 ACCU - 4 - MXS48TVJU
 ACCU - 5 - MXS48TVJU
- INDOOR UNITS: DAIKIN MULTI SPLIT SYSTEM
- CONNECTED TO EXISTING ACCU 1:
 HP 1 - FTXR12 MASTER BEDROOM - EMURA WALL MOUNT
 HP 2 - FTXR09 MASTER CLOSET - EMURA WALL MOUNT
 HP 3 - FTXR09 MASTER BATHROOM - EMURA WALL MOUNT
 HP 4 - FTXR09 (OFFICE) - EMURA WALL MOUNT
- CONNECTED TO ACCU 2:
 HP 12 - FTXR09 - (DAVID BEDROOM) - EMURA WALL MOUNT
 HP 13 - FTXR09 - (YOSEF BEDROOM) - EMURA WALL MOUNT
 HP 12 - FDMQ09RVJU - (GUEST BEDROOM 1) - CONCEALED SLIM DUCTED
 HP 13 - FDMQ09RVJU - (GUEST BEDROOM 2) - CONCEALED SLIM DUCTED
- CONNECTED TO ACCU 4:
 HP 5 - FTXR09 (DEN) - EMURA WALL MOUNT
 HP 6 - FTXR09 (DINING) - EMURA WALL MOUNT
 HP 7 - FTXS24LVJU (LIVING ROOM) - WALL MOUNT
- CONNECTED TO ACCU 5:
 HP 10 - FTXR18WVJUW9 - (FAMILY ROOM 1) - EMURA WALL MOUNT
 HP 11 - FTXR18WVJUW9 - (FAMILY ROOM 2) - EMURA WALL MOUNT
 HP 11 - FTXR18WVJUW9 - (FAMILY ROOM 2) - EMURA WALL MOUNT
- CONNECTED TO ACCU 6:
 HP 8 - FTXS24LVJU (LIVING ROOM) - EMURA WALL MOUNT
 HP 9 - FTXR12 (KITCHEN) - EMURA WALL MOUNT
 HP 10 - FFDQ09Q2VJU - (KOSHER KITCHEN) - CEILING CASSETTE



4 TYPICAL MANIFOLD/MIXING STATION
 NOT TO SCALE



5 BOILER ROOM PARTIAL PLAN
 NOT TO SCALE



6 TYPICAL SECTION THROUGH FLOOR
 NOT TO SCALE

13 AUG 23	REDUCED SCOPE	RJ
3 MAR 23	DOB REVIEW	RJ
25 JAN 23	DOB REVIEW	RJ
NO	DATE	REVISIONS
		BY

**ELECTRICAL PLANS
 1ST & 2ND FLOOR**

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DATE: 19 JULY 2022
 PROJECT No: 2022-1
 DRAWING BY: RJ
 CHK BY:
 SCALE: AS NOTED
 DWG No:

E-101.00

SEAL & SIGNATURE



DOB APPROVAL

ELECTRICIAN TO COORDINATE WITH OWNER'S SECURITY CAMERA SUPPLIER FOR DATA POINTS REQUIRED FOR CAMERAS TO RUN CAT 6 WIRES AS REQUIRED INSIDE & OUTSIDE THE HOUSE

SEE REFLECTED CEILING PLAN FOR LIGHTING & SWITCH LOCATIONS

NOTE: - ELECTRICIAN TO PROVIDE NEW POWER CONNECTIONS @ ROOF FOR 3 NEW HVAC UNITS & SIDE YARD FOR 3 NEW HVAC UNITS PROVIDE POWER CONNECTIONS AT INTERIOR AIR HANDLERS, NEW EXHAUST FANS, NEW FIRE PLACES SEE MECHANICAL PLANS FOR LOCATIONS

ELECTRICAL LEGEND ALL SWITCHES TO BE MOUNTED AT 48" AFF UNLESS OTHERWISE NOTED

SYMBOL	FIXTURE TYPE	SYMBOL	FIXTURE TYPE
Ⓢ	SWITCH - LUTRON DIVA	Ⓜ	DATA OUTLET
Ⓢ	DIMMER SWITCH - LUTRON DIVA DIMMER	☎	TELEPHONE OUTLET
Ⓢ	3-WAY SWITCH - LUTRON DIVA	Ⓜ	DUPLEX OUTLET LUTRON DESIGNER
Ⓢ	ELECTRONIC DIMMERS SWITCH (CL) - FOR FLUORESCENT OR LED FIXTURE DIMMING	Ⓜ	GROUND FAULT INTERRUPTER DUPLEX OUTLET LUTRON DESIGNER
Ⓜ	TELEVISION OUTLET - TV CABLE	Ⓜ	GAS DRYER - DEDICATED 120 V / 60Hz, 4A MAX CONFIRM AMPERAGE WITH MANUFACTURER'S SPECIFICATIONS
Ⓜ	DIGITAL PROGRAMMABLE THERMOSTAT	Ⓜ	WASHING MACHINE - DEDICATED 120 V / 60Hz, 12A MAX CONFIRM AMPERAGE WITH MANUFACTURER'S SPECIFICATIONS
Ⓜ	INTERCONNECTED HARD WIRE, BATTERY BACK UP COMBINATION SMOKE & CARBON MONOXIDE DETECTOR		

2 PROPOSED 2ND FLOOR PLAN

3/16" = 1'-0" SCALE

1 PROPOSED-1ST FLOOR ELECTRIC PLAN

3/16" = 1'-0" SCALE