

PLAN No: 000425
DATE: 2-10-2025

PROJECT FOR:
GILBERTO GARZA & OLGA GARZA
1704 E. LOEB ST.
EDINBURG, TX 78542

DIFFERENT PERSPECTIVE
DESIGNS
BY. H.O



FRONT ELEVATION

General Notes

- 1. Building to comply w/2018 IRC, 2018 IECC,2018 IPC,2018 IMC
2018 IFGC, 2018 IFC,2017 NEC And City Of Edinburg Ordinances
- 2. Occupancy Type: R-3
- 3. Construction Type: VB
- 4. All construction must be done per design and specifications.
- 5. Construction shall meet 130 mph wind speeds and comply
attached Engineer design.

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- Sheet 2. — Site Plan
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- Sheet 4. — Floor Plan
- Sheet 5. — Front & Rear Elevations
- Sheet 6. — Left & Right Elevations
- Sheet 7. — Roof Plan
- Sheet 8. — Electrical Plan
- Sheet 9. — Typical Details

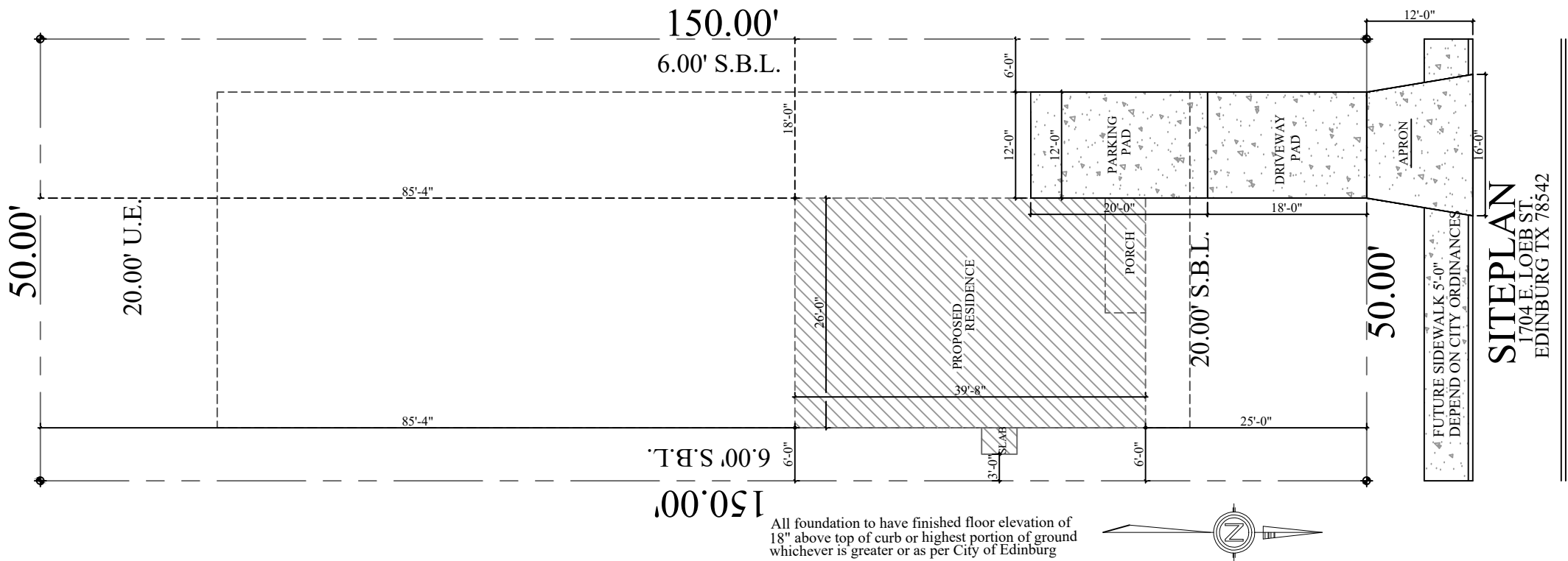
AREAS:


LIVING AREA	972	SQ. FT.
PARKING PAD	240	SQ. FT.
DRIVEWAY	216	SQ. FT.
APRON	210	SQ. FT.
COVERED PORCH	60	SQ. FT.
SLAB	12	SQ. FT.
TOTAL AREA	1,710	SQ. FT.

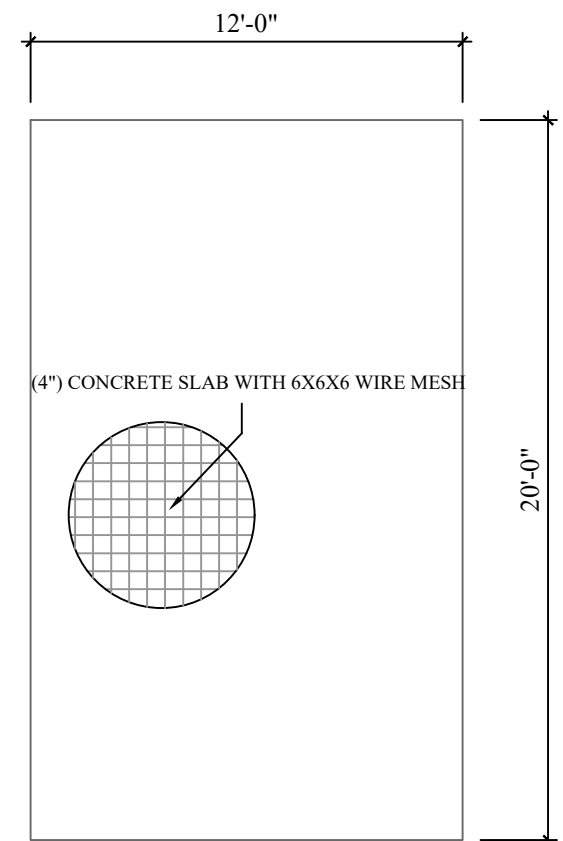
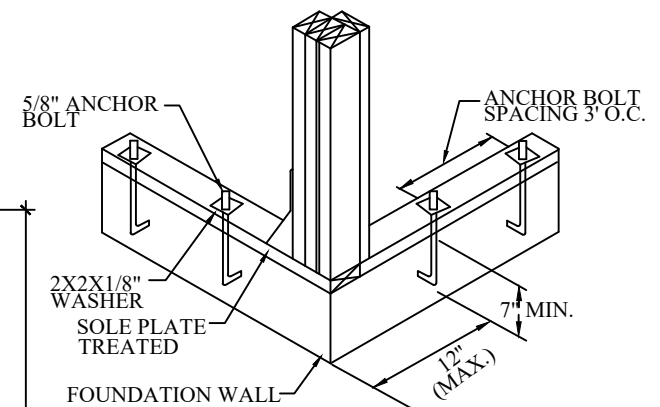
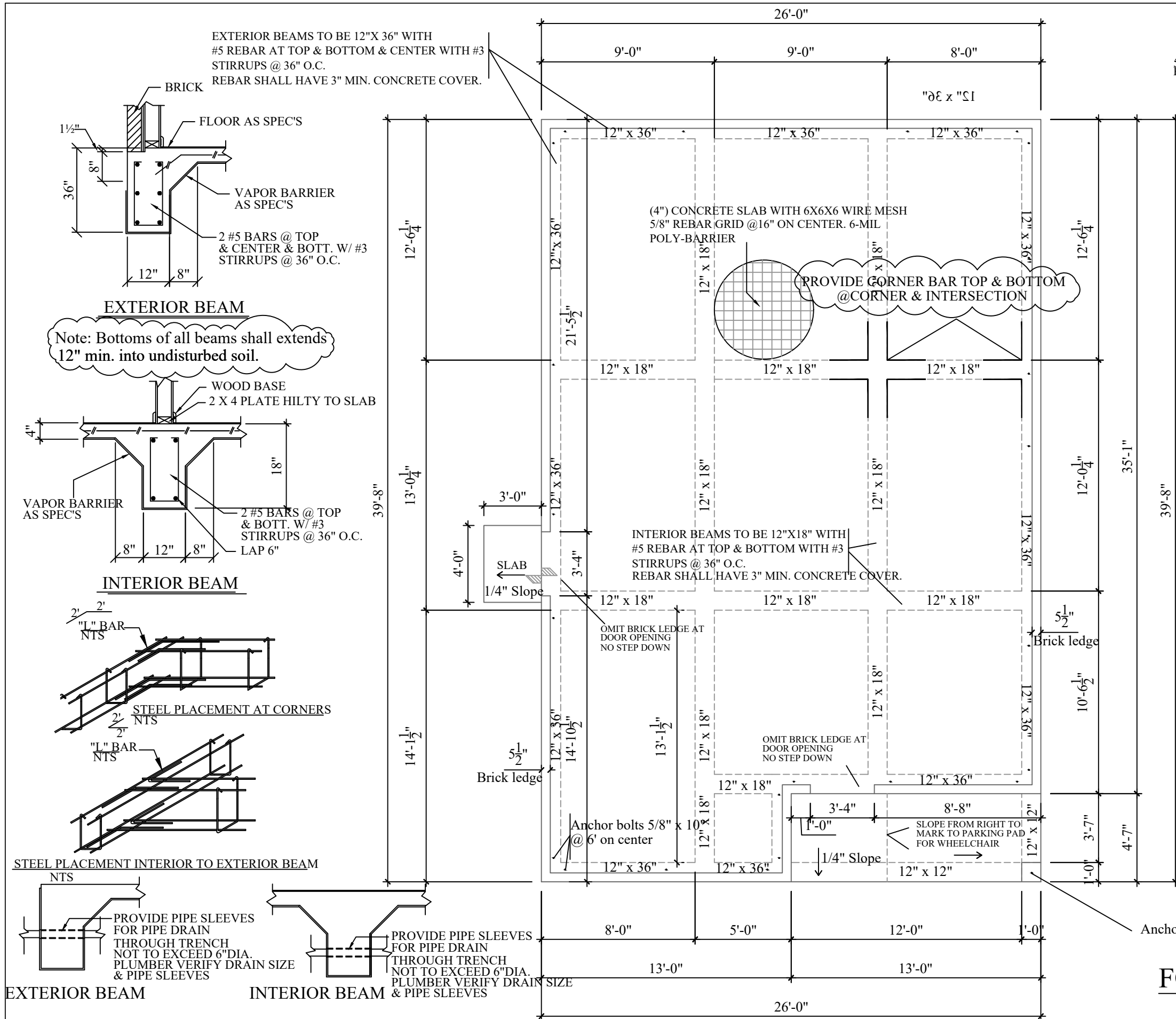
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PARKING PAD

SCALE 3/16" = 1'-0"

General Notes

1. Foundation design is done as a recommendation only.
2. Engineer design recommended for foundation design and soil test.
3. Contractor shall verify minimum finish floor elevation.

FOUNDATION PLAN

SCALE 3/16" = 1'-0"

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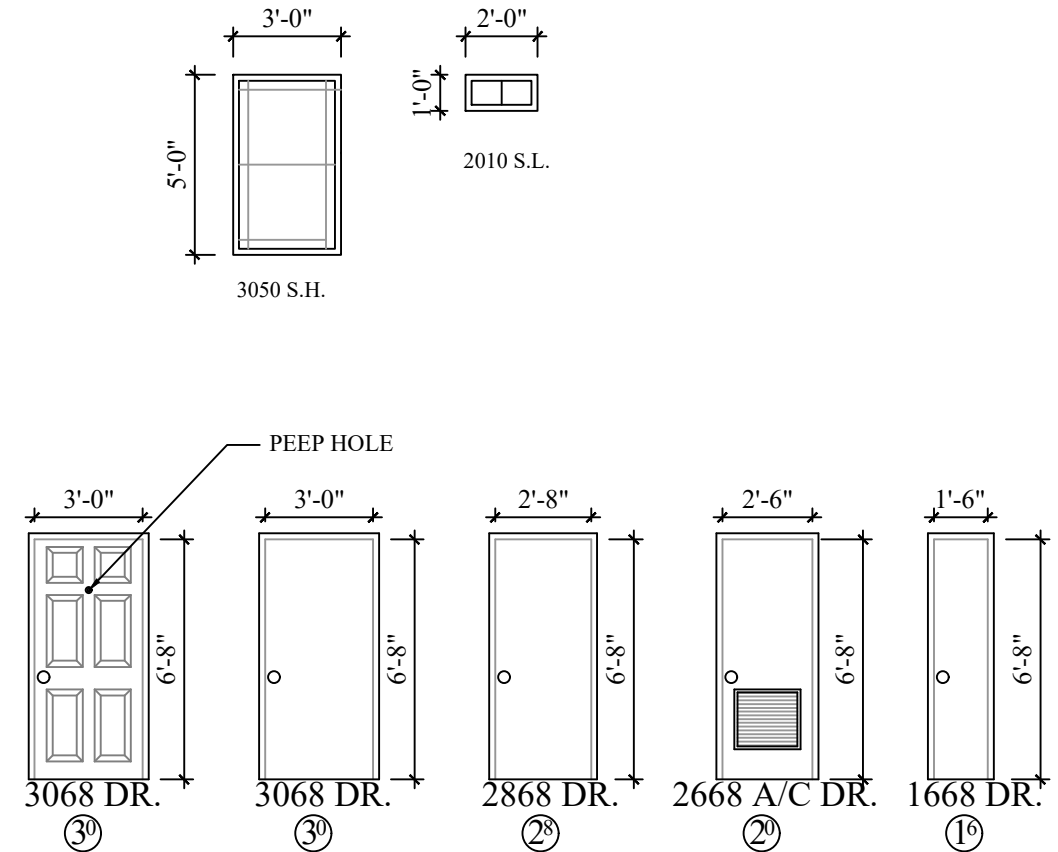
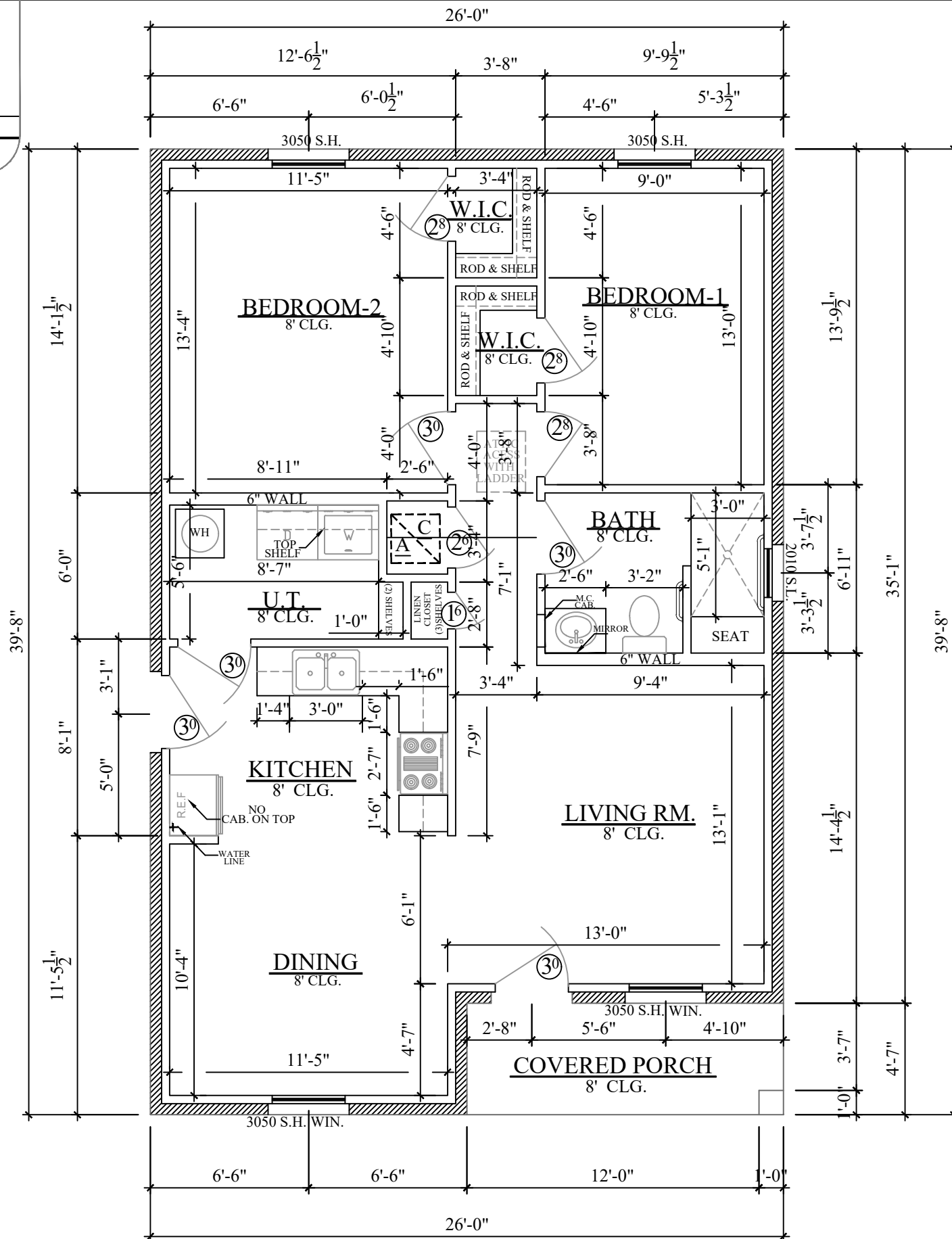
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LIVING AREA	972	SQ. FT.
PARKING PAD	240	SQ. FT.
DRIVEWAY	216	SQ. FT.
APRON	210	SQ. FT.
PORCH	60	SQ. FT.
SLAB	12	SQ. FT.
TOTAL AREA	1,710	SQ. FT.

AREAS:



 - 2x4 int. wall

 - brick ledge ext. wall

FLOOR PLAN
SCALE 3/16" = 1'-0"

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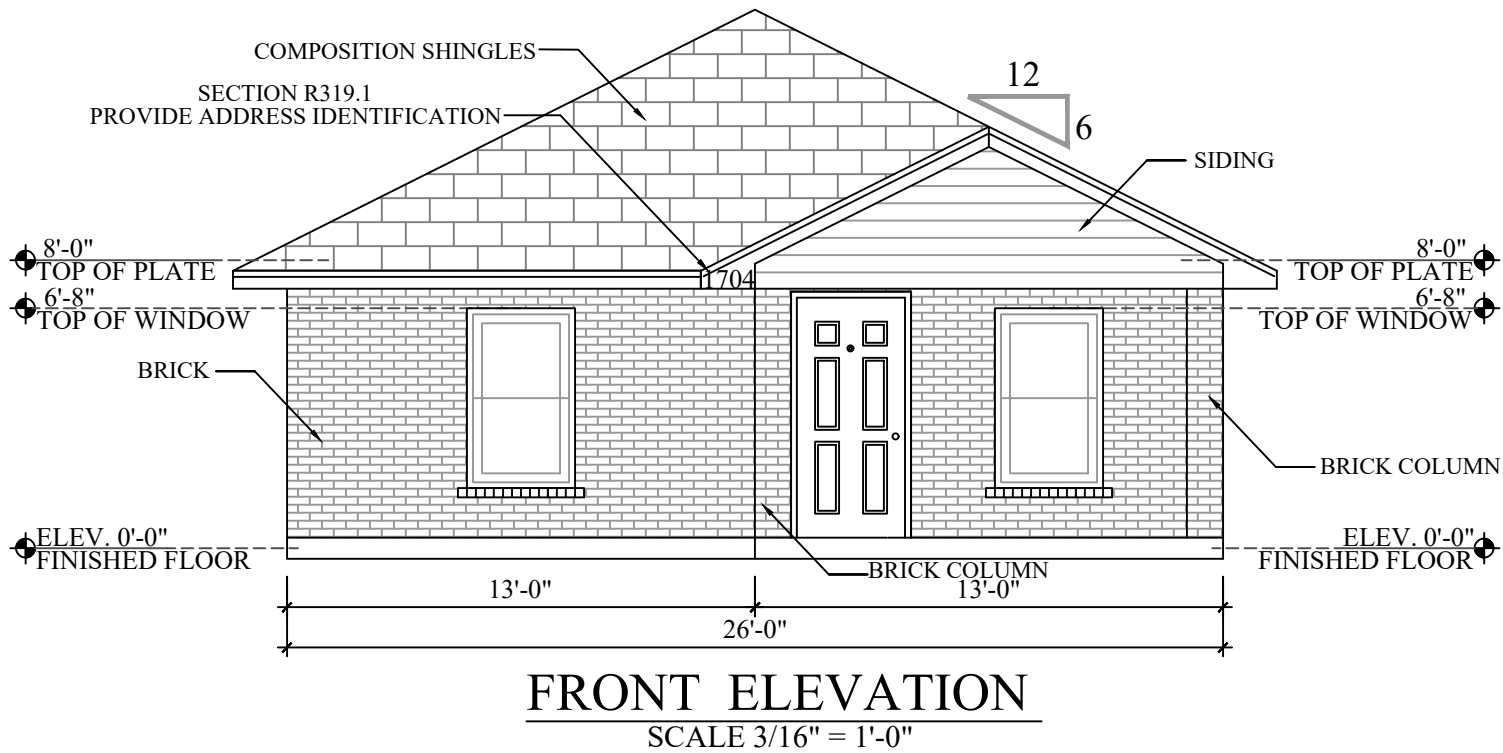
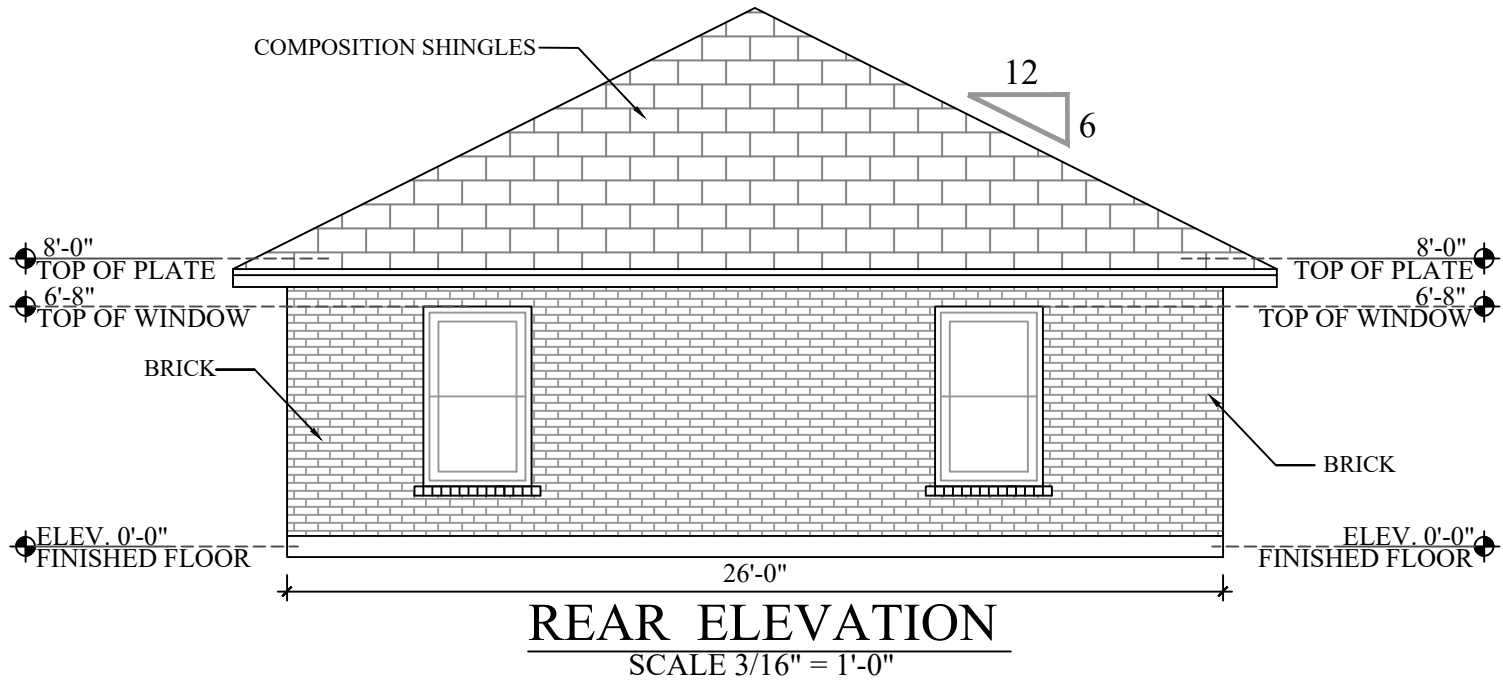
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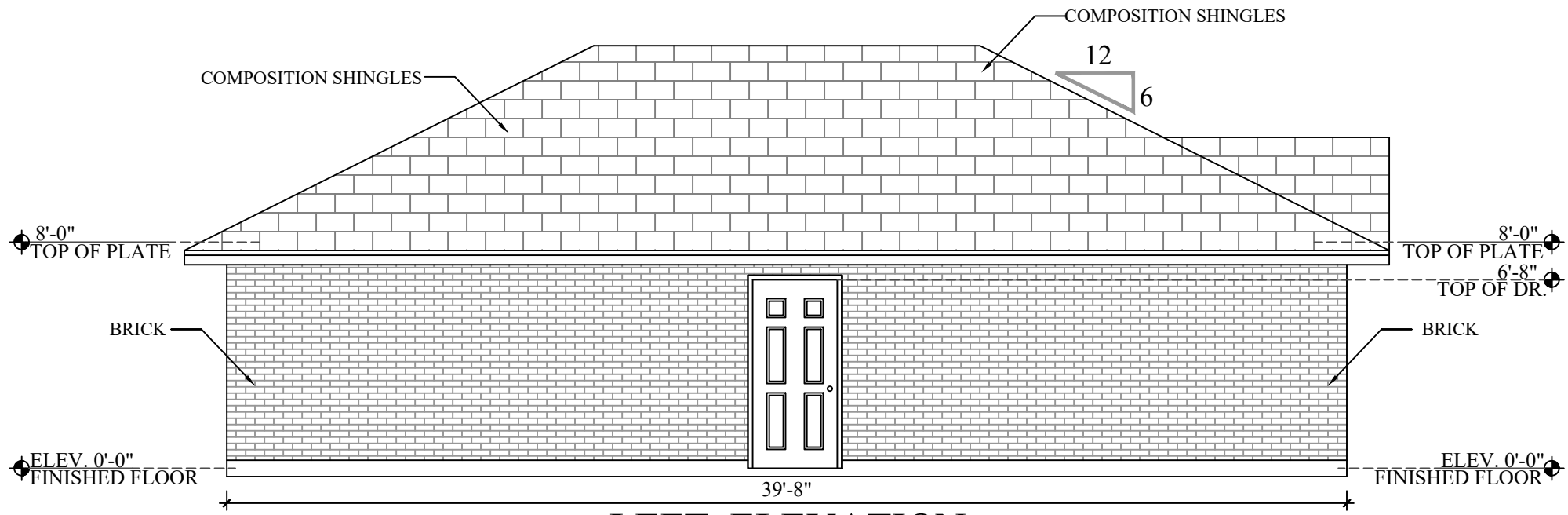
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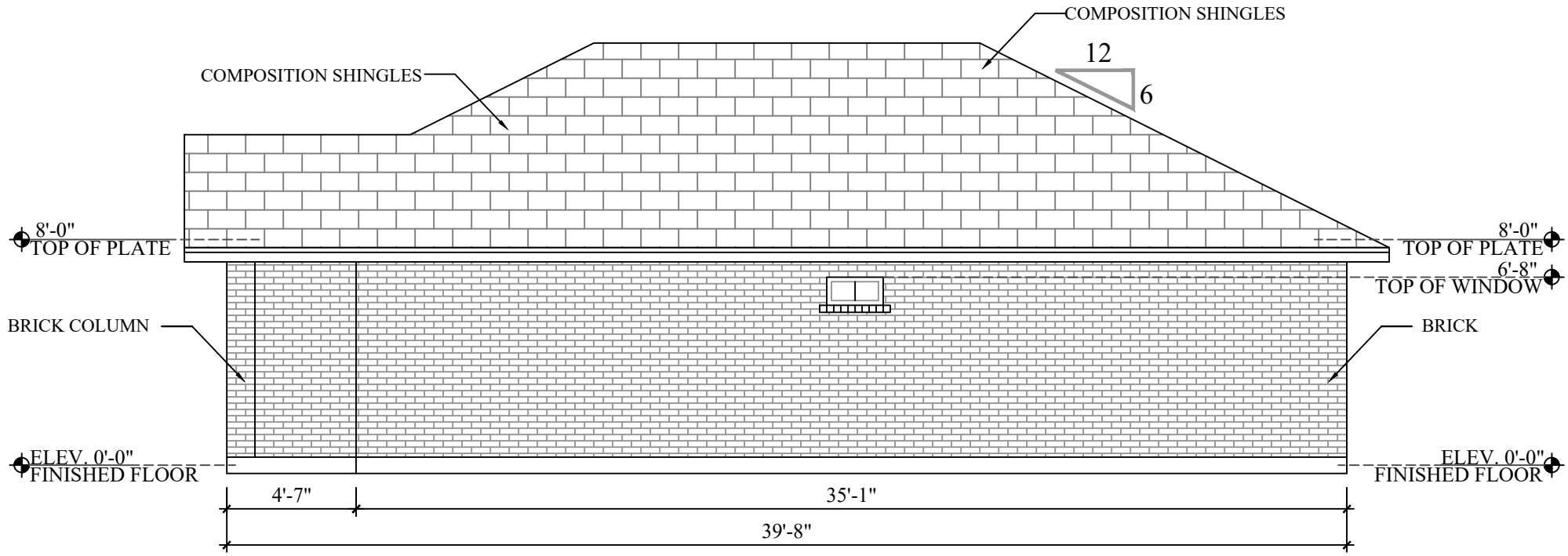
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LEFT ELEVATION

SCALE 3/16" = 1'-0"



RIGHT ELEVATION

SCALE 3/16" = 1'-0"

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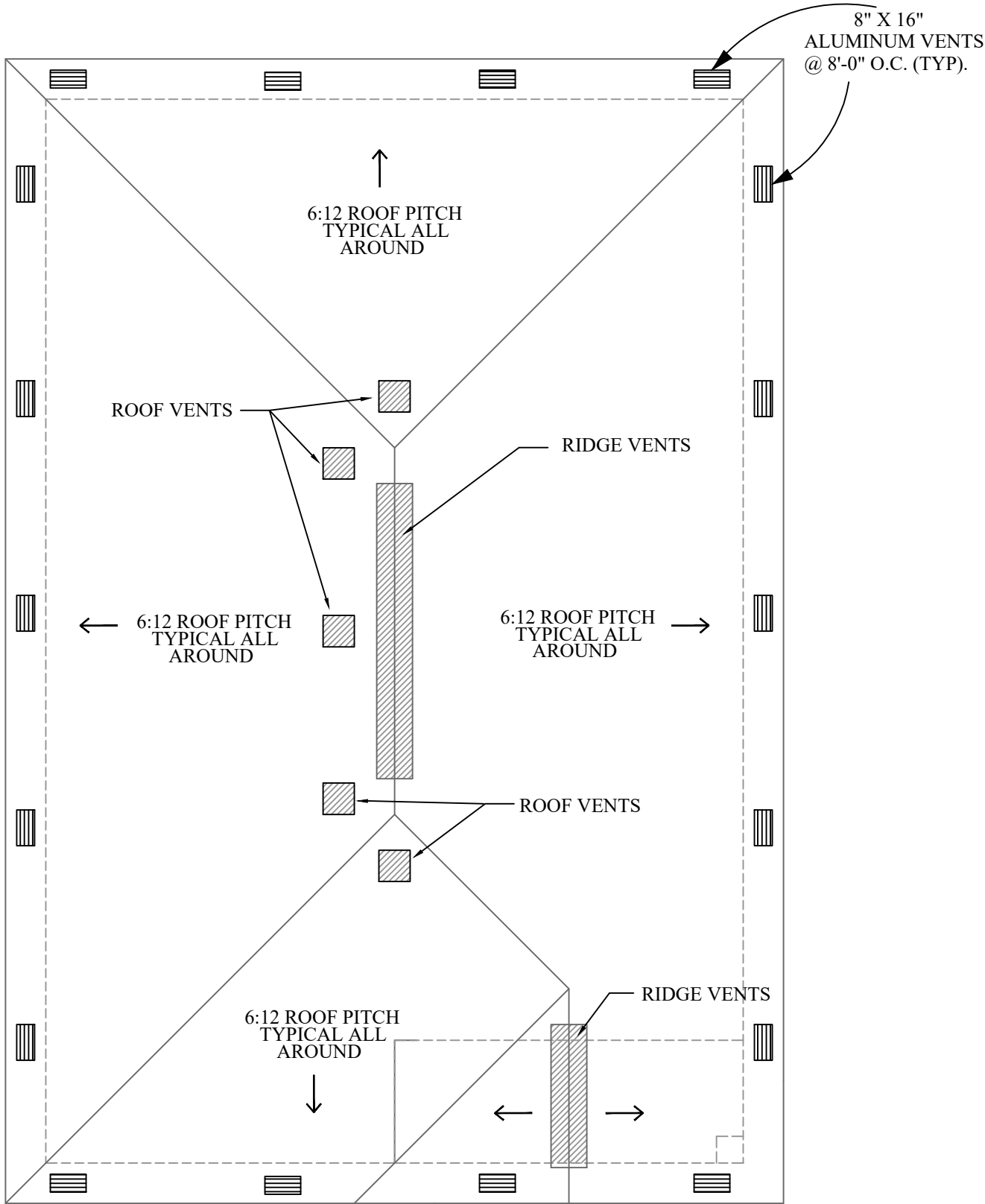
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ROOF PLAN
SCALE 3/16" = 1'-0"

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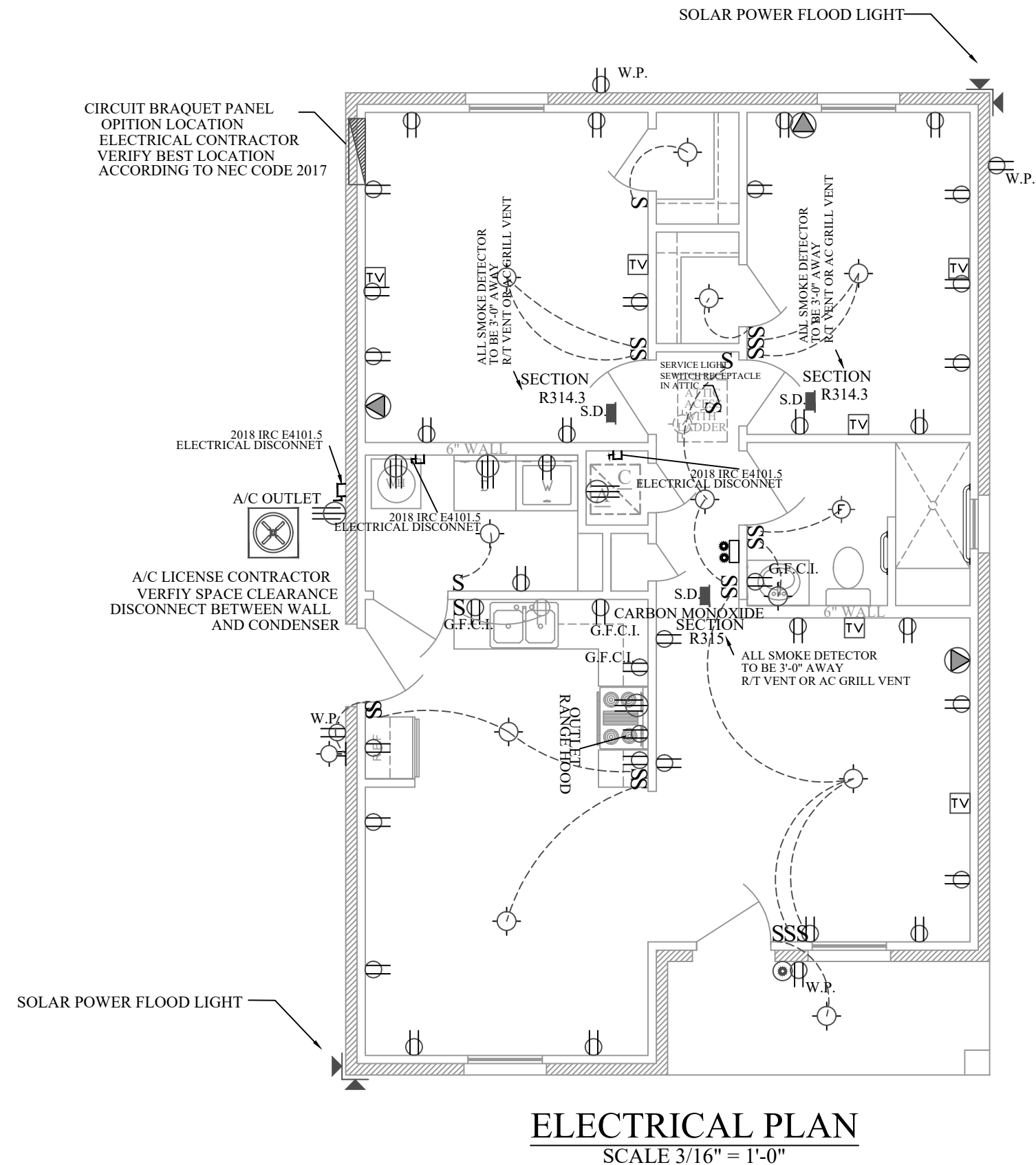
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ELECTRICAL PLAN
SCALE 3/16" = 1'-0"

LEGEND

- | | |
|-----------------------------------------|----------------------------------------------------|
| D - DIMMER | S.D. - SMOKE DETECTOR SECTION R314.3 |
| S - SWITCH | S.D. - SMOKE DETECTOR CARBON MONOXIDE SECTION R315 |
| ⊕ - 110V | - 1'X4' FLORESCENT LIGHT |
| ⊕ _{W.P.} - 110V WATER PLUG | FLO. FIX. - 2'X4' FLORESCENT LIGHT |
| ⊕ - 220V | - FAN & LIGHT |
| TV - T.V. JACK | - VENT/LIGHT |
| ⊙ - TELEPHONE JACK | - SOLAR POWER FLOOD LIGHT |
| ⊙ - FIXTURE MOUNT | TRACK LIGHT |
| ⊙ - FIXTURE WALL MOUNT | - EYELIGHT |
| ⊙ - RECESS LIGTH | |
| ⊙ - LED LIGHT | |
| ⊙ - CHANDELIER | |
| ⊙ - CHIMES | |
| ⊙ - BUTTON | |
| ⊙ _{W.P.} - WEATHER PROOF LIGHT | |

General Notes

1. Electrical to be done per 2017 NEC or code adopted by municipality.
2. Arc fault circuit breakers to be installed in every bedroom, hallways, living & dining
3. Telephone and cable jacks installed to owners convinience.
4. Do not install temporary power in panel box leaving exposed wires.
5. All circuits in panel box shall be identified at final inspection.
6. Additional lighting, outlets, etc. acquired by owner shall be verified with contractor.
7. GFCI protection shall be installed in all wet locations. kitchen,bathroom and outside receptacles.
8. Bathroom ventilation shall be exhausted directly to the outside.
9. Smoke detectors shall be interconnected and shall have a battery backup.
10. Surface mount/pendant lighting in closets shall be 12" min away from shelves.
11. Fixtures installed in shower areas shall be suitable for wet locations.
12. Attic shall be provided with light, switch,

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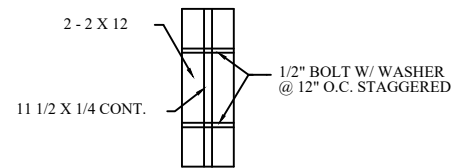
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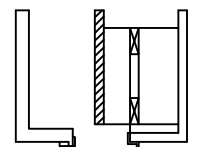
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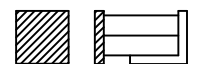
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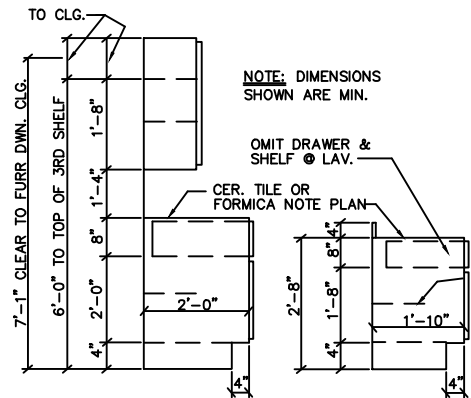
FLITCH BEAM DETAIL



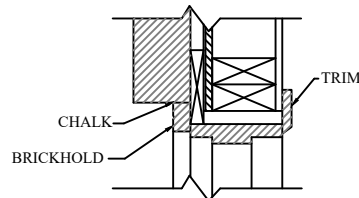
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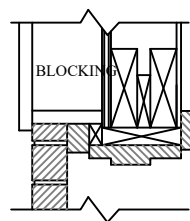
JAMB



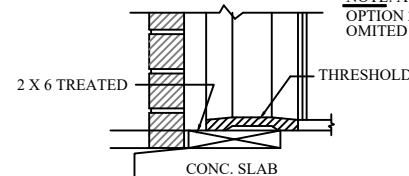
SECTION THRU BATH & KITCHEN CABINETS



JAMB

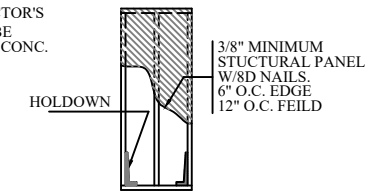


EXTERIOR DOOR DETAIL



SILL

ALTERNATE WALL BRACE 2'-8\"/>



1 X 4 CORNER BRACE LET-IN BRACE PLACED AT NOT LESS THAN 45° AND NOT MORE THAN 60°.

4 X 8 X 5/8 PLYWOOD SHEET MAY BE USED IN PLACE OF 1 X 4

END NAIL EA. MEMBER W/ 2 - 16d TOTAL 4 NAIL EA. END

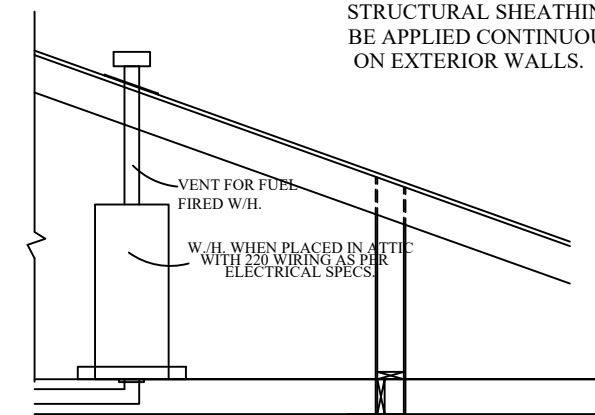
2 - 2 X 6 HEADER UP TO 5'-0\"/>

TOE NAIL W/ 2 - 10d (OR END NAIL W/ 2 - 16d)

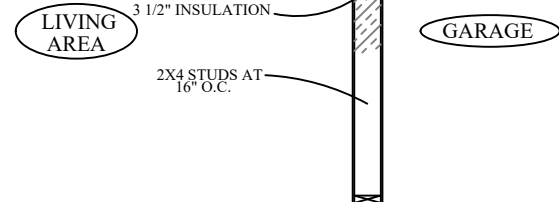
NAIL DBL STUDS W/ 10d @ 24\"/>

TYP. CORNER BRACING & WINDOW FRAMING

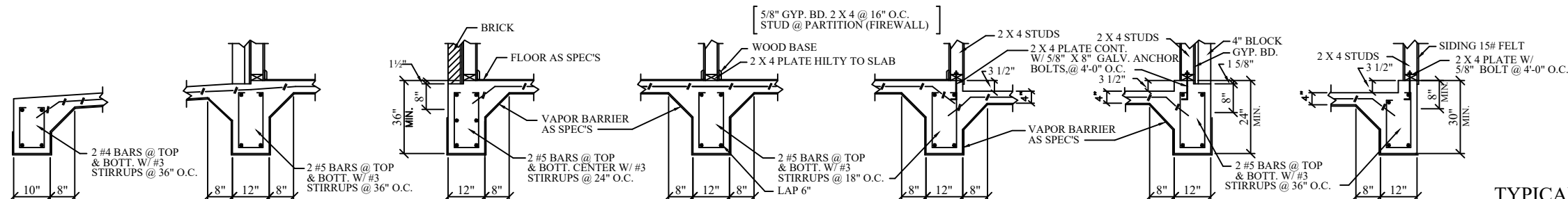
NOTE: STRUCTURAL SHEATHING WILL BE APPLIED CONTINUOUSLY ON EXTERIOR WALLS.



1 - LAYER OF 5/8\"/>



GARAGE WALL DETAIL



TYPICAL DETAILS

Scale: N.T.S.

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