Murrumbateman

Evolving from a village to a unique and sustainable town

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Tapping into the strengthened economic triangle

MEETING THE CHALLENGE OF DEVELOPMENT PRESSURES

- Protecting agricultural land and minimising loss of pastoral land to urban development
- Ensuring urban development is sympathetic to the natural environment
- Balancing population growth with the capacity of infrastructure and services to support it, particularly ensuring access to clean and secure water supplies
- Developing innovative solutions to manage environmental impacts

MEETING THE CHALLENGE OF DEVELOPMENT PRESSURES

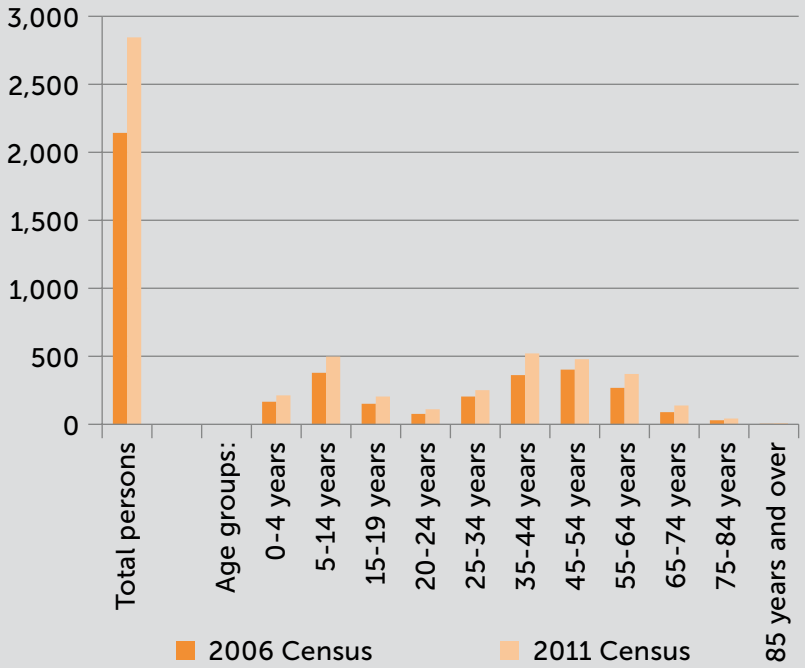
- Expanding local employment lands to create new local jobs
- Enhancing tourism opportunities
- Maintaining the township atmosphere
- Developing local employment and social opportunities to encourage young people to stay
- Ensuring affordable housing and improved transportation options are provided

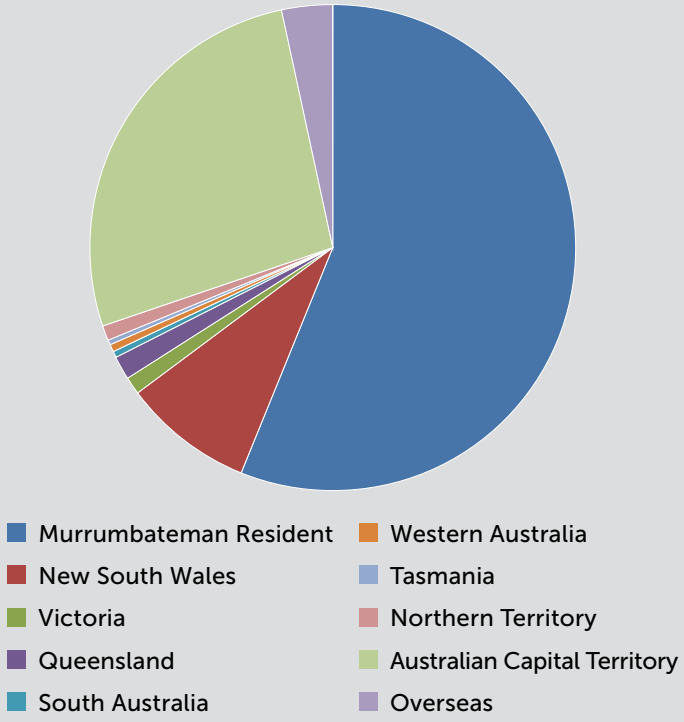
MURRUMBATEMAN

- Protecting the growing wine industry from land use conflict
- Developing opportunities from the upgrade of the Barton Highway
- Tapping into new commercial, retail and industrial land opportunities
- Protecting visual amenity of surrounding farmland
- Recognising the opportunities of large parcels of land in single ownership to the north of the village and the potential for affordable housing

MURRUMBATEMAN

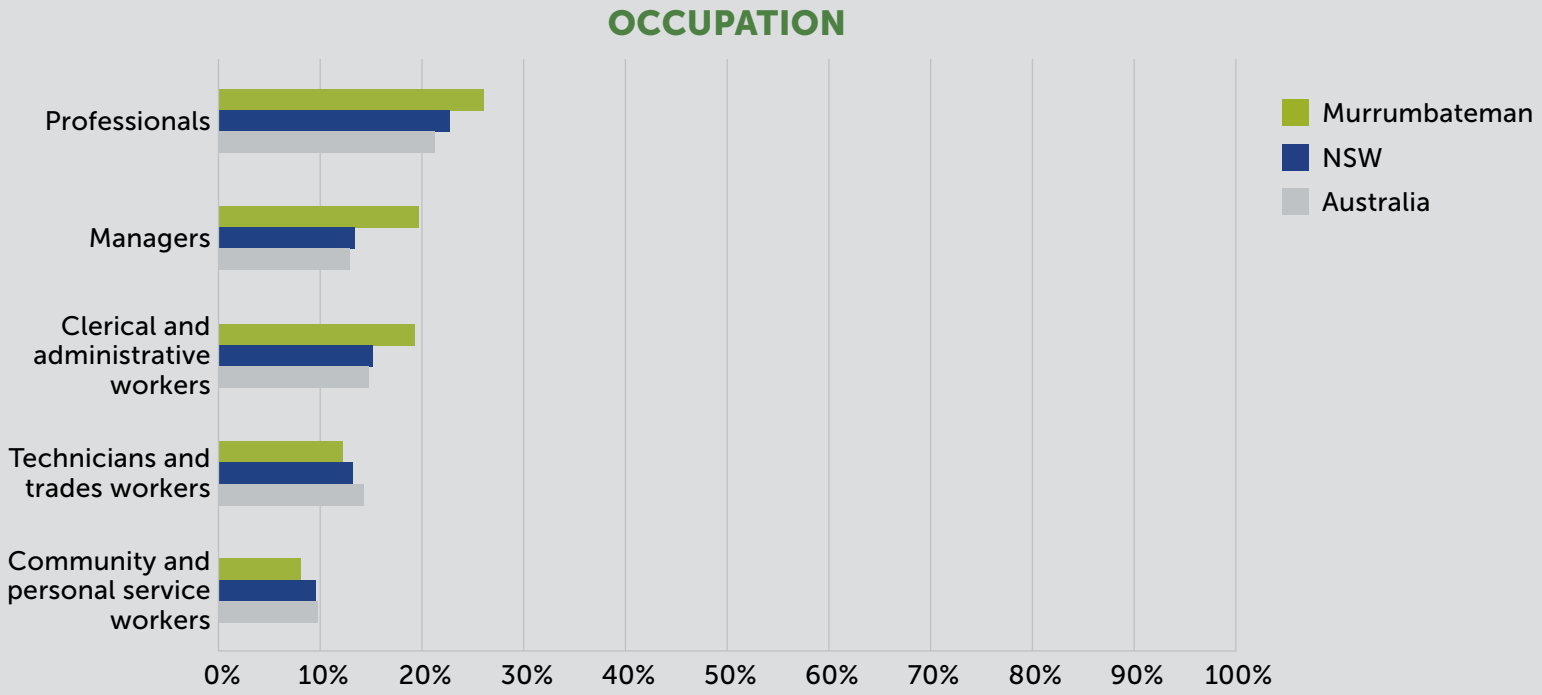
- Promoted as being an option for ACT residential on the Capital Region Living website





A growing population

- 32% population growth between 2006 and 2011
- All age categories growing from 0-4 to 65+
- Population influx from outside the area, mainly the ACT
- The ACT predicted to grow by up to 200,000 in the next 20 years



A growing population

- A strong focus on professional, managerial and clerical/administrative workers
- Indicates a strong focus on commuting to Canberra

MITIGATING THE IMPACTS OF THE BARTON HIGHWAY BYPASS ON MURRUMBATEMAN

- Yass experienced a 4.5% employment loss and a 16.7% loss in business turnover with 40% of businesses closing post the opening of the Hume Bypass in 1994
- Yass experienced a 10.1% increase in population between 1996 and 2006 with in-migration from Canberra that gradually compensated
- Still suffers from leakage of retail spending to Canberra – a factor due to the structure of the small town
- Small towns (up to 2,500 persons or less) are shown to be more at risk of adverse economic impacts from bypasses than medium or larger sized towns

Residential Property Price Index; Canberra

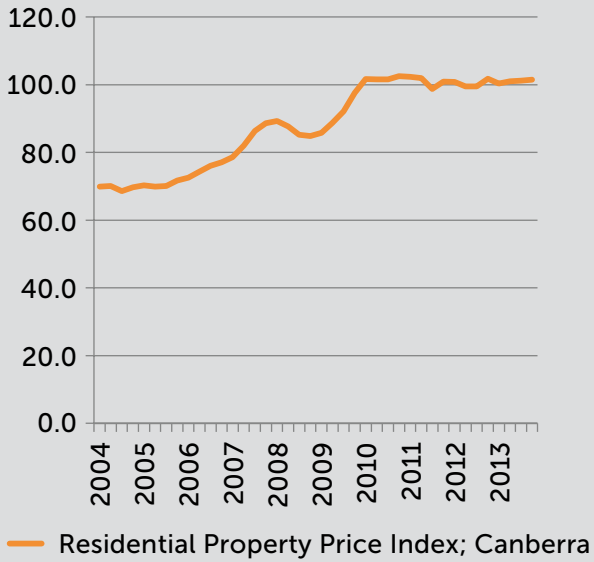
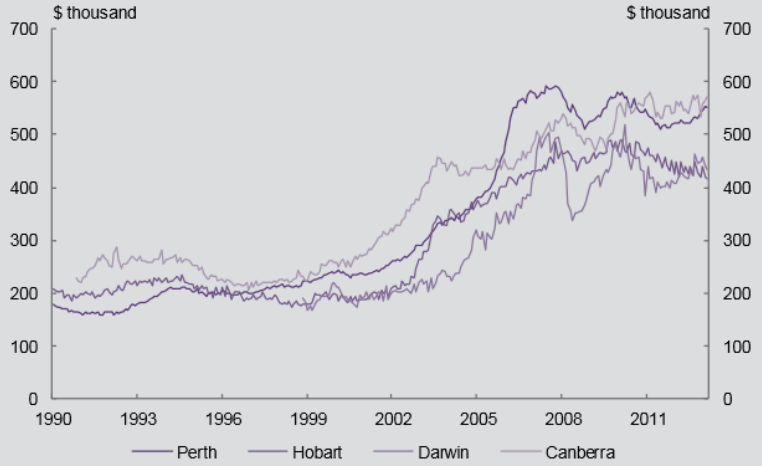


Figure 1.8 Real median dwelling prices (monthly), Perth, Hobart, Darwin, Canberra



Source: RP Data Rismark, unadjusted median price, all dwellings. ABS 2013, Consumer Price Index, Australia, June 2013, cat no 6401.
Note: Prices are benchmarked for March 2013 and adjusted to real terms using the Consumer Price Index (CPI) for each capital city. Monthly RP Data has been aggregated to quarterly data.

Addressing acute land shortages in Canberra

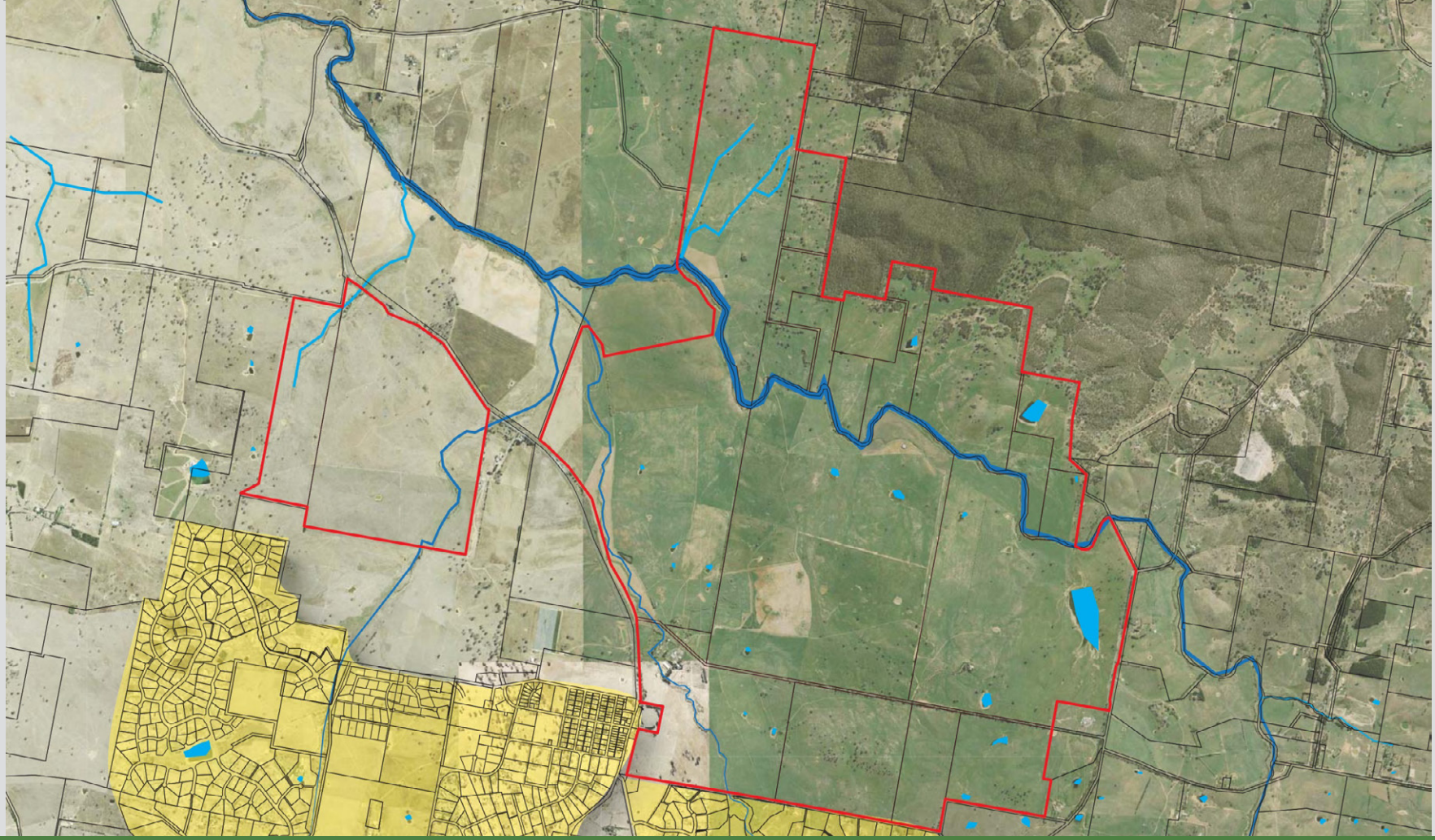
- Canberra's land supply shortage continues into 2012 according to *Colliers International Canberra Communities Research and Forecast Report – First Half 2012*
- The report cited 1,215 lots available in the Northern Canberra market which is a 14 per cent decline from the previous report
- This has the potential to increase undesirable land use impacts in Yass Valley if not directed and controlled

DEVELOPING A PARTNERSHIP WITH YASS VALLEY COUNCIL

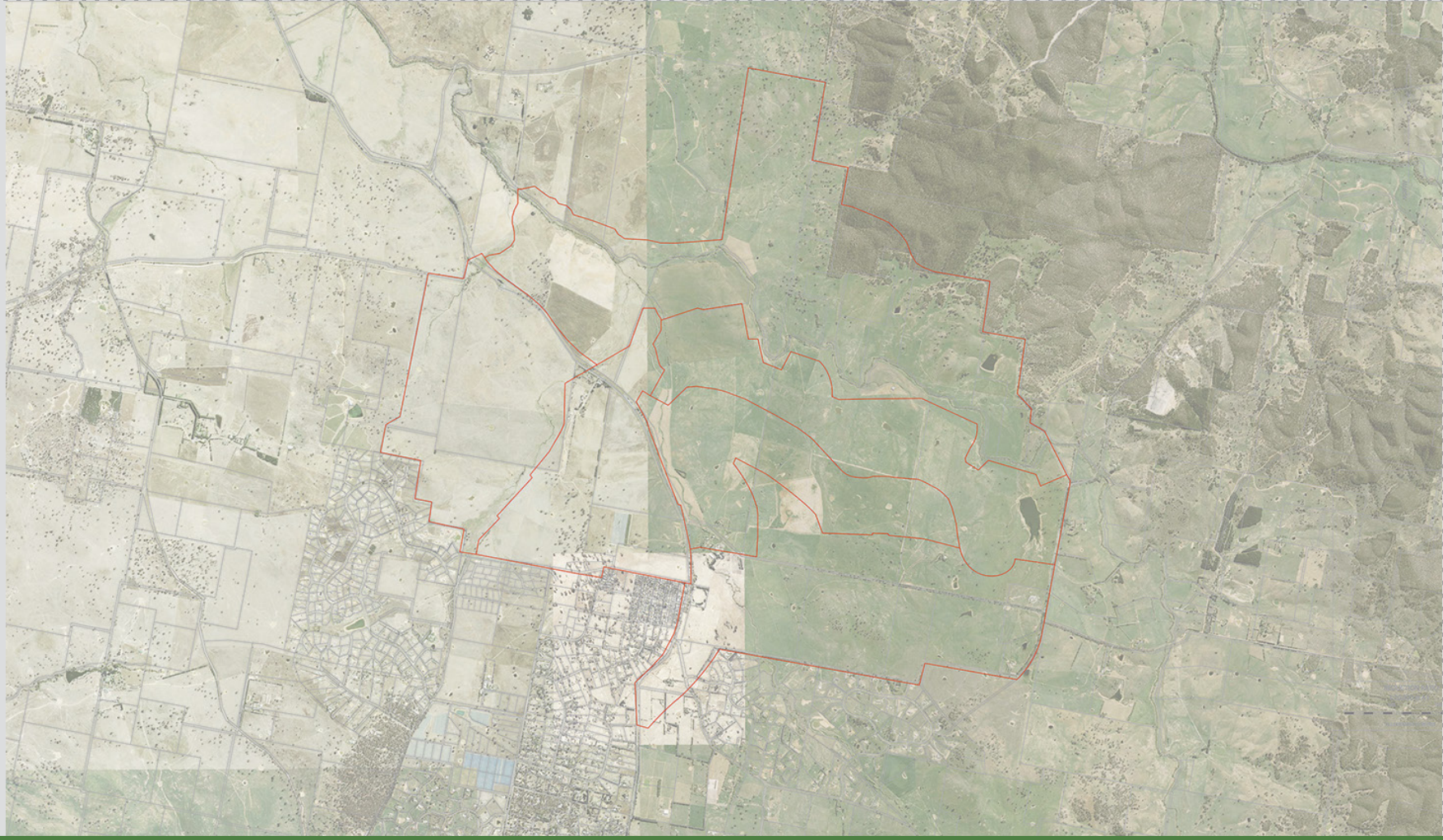
- Developing a well thought out settlement strategy that directs and manages growth
- Developing a strategy for the highway duplication to promote economic prosperity and mitigating impacts
- Promoting a sustainable settlement, with a critical mass to promote infrastructure and services delivery

DEVELOPING A PARTNERSHIP WITH YASS VALLEY COUNCIL

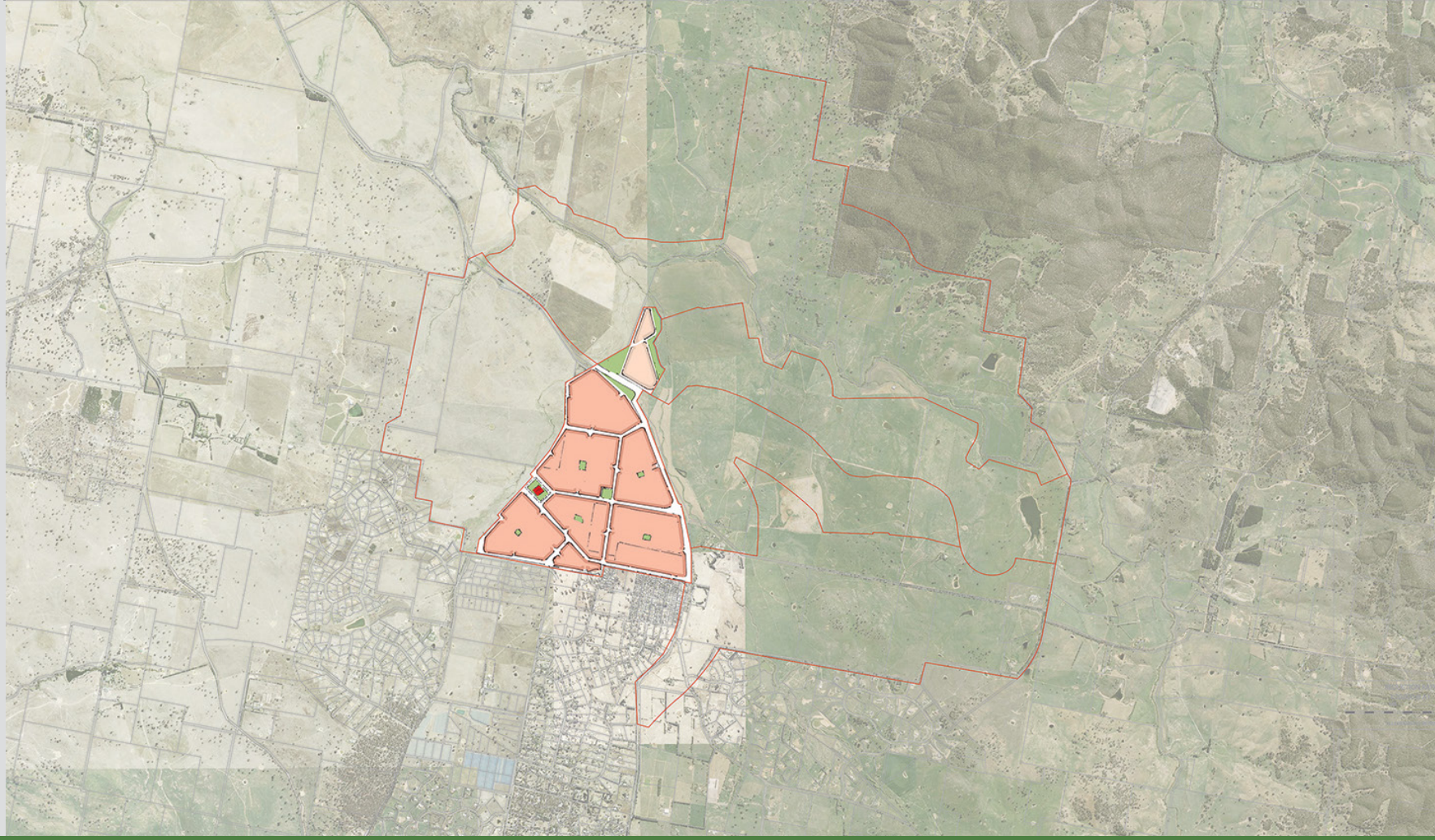
- Largest land area in single-ownership adjacent to a town
- Contiguous to the existing Murrumbateman settlement for quality connectivity
- Control and focus development delivering capacity for the next 20 years
- Delivering a population threshold to support provision of quality goods and services for residents



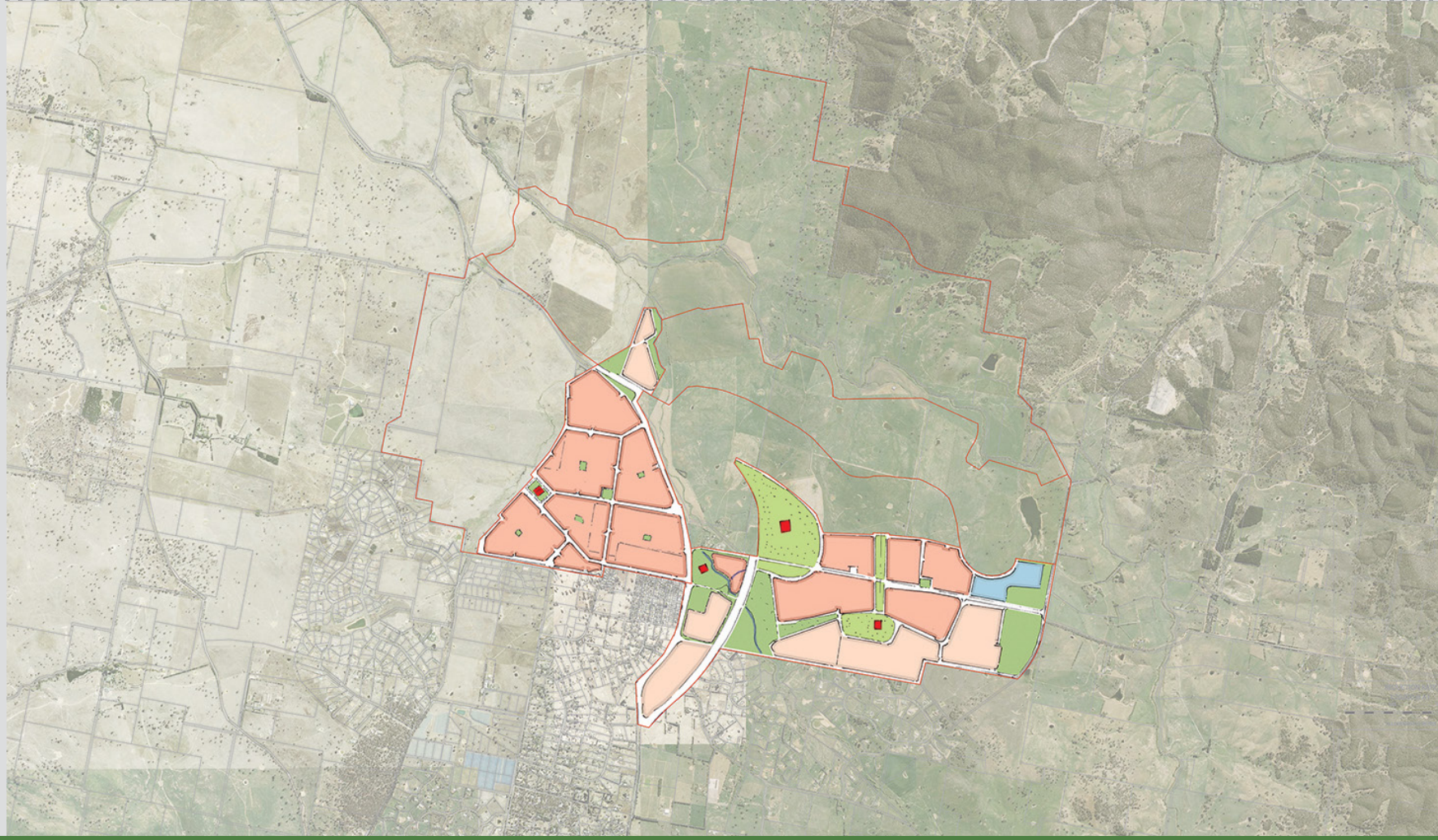
A UNIQUE OPPORTUNITY FOR SMART GROWTH



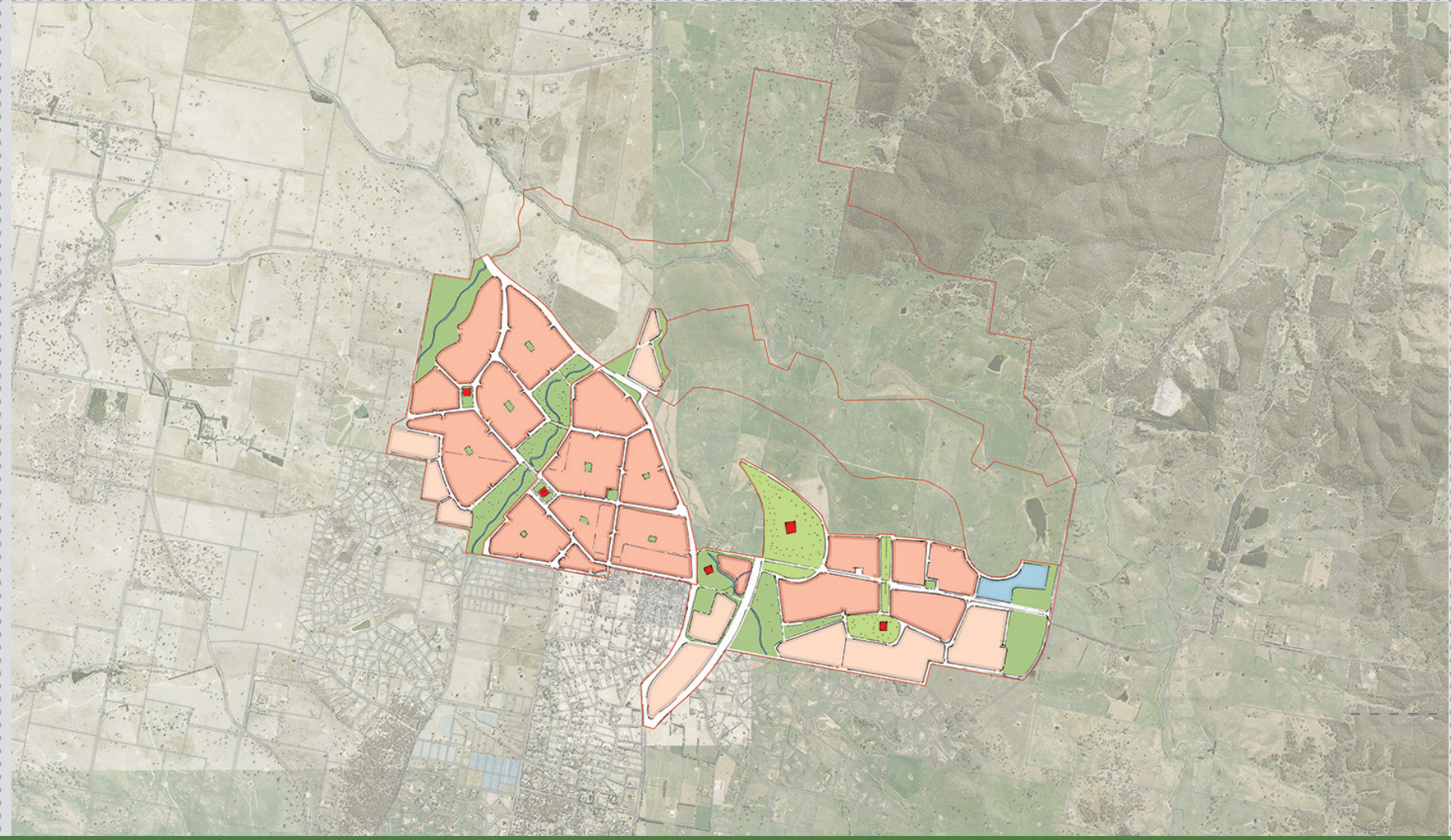
MURRUMBATEMAN TODAY



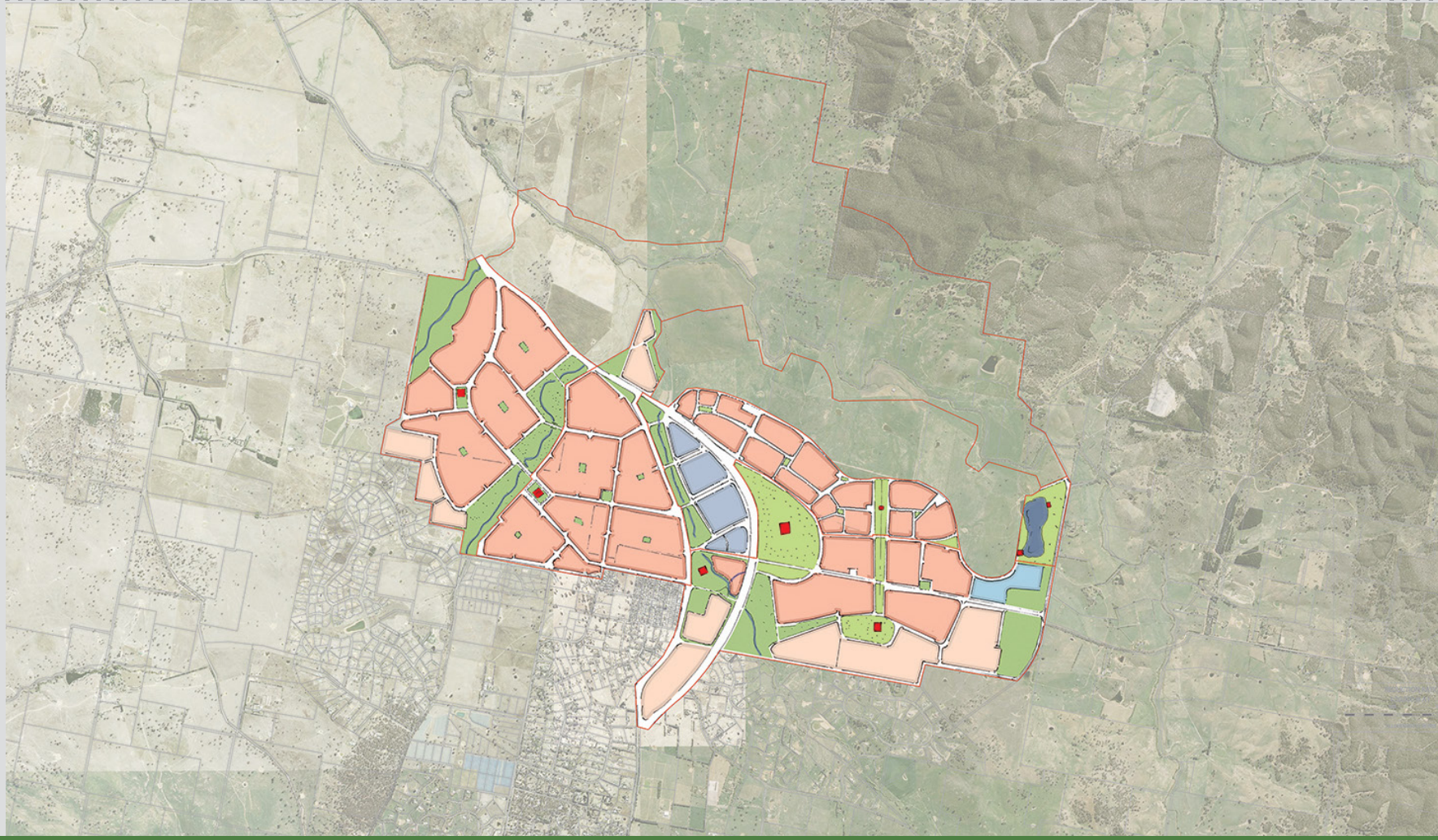
PARTNER WITH MAJOR LANDOWNERS TO ROUND-OUT THE EXISTING SETTLEMENT



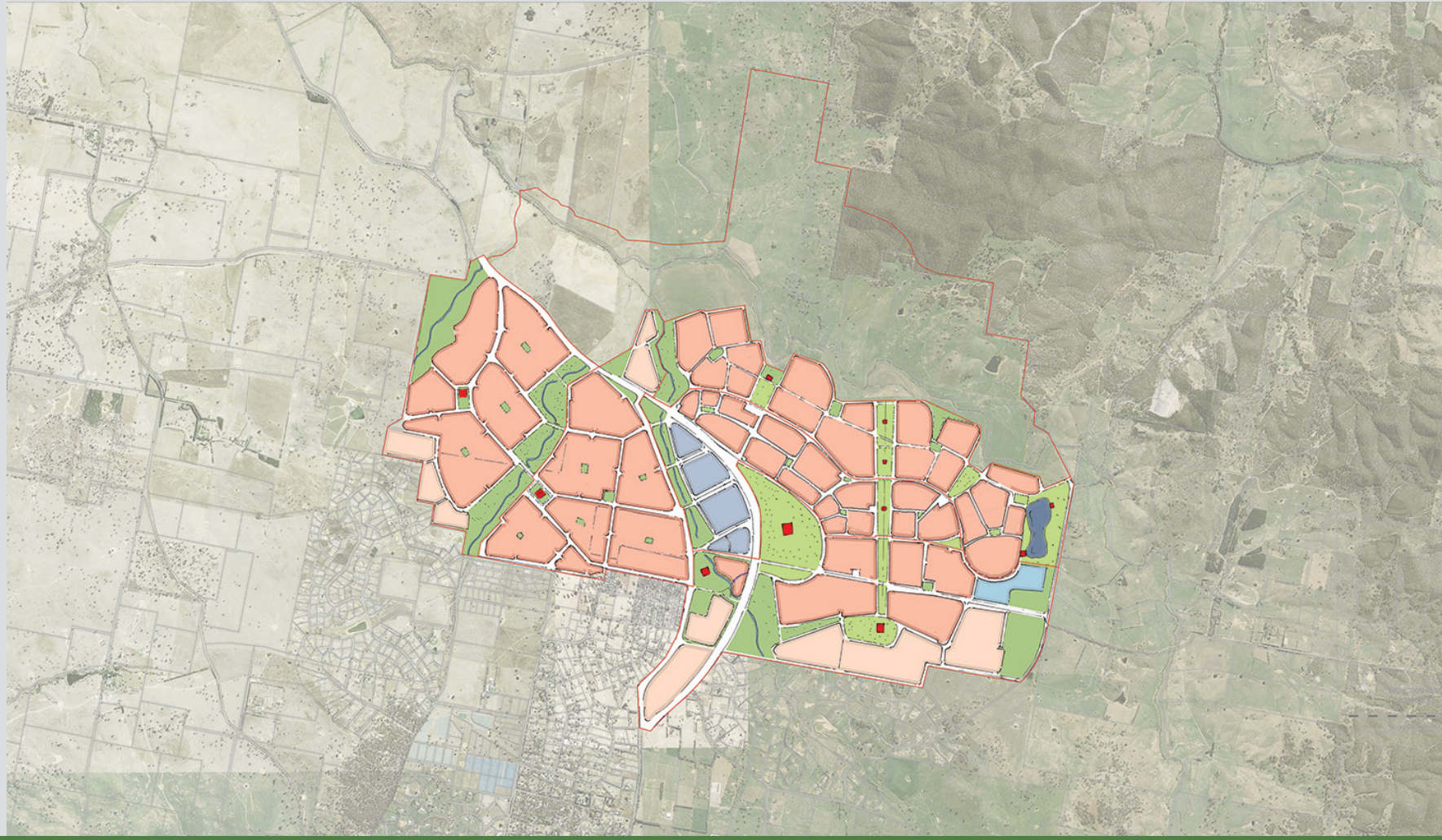
INTEGRATE EXISTING PLANS TO CREATE ADDED VALUE AND PUBLIC BENEFIT



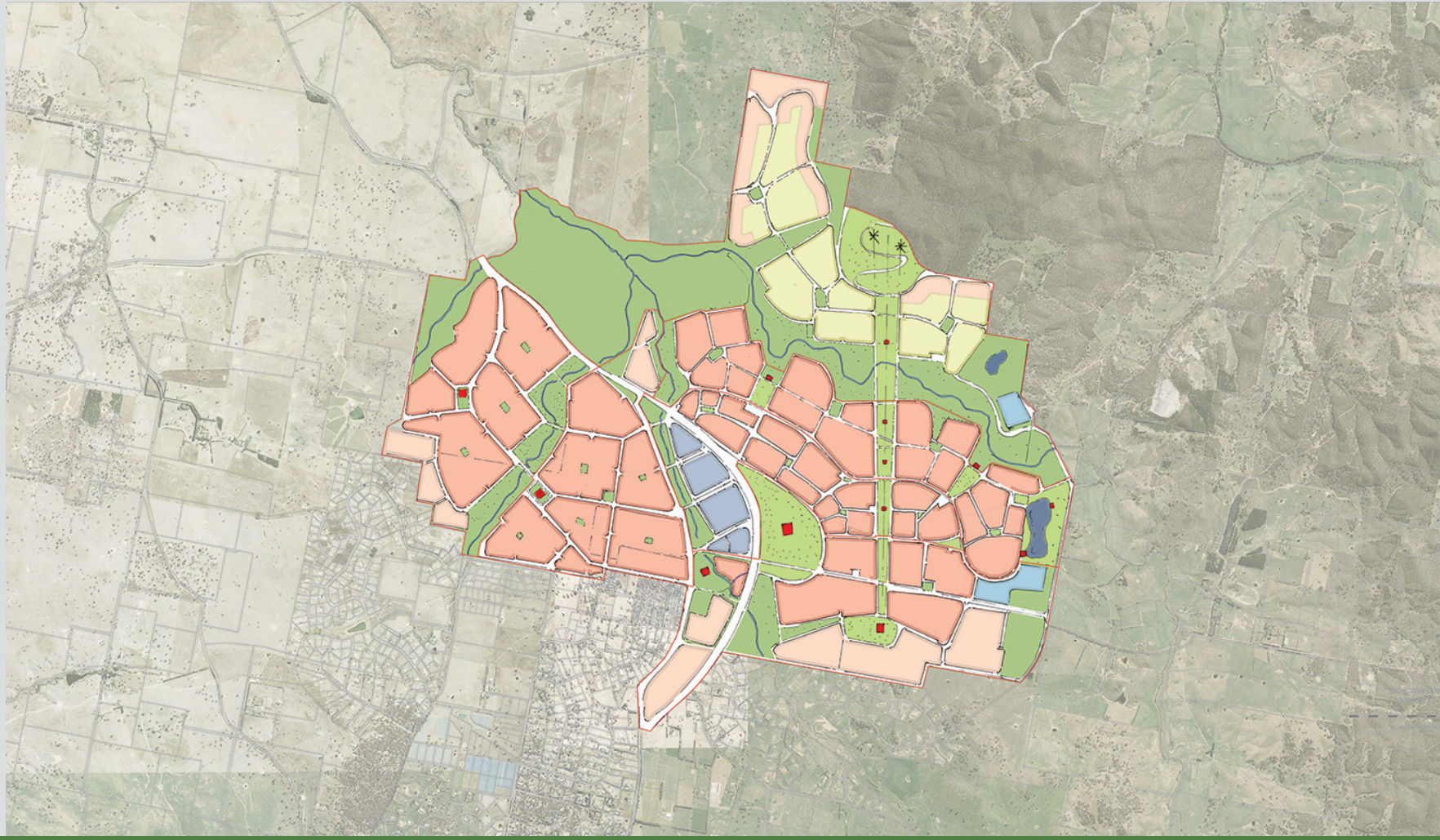
INCREMENTALLY BUILD NEW NEIGHBOURHOODS AND CELEBRATE WATERCOURSES



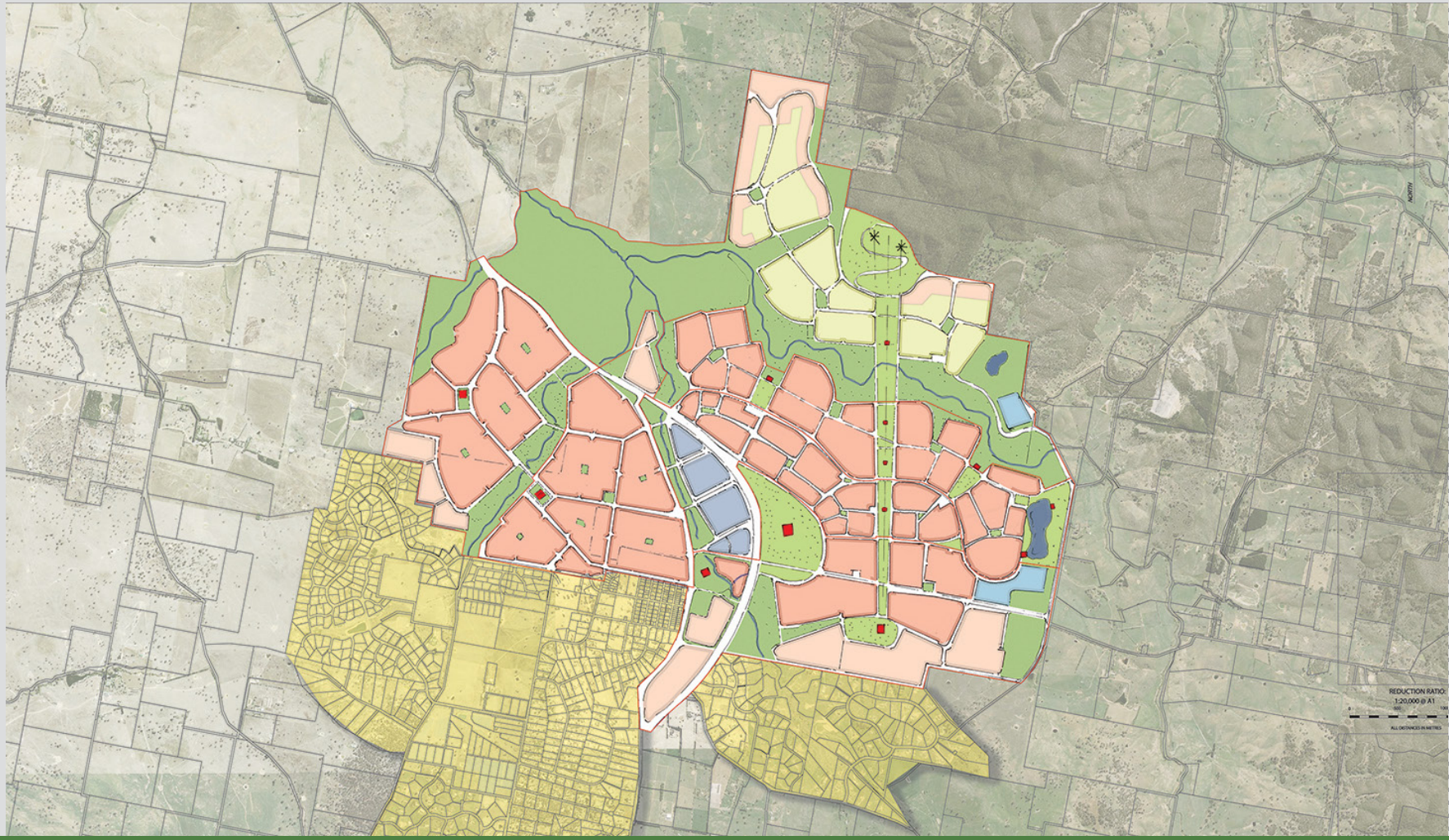
NEW EMPLOYMENT, NEIGHBOURHOODS AND ECO-TOURISM GROW ECONOMIC PROSPERITY



CONNECTING THE TOWN TO THE RIVER



COMPLETES THE SUSTAINABLE GROWTH OF MURRUMBATEMAN OVER THE LONG TERM



PRELIMINARY MURRUMBATEMAN SETTLEMENT STRATEGY

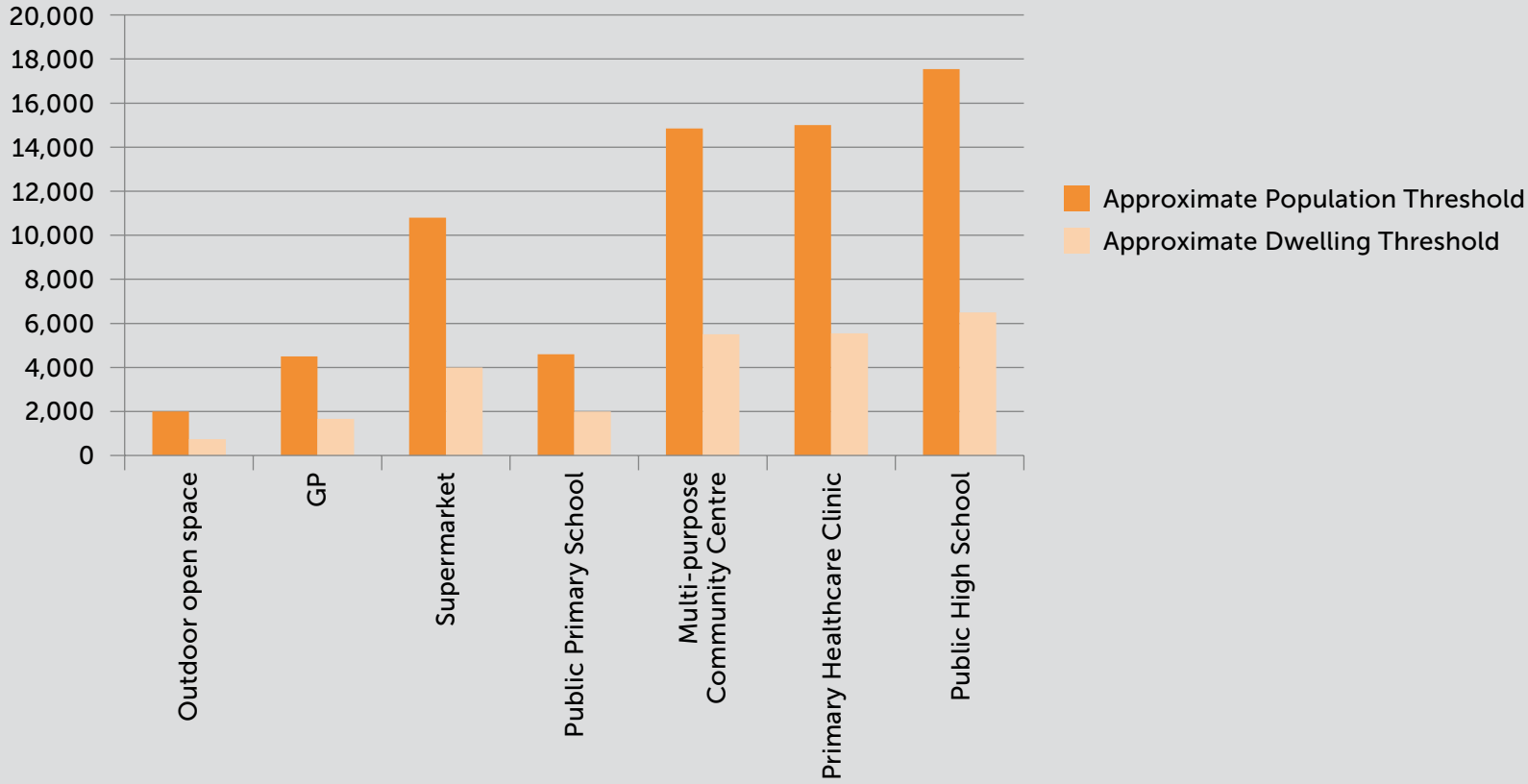
INFRASTRUCTURE AND SERVICES THRESHOLDS

- Raising of the Yass Dam and trunk extension will allow for approximately 800 additional dwellings in Murrumbateman
- Council recognise that the long-term preferred solution will be to secure a water supply from the ACT

INFRASTRUCTURE AND SERVICES THRESHOLDS

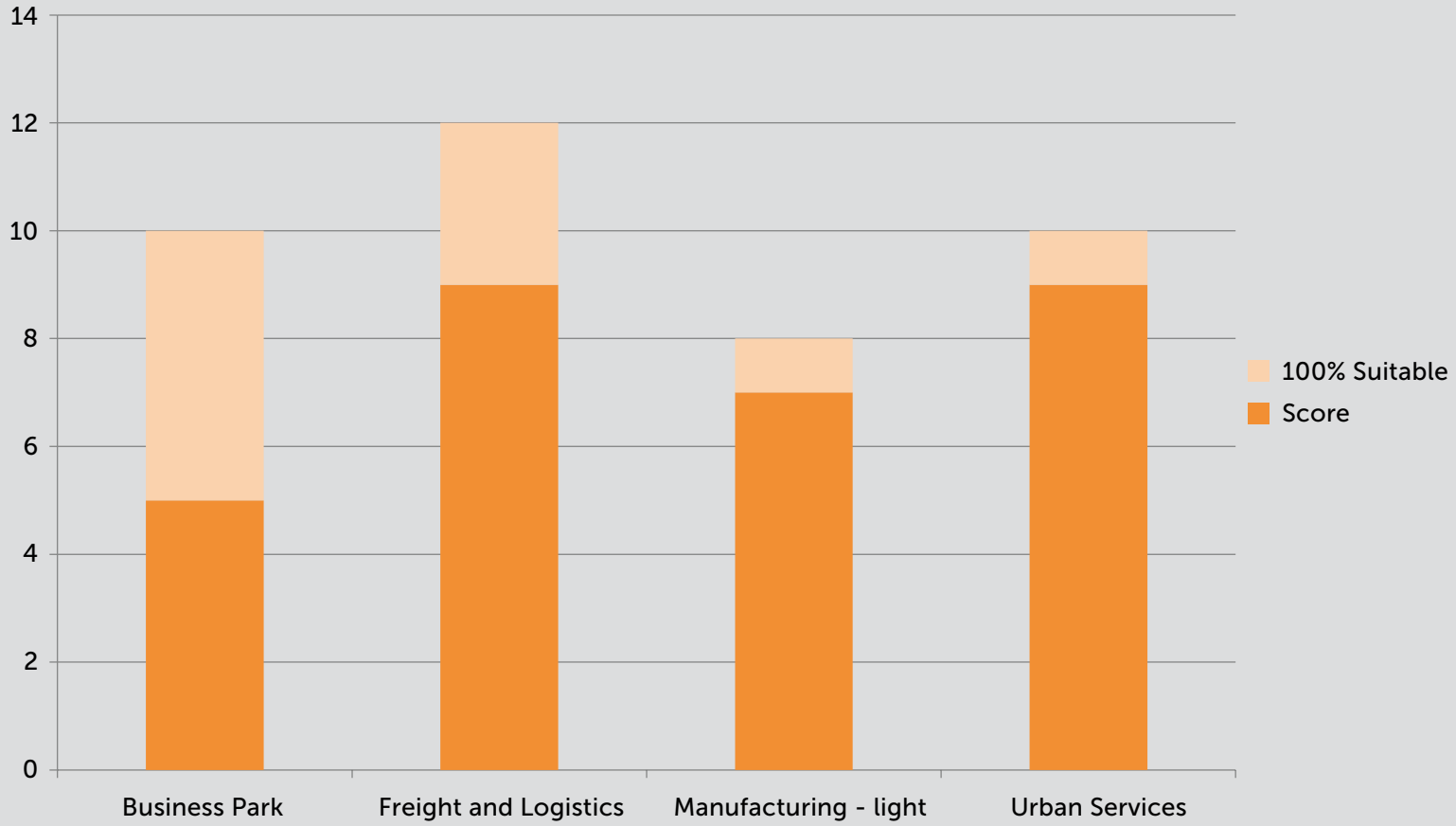
- Reaching critical mass to deliver quality infrastructure and services
- Prevent issues such as retail leakage to Canberra
- Develop local employment

Infrastructure and services thresholds



Potential to increase employment self-sufficiency

Suitable for a wide range of employment land opportunities



Creating a best-practice sustainable township

MEETING AND EXCEEDING THE SYDNEY-CANBERRA CORRIDOR SUSTAINABILITY CRITERIA

Enhances economic productivity + living affordability

Demonstrates leadership + integrates design excellence

Fosters environmental responsibility

Cultivates healthy, cohesive + inclusive communities

Design Principles about Place: **productivity + sustainability**

MURRUMBATEMAN EVOLVING FROM A VILLAGE TO A UNIQUE AND SUSTAINABLE TOWN

Enhancing

Enhances local economy, environment + community

Diverse

Diversity of options + experiences

Connected

Connects physically + socially

Enduring

Sustainable, enduring + resilient

Design Principles about People: **liveability**

Comfortable

Comfortable + welcoming

Safe

Feels Safe

Vibrant

Vibrant, with people around

Walkable

Enjoyable + easy to walk + bicycle around

Design Principles about **Leadership and Governance**

Context

Works within the planning, physical + social context

Excellence

Excellence, innovation + collaboration

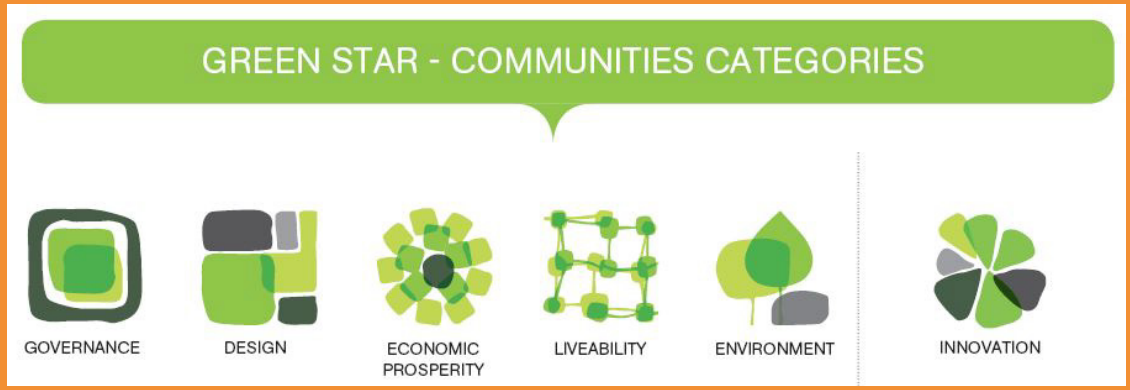
Engagement

Engages with stakeholders

Custodianship

Considers custodianship, management + maintenance over time

Exploring sustainability frameworks



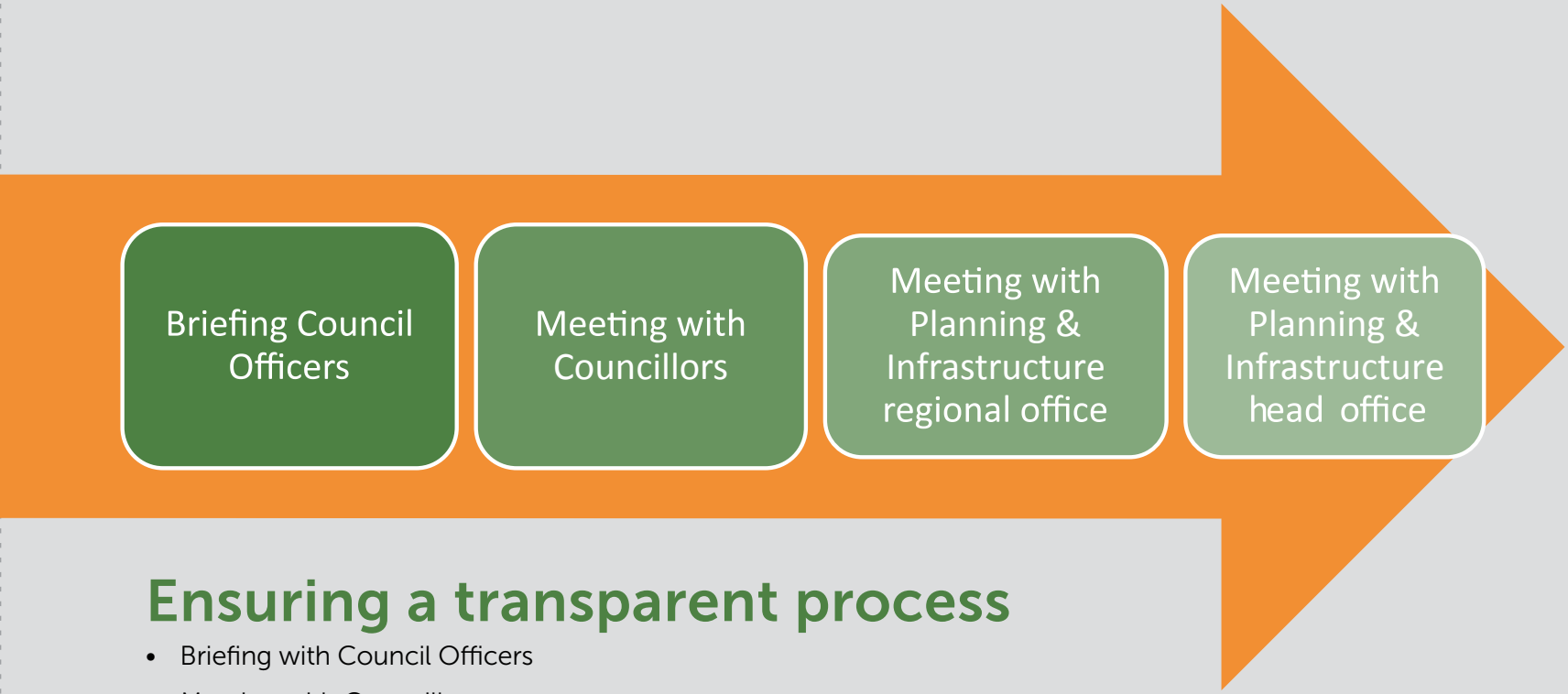
- Provides a structure and evaluation tool
- Green Star Communities Rating Tool
- Eco-districts

UNDERSTANDING AND MANAGING THE CROSS-BORDER ISSUES

- Key staff that understand the cross-border planning frameworks

PARTNERING WITH COUNCIL AND WORKING WITH STAKEHOLDERS TO DEVELOP STRATEGIES

- Developing comprehensive stakeholder and community engagement programs
- Developing both the strategic and statutory pathways for a cohesively managed development process



Ensuring a transparent process

- Briefing with Council Officers
- Meeting with Councillors
- Meeting with regional Planning & Infrastructure office
- Meeting with Planning & Infrastructure head office

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