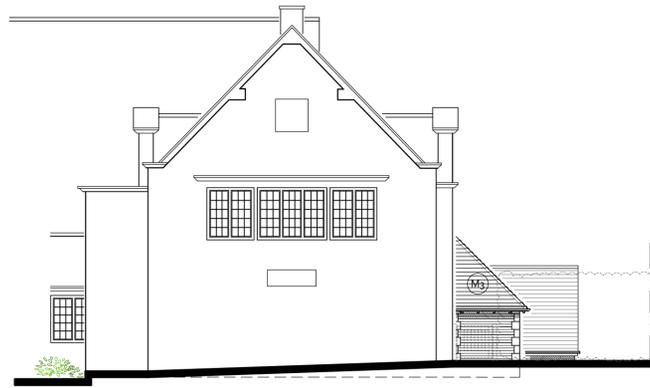


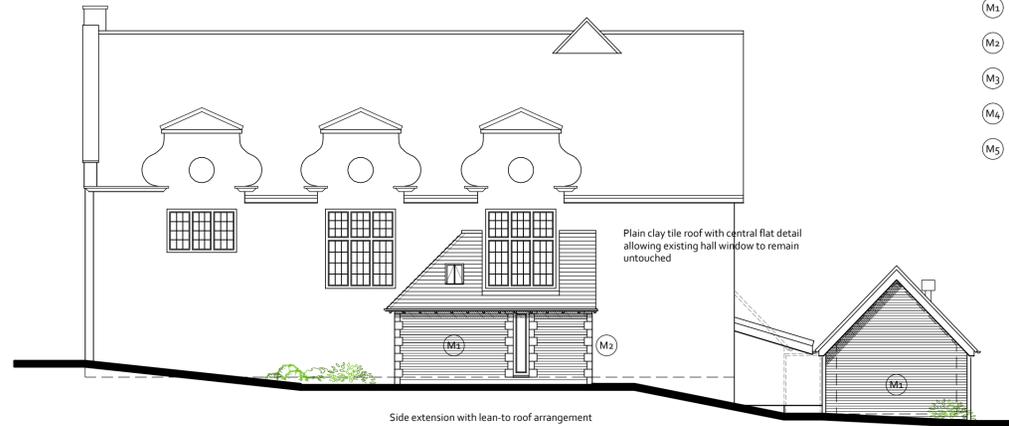
PENSHURST VILLAGE HALL

Proposed Ground Floor Plan & Elevations

Please Note:
 This drawing is copyright and must not be reproduced or disclosed to third parties without prior permission.
 Any discrepancies in dimensions or details on these drawings must be drawn to the attention of the designer.
 All dimensions in millimeters unless stated otherwise.
 Revisions



north-east elevation - 1:100



north-west elevation - 1:100

- Materials Key
- (M1) Walls - Facing brickwork to match existing host building
 - (M2) Walls - Natural stonework detailing
 - (M3) Plain clay roof tiles to match existing
 - (M4) Conservation style rooflights
 - (M5) Painted black/grey steel double glazed windows and doors to match existing



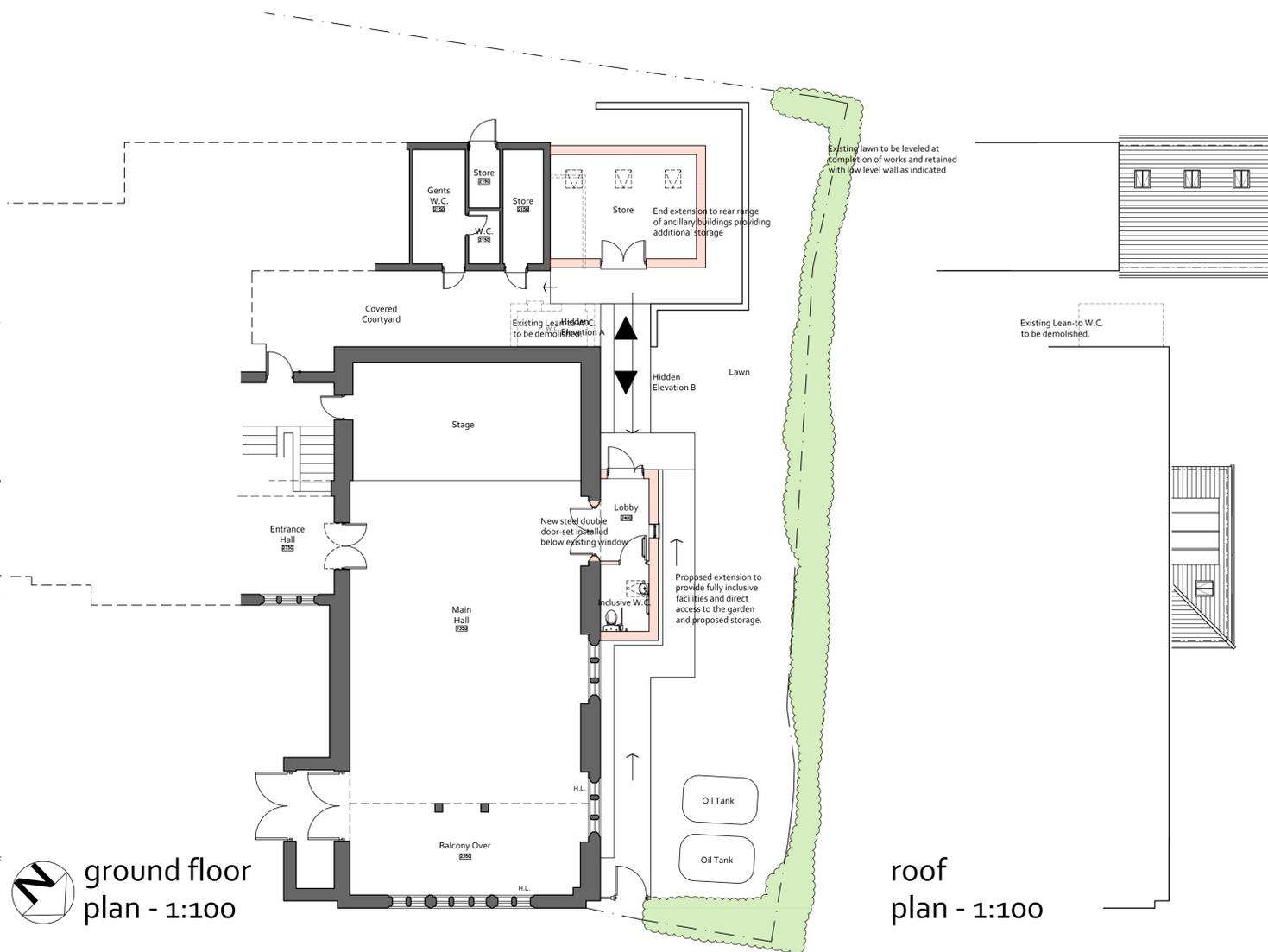
south-west elevation - 1:100

Key areas of Works

- New side extension to include accessible facilities
- Rear store extension
- Demolition of rear disused W.C. and low level wall

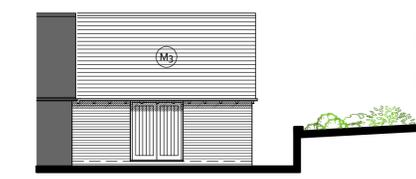
Outline Schedule of Works

- Allow to reduce levels at rear of site to make way for new store.
- Allow to lay strip foundations to min. 1000mm depth, suitable to take new extensions.
- Allow to install new underground drainage internally and external as required.
- Allow to demolish low-level wall and rear lean-to w.c. extension, clear all arising and make good external wall as required. (Suitable masonry spoil could be crushed and used as sub-base on site as required)
- Allow to build up external walls to below dpc level.
- Allow to construct beam and block floor to both extensions at required levels.
- Allow to build up external walls to plate level forming new openings as directed ready to take new joinery.
- Allow to insulate and line all external walls.
- Allow to construct pitched roofs over both extensions.
- Allow to form new internal partitions as shown on drawings.
- Allow to supply and install new joinery including rooflights.
- Allow to supply and install all new services including, electrics, plumbing and drainage as directed on drawings.
- Allow to supply and install all internal finishes and decorate throughout new areas.
- Allow for all external hard and soft landscaping.
- Allow for inspection and commissioning of all mechanical and electrical services as required.

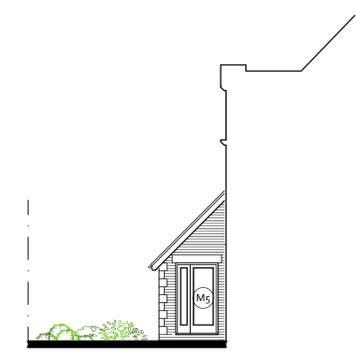


ground floor plan - 1:100

roof plan - 1:100



hidden elevation A - 1:100



hidden elevation B - 1:100



dwg Proposed Ground Floor Plan & Elevations
 job Phase Two Extensions & Alterations
 site Penshurst Village Hall
 High Street
 Penshurst
 Kent
 TN11 8BP
 client **Penshurst Village Hall**
Christopher Wickens
 Architectural Services
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PLANNING

scale	A1 @ 1:100		
date	01-26	drawn	CSW
job no.	0053	dwg	21
rev	-	-	-