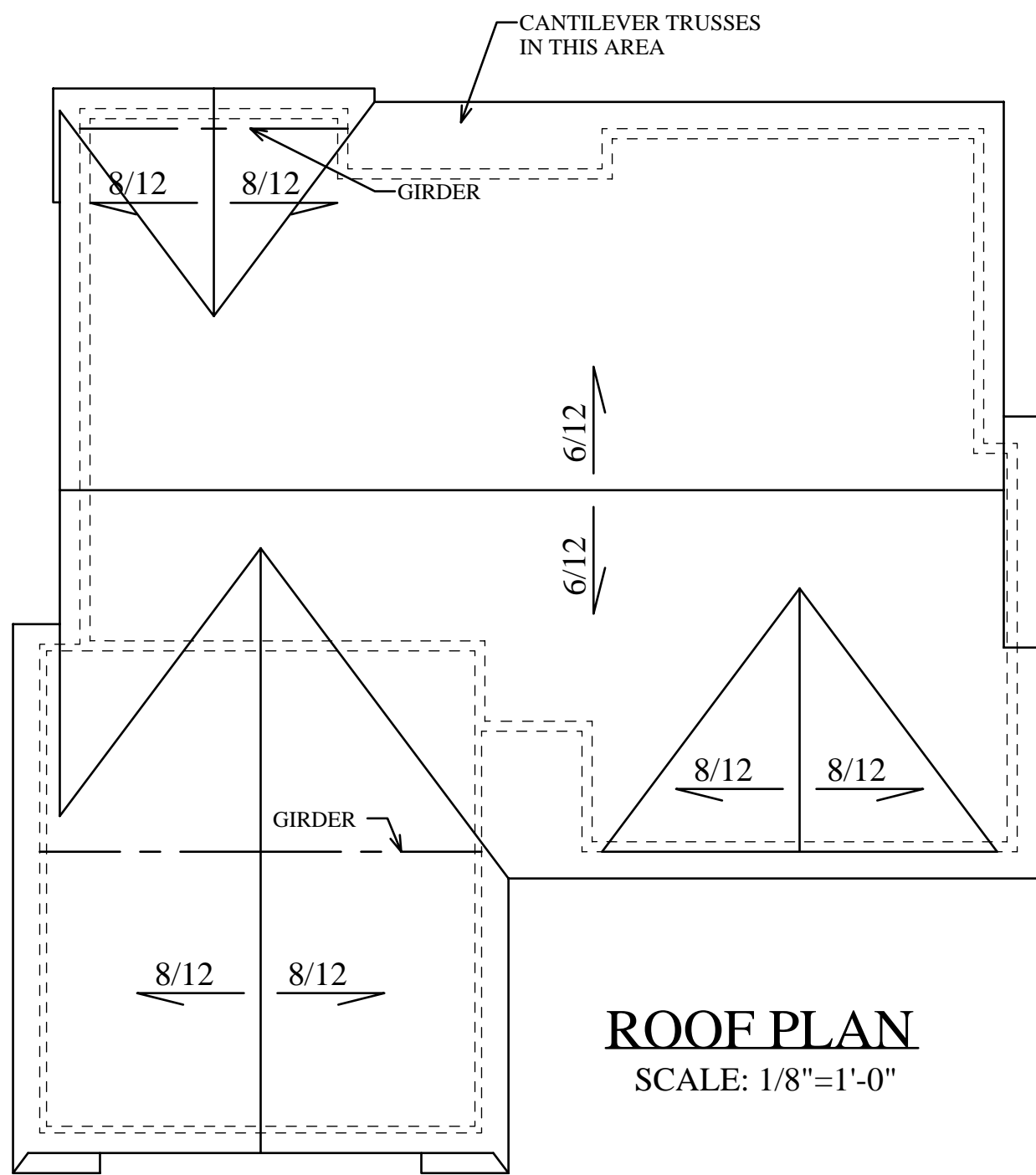


LEFT ELEVATION
SCALE: 1/4"=1'-0"

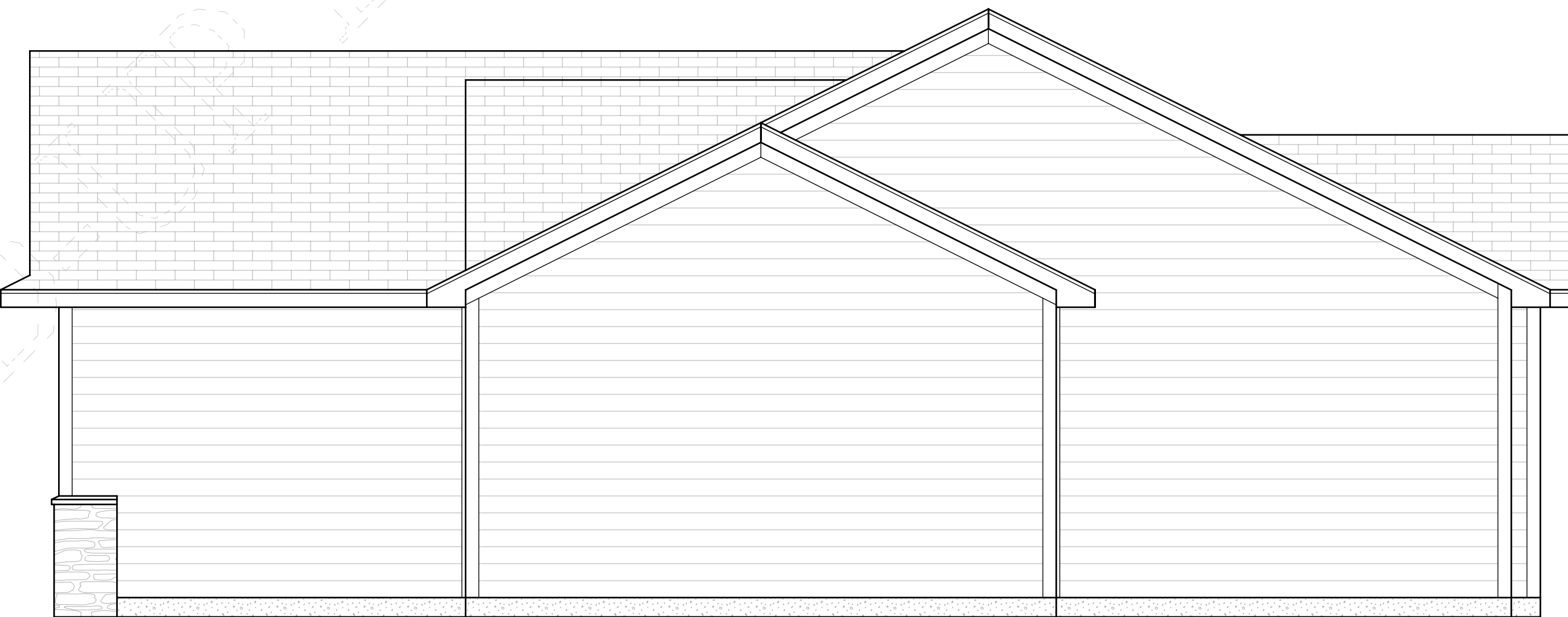


ROOF PLAN
SCALE: 1/8"=1'-0"

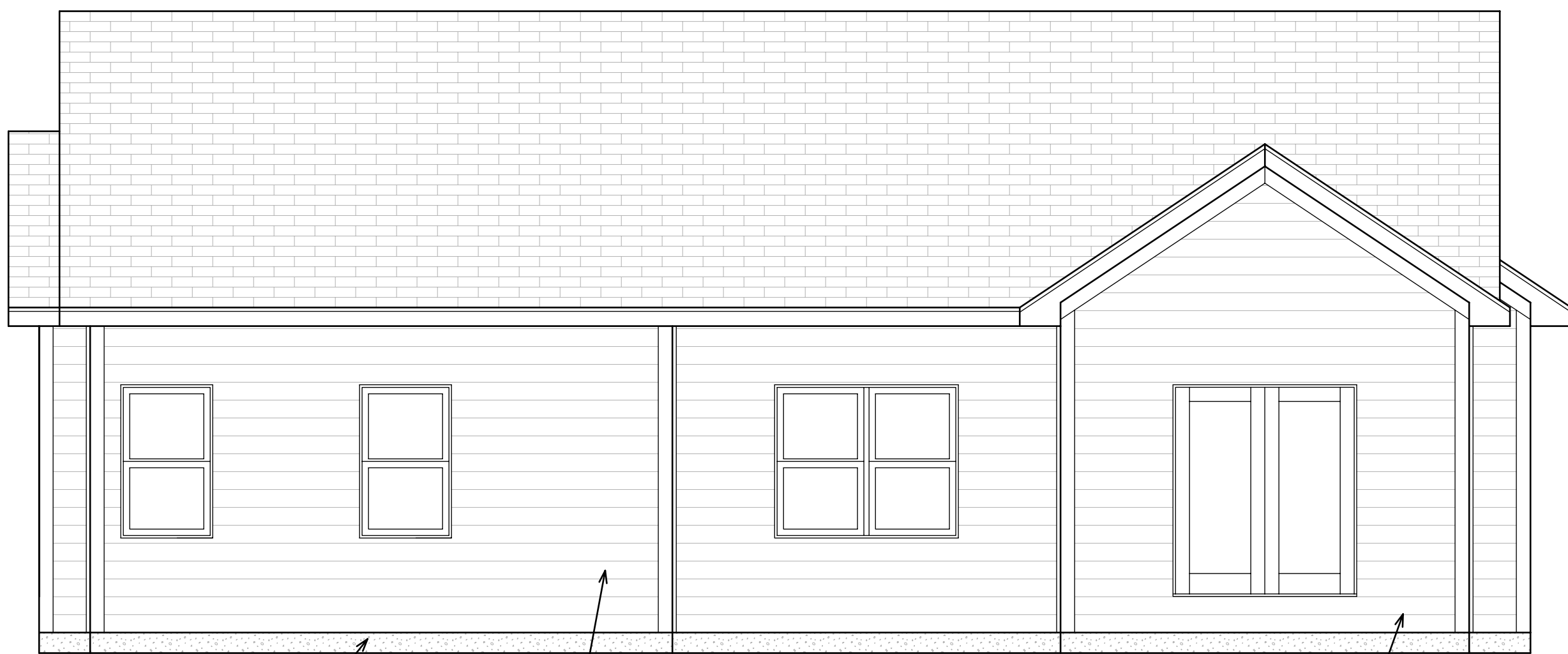


FRONT ELEVATION
SCALE: 1/4"=1'-0"

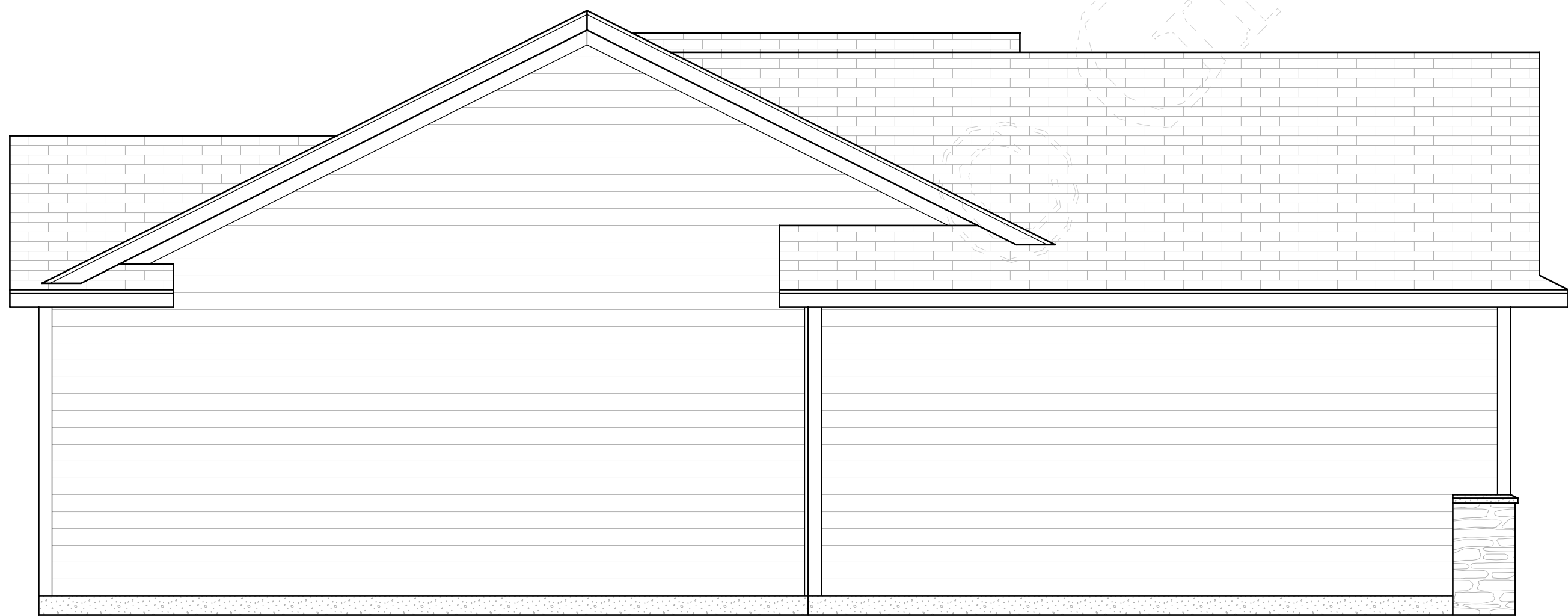
MAIN LEVEL PLT. HGT.	(9'-1 1/8")	
MAIN LEVEL FLOOR	(0'-0")	
TOP OF FOUNDATION	(-1'-2 1/8")	
TOP OF FROST FOOTING	(-5'-2 1/8")	
TOP OF FOOTING	(-10'-2 1/8")	



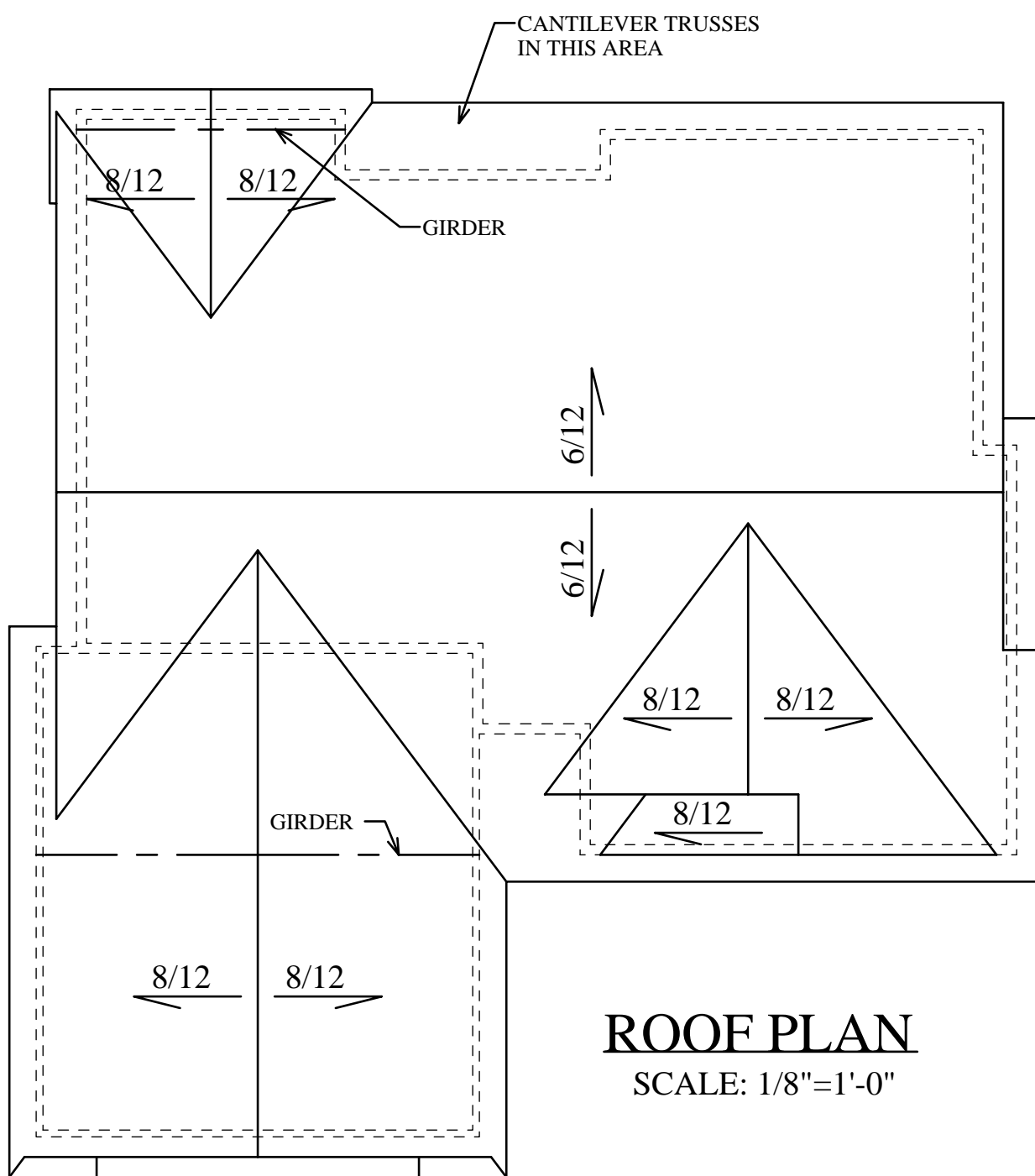
RIGHT ELEVATION
SCALE: 1/4"=1'-0"



REAR ELEVATION
SCALE: 1/4"=1'-0"



LEFT ELEVATION
SCALE: 1/4"=1'-0"

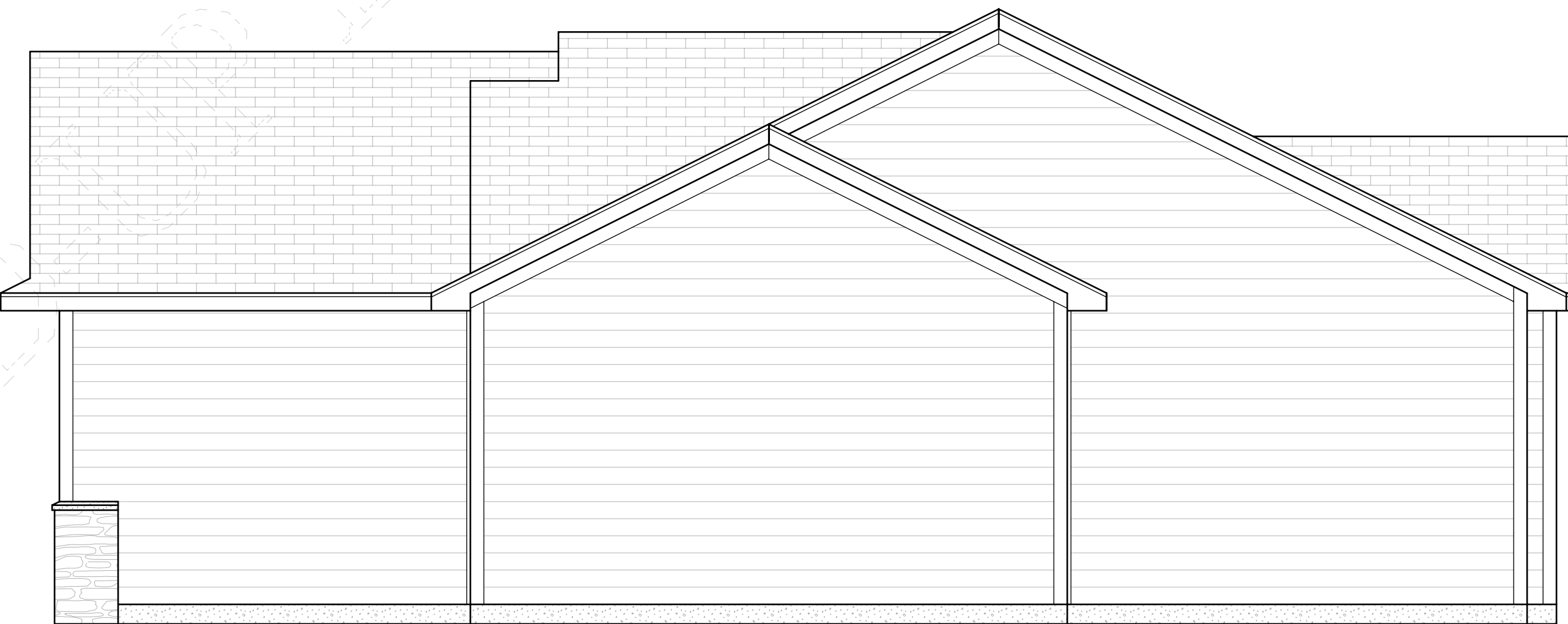


ROOF PLAN
SCALE: 1/8"=1'-0"

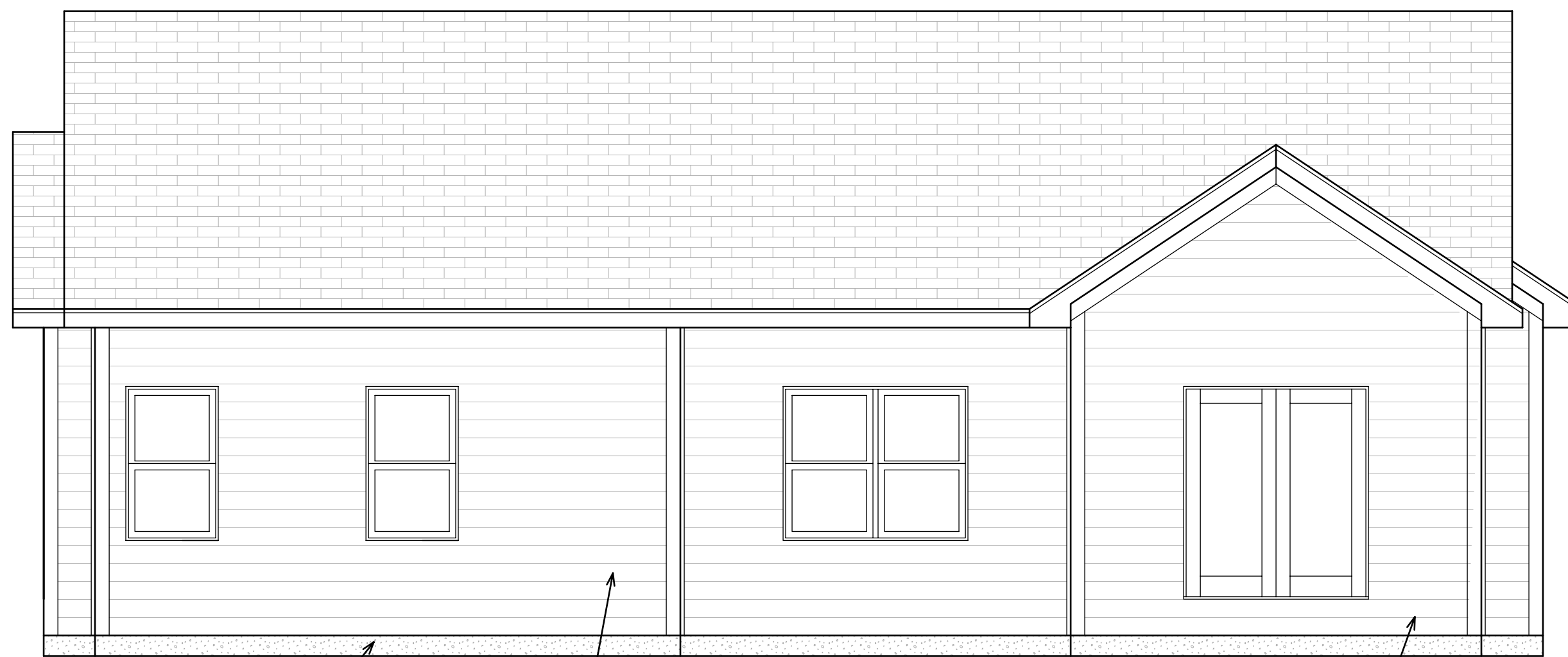


FRONT ELEVATION
SCALE: 1/4"=1'-0"

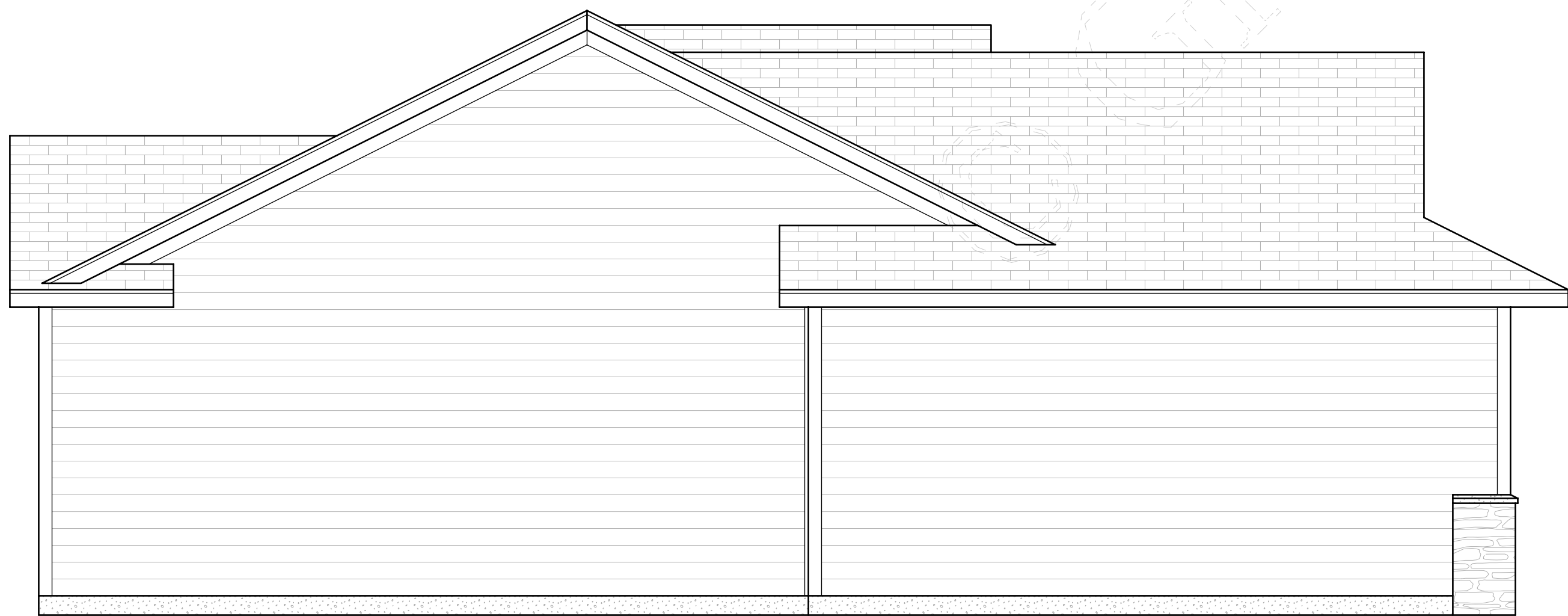
MAIN LEVEL PLT. HGT.	(9'-1 1/8")	
MAIN LEVEL FLOOR	(0'-0")	
TOP OF FOUNDATION	(-1'-2 1/8")	
TOP OF FROST FOOTING	(-5'-2 1/8")	
TOP OF FOOTING	(-10'-2 1/8")	



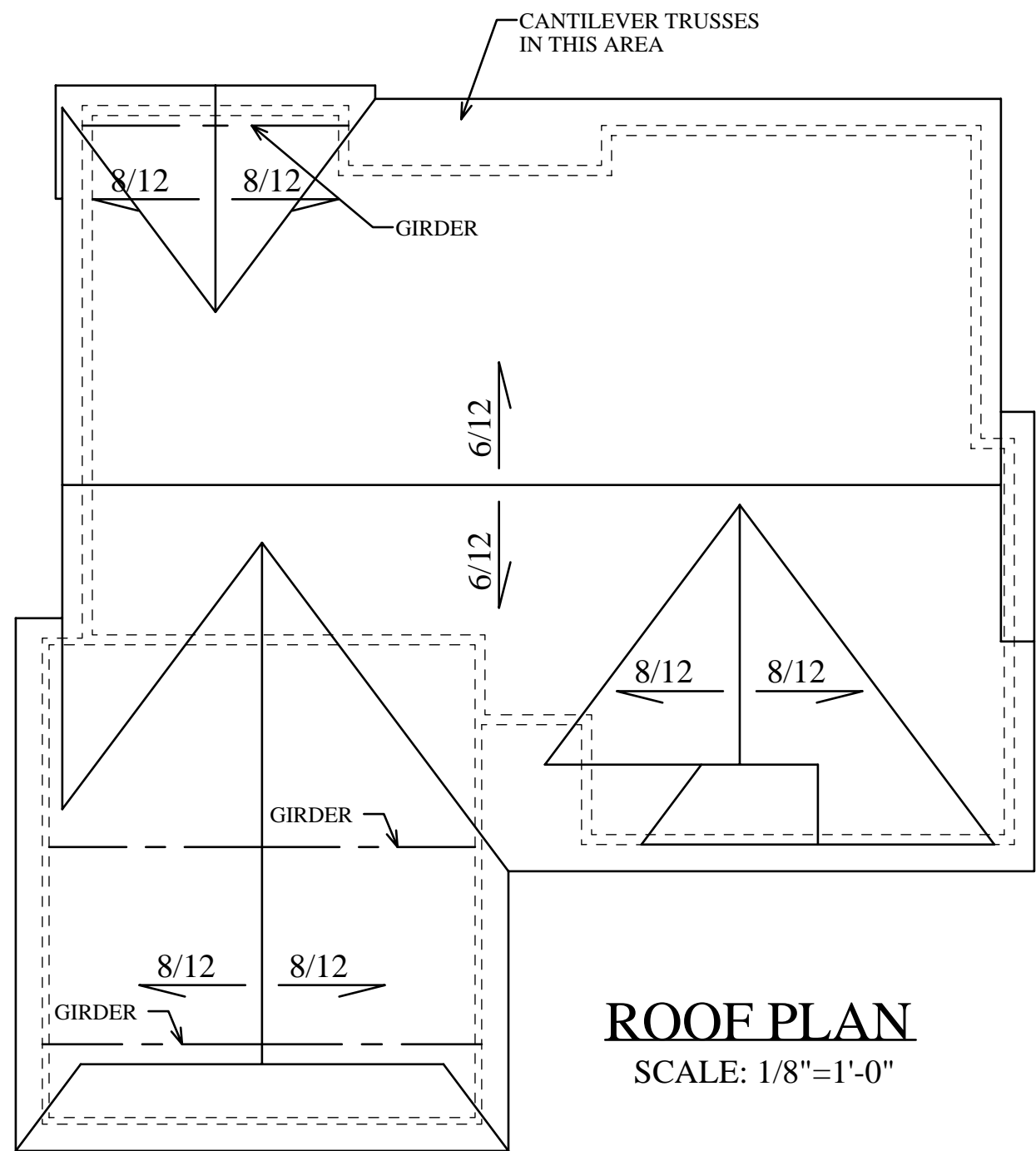
RIGHT ELEVATION
SCALE: 1/4"=1'-0"



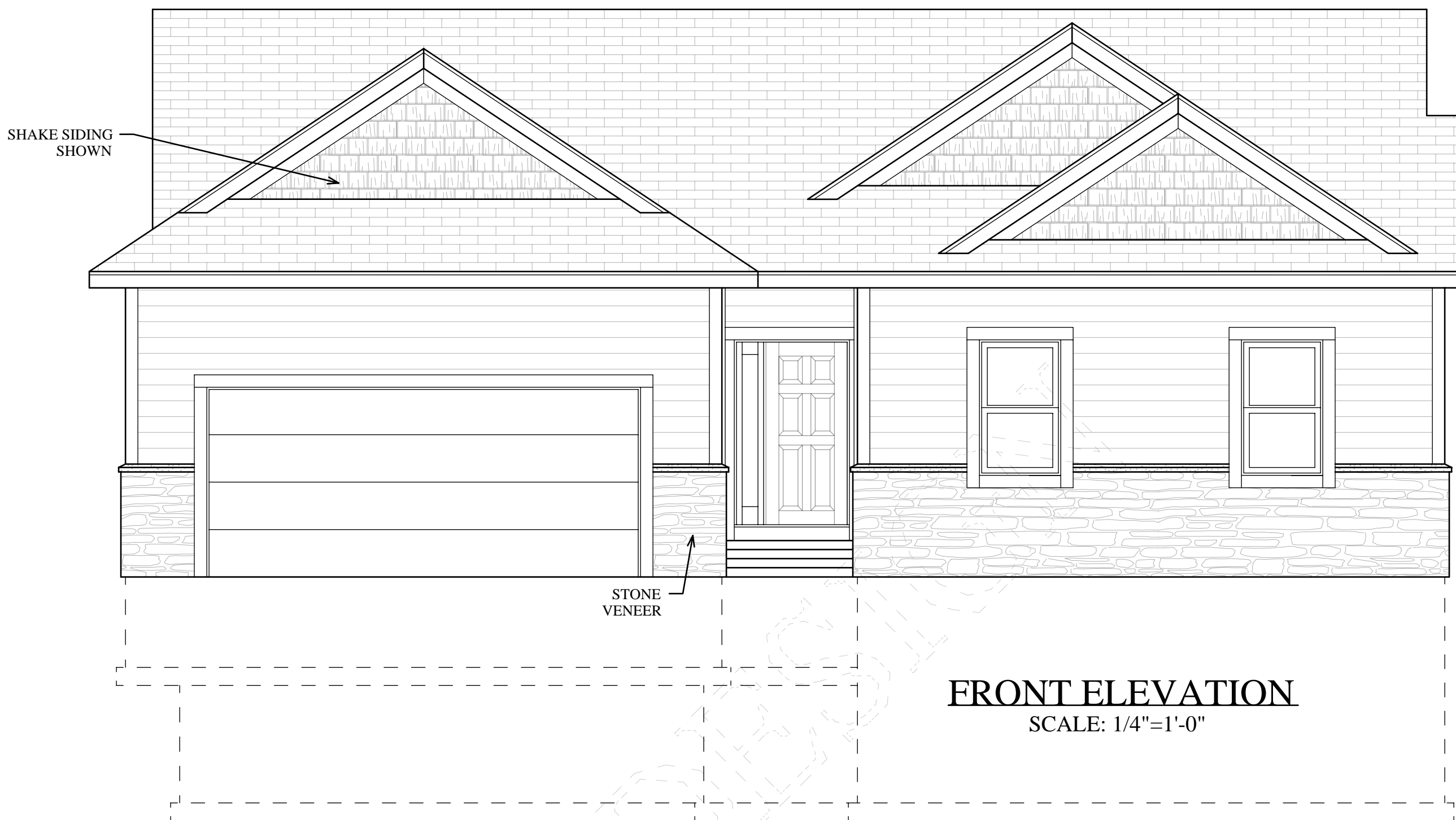
REAR ELEVATION
SCALE: 1/4"=1'-0"



LEFT ELEVATION
SCALE: 1/4"=1'-0"

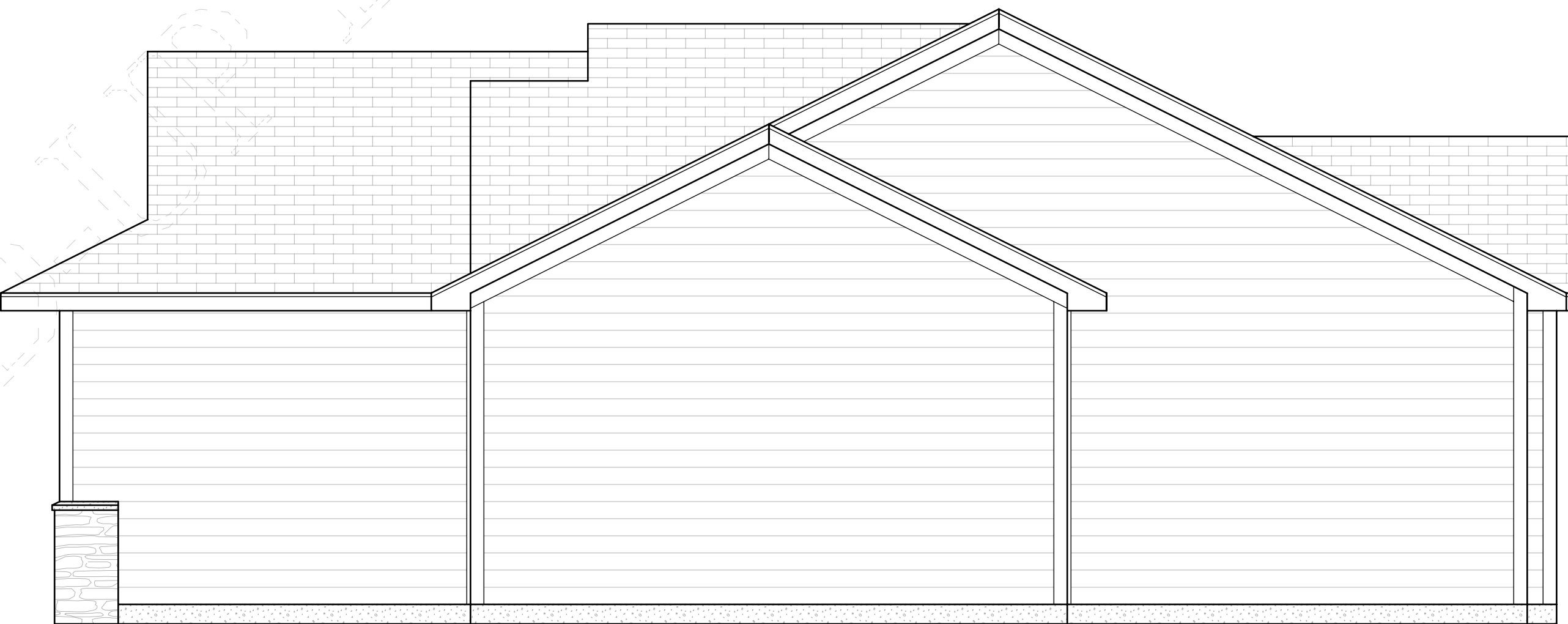


ROOF PLAN
SCALE: 1/8"=1'-0"

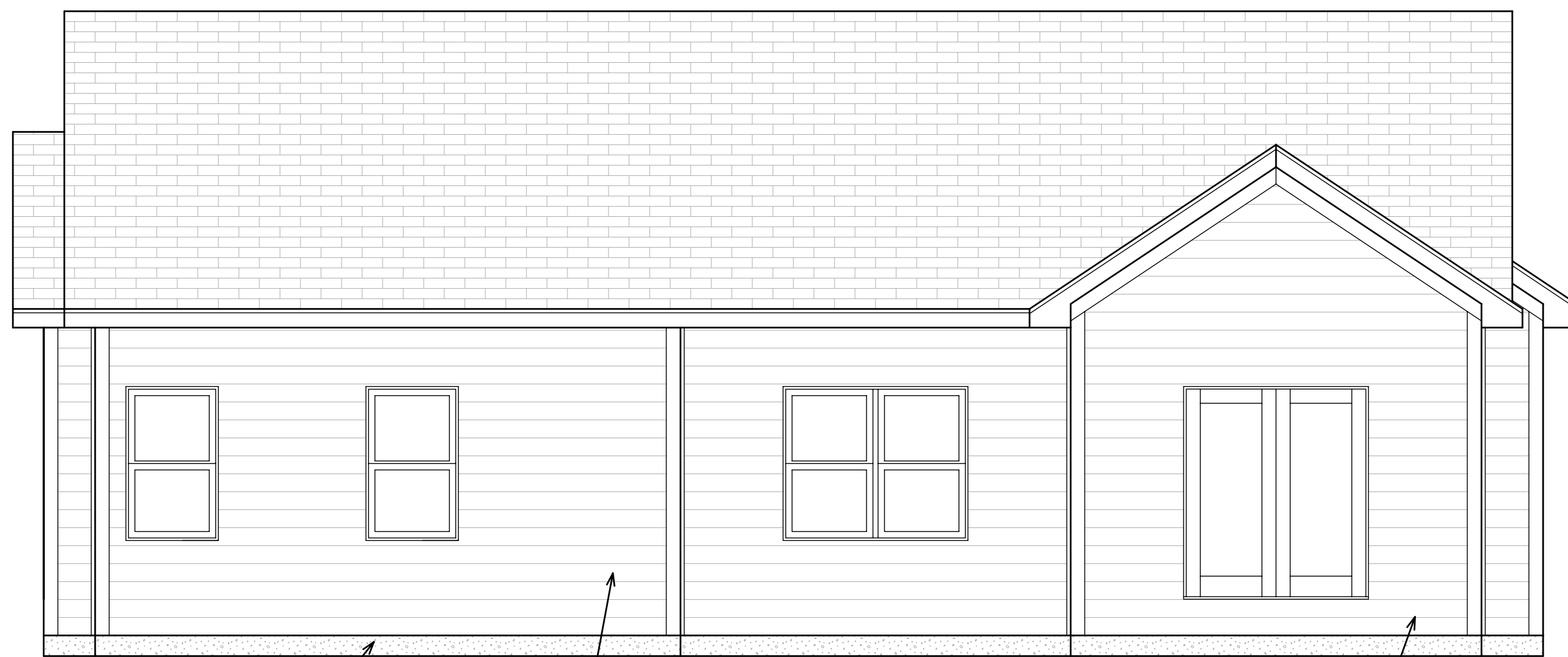


FRONT ELEVATION
SCALE: 1/4"=1'-0"

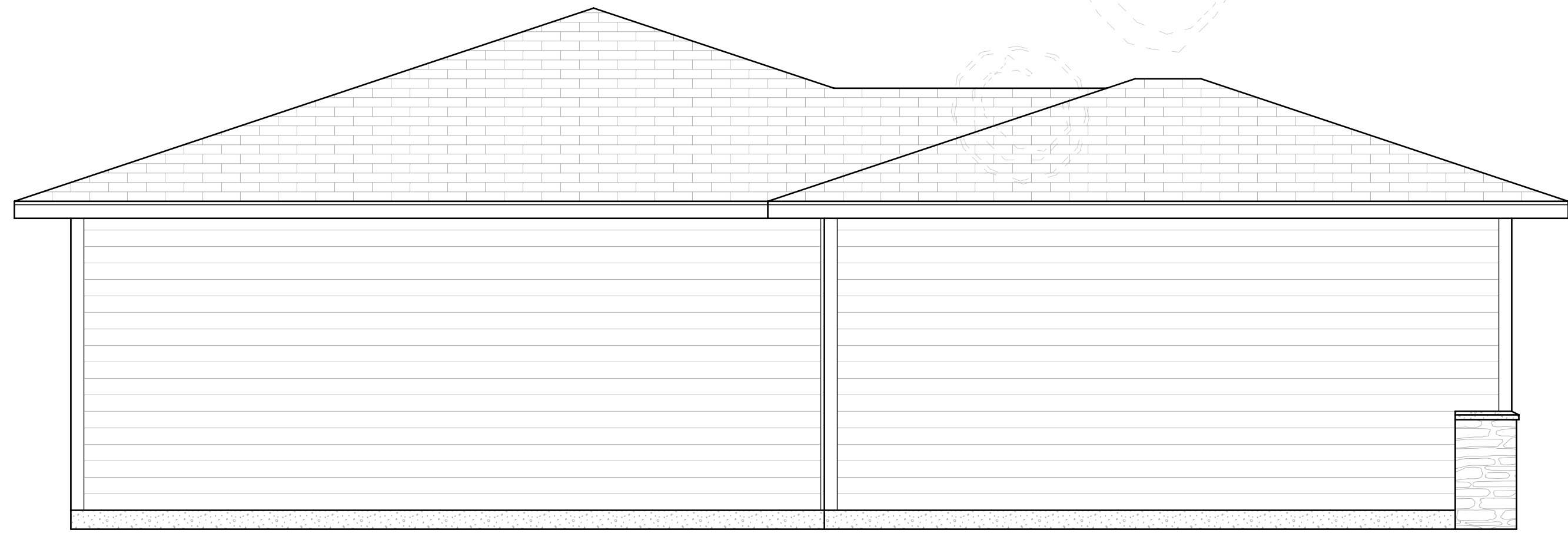
MAIN LEVEL PLT. HGT.	(9'-1 1/8")	
MAIN LEVEL FLOOR	(0'-0")	
TOP OF FOUNDATION	(-1'-2 1/8")	
TOP OF FROST FOOTING	(-5'-2 1/8")	
TOP OF FOOTING	(-10'-2 1/8")	



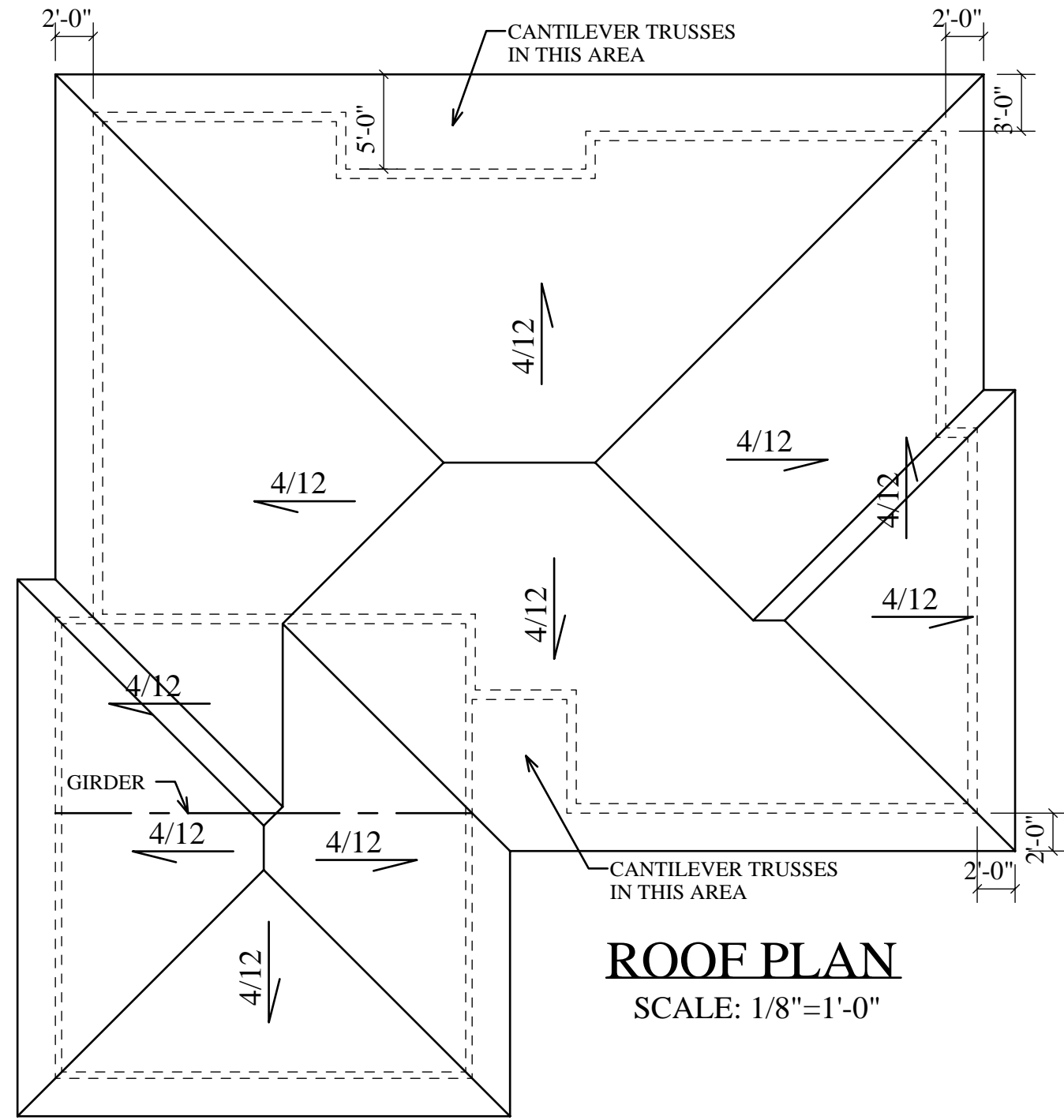
RIGHT ELEVATION
SCALE: 1/4"=1'-0"



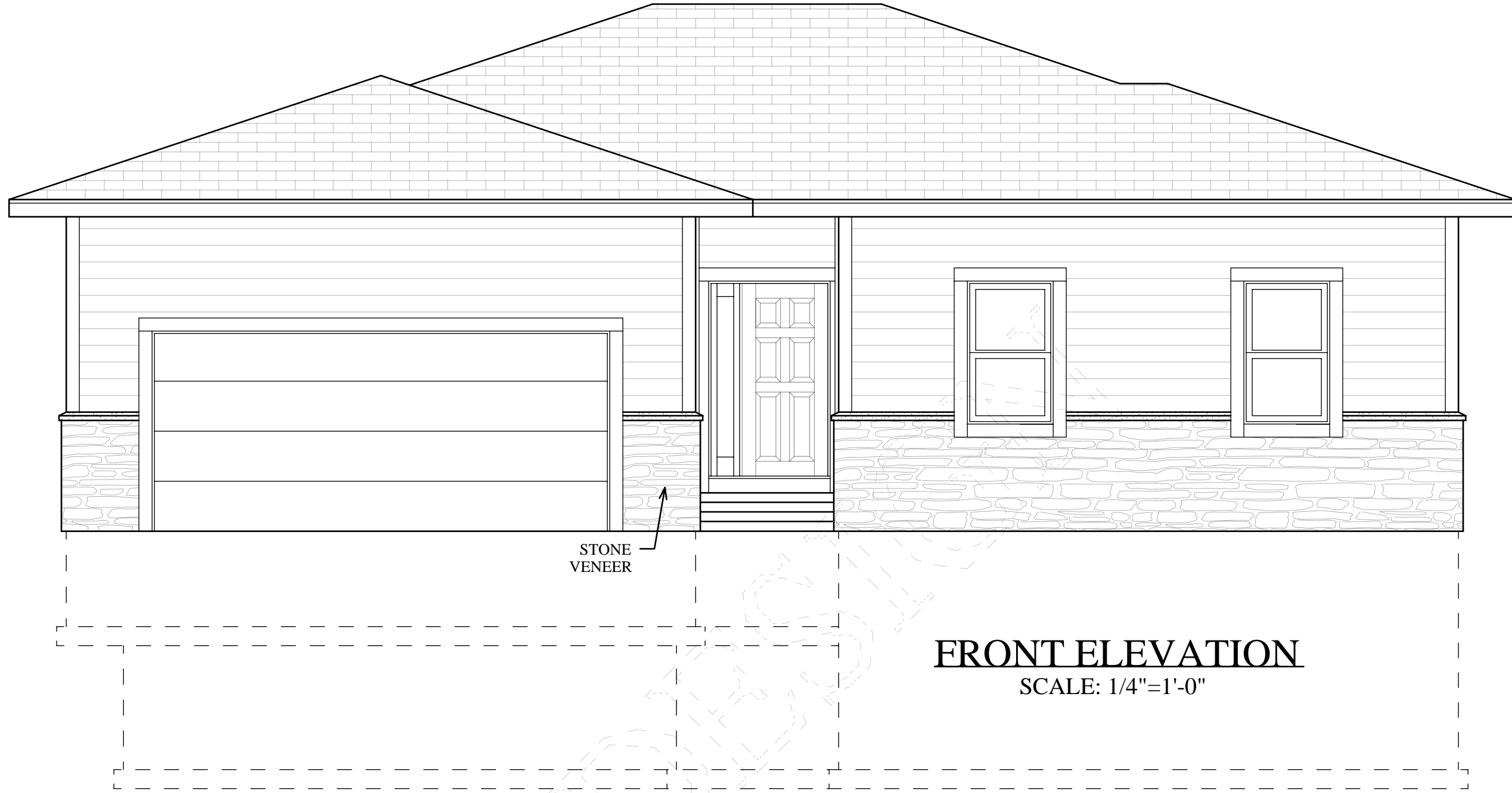
REAR ELEVATION
SCALE: 1/4"=1'-0"



LEFT ELEVATION
SCALE: 1/4"=1'-0"

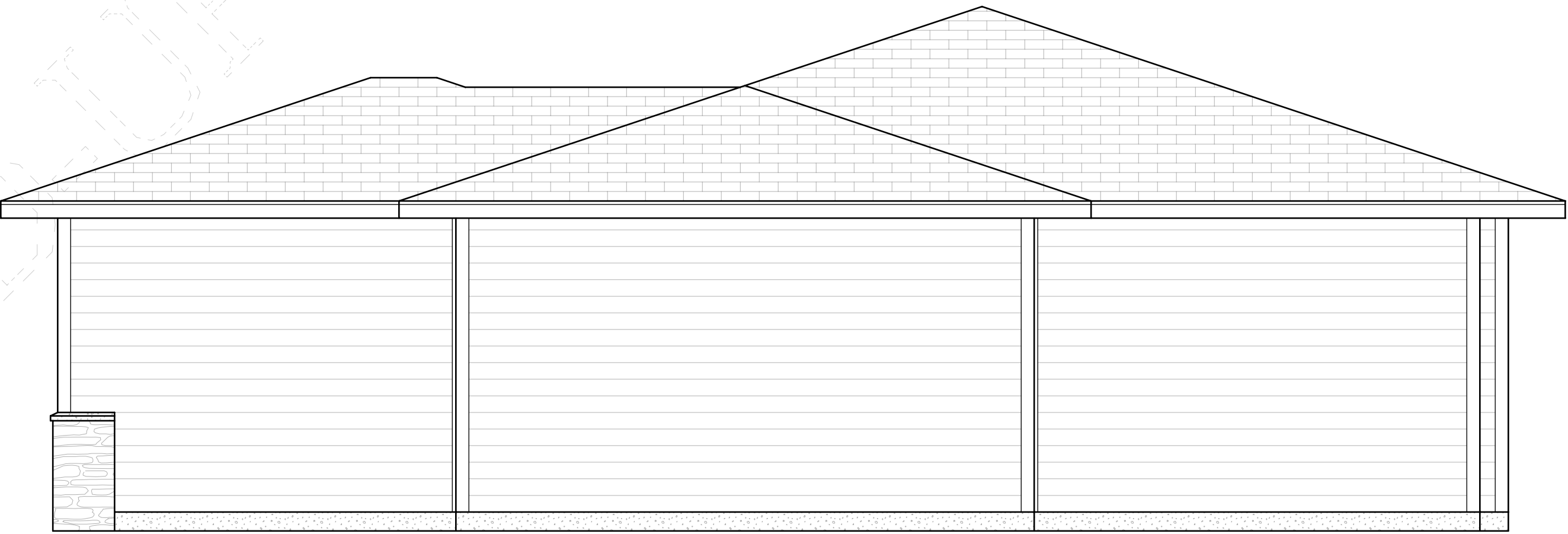


ROOF PLAN
SCALE: 1/8"=1'-0"

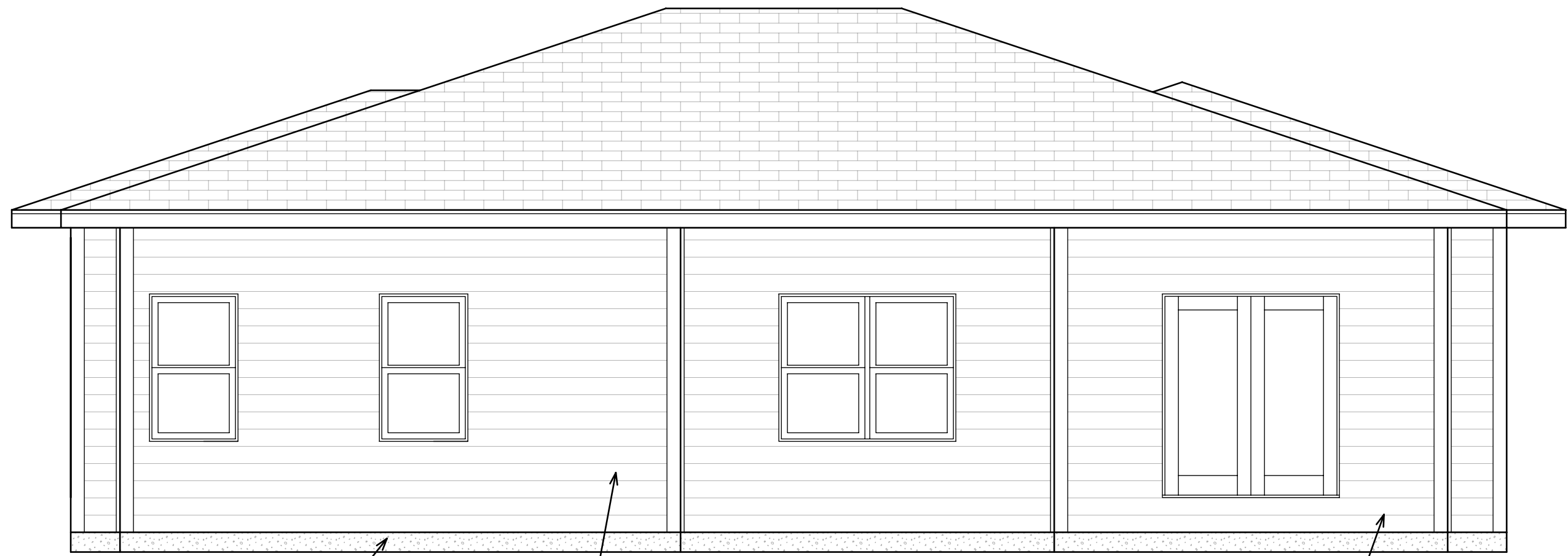


FRONT ELEVATION
SCALE: 1/4"=1'-0"

MAIN LEVEL PLT. HGT.	(9'-1 1/8")	
MAIN LEVEL FLOOR	(0'-0")	
TOP OF FOUNDATION	(-1'-2 1/8")	
TOP OF FROST FOOTING	(-5'-2 1/8")	
TOP OF FOOTING	(-10'-2 1/8")	



RIGHT ELEVATION
SCALE: 1/4"=1'-0"



REAR ELEVATION
SCALE: 1/4"=1'-0"

GROUND-UP DESIGN IS A PROFESSIONAL RESIDENTIAL DESIGN FIRM LOCATED IN NEWTON, IA. BECAUSE SITE CONDITIONS MAY VARY, THE USER ASSUMES THE RESPONSIBILITY FOR VERIFYING THE SUITABILITY OF THESE PLANS FOR USE ON YOUR SPECIFIC SITE. CONSTRUCTION FROM THESE PLANS SHOULD NOT BE UNDERTAKEN WITHOUT THE ASSISTANCE OF A CONSTRUCTION PROFESSIONAL.

PLAN #
23-0017 GL
REVISIONS
DATE
03-24-2023
SHEET
SHT 1 of 4

© GROUND-UP DESIGN 2023

PROJECT

CJ'S CONSTRUCTION
NORTH LIBERTY, IOWA

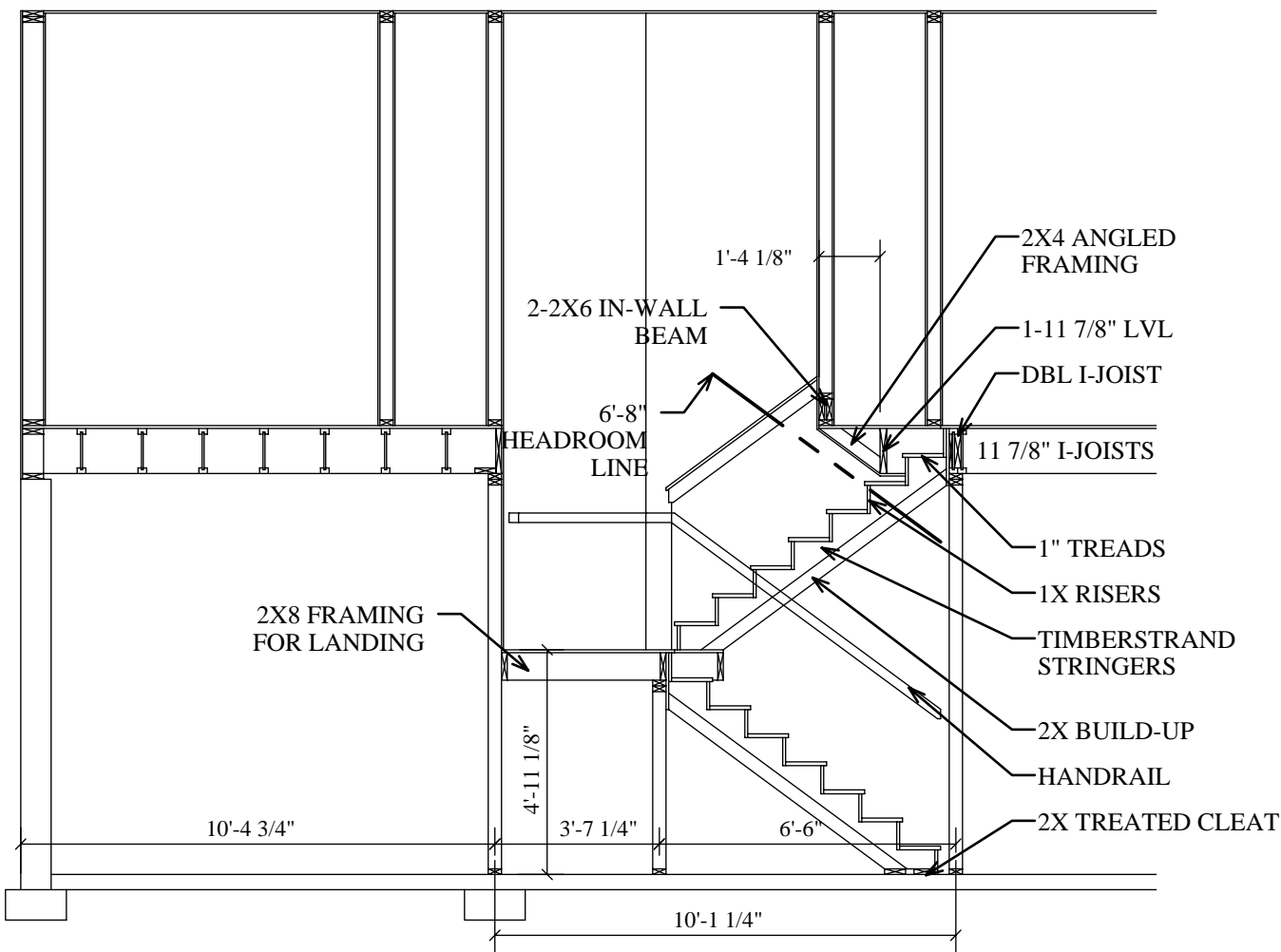
THE PURCHASER OF THESE PLANS IS GIVEN A LIMITED LICENSE TO REPRODUCE THESE PLANS FOR CONSTRUCTION PURPOSES ONLY AND FURTHER DISTRIBUTION IS STRICTLY PROHIBITED.

GROUND-UP
DESIGN
AND DRAFTING SERVICE
groundupdesign@hotmail.com

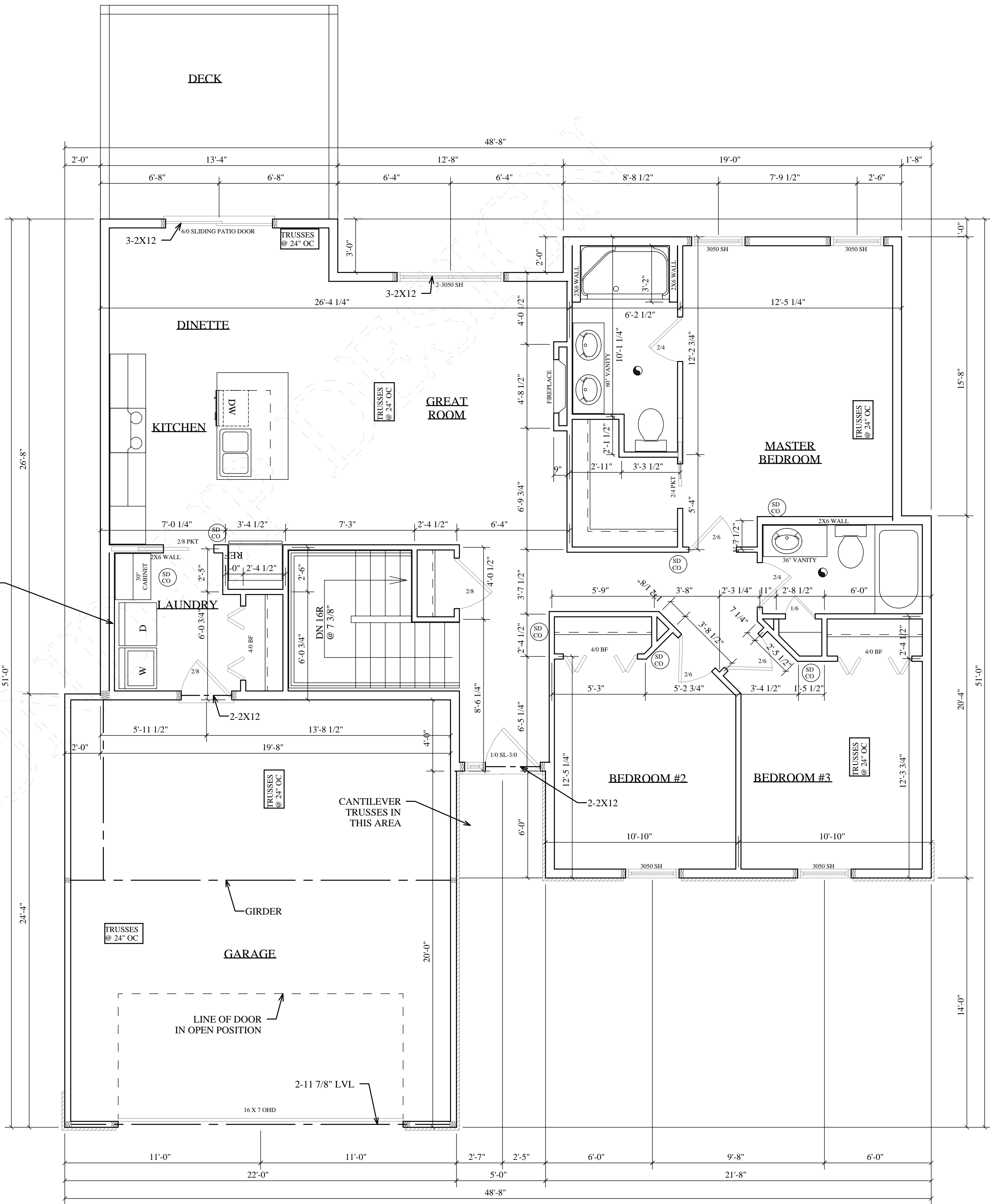
1. Smoke detectors required to be identified in each bedroom, hallways leading to bedrooms and at least one on each floor level.
2. Carbon monoxide detectors required to be identified outside each sleeping area in the immediate vicinity of the bedrooms.
3. Radon control method required to be identified either with a drawn detail or a plan note.
4. Stairs need to be detailed to show riser height will not exceed 7 3/4 inches and minimum tread width of 10". Also, stairs with more than 30 rise need solid risers or openings such that a four inch (4") sphere will not pass through.
5. House to garage separation will be provided with a minimum 1/2 inch gypsum board on walls and ceilings unless there is habitable room above the garage then the ceiling will have minimum 5/8 inch type X gypsum board.
6. Windows required to have safety glazing will need to be identified on the plans.
- a. Glazing in tub enclosures and within 5 feet of tubs, showers, whirlpools, hot-tubs, and pools if also within 60" of the walking surface.
- b. Within 24" of a door edge when in the closed position if also within 60" of a walking surface
- c. Within 5' of the top or bottom of stairs if also within 60" of a walking surface
- d. Within 18" of the floor if also greater than 5 square feet in area.
7. An attic access opening of minimum 20" x 30" is required in a corridor, hallway or other readily accessible location. It shall not be located in a closet, bathroom, mechanical room, laundry room or similar room or locations.
8. Eight visit-ability requirements required to be shown on the plans:
- a. Interior doors: At least one bedroom, one bathroom and all other passage doorway header widths, on the level served by the designed step-less entrance, must be framed to accommodate a minimum 38" clear rough opening. The framing for the doorway width opening may be reduced to accommodate any door size provided pub open ninety degrees (90), measured between the face of the door and the opposite stop.
- Note: A 34" door hung in the standard manner, provides an acceptable 32" opening.
- Exception: Doors serving closets twenty-four inches (24") or less in depth.
- Plans shall show that all doors required to meet this regulation are allowed enough space to meet this requirement and identified with a note stating Minimum Framed Opening Width 38 - Actual Door Size insert door size.
- b. All wall switches, controlling light fixtures, fans, all temperature control devices and all receptacles shall be located in an area between fifteen (15) and forty-eight (48) inches above finished floor.
- c. Electrical panels shall be located so that the individual circuit breakers are located between 15" and 54" above the floor.
- d. Sanitation facilities: There must be at least one bathroom containing a water closet (toilet), lavatory (sink) and a shower, bathtub, or combination bath/tub located on the level of the dwelling to be accessed by a step-less entrance. The room must be designed in a manner that will provide a minimum of thirty inches (30") by forty-eight inches (48") clear floor space at the water closet and lavatory. The clear floor space shall not be obstructed by a doorway swing; however, clear floor space at fixtures may overlap if sufficient maneuvering space is provided within the room for a person using a wheelchair or other mobility aid to enter and close the door, use the fixtures, reopen the door and exit. Doors may swing into the clear floor space provided at any fixture if the maneuvering space is provided. Maneuvering space may include any knee space or toe space available below bathroom fixtures.
- Exception:
- If public funds are not used and a proposed bathroom design shows a shower, bathtub or combination tub/shower can be provided within the room or an adjoining room than the shower or bathtub is not required.
- e. Wall Reinforcement: A bathroom must be provided with wood blocking installed within wall framing to support grab bars as needed. The wood blocking, when measured to the center, will be located between thirty-three inches (33") and thirty-six inches (36") above the finished floor. The wood blocking must be located in all walls adjacent to and behind a toilet, shower, or bathtub.
- f. Step-less Entrance: At least one building entrance must be designed, without encroaching into any required parking space, that complies with the Iowa City Building Code standard for an accessible entrance on an accessible route served by a ramp in accordance with section R311.8 or a no-step entrance. The accessible route must extend from a vehicular drop-off, or parking to a building entrance. The entry door must have a minimum net clear opening of thirty-two inches (32").
- Note: Iowa City code only requires one parking space for single family dwellings
- g. Garages: Must be wired for power operated overhead doors.
- h. All exterior decks and patios surfaces adjacent to the level served by the designed step-less entrance must be built within four inches (4") of the dwellings finish floor level or top of threshold whichever is higher for at least fifty percent (50%) of the deck or patio area.
9. Egress windows need to be identified.
10. Deck footings are required to be properly sized.

NOTES:

- * 2X6-9' 1 1/8" WALLS WITH 1/2" SHEATHING.
- * EXTERIOR DIMENSIONS ARE TO OUTSIDE OF SHEATHING. INTERIOR DIMENSIONS ARE TO CENTER OF WALL AND/OR BEAM.
- * ALL HEADERS AT EXTERIOR OPENINGS ARE 3-2X12 WITH 1/2" FILLER UNLESS NOTED OTHERWISE.
- * ALL HEADERS AND BEAMS ARE BELOW DECK (DROPPED) UNLESS NOTED "FLUSH".
- * PROVIDE SOLID BLOCKING BEHIND ALL CURTAIN RODS, TOWEL BARS, RAILING, ETC.
- * INSULATE, VAPOR BARRIER, AND SHEET ALL WALL CAVITIES BEHIND TUB AND/OR SHOWER ENCLOSURES AND UP TO THE DECK OF WHIRLPOOLS.
- * TRUSS MANUFACTURER TO SUPPLY ROOF LAYOUT WITH GIRDER LOCATIONS DETERMINED. SPECIFY AND SUPPLY ALL GIRDER CONNECTIONS.
- * WINDOW NOMENCLATURE IS FOR VINYL WINDOWS.
- * STAIRCASE DRAWN WITH 10" TREADS.
- * DESIGN CRITERIA IS BASED ON LOCAL BUILDING CODES AND PRACTICES AND THE 2021 I.R.C.



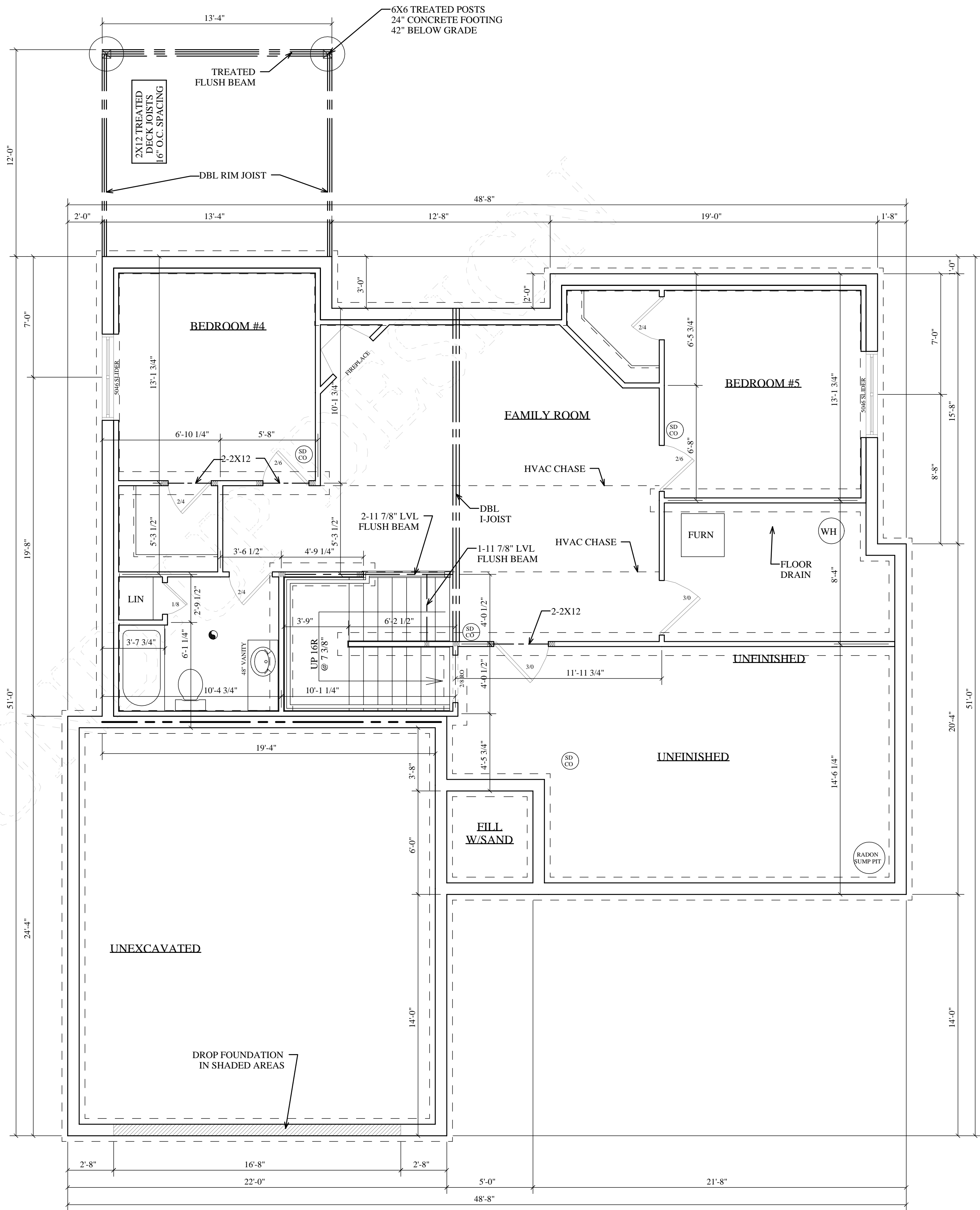
STAIR SECTION
SCALE: 1/4"=1'-0"



MAIN LEVEL FLOOR PLAN
1414 SQ. FT. THIS LEVEL
SCALE: 1/4"=1'-0"

NOTES:

- * 8" X 9'-0" POURED CONCRETE WALLS ON A 16" X 8" CONTINUOUS FOOTING WITH 2-#4 REBAR CONTINUOUS.
- * FOOTING CALCULATIONS ARE BASED ON A 2,000 PSF SOIL CAPACITY.
- * ALL HEADERS AND BEAMS ARE BELOW DECK UNLESS NOTED "FLUSH".
- * EXTERIOR DIMENSIONS ARE TO OUTSIDE OF CONCRETE. INTERIOR DIMENSIONS ARE TO CENTER OF STUD AND/OR BEAM.
- * DESIGN CRITERIA IS BASED ON LOCAL BUILDING CODES AND PRACTICES AND THE 2021 I.R.C.
- * DESIGN LOADING IS AS FOLLOWS:
ROOF: 30 PSF LIVE + 20 PSF DEAD = 50 PSF TOTAL
FLOOR: 40 PSF LIVE + 15 PSF DEAD = 55 PSF TOTAL (MIN. DEFLECTION IS L/480).
WIND: 30 PSF (IOWA)
- * FLOOR JOISTS HAVE BEEN ENGINEERED TO MEET CERAMIC TILE CRITERIA WHERE OWNER HAS INDICATED IT WILL BE INSTALLED.
- * DIMENSIONS ARE TO OUTSIDE OF CONCRETE WHICH IS TO BE FLUSH WITH WALL SHEATHING.
- * WALKOUT WALL FRAMING 2X6-9'-0" WALLS WITH 1/2" SHEATHING.
- * WINDOW NOMENCLATURE IS FOR VINYL WINDOWS.
- * ANY CHANGES ARE THE RESPONSIBILITY OF THE CONTRACTOR.
- * STAIRCASE DRAWN WITH 10" TREADS.



FOUNDATION/LOWER LEVEL FLOOR PLAN
810 SQ. FT. FINISHED AS SHOWN
SCALE: 1/4"=1'-0"

GROUND-UP DESIGN IS A PROFESSIONAL RESIDENTIAL DESIGN SERVICE. THE PURCHASER OF THESE PLANS IS GIVEN A LIMITED LICENSE TO REPRODUCE THESE PLANS FOR CONSTRUCTION PURPOSES ONLY AND FURTHER DISTRIBUTION IS STRICTLY PROHIBITED.

PLAN #
23-0017 GL
REVISIONS
DATE
03-24-2023
SHEET
SHT 2 of 4

© GROUND-UP DESIGN 2023

THE PURCHASER OF THESE PLANS IS GIVEN A LIMITED LICENSE TO REPRODUCE THESE PLANS FOR CONSTRUCTION PURPOSES ONLY AND FURTHER DISTRIBUTION IS STRICTLY PROHIBITED.

PROJECT
CJ'S CONSTRUCTION
NORTH LIBERTY, IOWA

GROUND-UP
DESIGN
AND DRAFTING SERVICE
groundupdesign@hotmail.com