

Other Observed Issues

These photographs are directly related to the same section of this report identified above.

The following slides will show issues encountered and is not a complete list but meant to convey the significant non-compliant activities observed.

No mention of any approval process is noted in the revision log for the original or as-built drawings. An example would be drawings submitted internally for design changes and externally for permit review & approval and issued for construction, etc..

We find it unusual that the as-built drawings were issued and signed without the significant deviations captured. These same As-built drawings were stamped by the City of Winter Park Building Department as "Reviewed for Compliance.

Therefore, the balance of this assessment is through this prism for observed differences.

As-Built Drawings Requested by City of Winter Park Building Department on or about August 12, 2022

This is 8 months AFTER Certificate of Occupancy was issued

2084 Other Observed Issues

Stairway at the bottom landing was revised to ostensibly allow for better access in two directions.

Not shown on the original or as-built drawings.



2080 Other Observed Issues

Original plans call for a metal handrail, cables and posts.

Glass handrail installed. Installation fit and finish less than desirable.

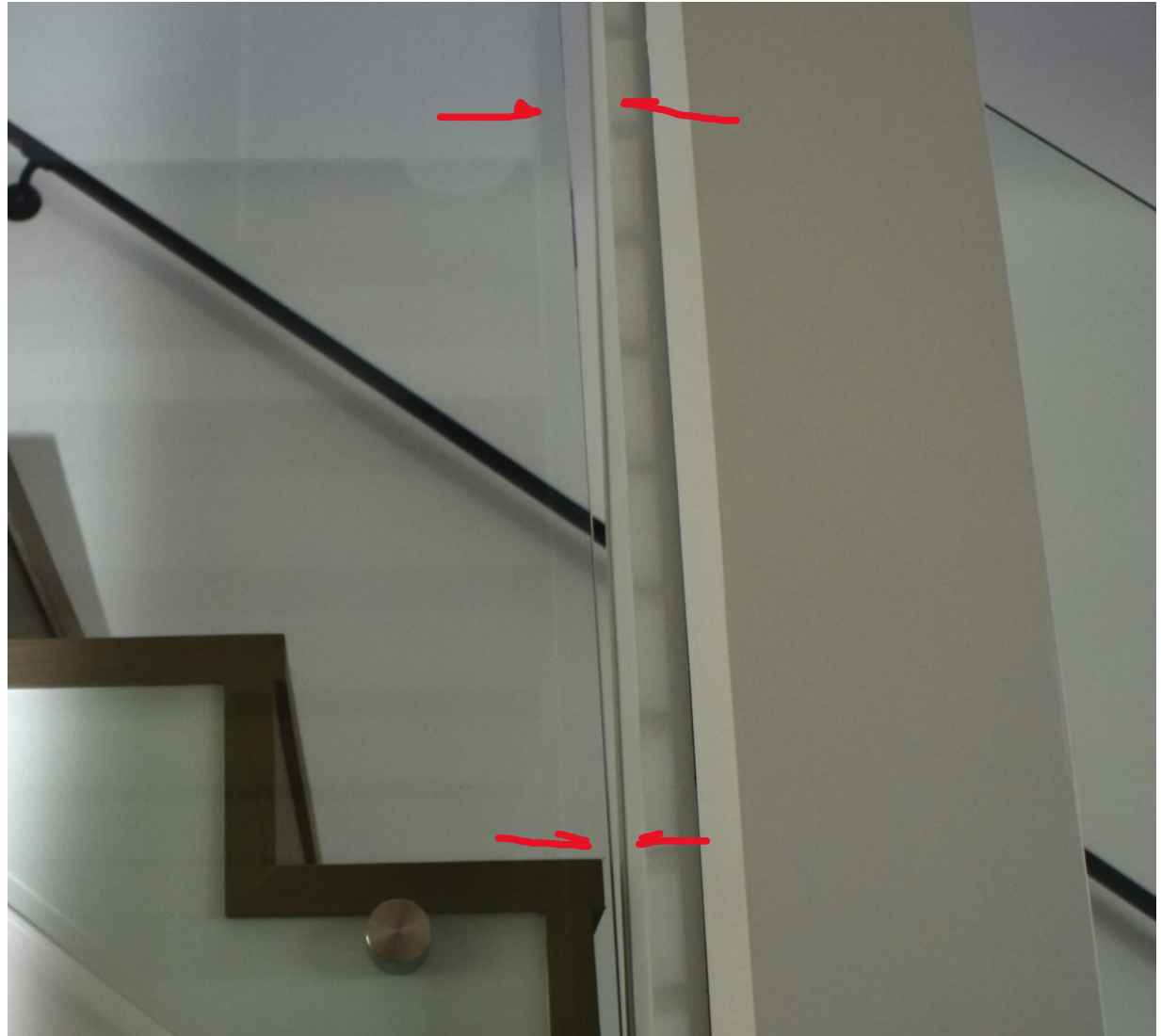
Note inconsistent gap at intersection with wall.

This was installed with

No Engineering

No Permit changes

No Inspections



2054 Other Observed Issues

There was no site improvement plan to review in the original or as-built drawings. However, a more substantial fence design is shown on multiple drawings.



2045 Other Observed Issues

This stairway was installed on the opposite wall of the garage as originally intended.

As built drawing notes the relocation but no other useful details are given with respect to attachment to the masonry wall or foundations.

No Engineering

Installed after Certificate of Occupancy issued

Work completed AFTER Closing/Settlement on property



2059 Other Observed Issues

Two tankless hot water heaters are noted for installation per Drawing A1.

Only one heater has been plumbed with no tie-in points noted for the second unit.

Typically, when two units are used one is either dedicated to the master bedroom or by floor level. No plumbing drawings were provided.

Stop Work Order was issued by City of Winter Park ~ is still open and must be addressed



2046 Other Observed Issues

**Third tankless hot
water heater installed under the
exterior stairway on garage.**

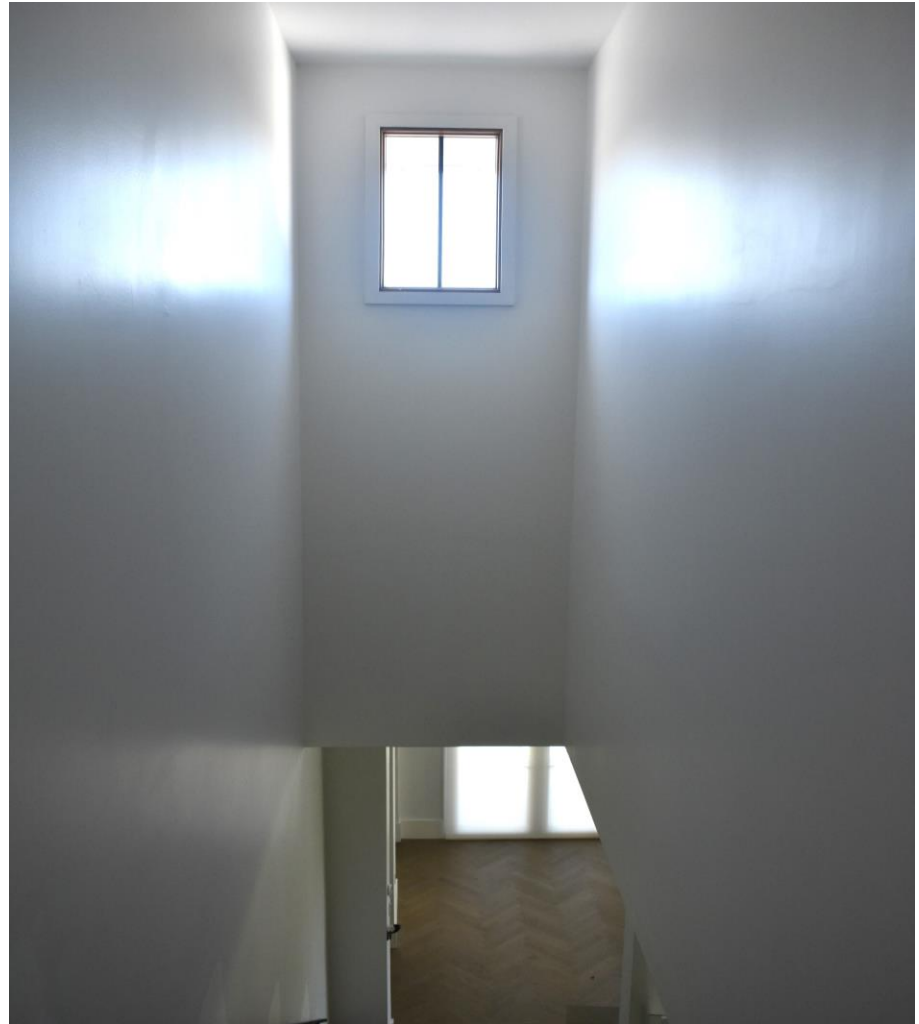
**Not shown on original or as-built
drawings.**



2085 Other Observed Issues

This window is in a load bearing wall and is shown on a front elevation drawing but not on any other drawings.

The significance is that the window is not on the lintel plan or structural plan. Materials and methods used unknown.



Other Observed Issues- Fit & Finish

These photographs are directly related to the same section of this report identified above.

It has been conveyed to us that this home was touted as being a Level 5 Fit and Finish Home. This level requires a very high degree of competency to achieve. There can be nothing out of place and there must be consistency in every aspect of the installation.

All the code violations and finish issues would render this level unachieved. The more notable items encountered would involve a freestanding island cabinet you can easily deflect by hand, poor tile work even to the point where sharp edges remain, repeated exterior and interior finished wall repairs. Typically infers movement is occurring.

The punch list work on this house would only be described as monumental.

2018 Fit & Finish

Shower doors not installed.

Paint supplies for touchups

This alone would not allow a
Certificate of Occupancy to
be issued



2033 Other Observed Issues

Main entrance threshold incomplete for finishes.

The wood in contact with the concrete slab for the threshold is required by Code to be pressure treated. No indication found this is the case.

This alone would not allow a Certificate of Occupancy to be issued



2050 Fit & Finish

Tile border for inground pool not properly bedded.

Unsupported tile has broken.

The pool area deck and access to the exterior stairwell is incomplete.

An open portion confirms by location of drain that the pool deck is incomplete.

This alone would not allow a Certificate of Occupancy to be issued



2070 Other Issues

Front wall not in the original or as-built plans.

Permit NOT acquired but no way to determine compliance to Code.

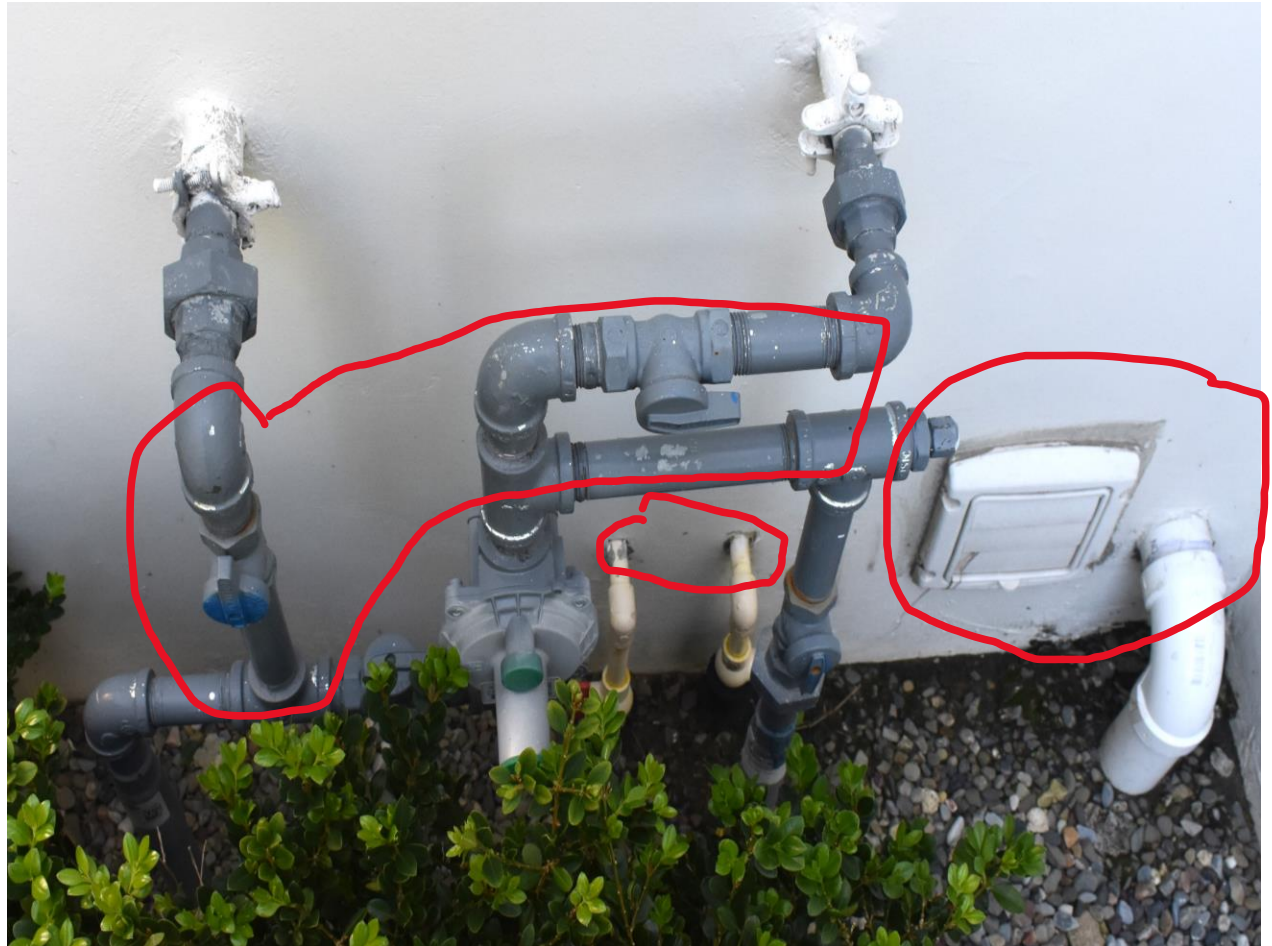
Gas lights on wall do not work.



2072 Observed Issues - Fit & Finish

Typical for several areas
where the wall penetrations
are not caulked.

Preparation and painting of
poor quality.



2086 Observed Issues

Open Panel with exposed wire hanging out.

Probably low voltage but definitely incomplete work.



2092 Other Issues Fit & Finish

Tile work does not meet Level 5 Fit & Finish

Typically, installers try to avoid installing tile less than half the width or use a different size.

Choice of black grout amplifies defective work.

Broken tile.

Missing fixtures.

Missing glass shower enclosure.

Issue of poor workmanship not limited to this bathroom.



2096A Observed Issues

Visual evidence of previous repair of exterior finish noted for several areas.

Finish work is not consistent with Level 5 requirements



2129 Observed Issues

Crack in drywall on soffit
in kitchen.

Indicates movement.



Plans versus Observed Construction

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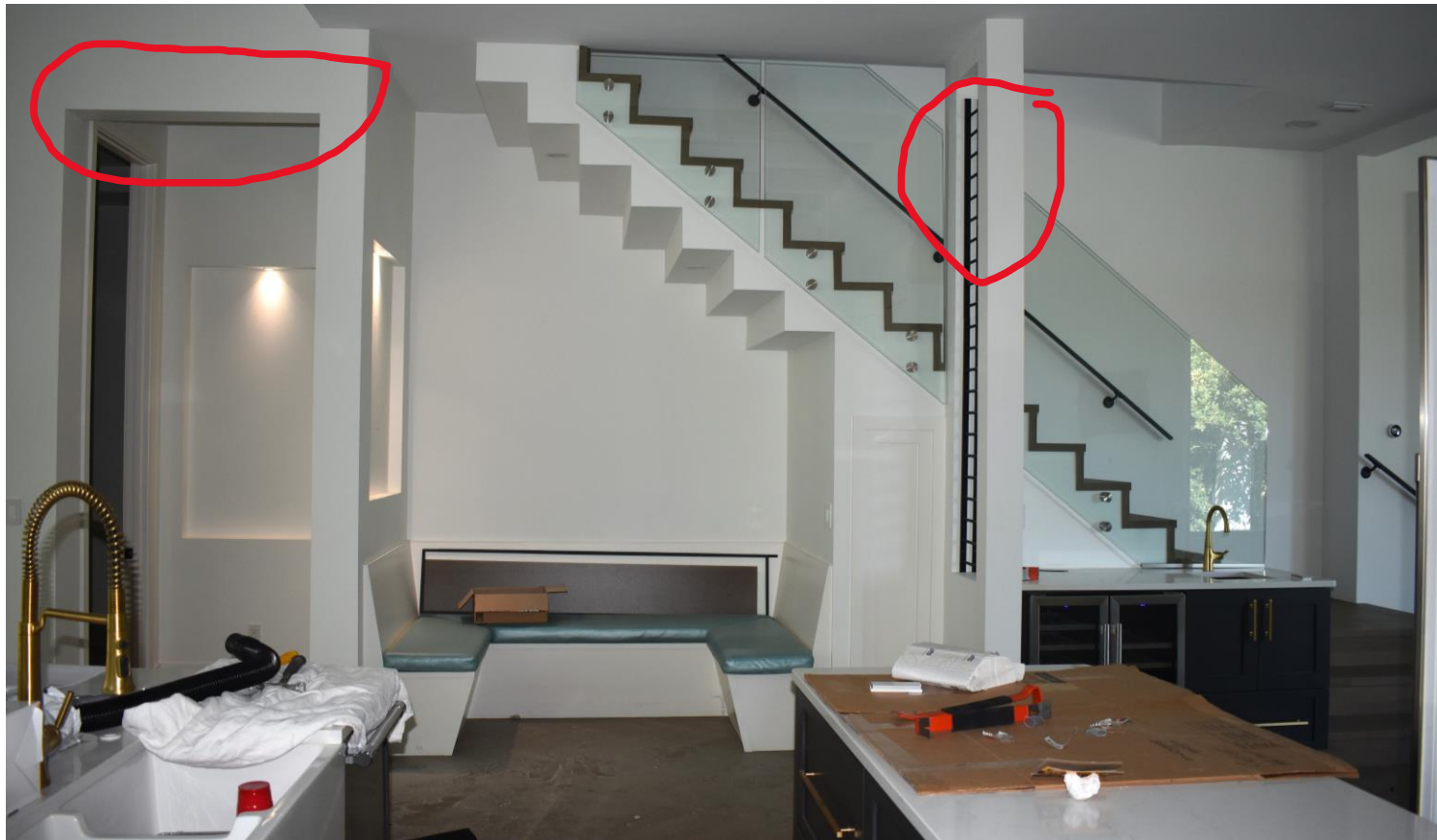
The Original and As-built drawings are basically the same drawings. Only noticeable difference is the exterior stairway is shown in the as-built location and the pantry exterior door is shown but the door orientation is wrong. No change to the revision long noted.

The As-built drawings were submitted to the City of Winter Park Building Department on 11/30/2022. The drawings were subsequently stamped "Reviewed for Compliance" by the Building Department. Thus, accepting the project complete and issued a Certificate of Occupancy but not on an official county form.

2078 Plans versus Observed Construction

The wall pictured from left to right is load bearing and shall contain areas where multiple King studs are used, The bedroom egress wall, the short-wet bar wall are also load bearing. Three pre-engineered laminated columns are also designated for use. At least two laminated posts designed for 3100 SP are missing.

City of Winter Park Building Inspectors failed to enforce Drawings/Engineering



2128 Wet Bar Area

Wire rack installed in lieu of required laminate post for structural integrity.

A short load bearing wall was not installed that contained a pre-engineered laminate post.

These structural changes were completed without any review by the truss engineer or architect. No drawing or details provided for what was completed.

These three load bearing walls support the main floor ceiling structure, roof trusses and roofing system.

Elimination and re-design of these load bearing walls significantly compromises the load bearing capability and is a serious code violation.

Life safety issue as well.

City of Winter Park failed to enforce compliance with plans submitted



2068 Plans versus Observations- Front Elevation



Each window and main entrance door were to have a transom window. The substitute windows and door are larger and would require the same type of alteration of the masonry wall to fit as observed for other walls. This would compromise the lintel and side column widths for load bearing support. The signed cut sheet does eliminate the main entrance transom. No details or drawing revisions were issued. Serious code violation at a minimum.

City of Winter Park failed to enforce compliance with plans submitted

2069 Plans versus Observed



The original and as-built plans show this roof design as a gable end, meaning it would be sloped towards the front and not vertical as observed. This change was completed without review by stakeholders as this requires the approval of the truss manufacturer, the architect, developer, and local building department. No evidence that this occurred. Clear code violation.

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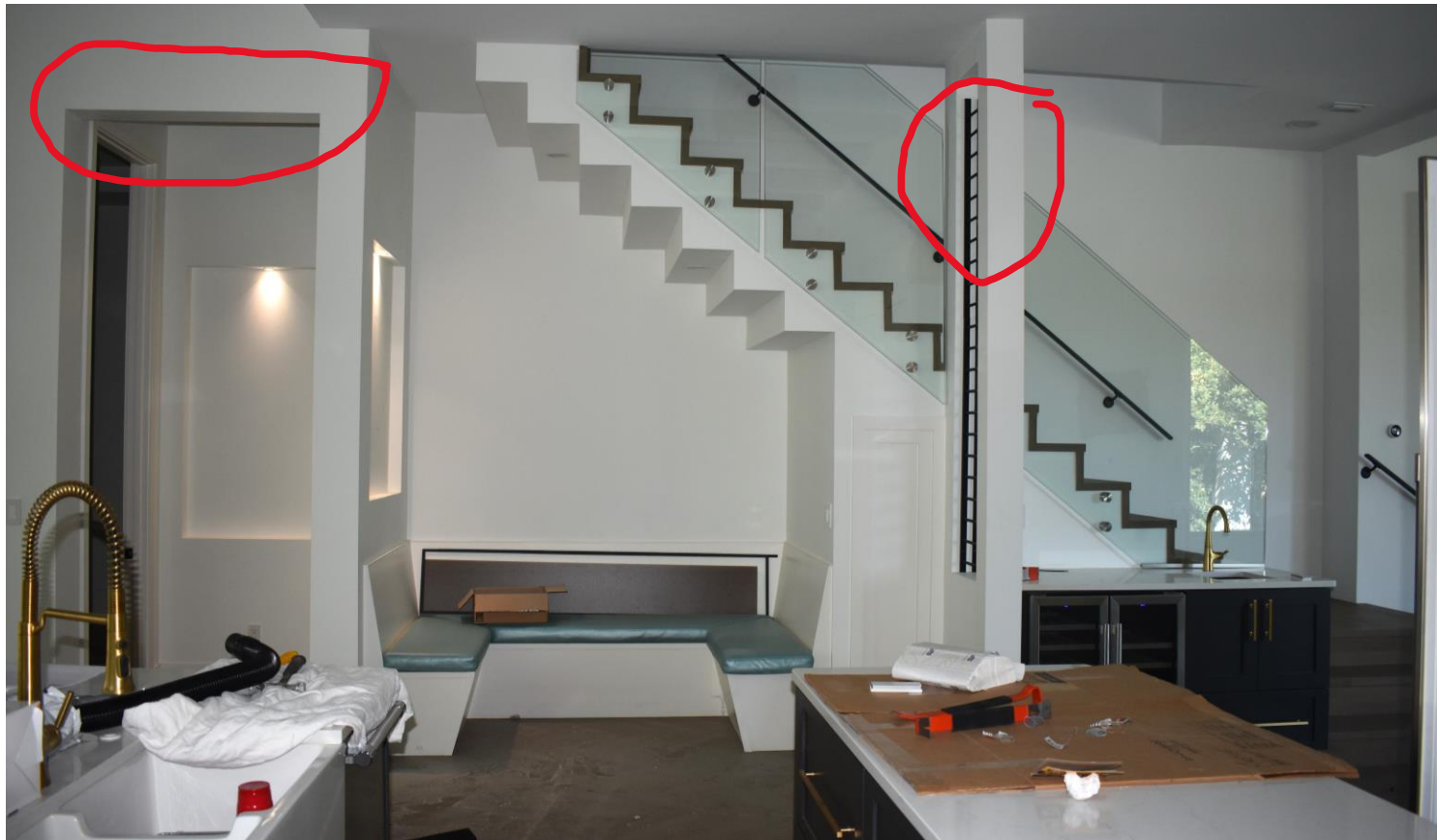
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Post Inspection Issues

Please refer to the section of this report as noted above for additional comments and concerns. The following is not a complete list, but the pictures are meant to give a sense of the issues.

In the construction industry Cut Sheets are the last word in what is to be installed, in what configuration and location. No "Visionary Cut Sheets" are commented on.

2082 Post Inspection Issues



This section of the wall was intended to be recessed per every document reviewed but was completed as a flush wall.

2036 Post Inspection Issues

This added exterior door for the Panty is shown on the Cabinetry & Design drawing but not on the signed Cut Sheet.

Oddly, it is shown on the As-built drawing, but the door swing is opposite as installed.

This was installed with

No Engineering

No Permit changes

No Inspections



2093 Post Inspection Issues

This doorway was moved several feet down the same wall and is not compliant to the signed Cut Sheet.

The move appears to be have occurred for better egress to the In-Law Suite above the garage.

The interior and exterior door was removed with the relocation of the exterior stairs to maintain a second entrance.

This significant floor plan change was not addressed in the as-built drawings.

This was installed with

No Engineering

No Permit changes

No Inspections



0310D Post Inspection Issues

The signed Cut Sheet for this chandelier does not address any special mounting requirement

The original or as-built drawing do not have a detail drawing to address the use of additional blocking.

This is a heavy fixture above the family room and without any electrical drawings or vendor cut sheet to review to suggest compliance.

We will not be able to comment on the adequacy of support. This would be a concern given the level of deviation from plans.

No Engineering Shown in Cut Sheet



2087 Post Inspection Issues

No interior door hardware Cut Sheets provided.

A mismatch of hinge color and door hardware exists in several locations.

A very odd outcome. Certainly not Level 5 Fit & Finish.



Rear Elevation Load Bearing Wall **Family Room**

**These photographs are directly related to
the same section of this report identified above.**

2052 Rear Exterior View

The substitute window and double doors are not shown on the original or as-built drawings.

Also not accurately built in accordance with the cut-sheet.

This is a code violation.

City of Winter Park failed to enforce compliance with plans submitted



2077 Rear Elevation Interior View

The original and as-built drawings indicate that each of the double doors and center section of the wall would have a transom window.

The cut sheet indicates that there is no window of any type to be installed between the double doors.

No detail or approved document is provided for this significant change.

This action is a code violation, violates industry standards and is a life safety issue.

City of Winter Park failed to enforce compliance with plans submitted



2108 Rear Elevation Wall Exposed

The image shows the right top corner of center window and the left top corner of the double door to the right.

This initial view shows that the masonry wall was saw cut vertically well above the window area.

The precast engineered lintel has been notched for the door width to allow a wood door frame to be added for the larger than designed door for the opening. Typical for the other door.

No lintel above the center window.

This attempt to install larger doors and window than originally designed is a significant undocumented code violation at a minimum and is a life safety issue.



0302 Rear Wall Elevation

The saw cut above the window was measured to be 2-3 inches deep on the 8x8x16 block.

The wood frame for the window is not installed per industry standards as the top board should be over the vertical board for proper support.



0310A Rear Elevation Wall Exposed

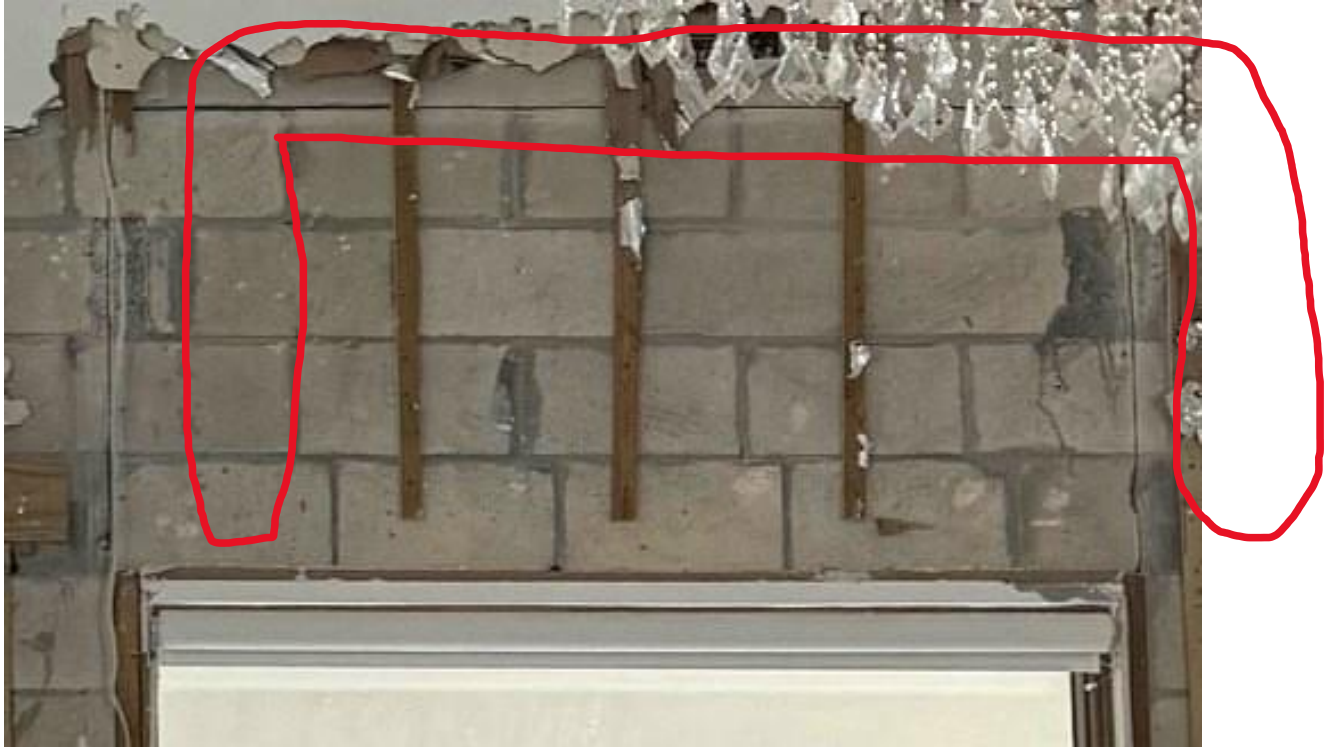
To install the oversized window the contractor saw cut the existing masonry wall on the left and right sides and extended the cut four courses above the window and horizontally.

Then removed the wall section by mechanical means.

With no details or approval or calculations to address this significant structural change the load bearing capacity of this wall has been severely compromised and poses a life safety issue.



0310B Rear Wall Elevation Saw Cut



Closer view of the unnecessary over cut made with a masonry saw on the rear wall for the center window. The cut is 2-3 inches deep.

2114 Rear Wall Elevation

The precast engineered lintel for the double door left of the center window was also notched and is a clear code violation. The cut invalidates the designed structural integrity.

